

SUBMISSION DRAWINGS

04-12-24

HOPEWELL CROSSING RESIDENTIAL DEVELOPMENT

32 & 36 HOPEWELL ROAD GLASTONBURY, CT.

PREPARED FOR: MORELLO REALTY, LLC GLASTONBURY, CT.

ABBREVIATIONS

Table listing abbreviations such as ACP, ALUM, ABV, A.F.F., AHU, A.C., A/C, ADJ., A.F.S., <, ANDD, ASPH, A.T., @, BOARD, BM, B.O.J., BOTT, B.U., B.U.L., B.L.K.G., BC, B.O.B., B.O.G., B.R.K., B.L.D.G., B./STL, CA, CR, CPT, CP, CLG, CEM, CT, CLT, CLOS, CMU, COL, CONC, CONT, CJ, CONSTR, CP, CW, CAD, PL, C.B., C.D., CER, CLR, CONN., CONTR, C.O.T.G., C.S.K., C.W., @, DET, D.F., DIM, DR, DWG, ETR, ELECT, EWC, EP, ELEV, EOP, EPX, EXTG, EXP, EA, E.I., E.P.B., E.O., E.S., E.W.H., EXH., EXT., F.B., FBRGL.

Table listing abbreviations such as F.D., F.H., F.H.C., F.O., F.O.C., F.O.F., F.O.M., F.O.S., F.S., FTS, F.E., F.E.C., F.L.G., FL, FTG, FDN, FIN, GAL, GA., GL, G.WB, GRD., G.S.F., G.V., G.V.C.B., G.V.P., HDR, HDWD, HRK, H.R.C., H.S.B., H.T.D., HTG, H.W.D., HEP, HAVC, HP, HO, HM, HGORIZ, HM, ID, INSUL, INV, INT, I.P.S., JB, JAN., JT, KIT, LAB, LP, KP, LAYS, L.S.D., L.M.B., M.D.L., M.S., MULL, MH, MAC, MECH., MFR, MAT., MAX., MIN, MIR, MISC, MTD, MTL, MO, MARGWB, NIC, NO., NOM, NTS, N.S.F., O.D., OC, OPG, OPP, PIN, PLAT., PNT, PT(D).

Table listing abbreviations such as P. LAM, PLAS, PLYWD, PO, PA, P.D., P.T., P.T.D., R.A., R.C.P., REC, SCD, SD, SECT., SF., SHT, SHTHG, SHVS, SIM, SK, SM, SMS, SMD, SNV, SNV, SQ, S.S., STD, ST, ST.L., QT, RAD, R.W.C., REFR, R, RD, RM, SAN, SEC, SSV, SIM, SIM, SPC(S), SS, STL, STOR, STRUCT, SUS, TEL, TEMP, THK, THR, TOU, TOJ, TOS, TOS, T, T/STL, TYD, TD, T&G, TO, T.O.S., TP, UNO, UR, UC, UNO, URP, VERT, VCT, VCB, VIF, VSC, VWC, V.C.P., VAIN, WS, WFD, WSCT, WDW, WDT.

MATERIALS

Table listing materials such as EARTH, POROUS FILL, CONCRETE, CONCRETE BLOCK, BRICK, FINISHED WOOD, ROUGH WOOD, PLYWOOD, BATT INSULATION, RIGID INSULATION, GYPSUM WALL BOARD, STEEL, ALUMINUM, METAL GRATING, STRUCT. CONC., PLASTER, CEMENT, SHEET METAL, WOOD BLOCKING, INSULATING GLASS, SHEET GLASS, CARPET, RESILIENT FLOOR, STRUCTURAL STEEL, WOOD STUD, METAL STUDS.

2022 CONNECTICUT STATE BUILDING CODE (CSBC)

- 2021 International Building Code
- 2017 ICC/ANSI A117.1 Accessible and Usable Buildings and Facilities
- 2021 International Existing Building Code
- 2021 International Plumbing Code
- 2021 International Mechanical Code
- 2021 International Energy Conservation Code
- 2020 NFPA 70, National Electrical Code, of the National Fire Protection Association Inc.

2022 CONNECTICUT STATE FIRE CODE (CSFSC)

- 2021 International Code Council (ICC) International Fire Code
- 2021 National Fire Protection Association 101 Life Safety Code (NFPA)

2022 CONNECTICUT STATE FIRE PREVENTION CODE

- 2021 National Fire Protection Association (NFPA)1-Fire Code

2018 CONNECTICUT STATE ELEVATOR CODE

- ASME A17.1 - 2013 Safety Code for Elevators and Escalators

BUILDING CODE INFORMATION

PER 2022 IBC

CODE INFORMATION HEIGHT AND AREA COMPUTATIONS - TYPE VA

USE GROUP CLASSIFICATION (SEC 302) _____R2 - RESIDENTIAL

FULLY SPRINKLERED PER NFPA 13R ALLOWABLE BUILDING AREA (TABLE 506.2) _____ 48,000 SF ALLOWABLE BUILDING HEIGHT (TABLE 504.4) _____ 4 STORIES/70'-0"

ACTUAL BUILDING AREA _____ 11,558 s.f.

ACTUAL BUILDING HEIGHT _____ 4 STORIES/49'-5"

APARTMENT DISTRIBUTION

Table with columns: FLOOR, 0 BR, 1 BR, 2 BR, TOTALS. Rows: GROUND FLOOR, FIRST FLOOR, SECOND FLOOR, THIRD FLOOR, TOTALS.

FIRE RESISTANCE RATING REQUIREMENTS CONSTRUCTION TYPE VA

Table listing fire resistance ratings for various components: STRUCTURAL FRAME, BEARING WALLS, NONBEARING WALLS AND PARTITIONS, NONBEARING WALLS AND PARTITIONS, FLOOR CONSTRUCTION, ROOF CONSTRUCTION, FIRE WALLS, FIRE BARRIERS, SHAFT ENCLOSURES, FIRE PARTITIONS, SMOKE PARTITIONS, SMOKE BARRIERS, EXIT STAIRWAYS/RAMPS, CORRIDORS.

BUILDING FLOOR AREAS

Table listing floor areas: FIRST FLOOR 11,558 S.F., SECOND FLOOR 11,558 S.F., THIRD FLOOR 11,558 S.F., FOURTH FLOOR 11,558 S.F., TOTAL 46,232 S.F.

MIN. STC RATINGS:

APARTMENT DEMISING WALLS = 56 CORRIDOR WALLS = 50 FLOOR / CEILING = 50 IIC = 50

HANDICAP TYPE 'A' UNIT REQUIREMENTS

42 UNITS / 10 = 4.2 OR 5 UNITS REQUIRED TOTAL = 5 UNITS PROVIDED



LIST OF DRAWINGS

A-001 Cover Sheet
SU Property Survey

Civil Drawings

- SP-1 SITE PLAN
SP-2 GRADING & UTILITY PLAN
SP-3 SOIL EROSION CONTROL
SP-4 DETAILS
SP-5 DETAILS
SP-6 SITE LIGHTING PLAN
SP-7 MS4 SHEET
SP-8 TOWN DEPT CORRESPONDENCE SHEET

Architectural Drawings

- A-100 Ground Floor Plan
A-101 First Floor Plan
A-102 Second Floor Plan
A-103 Third Floor Plan
A-201 Exterior Elevations
A-202 Exterior Elevations



REVISIONS

Table with columns: NO., BY, DATE, DESCRIPTION. Row 1: 1, PMR, 4-12-24, ISSUE FOR P&Z SUBMISSION.

PROJECT TITLE

HOPEWELL CROSSING

36 HOPEWELL RD. GLASTONBURY, CT

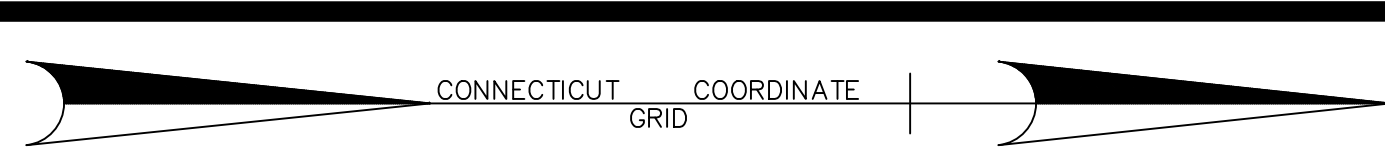
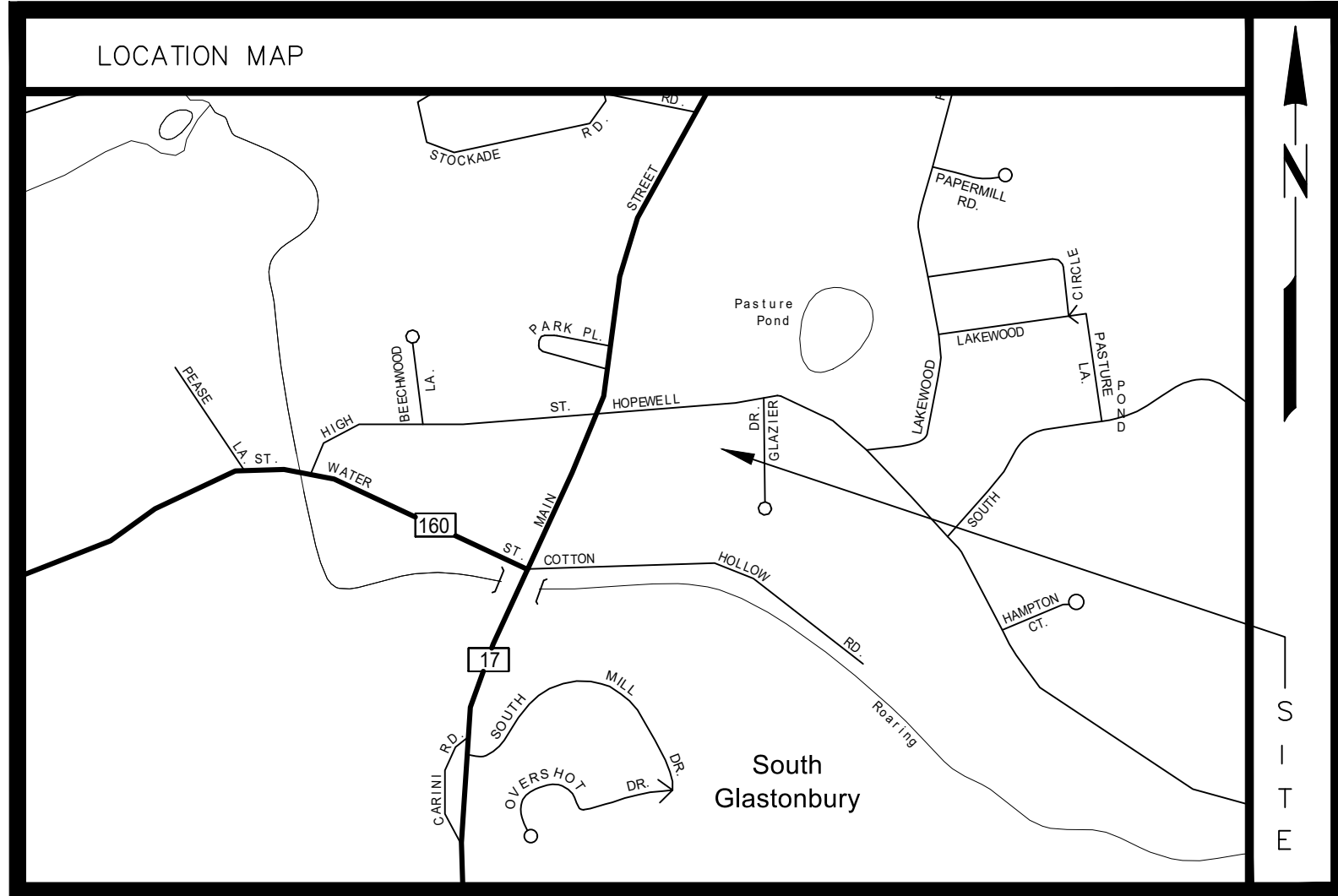
PREPARED FOR: MORELLO REALTY, LLC

SHEET TITLE

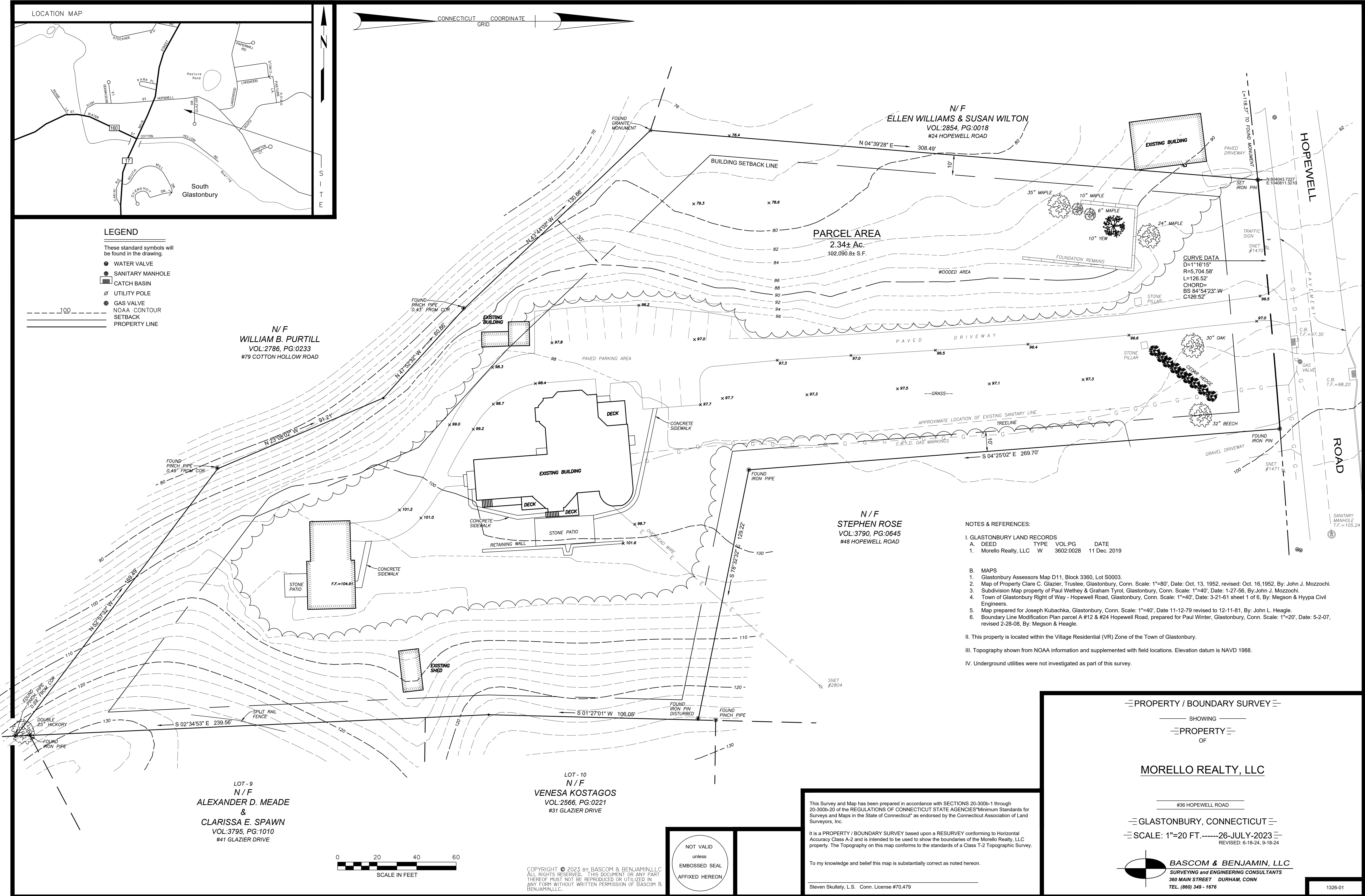
COVER SHEET

Table with design and drawing information: DESIGNED BY: MMF, SCALE: AS NOTED, DRAWN BY: MMF, DATE: 1-10-23, CHECKED BY: PR, PROJECT NUMBER: 2790.

Professional seal for the State of Connecticut, PE. Richard A. Tiso, No. 46732. SHEET NUMBER A-001.



- LEGEND**
- These standard symbols will be found in the drawing.
- WATER VALVE
 - SANITARY MANHOLE
 - ▭ CATCH BASIN
 - ⊕ UTILITY POLE
 - ⊙ GAS VALVE
 - NOAA CONTOUR
 - SETBACK
 - PROPERTY LINE



N/F
WILLIAM B. PURTILL
VOL:2786, PG:0233
#79 COTTON HOLLOW ROAD

N/F
ELLEN WILLIAMS & SUSAN WILTON
VOL:2854, PG:0018
#24 HOPEWELL ROAD

PARCEL AREA
2.34± Ac.
102,090.8± S.F.

N/F
STEPHEN ROSE
VOL:3790, PG:0645
#48 HOPEWELL ROAD

LOT - 9
N/F
ALEXANDER D. MEADE & CLARISSA E. SPAWN
VOL:3795, PG:1010
#41 GLAZIER DRIVE

LOT - 10
N/F
VENESA KOSTAGOS
VOL:2566, PG:0221
#31 GLAZIER DRIVE

NOTES & REFERENCES:

- I. GLASTONBURY LAND RECORDS
- | A. | DEED | TYPE | VOL:PG | DATE |
|----|---------------------|------|-----------|--------------|
| 1. | Morello Realty, LLC | W | 3602:0028 | 11 Dec. 2019 |
- B. MAPS
- Glastonbury Assessors Map D11, Block 3360, Lot S0003.
 - Map of Property Clare C. Glazier, Trustee, Glastonbury, Conn. Scale: 1"=80', Date: Oct. 13, 1952, revised: Oct. 16, 1952, By: John J. Mozzochi.
 - Subdivision Map property of Paul Wethey & Graham Tyrol, Glastonbury, Conn. Scale: 1"=40', Date: 1-27-56, By: John J. Mozzochi.
 - Town of Glastonbury Right of Way - Hopewell Road, Glastonbury, Conn. Scale: 1"=40', Date: 3-21-61 sheet 1 of 6, By: Megson & Hyppa Civil Engineers.
 - Map prepared for Joseph Kubachka, Glastonbury, Conn. Scale: 1"=40', Date 11-12-79 revised to 12-11-81, By: John L. Heagle.
 - Boundary Line Modification Plan parcel A #12 & #24 Hopewell Road, prepared for Paul Wintler, Glastonbury, Conn. Scale: 1"=20', Date: 5-2-07, revised 2-28-08, By: Megson & Heagle.
- II. This property is located within the Village Residential (VR) Zone of the Town of Glastonbury.
- III. Topography shown from NOAA information and supplemented with field locations. Elevation datum is NAVD 1988.
- IV. Underground utilities were not investigated as part of this survey.



COPYRIGHT © 2023 BY BASCOM & BENJAMIN, LLC
ALL RIGHTS RESERVED. THIS DOCUMENT OR ANY PART THEREOF MUST NOT BE REPRODUCED OR UTILIZED IN ANY FORM WITHOUT WRITTEN PERMISSION OF BASCOM & BENJAMIN, LLC.

NOT VALID
unless
EMBOSSSED SEAL
AFFIXED HEREON

This Survey and Map has been prepared in accordance with SECTIONS 20-300b-1 through 20-300b-20 of the REGULATIONS OF CONNECTICUT STATE AGENCIES' Minimum Standards for Surveys and Maps in the State of Connecticut as endorsed by the Connecticut Association of Land Surveyors, Inc.

It is a PROPERTY / BOUNDARY SURVEY based upon a RESURVEY conforming to Horizontal Accuracy Class A-2 and is intended to be used to show the boundaries of the Morello Realty, LLC property. The Topography on this map conforms to the standards of a Class T-2 Topographic Survey.

To my knowledge and belief this map is substantially correct as noted hereon.

Steven Skultety, L.S. Conn. License #70,479

PROPERTY / BOUNDARY SURVEY

SHOWING
PROPERTY
OF

MORELLO REALTY, LLC

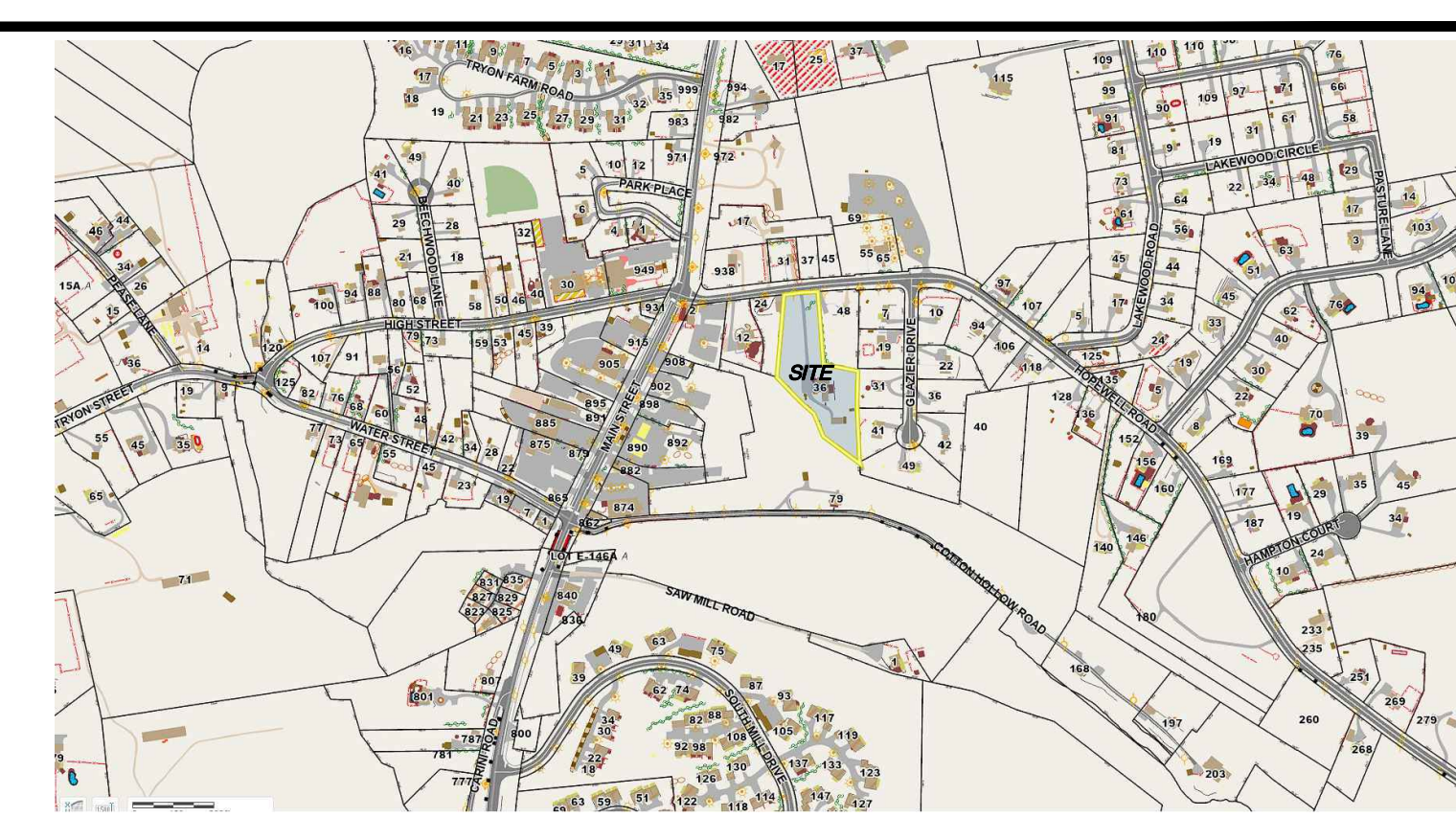
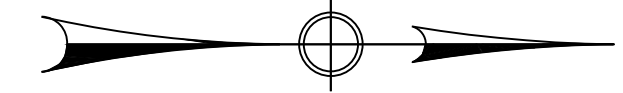
#36 HOPEWELL ROAD

GLASTONBURY, CONNECTICUT

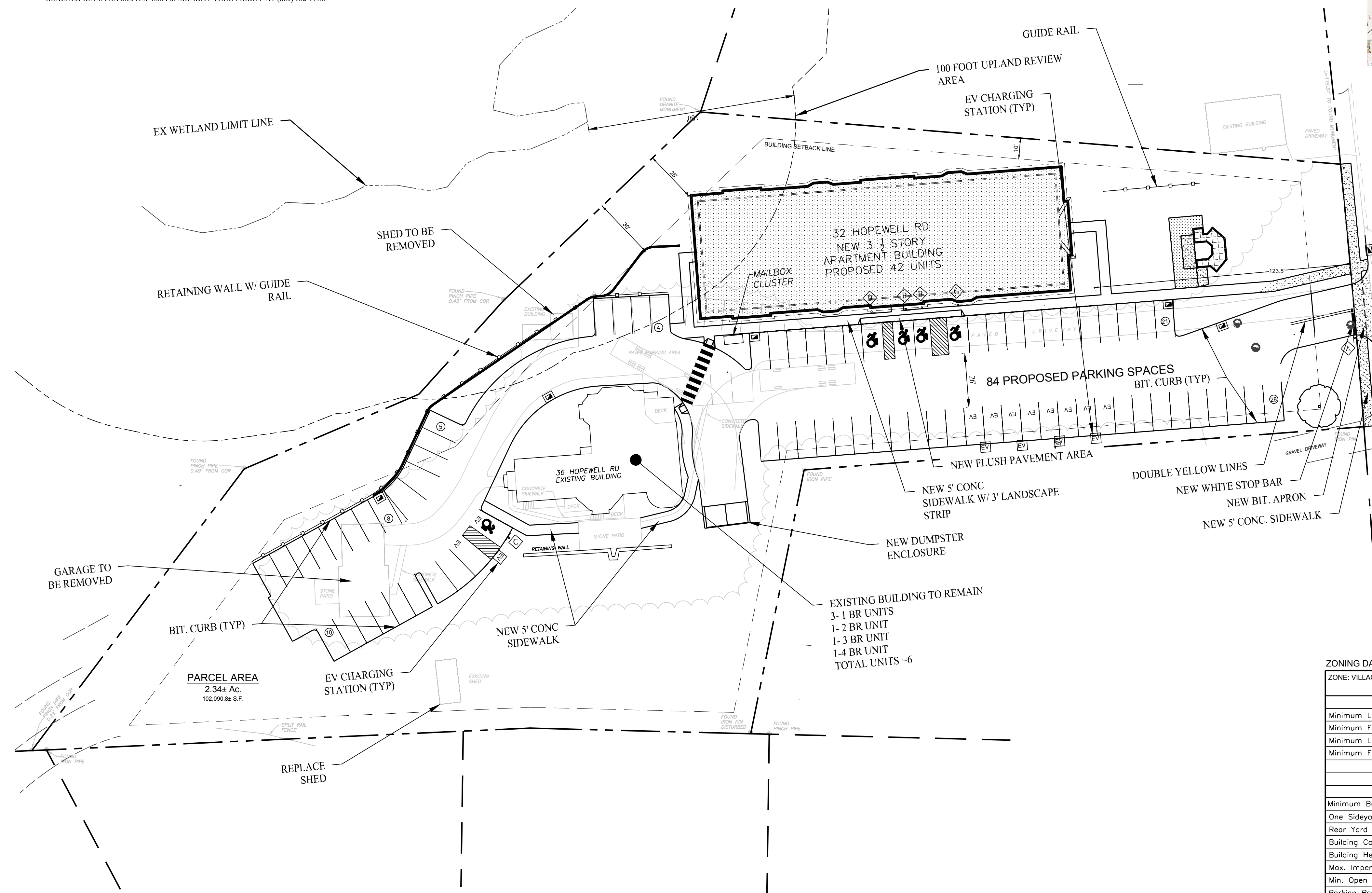
SCALE: 1"=20 FT. 26-JULY-2023
REVISED: 6-18-24, 9-18-24

NOTES

1. THIS PLAN IS FOR PERMITTING ONLY AND IS NOT TO BE USED FOR CONSTRUCTION.
2. TOTAL AREA PARCELS = 102,366 S.F.
3. ALL PAVEMENT CURBING IS TO BE BITUMINOUS CONCRETE UNLESS OTHERWISE NOTED.
4. DO NOT SCALE DRAWING. DIMENSIONS GOVERN OVER SCALED DIMENSIONS.
5. ALL NOTES AND DIMENSIONS LABELED "TYP." APPLY TO ALL LIKE OR SIMILAR CONDITIONS THROUGHOUT THE PLAN SET.
6. CONTRACTOR MUST CALL "CALL BEFORE YOU DIG" PRIOR TO ANY CONSTRUCTION.
7. THE CONTRACTOR SHALL NOTIFY THE TOWN OF GLASTONBURY ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, SANITARY SEWER INSTALLATION, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, OR ANY EXCAVATION IN THE TOWN RIGHT-OF-WAY TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:00 AM-4:30 PM MONDAY THRU FRIDAY AT (860) 652-7735.



VICINITY MAP
SCALE 1"=700'

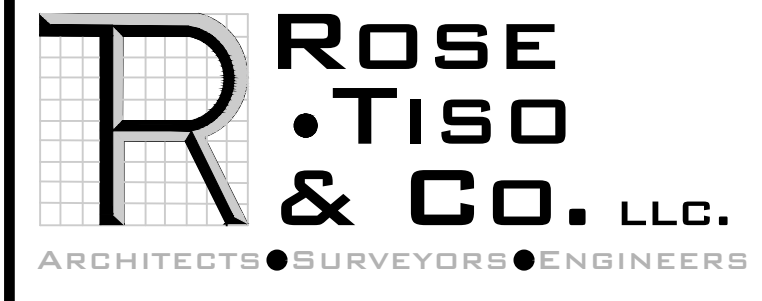


BREAKDOWN of 48 UNITS

	EXISTING	PROPOSED
1BR	3	14
2BR	1	28
3BR	1	0
4BR	1	0
TOTAL	6	42

ZONING DATA TABLE FILED PURSUANT TO C.G.S. 8-30g

ZONE: VILLAGE RESIDENTIAL	VR STANDARDS SINGLE FAMILY	VR STANDARDS 2-FAMILY	EXISTING CONDITION	PROPOSED CONDITION
Minimum Lot Area	10,000 s.f.	15,000 s.f.	102,090 S.F.	102,090 S.F.
Minimum Frontage	75 ft.	100 ft.	126.51 FT.	126.51 Ft.
Minimum Lot Width	- ft.	- ft.	437 FT.	437 Ft.
Minimum Front Yard	20 ft.	40 ft.	340.8 FT.	123.5 Ft.
Minimum Building Setbacks:				
One Sideyard Min.	10 ft.	15 ft.	103.3	10 Ft.
Rear Yard Min.	30 ft.	50 ft.	114.6	25 Ft.
Building Coverage Maximum	20% of Lot Area	15% of Lot Area	30.9%	23%
Building Height Max.	2.5 Stories or 35.5'	2.5 Stories or 35.5'	3.5 Stories/35'	3.5 Stories/38'
Max. Impervious Area	-	-	14%	47%
Min. Open Space	-	-	86%	53%
<i>Parking Required= APARTMENTS: (42+6) X 1.0 SP/dwelling UNIT = 48 SPACE PER SECTION 9.11.b</i>				
			14 Spaces	84 Spaces



WWW.ROSETISO.COM
35 BRENTWOOD AVENUE, FAIRFIELD, CT 06825
TEL: (203) 10-6260 • FAX: (203) 10-6404

REVISIONS

NO.	BY	DATE	REVISIONS DESCRIPTION
1	MJS	09-30-24	ENGINEERING COMMENTS
2	MJS	10-03-24	BUILDING REVISION

PROJECT TITLE

HOPEWELL CROSSING

32 & 36 HOPEWELL ROAD

GLASTONBURY, CONNECTICUT

Prepared For:

MORELLO REALTY, LLC

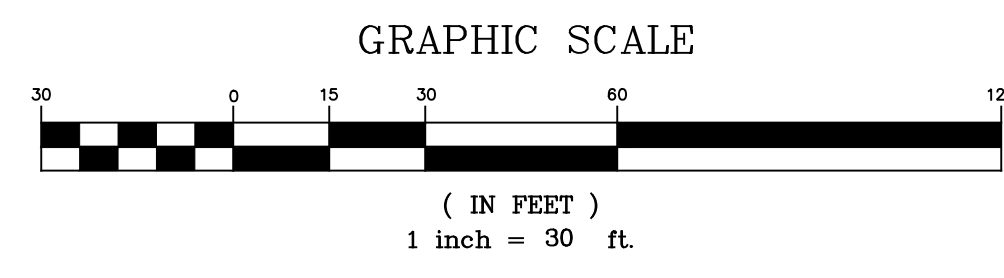
SHEET TITLE

SITE PLAN

DESIGNED BY: PR	SCALE: 1"=30'
DRAWN BY: MJS	DATE: 11-29-23
CHECKED BY: MJS	PROJECT NUMBER: 2790
CAD FILE: R:\2790\DWG	

SEAL SHEET NUMBER

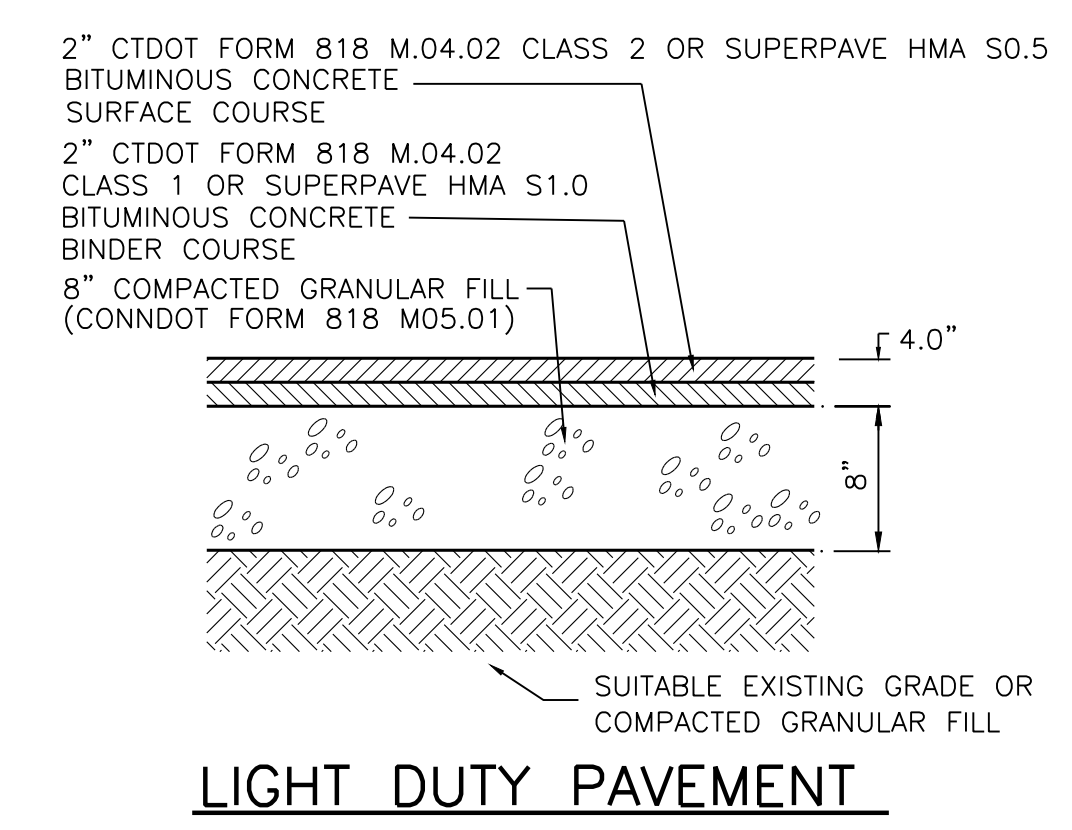
SP-1



MAILBOX CLUSTER

SIGN LEGEND
N.T.S.

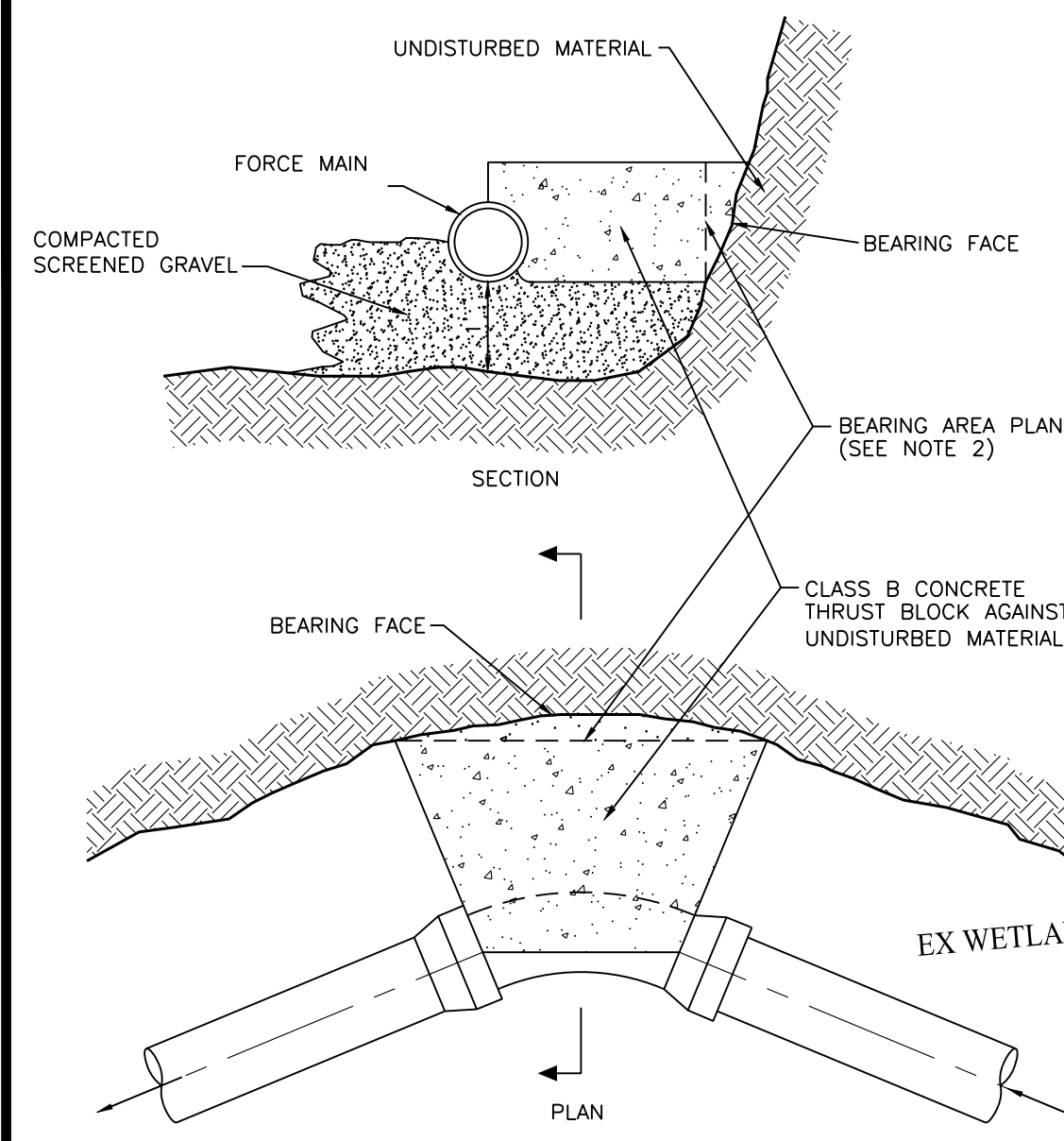
SIZES (IN)	CONN DOT #	SUPPORTS
30"	31-0552	1
12"x18"	31-0629P	1
12"x6"	31-0648	1



LIGHT DUTY PAVEMENT

LEGEND

---	EXISTING EDGE OF PAVEMENT
---	PROPOSED EDGE OF PAVEMENT
---	BITUMINOUS CONCRETE SURFACE COURSE
---	PROPERTY LINE
---	STREAM
---	WETLANDS
□	PROPOSED BUILDING
123.4 x	PROPOSED SPOT ELEVATION
---	EXISTING 2' CONTOUR
---	EXISTING 10' CONTOUR
---	PROPOSED 2' CONTOUR
---	EXISTING CATCH BASIN
---	PROPOSED CATCH BASIN
○	EXISTING MANHOLE
○	PROPOSED MANHOLE
---	EXISTING STORM PIPES
---	PROPOSED STORM PIPES
---	EXISTING SANITARY PIPES
---	PROPOSED SANITARY PIPES



NOTES:
 1. ALL FORCE MAIN BENDS 33 DEGREES AND LARGER SHALL BE BACKED UP WITH A CONCRETE THRUST BLOCK BETWEEN THE PIPE AND UNDISTURBED MATERIAL.
 2. REQUIRED BEARING AREA TO BE CALCULATED ON VERTICAL PLANE 90 DEGREES TO RADIAL PLANE PASSING THROUGH MIDPOINT OF BEND.
 3. MINIMUM BEARING AREA: 2.2 SQ. FT.

FORCE MAIN THRUST BLOCK
N.T.S.

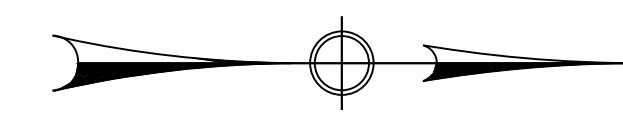
PERCOLATION TEST RESULTS
 Date: 09-22-24
 PERC HOLE No. PT-1

TIME	DEPTH TO WATER
12:08	3"
12:18	6"
12:28	9"
12:38	11"
12:48	13"
12:58	15"
13:08	17"
13:18	19"

RATE: 1" IN 5 MIN

TEST PIT LOGS
 TEST PIT 1
 00 - 12" TOP SOIL
 12" - 24" DARK BROWN SANDY LOAM
 24" - 60" STRATIFIED GRAVELLY COARSE SAND TO VERY GRAVELLY LOAMY SAND
 60" - 72" COURSE LOAMY SAND

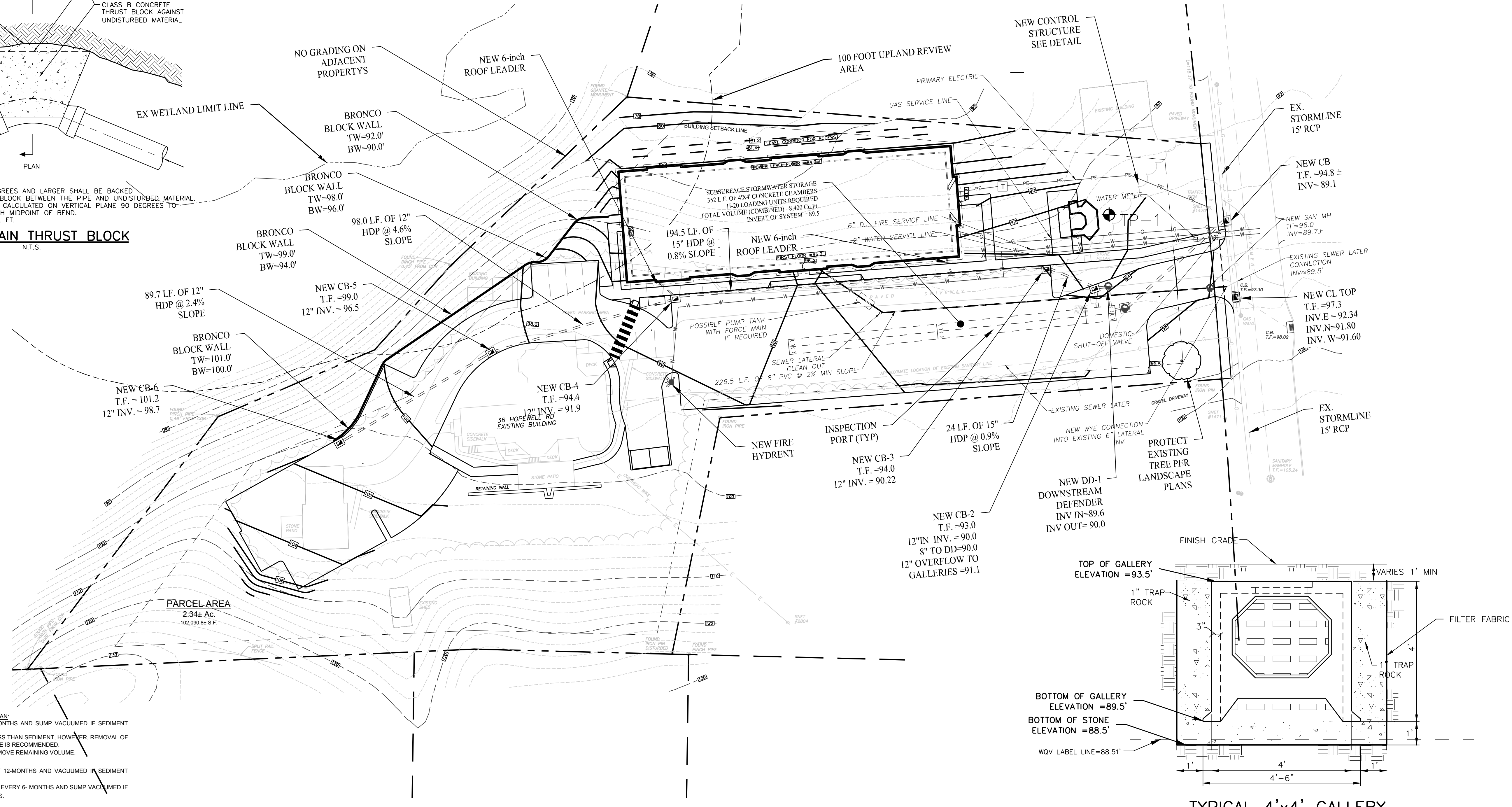
• LEDGE NONE
 • GW NONE
 • MOTTLING NONE
 • ROOTS AT 24
 • RESTRICTIVE LAYER NONE



WATER QUALITY VOLUME COMPUTATION:
 A = 102,366 SF I = 47%
 WQv = (P * Rv * A); Rv = 0.05 + 0.009 * I
 Rv = 0.05 + 0.009 * 47 = 0.473 WATERSHED INCHES
 WQv = (1.3 * 0.473 * 102,366 / 12) = 5,245 CF
 REQUIRED
 Provided = 6,529 CF

ROSE TISO & CO. LLC.
 ARCHITECTS • SURVEYORS • ENGINEERS

WWW.ROSETISO.COM
 35 BRENTWOOD AVENUE, FAIRFIELD, CT 06825
 TEL: (203) 610-6269 • FAX: (203) 610-6404

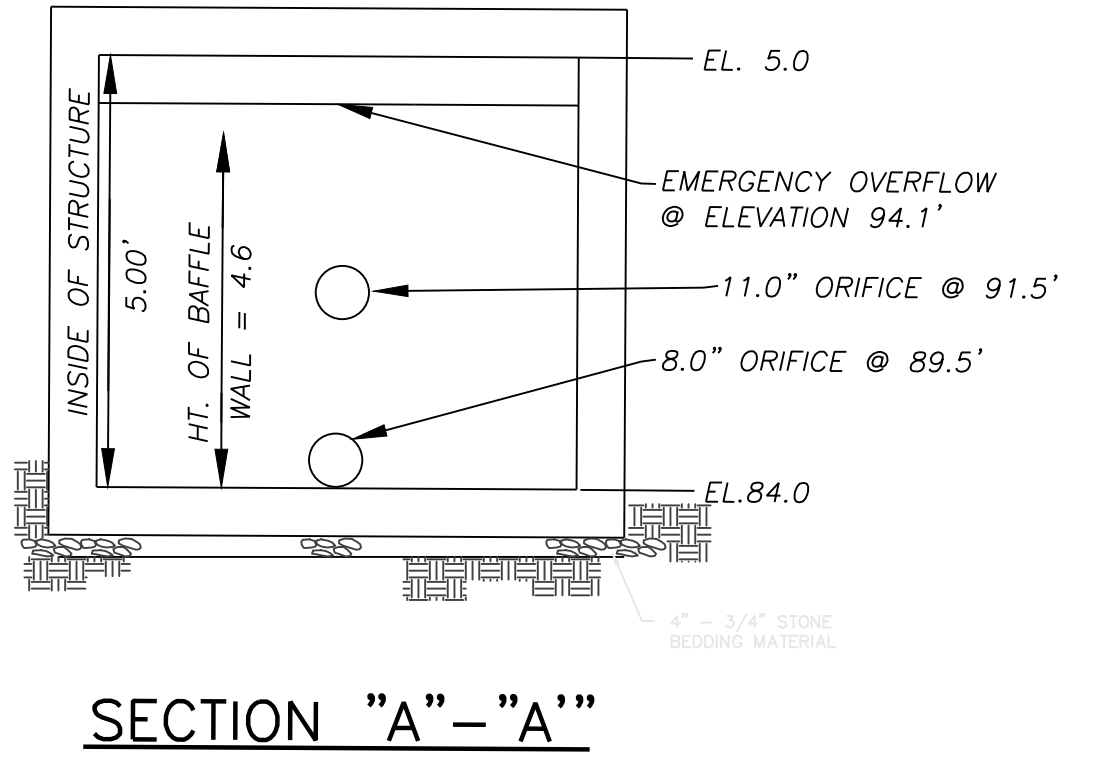
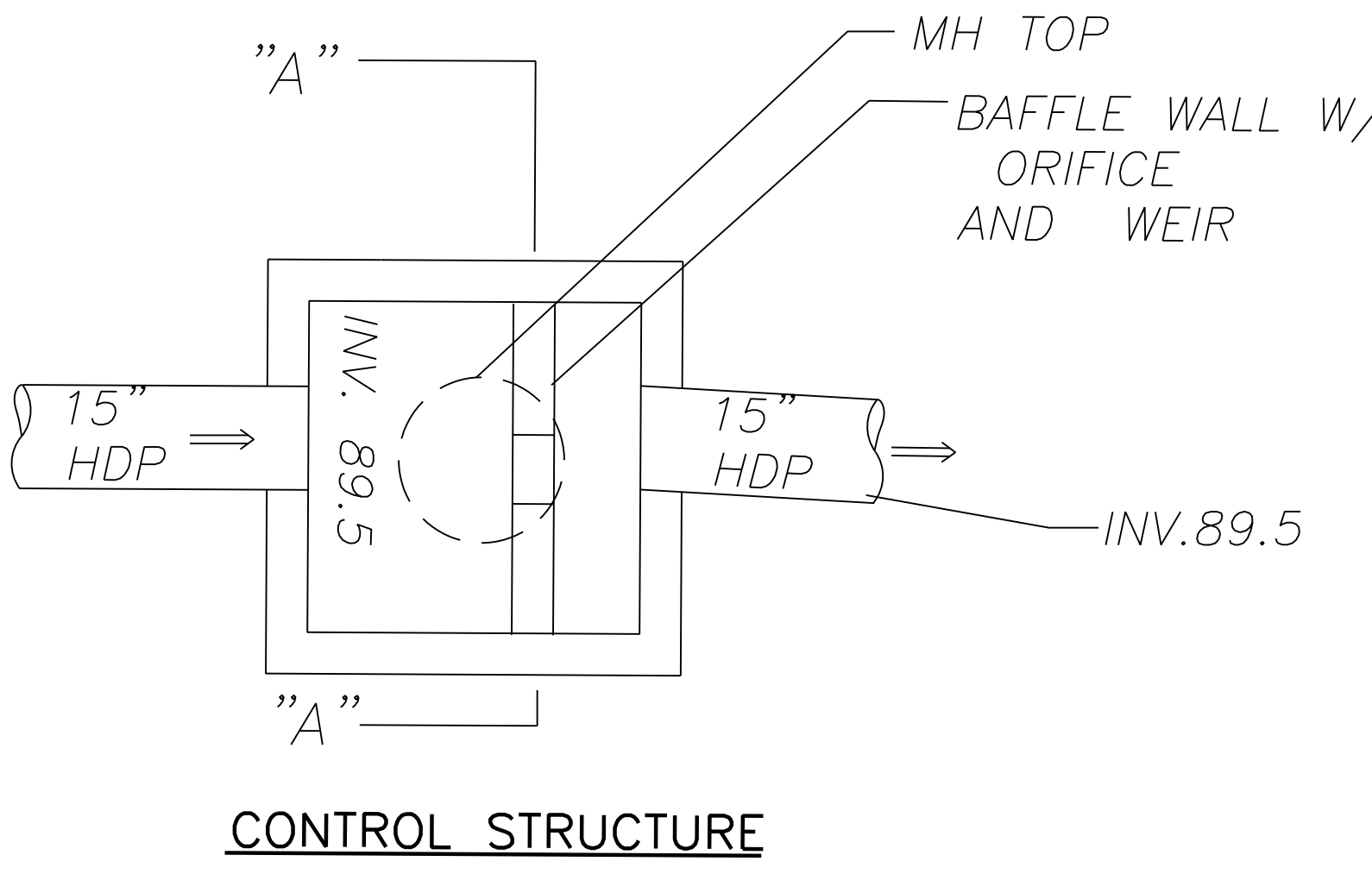
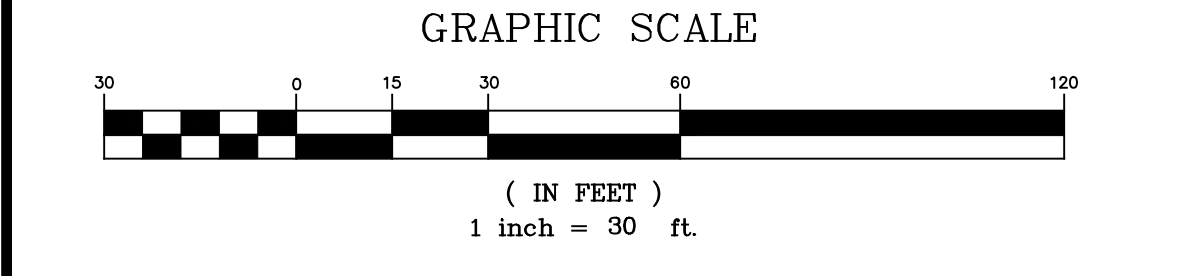


CATCH BASIN INSPECTION & MAINTENANCE PLAN:
 1. UNITS ARE TO BE INSPECTED EVERY 6 MONTHS AND SUMP VACUUMED IF SEDIMENT DEPTH IS GREATER THAN 18 INCHES.
 2. OIL ACCUMULATION IS TYPICALLY MUCH LESS THAN SEDIMENT. HOWEVER, REMOVAL OF OIL AND SEDIMENT DURING THE SAME SERVICE IS RECOMMENDED.
 3. REMOVE FLOATABLES FIRST, AND THEN REMOVE REMAINING VOLUME.

GALLERY INSPECTION & MAINTENANCE PLAN:
 1. GALLERIES ARE TO BE INSPECTED EVERY 12 MONTHS AND VACUUMED IF SEDIMENT DEPTH IS GREATER THAN 12 INCHES.
 2. SITE CATCH BASINS ARE TO BE INSPECTED EVERY 6 MONTHS AND SUMP VACUUMED IF SEDIMENT DEPTH IS GREATER THAN 12 INCHES.

REASONABLE PARTY
 FOR MAINTENANCE OF DRAINAGE AND E&S STRUCTURES IS SAL MORELLO PHONE # 860-874-6451

- NOTES:**
- ALL ROOF DRAINS AND SANITARY PIPES DISCHARGE PIPING SHALL BE MIN 4" PVC PLASTIC PIPE (ASTM D 3034) SDR-35 WITH RUBBER GASKETS, BELL AND SPIGOT TYPE.
 - ALL PERFORATED DISTRIBUTION PIPES WITHIN GALLERIES SHALL BE 4" PERFORATED PVC PLASTIC PIPE (ASTM D 2729) WITH BELL AND SPIGOT, NO GASKET.
 - ALL SITE CONSTRUCTION SHALL CONFORM TO THE TOWN OF GLASTONBURY STANDARD SPECIFICATIONS OR IN THE ABSENCE THEREOF TO THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION FORM 818.
 - THE CONTRACTOR SHALL NOTIFY THE TOWN OF GLASTONBURY ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, SANITARY SEWER INSTALLATION, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, OR ANY EXCAVATION IN THE TOWN RIGHT-OF-WAY TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:00 AM-4:30 PM MONDAY THRU FRIDAY AT (860) 652-7735.



TYPICAL 4'x4' GALLERY
N.T.S.

LEGEND

	EXISTING EDGE OF PAVEMENT
	PROPOSED EDGE OF PAVEMENT
	PROPERTY LINE
	STREAM
	WETLANDS
	PROPOSED BUILDING
	PROPOSED SPOT ELEVATION
	EXISTING 2' CONTOUR
	EXISTING 10' CONTOUR
	PROPOSED 2' CONTOUR
	EXISTING CATCH BASIN
	PROPOSED CATCH BASIN
	EXISTING MANHOLE
	PROPOSED MANHOLE
	EXISTING STORM PIPES
	PROPOSED STORM PIPES
	EXISTING SANITARY PIPES
	PROPOSED SANITARY PIPES
	PROPOSED GRADE TO DRAIN
	TEST PIT LOCATION

REVISIONS

NO.	BY	DATE	DESCRIPTION
1	MJS	09-30-24	ENGINEERING COMMENTS
2	MJS	10-03-24	BUILDING REVISION

PROJECT TITLE

HOPEWELL CROSSING

32 & 36 HOPEWELL ROAD

GLASTONBURY, CONNECTICUT

Prepared For:
MORELLO REALTY, LLC

SHEET TITLE

GRADING & UTILITIES PLAN

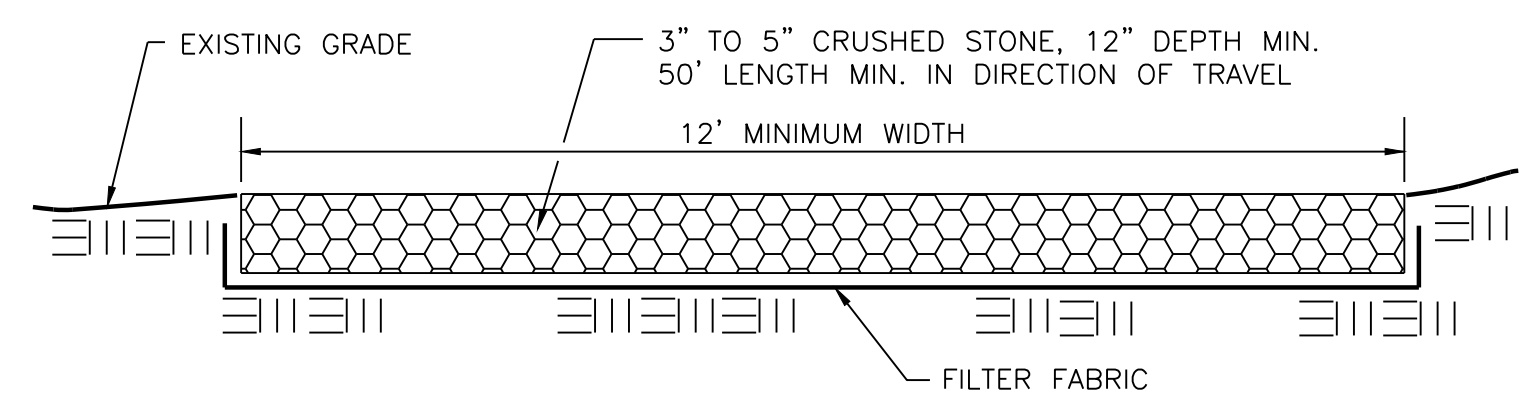
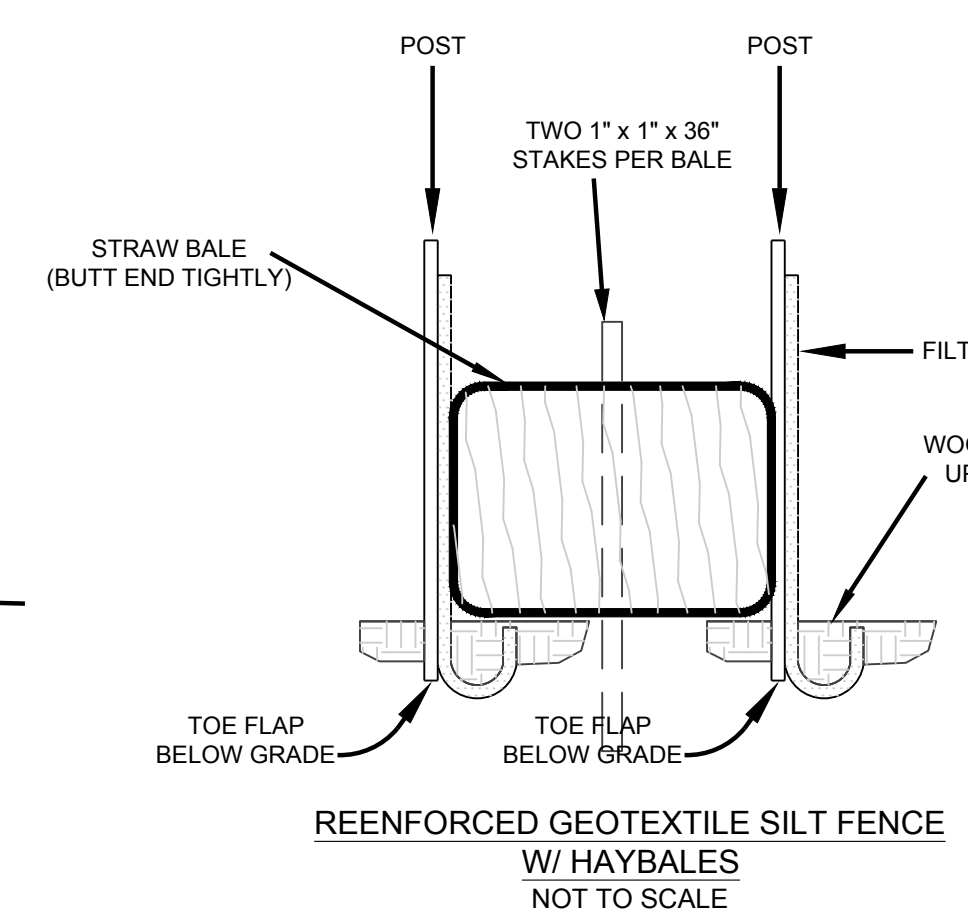
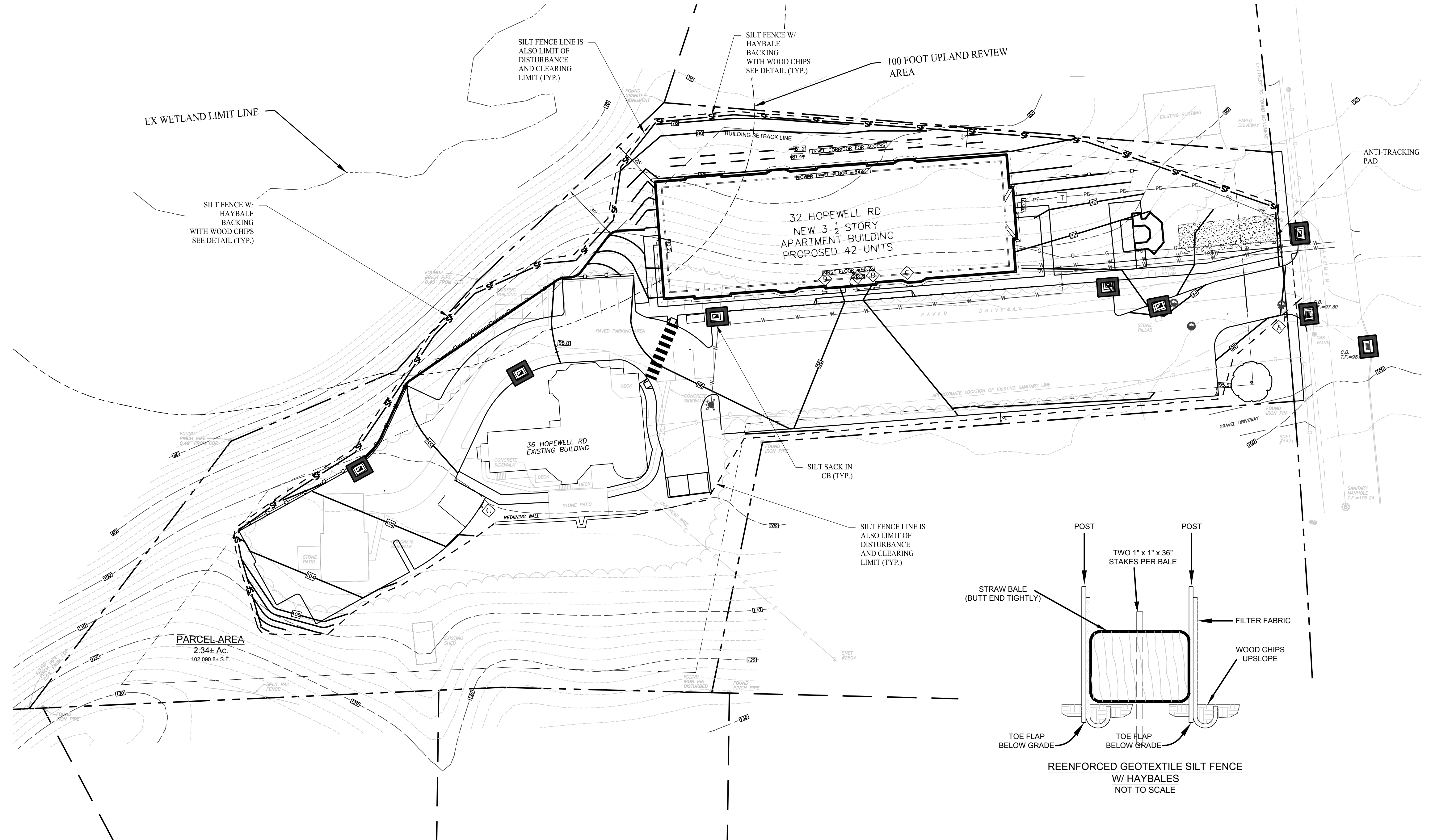
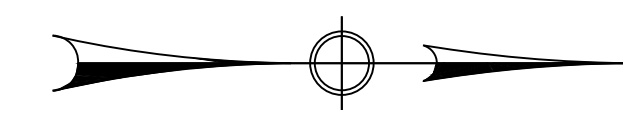
DESIGNED BY: PR	SCALE: 1"=30'
DRAWN BY: MJS	DATE: 11-29-23
CHECKED BY: MJS	PROJECT NUMBER: 2790
CAD FILE: R:\2790\DWG	

SEAL

SHEET NUMBER
SP-2

GENERAL NOTES

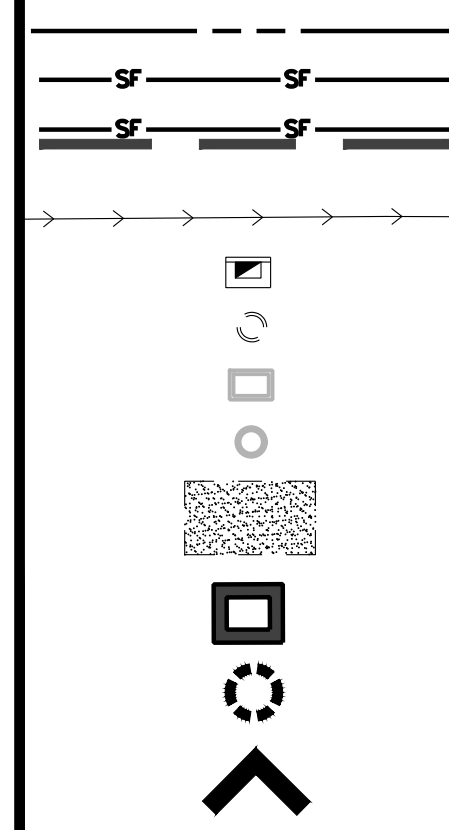
1. THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND SHALL NOT BE USED FOR CONSTRUCTION.
2. DO NOT SCALE DRAWING. DIMENSIONS GOVERN OVER SCALED DIMENSIONS.
3. ALL NOTES AND DIMENSIONS LABELED "TYP." APPLY TO ALL LIKE OR SIMILAR CONDITIONS THROUGHOUT THE PLAN SET.
4. THE CONTRACTOR SHALL NOTIFY THE TOWN OF GLASTONBURY ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, SANITARY SEWER INSTALLATION, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, OR ANY EXCAVATION IN THE TOWN RIGHT-OF-WAY TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:00 AM-4:30 PM MONDAY THRU FRIDAY AT (860) 652-7735.



THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC REPLACEMENT OF STONE AND/OR ADDITIONAL APRON LENGTH. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF WAY MUST BE REMOVED IMMEDIATELY.

ANTI-TRACKING APRON
N.T.S.

LEGEND



- PROPERTY LINES
- FILTER FABRIC FENCE
- FILTER FABRIC FENCE W/ HAY BALES
- DIVERSION SWALE
- PROPOSED CATCH BASIN
- PROPOSED MANHOLE
- EXISTING CATCH BASIN
- EXISTING MANHOLE
- ANTI-TRACKING APRON
- SILTSACK @ CATCH BASINS
- SILTSACK @ MANHOLES
- HAYBALE CHECKDAMN

EROSION CONTROL NOTES

LAND DISTURBANCE WILL BE KEPT TO A MINIMUM; RESTABILIZATION WILL BE SCHEDULED

HAY BALE AND/OR FABRIC FILTERS WILL BE INSTALLED AT ALL CULVERT OUTLETS AND ALONG THE TOE OF ALL CRITICAL CUT AND FILL SLOPES.

CATCH BASINS WILL BE PROTECTED WITH HAY BALE FILTERS THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED.

ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE "CONNECTICUT GUIDELINES FOR SOIL EROSION

EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED PRIOR TO CONSTRUCTION.

ALL EROSION CONTROL MEASURES WILL BE MAINTAINED DURING THE CONSTRUCTION PERIOD.

ADDITIONAL CONTROL MEASURES WILL BE INSTALLED DURING THE CONSTRUCTION PERIOD IF SEDIMENT REMOVED FROM CONTROL STRUCTURES WILL BE DISPOSED OF IN A MANNER WHICH IS CONSISTENT WITH THE INTENT OF THE PLAN.

THE CONTRACTOR IS ASSIGNED THE RESPONSIBILITY FOR IMPLEMENTING THIS EROSION AND SEDIMENT CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN AND FOR CONVEYING A COPY OF THE EROSION AND SEDIMENT CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED. NOTIFY AUTHORIZED CITY AGENT 48 HOURS IN ADVANCE PRIOR TO START OF ANY PHASE OF SEDIMENT CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE

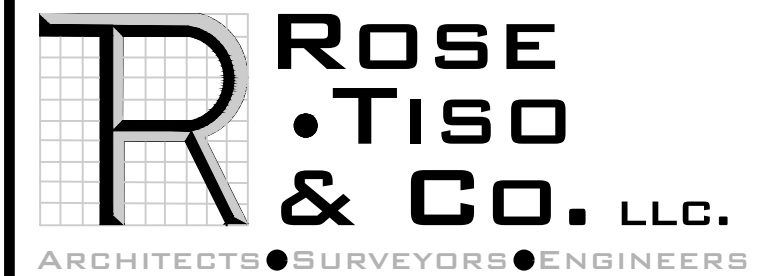
EROSION CONTROL NARRATIVE

THE PROPOSED DEVELOPMENT WILL CONSIST OF THE CREATION OF TWO RESIDENTIAL APARTMENT BUILDINGS, AND WILL INCLUDE THE INSTALLATION OF ALL DRAINAGE STRUCTURES. THE SITE IS LOCATED AT 36 HOPEWELL RD IN GLASTONBURY, CT.

PROJECT START DATE SUMMER 2025
PROJECT COMPLETION DATE WINTER 2026

CONSTRUCTION SEQUENCE
INSTALL ALL EROSION CONTROL MEASURES TO THE EXTENT POSSIBLE IN THE FOLLOWING ORDER.

1. INSTALL SILT FENCE BEFORE ANY CONSTRUCTION.
2. INSTALL ANTI-TRACKING PAD, DOWNSTREAM DEFENDERS, DRAINAGE STRUCTURES/SYSTEM AND THERE ASSOCIATED PROTECTION.
3. ROUGH GRADE AS REQUIRED FOR CONSTRUCTION OF BUILDING AND RAMP. EXCESS FILL TO BE REMOVED FROM SITE.
4. INSTALL CURBING, SIDEWALKS, AND BITUMINOUS PAVEMENT AS SHOWN ON THE PLAN.
5. SPREAD TOPSOIL AND STABILIZE WITH SEED AS SOON AS POSSIBLE.
6. INSTALL LANDSCAPING AS SHOWN ON THE PLAN.
7. REMOVE ALL EROSION AND SEDIMENTATION CONTROL MEASURES ONCE BUILDING HAS BEEN COMPLETED AND SITE IS STABILIZED WITH VEGETATED COVER.
8. CLEAN-UP.



WWW.ROSETISO.COM
35 BRENTWOOD AVENUE, FAIRFIELD, CT 06825
TEL: (203) 10-6262 • FAX: (203) 10-6404

REVISIONS				
NO.	BY	DATE	REVISIONS	DESCRIPTION
1	MJS	09-30-24	ENGINEERING COMMENTS	
2	MJS	10-03-24	BUILDING REVISION	

PROJECT TITLE

HOPEWELL CROSSING

32 & 36 HOPEWELL ROAD

GLASTONBURY, CONNECTICUT

Prepared For:

MORELLO REALTY, LLC

SHEET TITLE

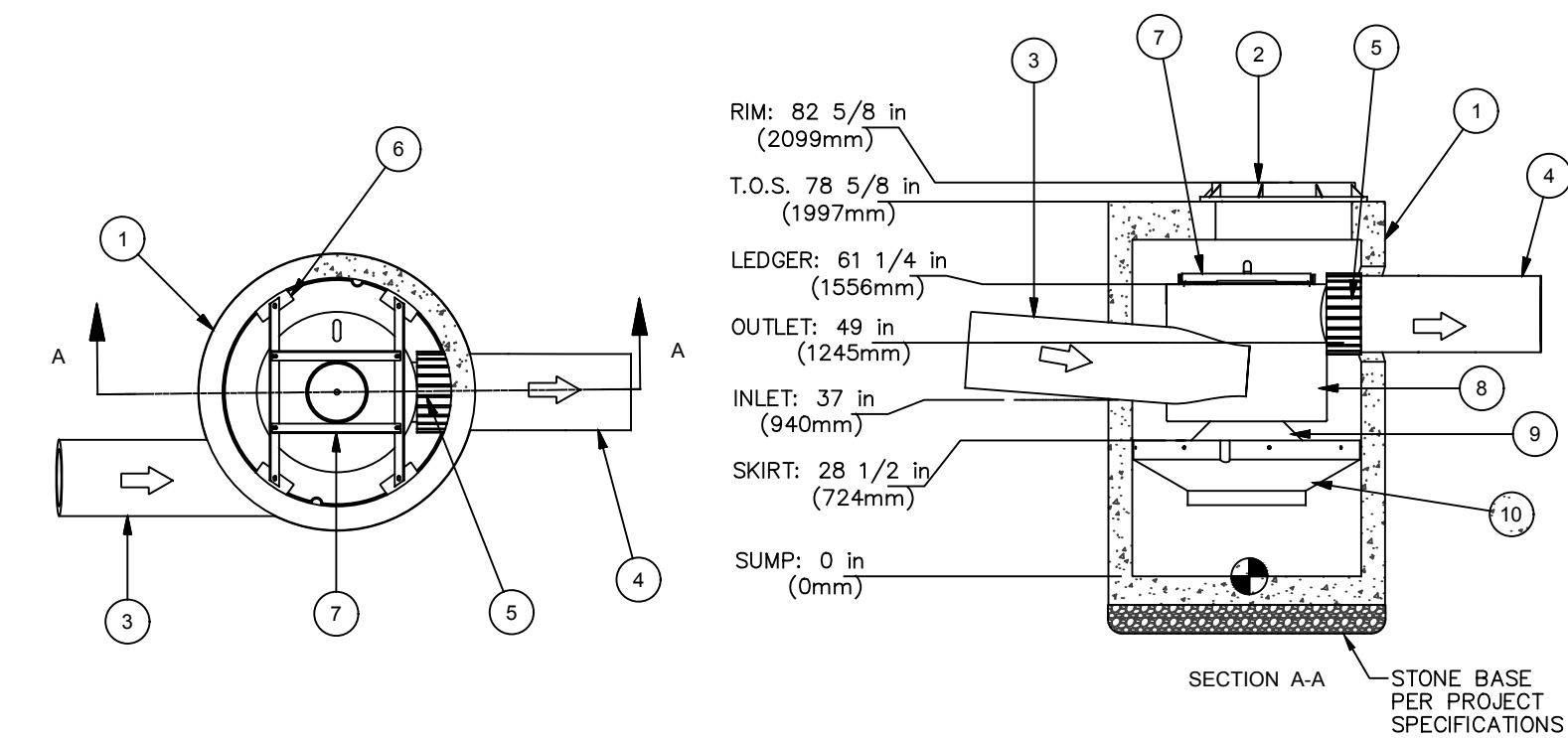
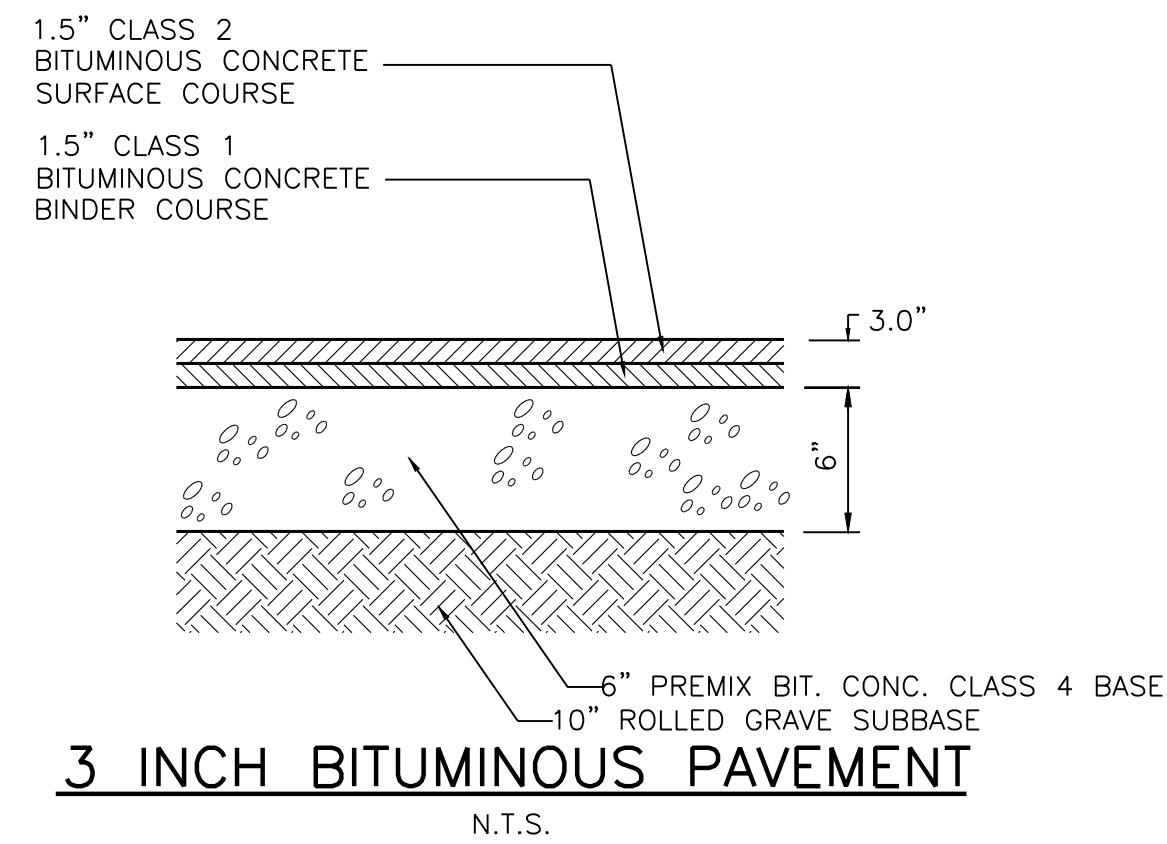
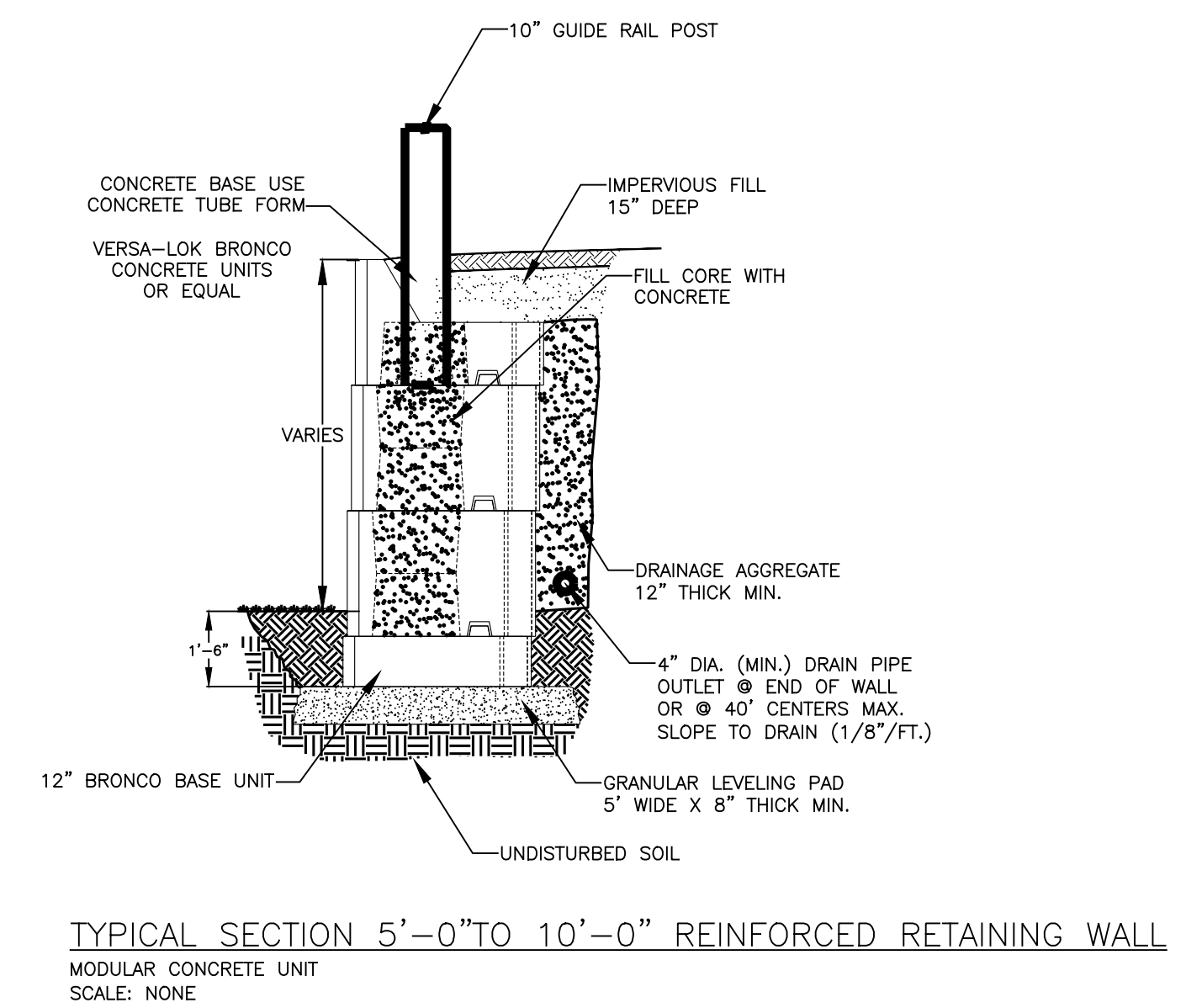
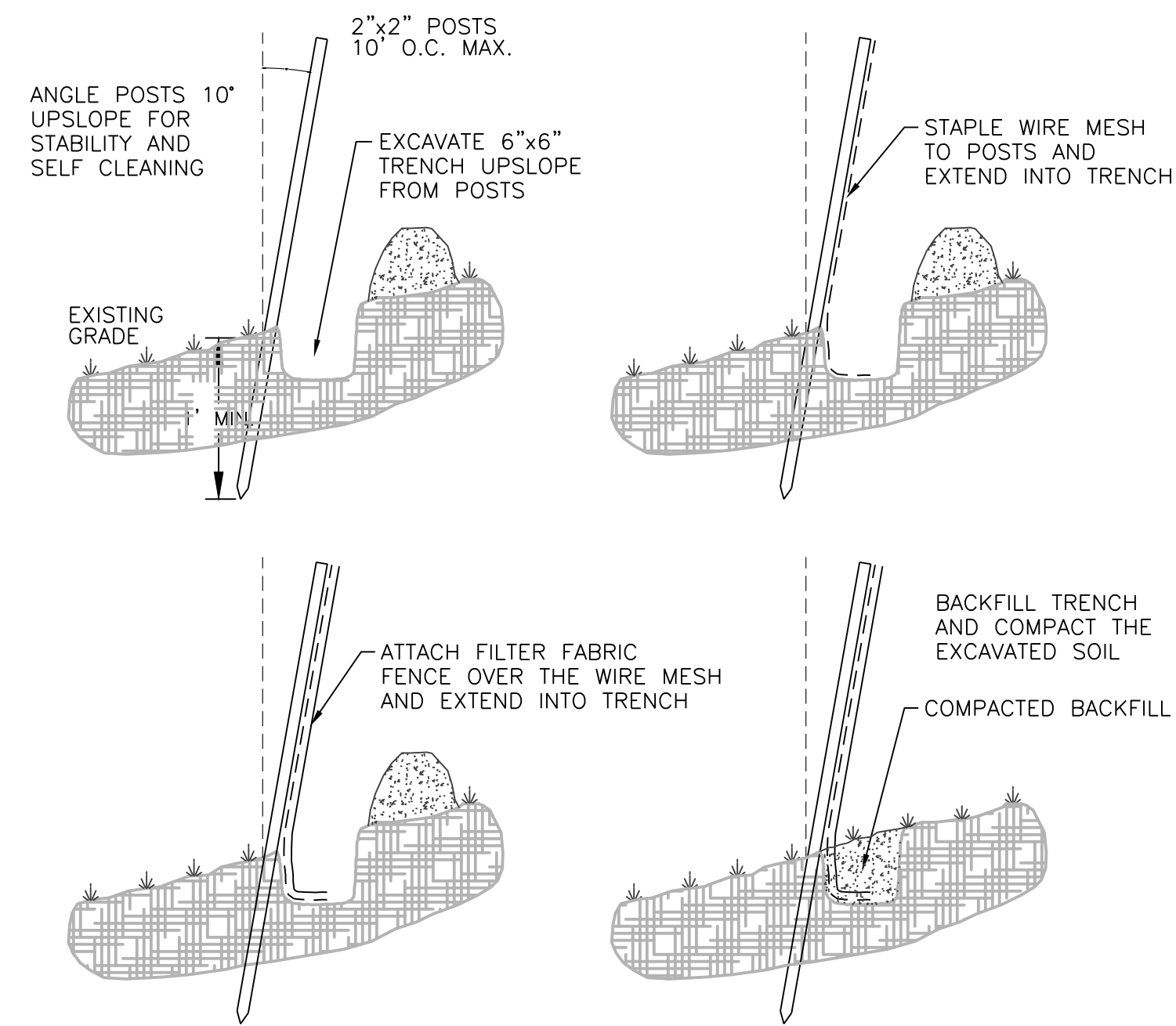
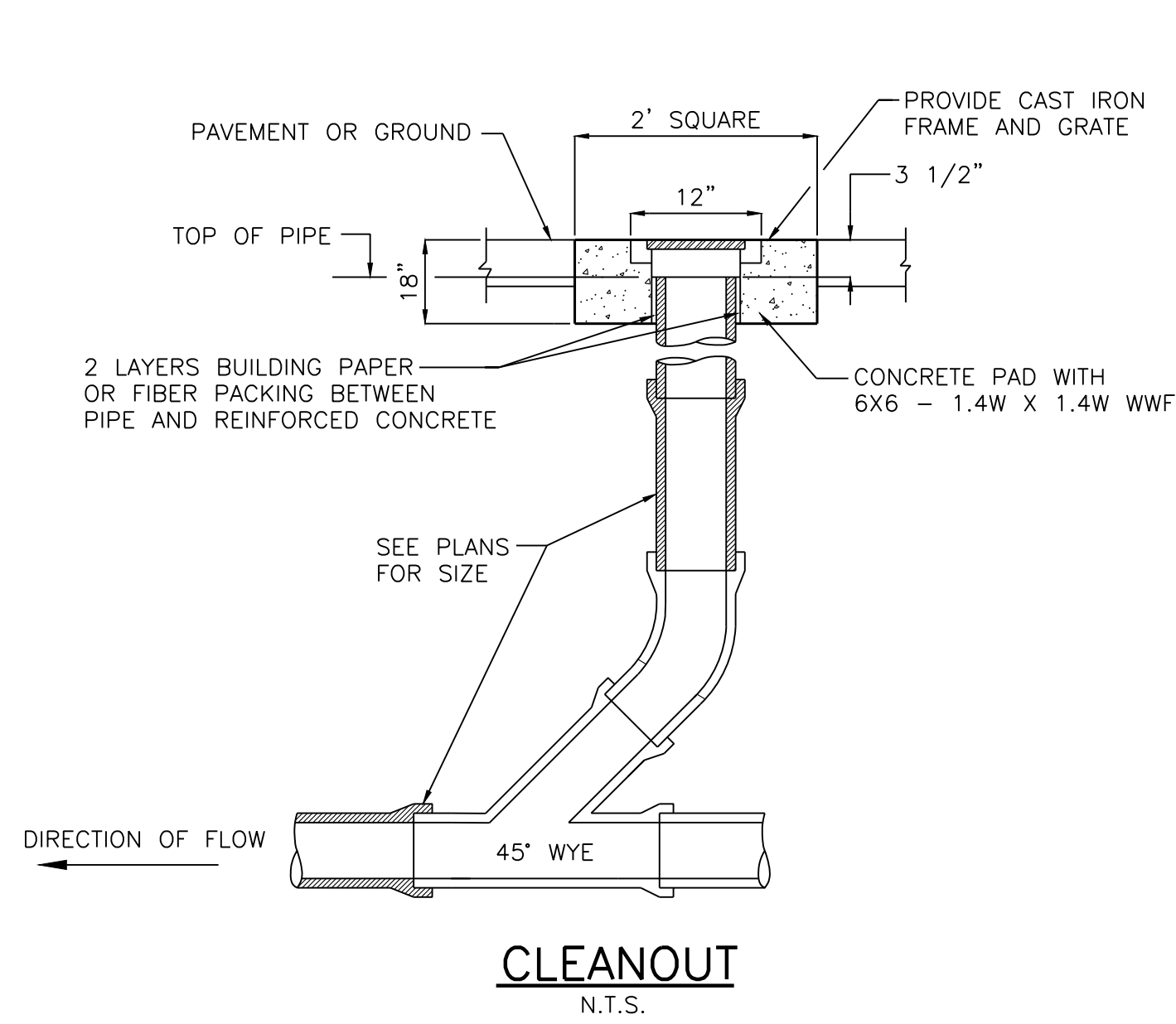
EROISION CONTROL PLAN

DESIGNED BY: PR	SCALE: 1"=30'
DRAWN BY: MJS	DATE: 11-29-23
CHECKED BY: MJS	PROJECT NUMBER: 2790
CAD FILE: R:\2790\DWG	

SEAL

SHEET NUMBER

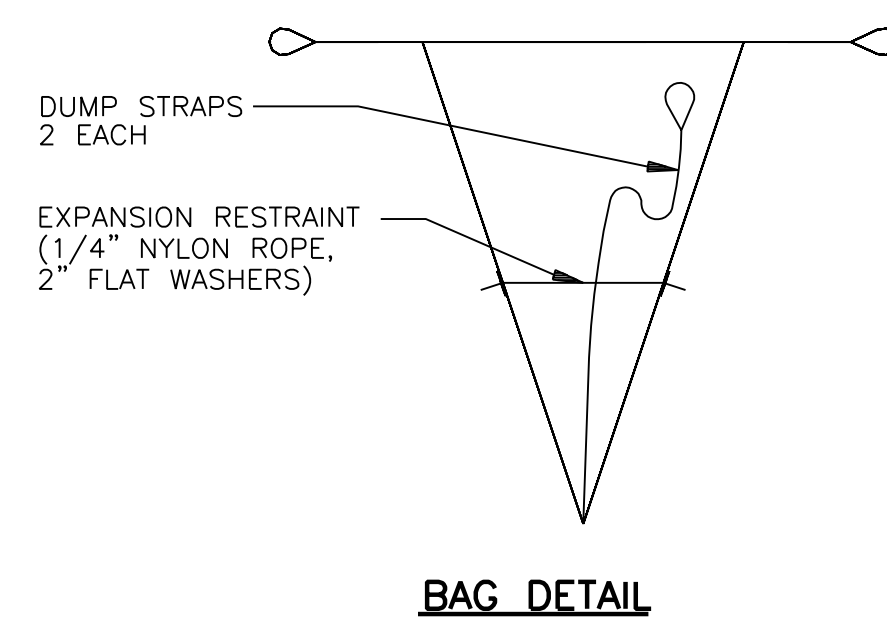
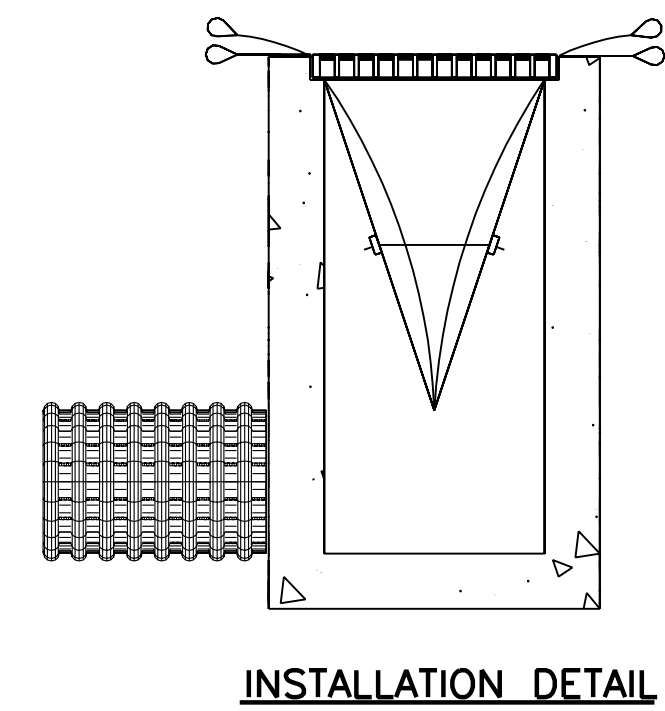
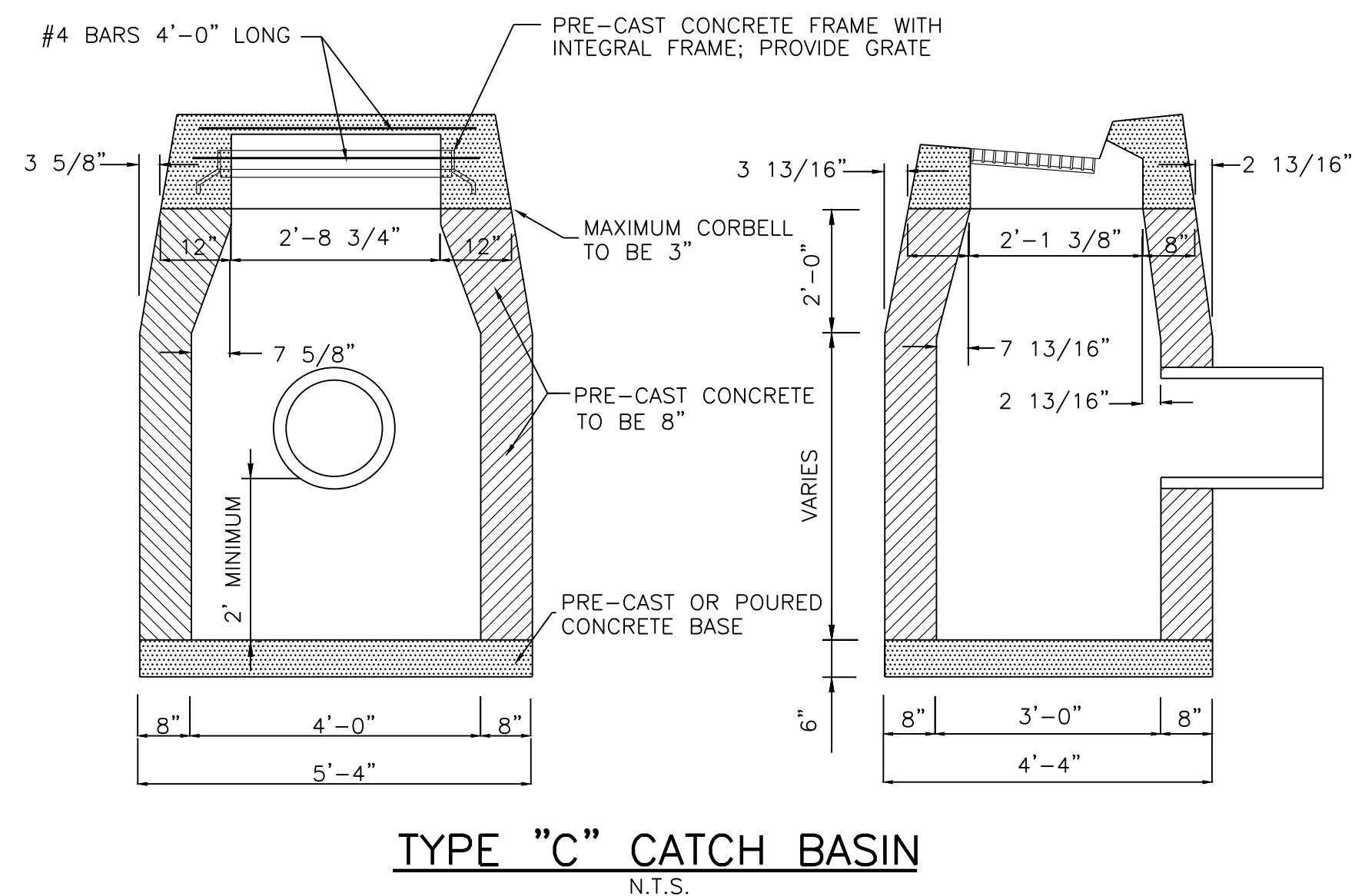
SP-3



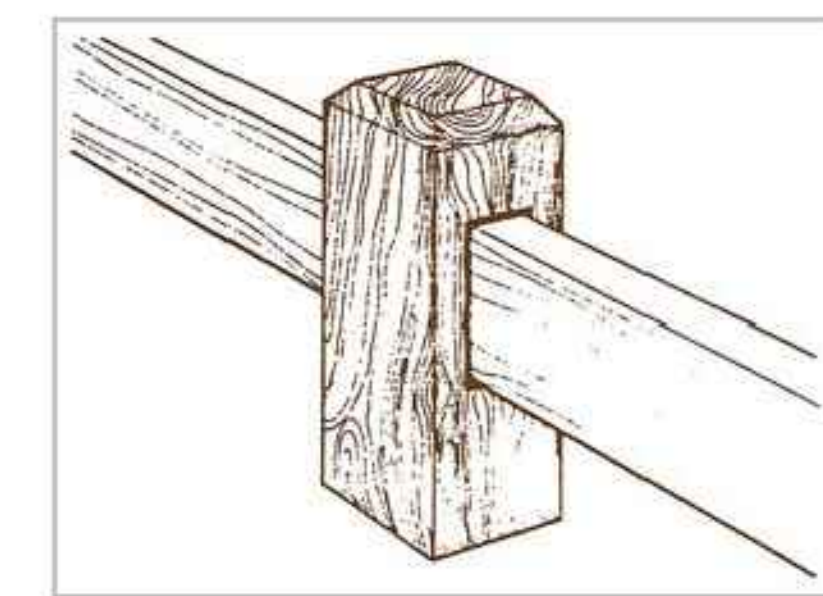
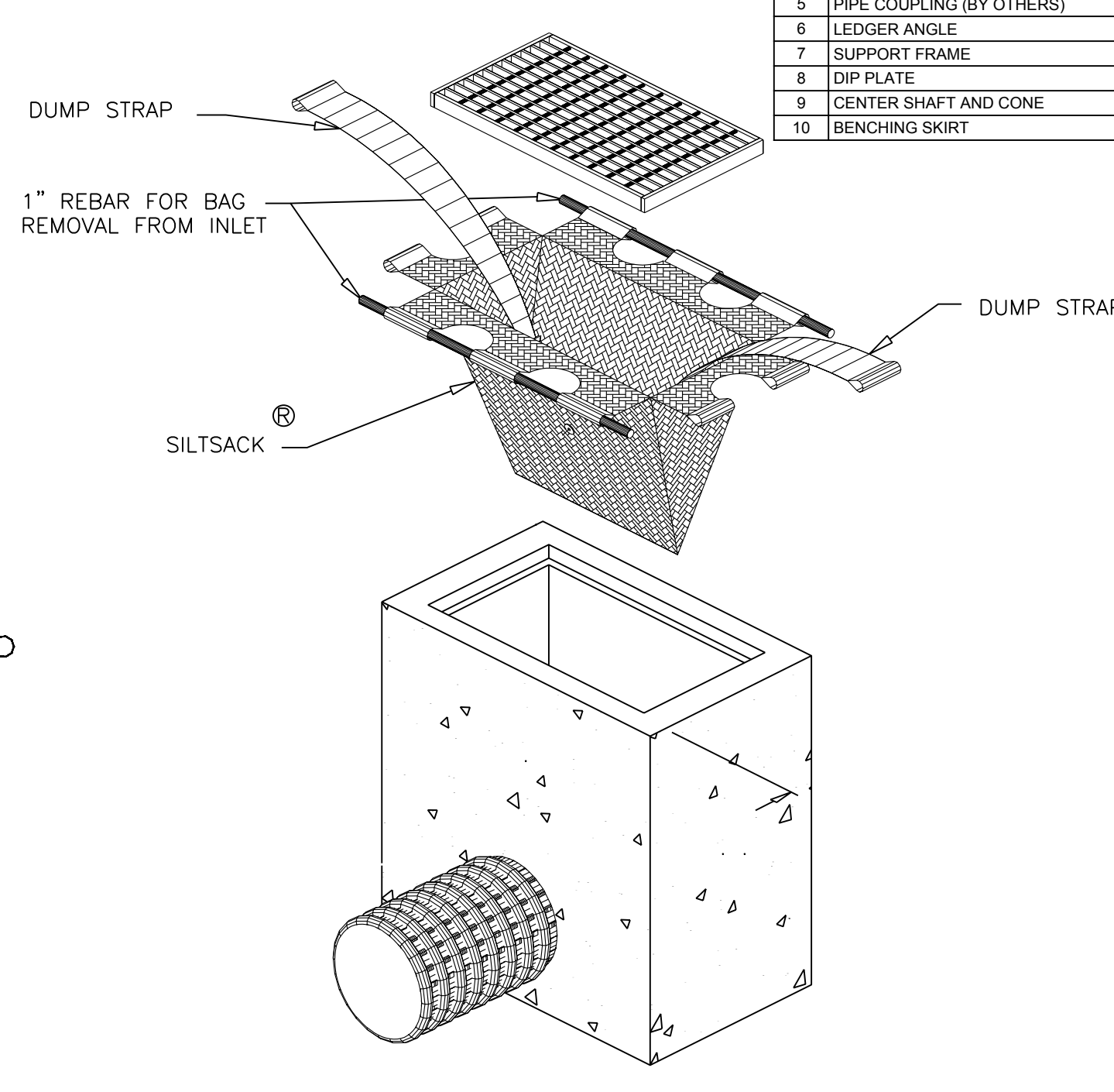
4 FT DOWNSTREAM DEFENDER CAPACITIES:

Parts List		
ITEM	DESCRIPTION	SIZE
1	PRECAST MANHOLE (BY HYDRO VIA PRECASTER)	48 in
2	FRAME AND COVER	30 in
3	INLET PIPE (BY OTHERS)	12 in
4	OUTLET PIPE (BY OTHERS)	12 in
5	PIPE COUPLING (BY OTHERS)	
6	LEDGER ANGLE	
7	SUPPORT FRAME	
8	DIP PLATE	
9	CENTER SHAFT AND CONE	
10	BENCHING SKIRT	

ADDITIONAL DESIGN INFORMATION:
1. The outlet pipe stub (not shown) is a roto-molded product with an I.D. of 12 in. that cannot be modified. To avoid the use of a reducer or expander on the outlet a 12 in. outlet pipe should be used if possible. The orientation of the outlet pipe can be adjusted to suit site conditions.
2. Maximum pipe size is 12 in. The inlet pipe invert should be placed one inlet pipe diameter below the outlet pipe invert. The I.D. of the inlet pipe should be placed tangent to the I.D. of the manhole. The orientation of the inlet pipe can be adjusted to suit site conditions. Headloss at 3.0 cfs with a 12 in. inlet: 8 in. (203 mm). Headloss will increase with smaller inlet pipes.
3. Sediment shall be stored in a zone that is isolated from the main flow path and protected from re-entrainment by the benching skirt.
4. Dimensions are general and intended for guidance only.



SILTSACK DETAIL
N.T.S.



Wood Guard Rail Posts are 10" x 10" x 54" Southern Yellow Pine .40 CCA Treated. Rails are 4" x 8" 10" Southern Yellow Pine .40 CCA Treated.
GUIDE RAIL
SCALE: 1/2"=1'-0"

REVISIONS			
NO.	BY	DATE	DESCRIPTION
1	MJS	09-30-24	ENGINEERING COMMENTS
2	MJS	10-03-24	BUILDING REVISION

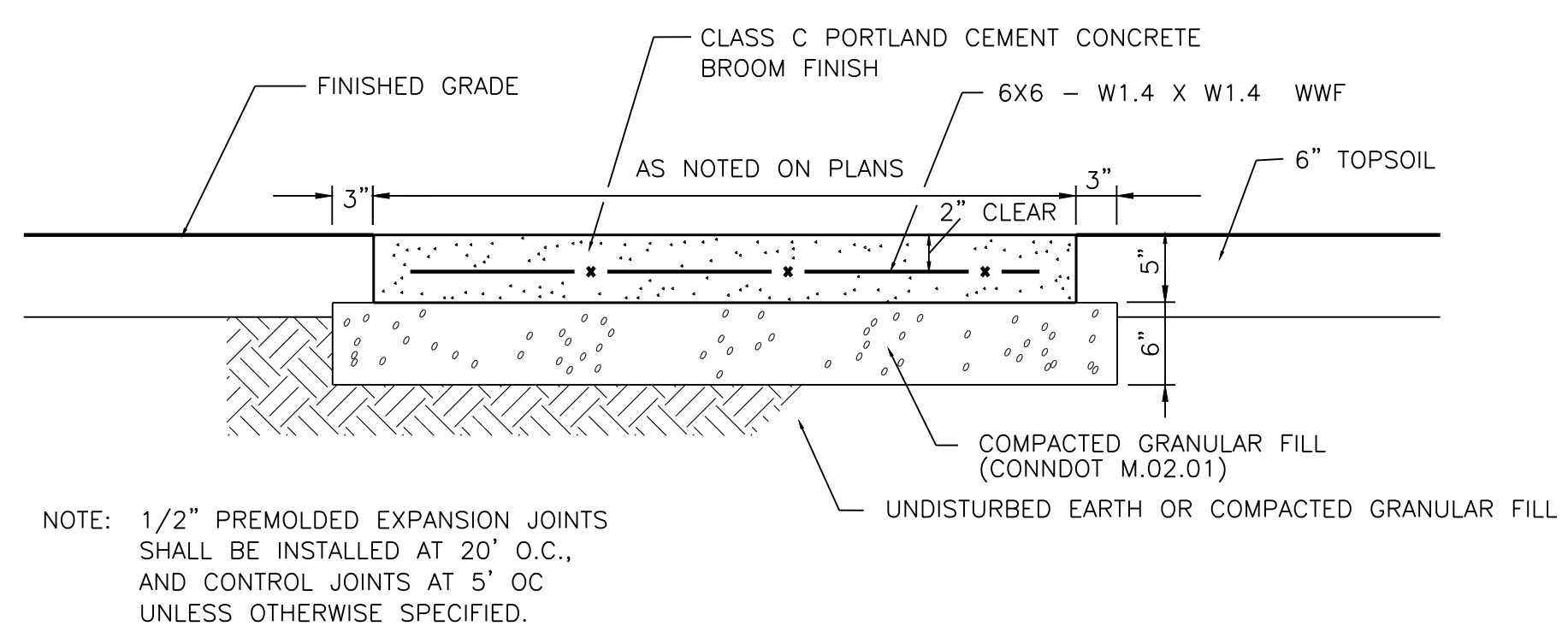
PROJECT TITLE
HOPEWELL CROSSING
32 & 36 HOPEWELL ROAD
GLASTONBURY, CONNECTICUT

Prepared For:
MORELLO REALTY, LLC

SHEET TITLE
DETAILS

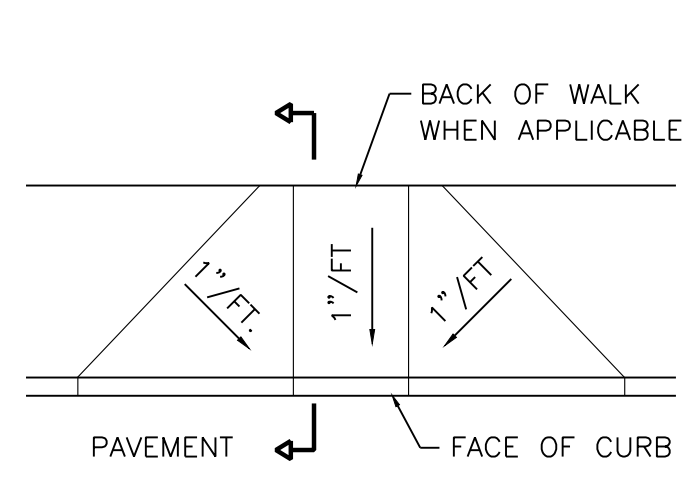
DESIGNED BY: PR	SCALE: 1"=30'
DRAWN BY: MJS	DATE: 11-29-23
CHECKED BY: MJS	PROJECT NUMBER: 2790
CAD FILE: R:\2790\DWG	

SEAL
STATE OF CONNECTICUT
SP-4
SHEET NUMBER



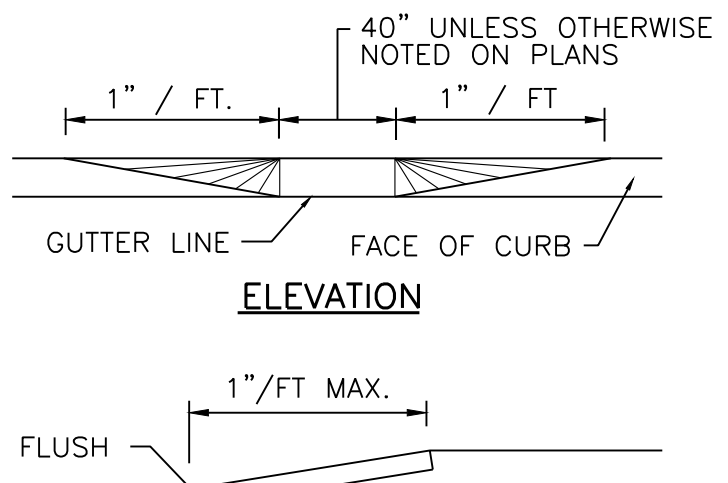
CONCRETE WALK
N.T.S.

NOTE: 1/2" PREMOLED EXPANSION JOINTS SHALL BE INSTALLED AT 20' O.C., AND CONTROL JOINTS AT 5' O.C. UNLESS OTHERWISE SPECIFIED.

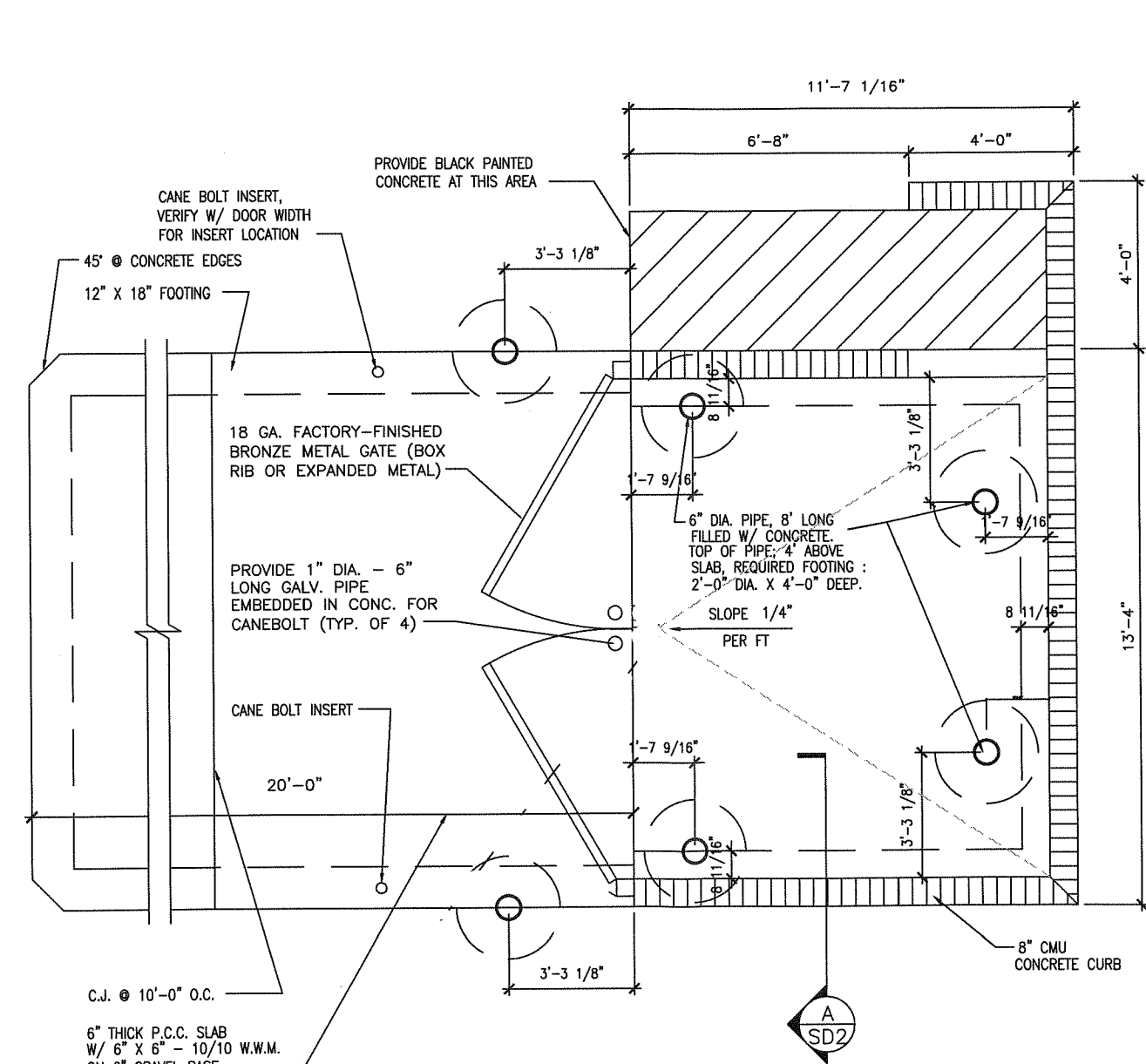


HANDICAP RAMP
N.T.S.

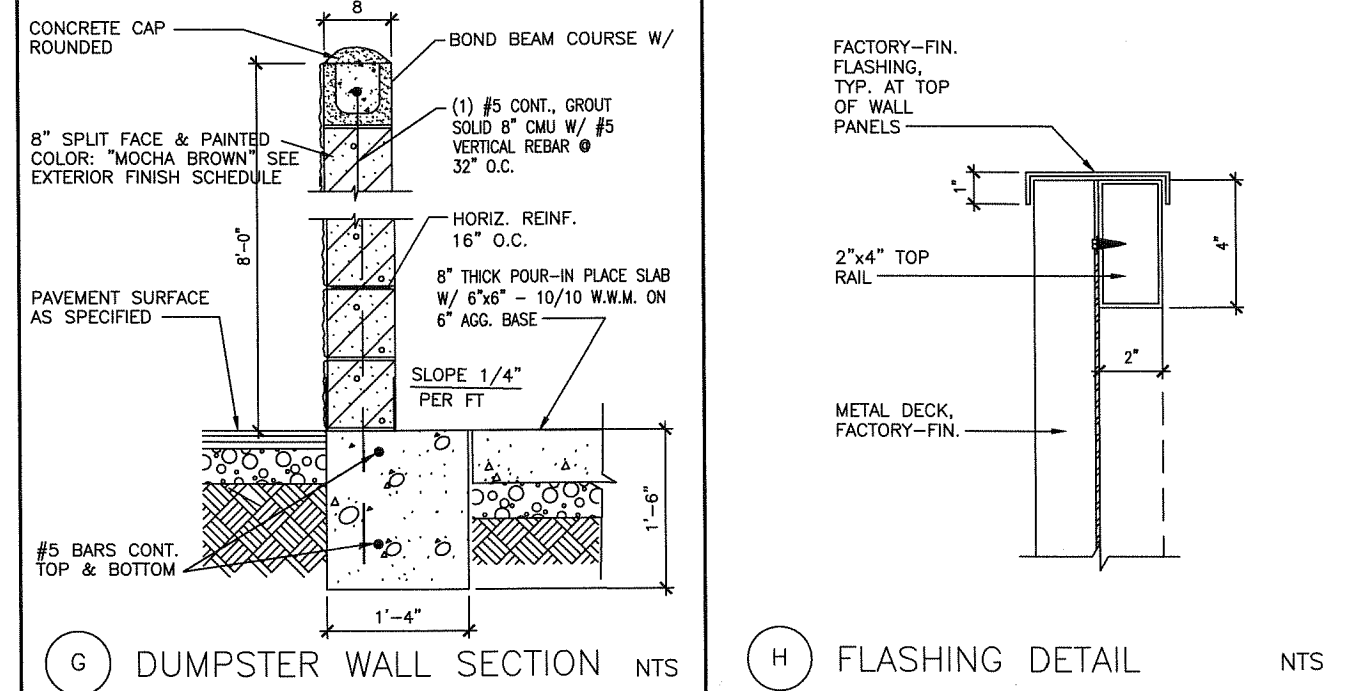
NOTE: SEE CONCRETE WALK DETAIL FOR FURTHER SECTION INFORMATION.



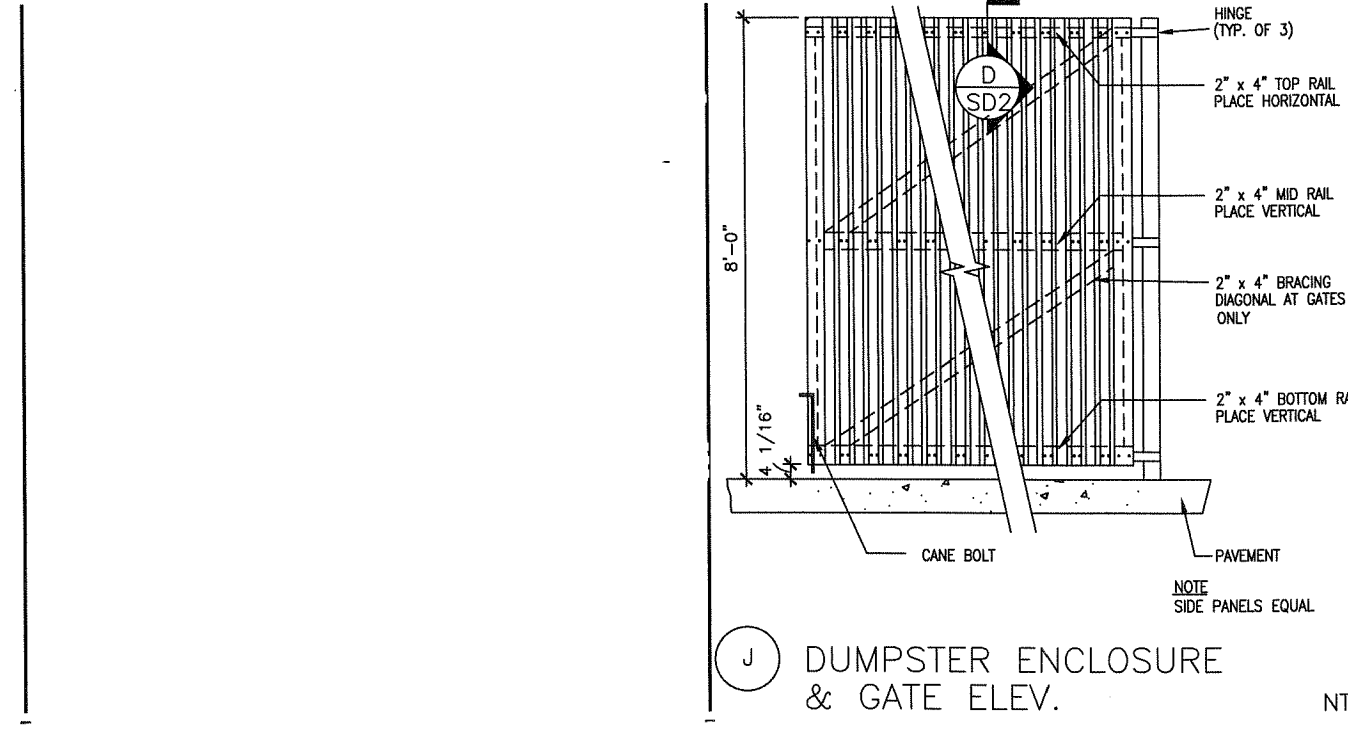
SECTION



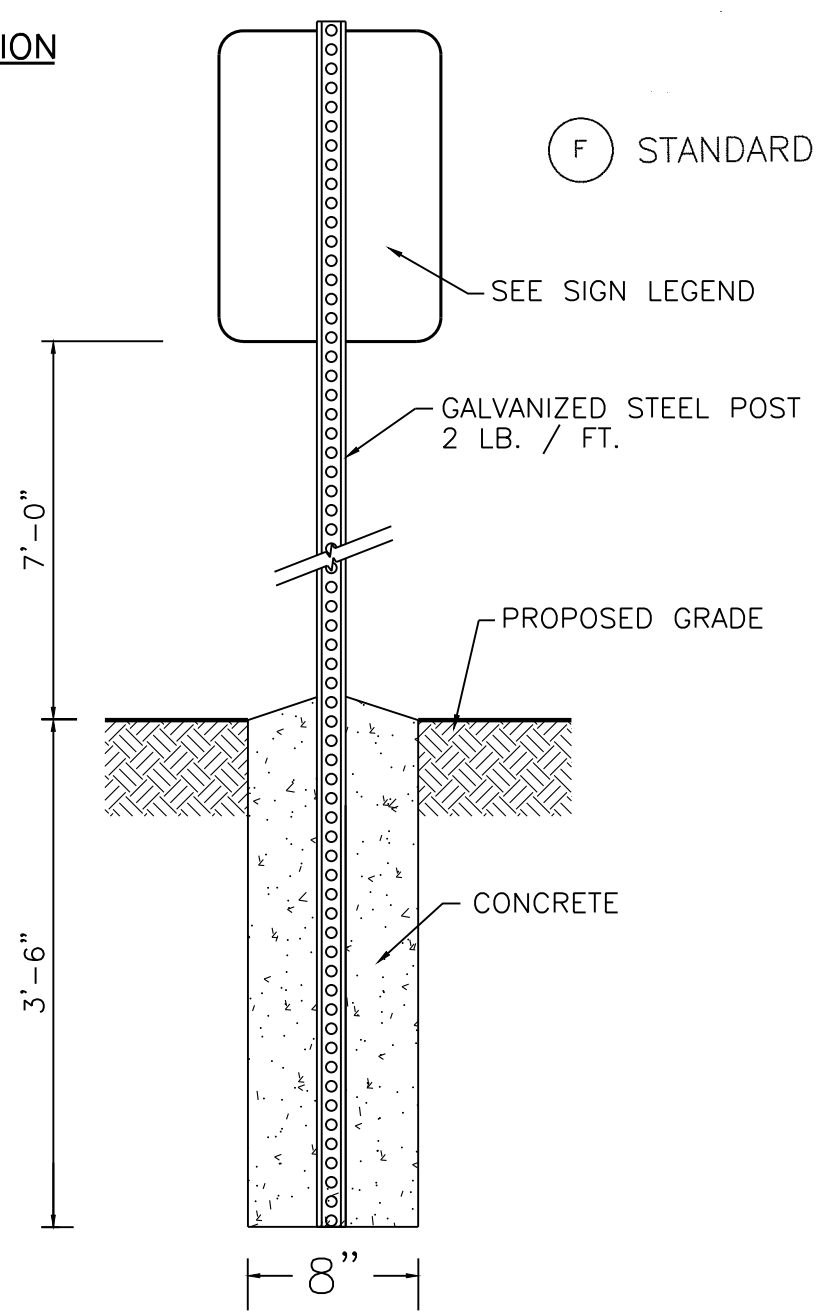
STANDARD DUMPSTER ENCLOSURE
3/8"=1'-0"



DUMPSTER WALL SECTION NTS
FLASHING DETAIL NTS

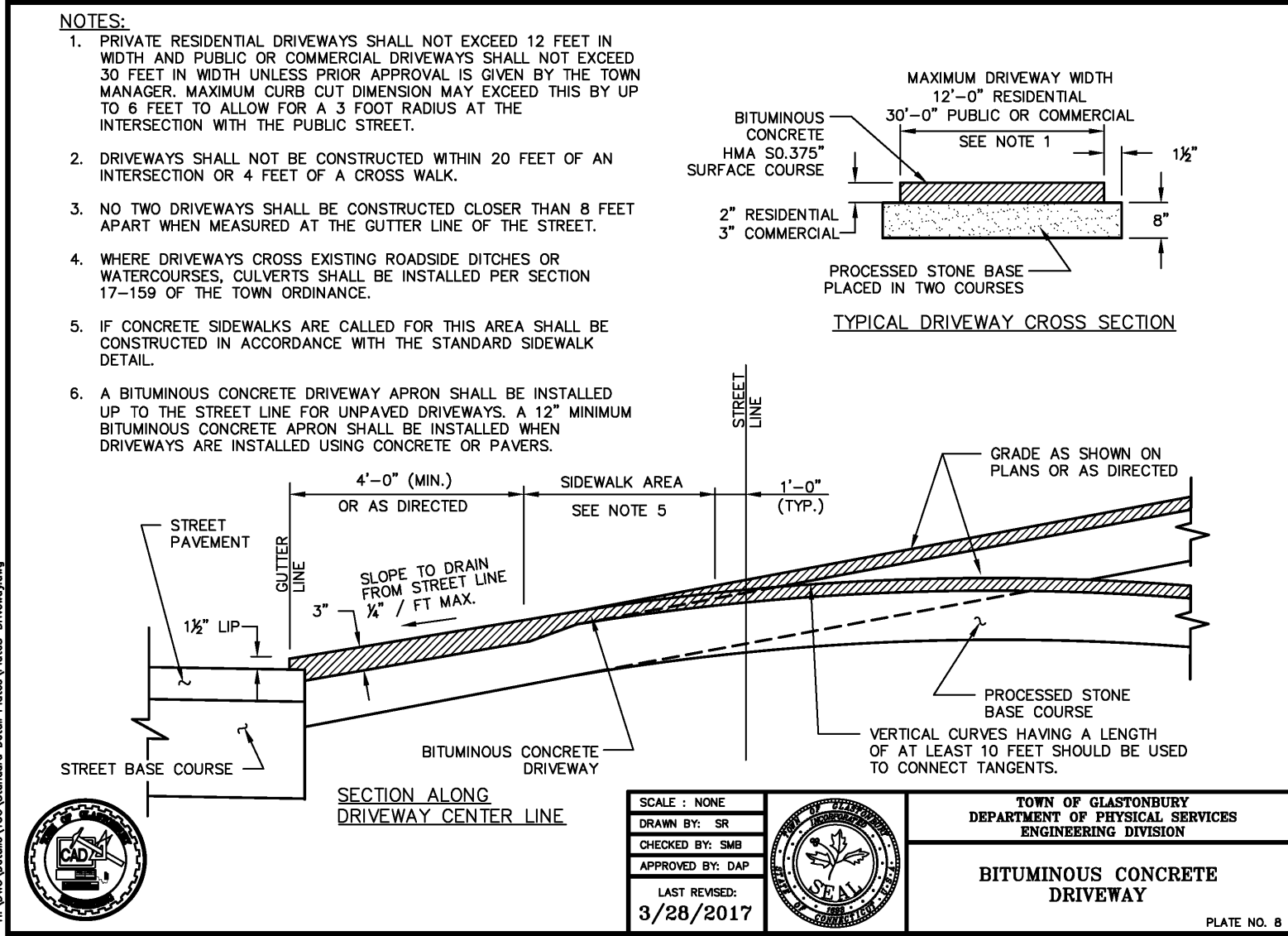


DUMPSTER ENCLOSURE & GATE ELEV. NTS



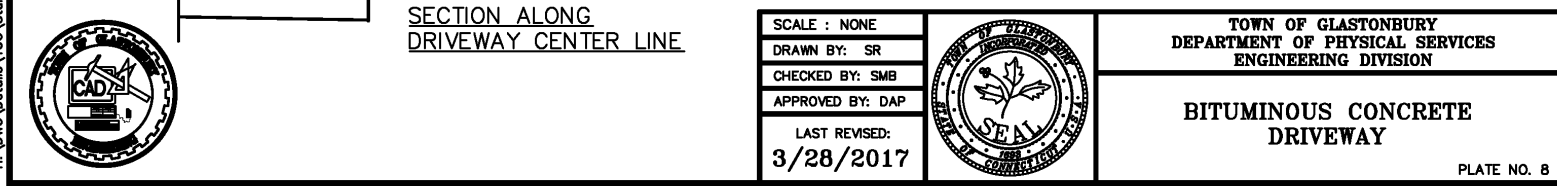
SIGN POST WITH CONCRETE FOUNDATION
N.T.S.

NOTE: MOUNTING DETAILS SHALL BE IN ACCORDANCE WITH CONNDOT FORM 814A M.18

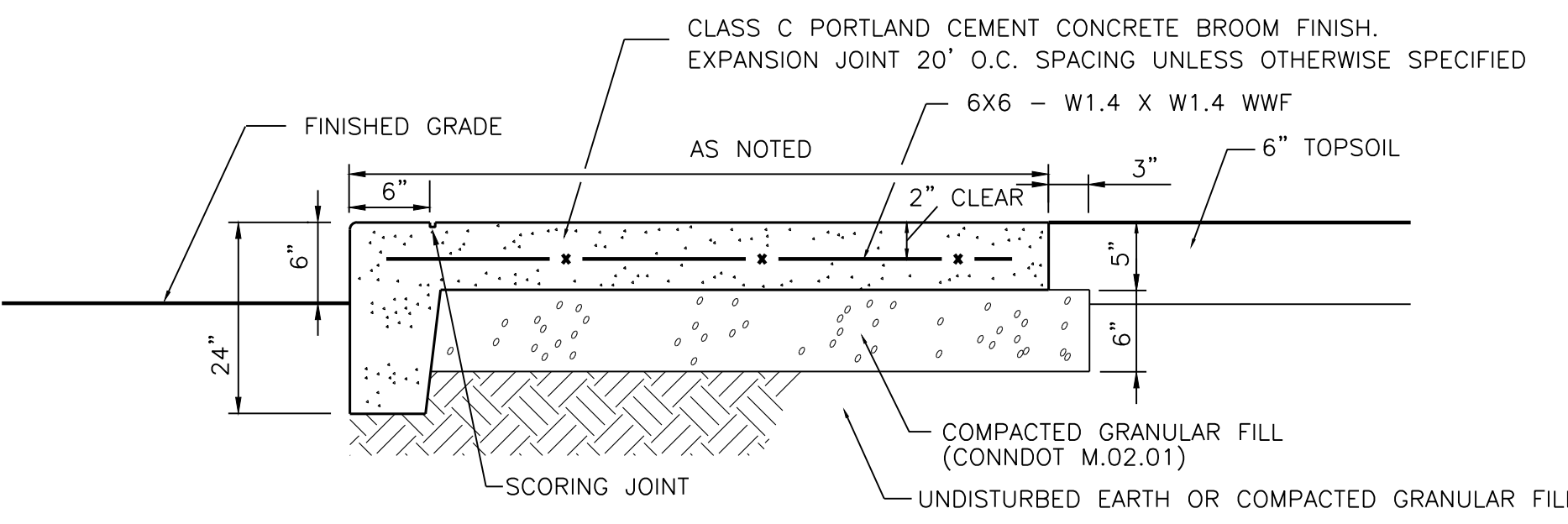


TYPICAL DRIVEWAY CROSS SECTION

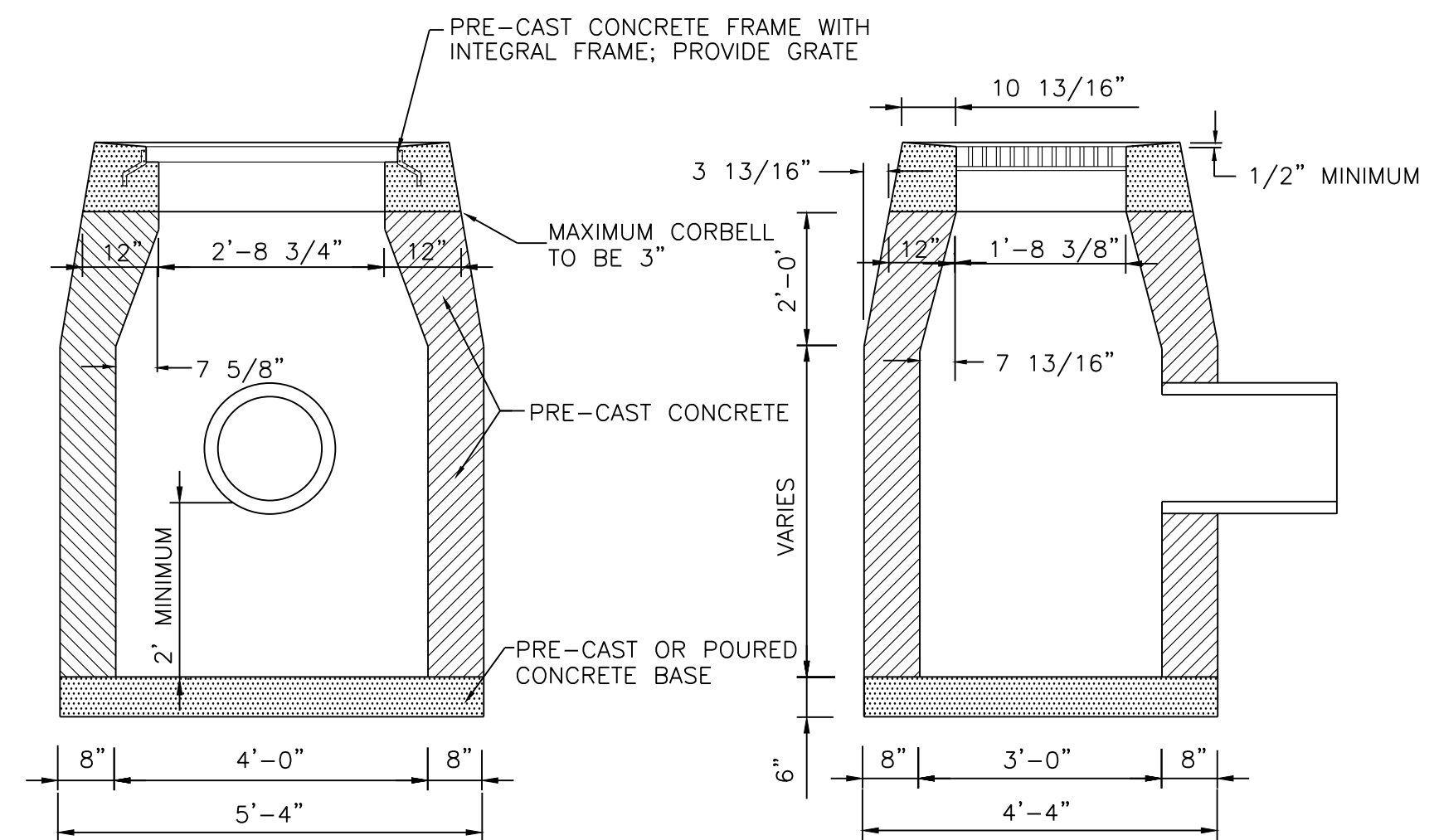
- NOTES:**
- PRIVATE RESIDENTIAL DRIVEWAYS SHALL NOT EXCEED 12 FEET IN WIDTH AND PUBLIC OR COMMERCIAL DRIVEWAYS SHALL NOT EXCEED 30 FEET IN WIDTH UNLESS PRIOR APPROVAL IS GIVEN BY THE TOWN MANAGER. MAXIMUM CURB CUT DIMENSION MAY EXCEED THIS BY UP TO 8 FEET TO ALLOW FOR A 3 FOOT RADIUS AT THE INTERSECTION WITH THE PUBLIC STREET.
 - DRIVEWAYS SHALL NOT BE CONSTRUCTED CLOSER THAN 8 FEET APART WHEN MEASURED AT THE GUTTER LINE OF THE STREET.
 - NO TWO DRIVEWAYS SHALL BE CONSTRUCTED CLOSER THAN 8 FEET APART WHEN MEASURED AT THE GUTTER LINE OF THE STREET.
 - WHERE DRIVEWAYS CROSS EXISTING ROADSIDE DITCHES OR WATERCOURSES, CULVERTS SHALL BE INSTALLED PER SECTION 17-159 OF THE TOWN ORDINANCE.
 - IF CONCRETE SIDEWALKS ARE CALLED FOR THIS AREA SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SIDEWALK DETAIL.
 - A BITUMINOUS CONCRETE DRIVEWAY APRON SHALL BE INSTALLED UP TO THE STREET LINE FOR UNPAVED DRIVEWAYS. A 12" MINIMUM BITUMINOUS CONCRETE APRON SHALL BE INSTALLED WHEN DRIVEWAYS ARE INSTALLED USING CONCRETE OR PAVERS.



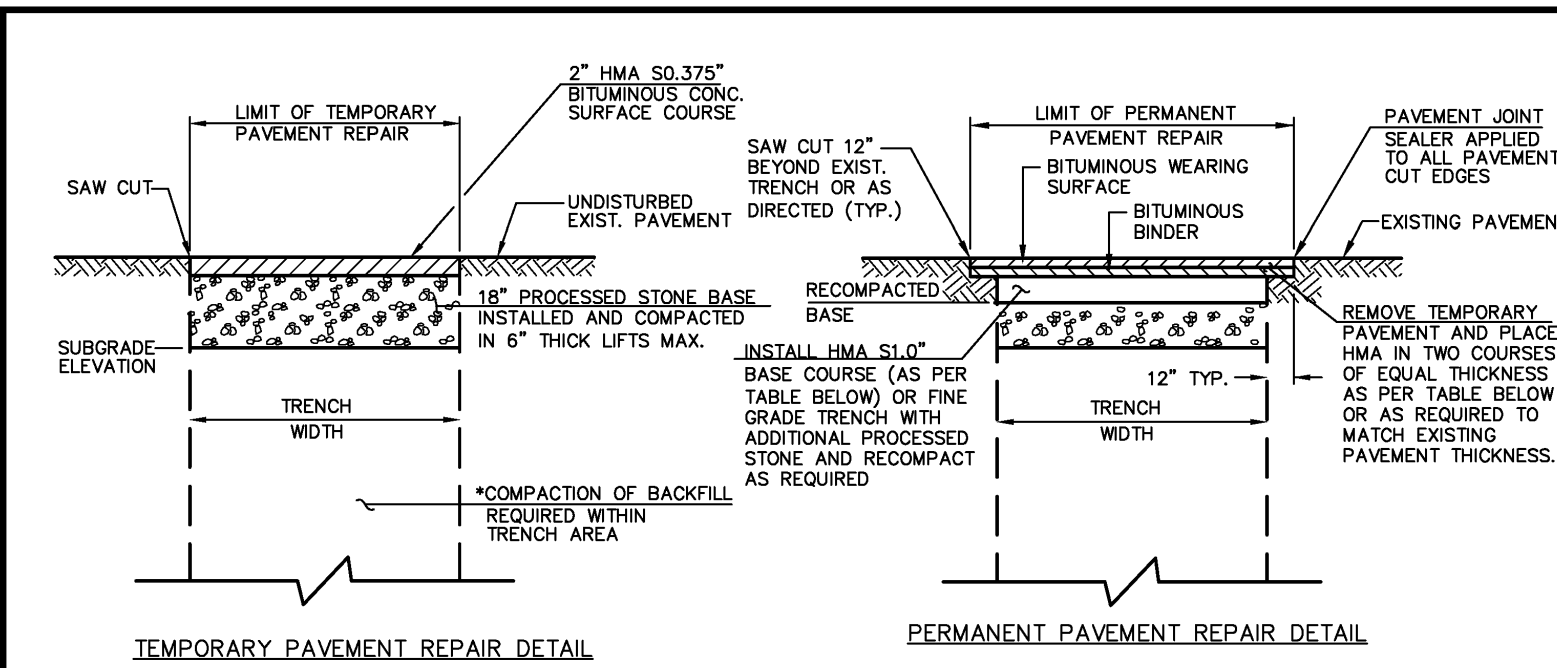
SECTION ALONG DRIVEWAY CENTER LINE



INTEGRAL CONCRETE WALK AND CURB
N.T.S.



TYPE "C-L" CATCH BASIN
N.T.S.



TEMPORARY PAVEMENT REPAIR DETAIL
PERMANENT PAVEMENT REPAIR DETAIL

- NOTES:**
- PROCESS STONE BASE SHALL BE CRUSHED TRAP ROCK CONFORMING TO ARTICLE M.05.01 OF THE FORM B17 AND TOWN SPECIFICATIONS. ORIGINAL OR RECLAIMED MISCELLANEOUS AGGREGATE SHALL NOT BE USED.
 - PERMANENT TRENCH REPAIRS FOR STREETS WITH CONCRETE PAVEMENT OR CONCRETE BASE MAY CONSIST OF 2" HMA 50.5, 6" HMA S1.0, AND 10" GRAVEL SUBBASE AT THE DISCRETION OF THE TOWN ENGINEER.
 - AT THE REQUEST OF THE TOWN ENGINEER THE CONTRACTOR SHALL VERIFY AND SUBMIT PROPER TESTING RESULTS THAT COMPACTION MEETS WITH TOWN'S STANDARDS FOR A 95% COMPACTED DENSITY.

	LOCAL OR COLLECTOR	ARTERIAL (> 3000 ADT)
HMA 50.375"	1.5"	N/A
HMA 50.5"	2"	3" (N TWO LIFTS)
HMA S1.0"	N/A	6" (N TWO LIFTS)

TEMPORARY AND PERMANENT PAVEMENT REPAIRS
PLATE NO. 3

REVISIONS

NO.	BY	DATE	DESCRIPTION
1	MJS	09-30-24	ENGINEERING COMMENTS
2	MJS	10-03-24	BUILDING REVISION

PROJECT TITLE

HOPEWELL CROSSING

32 & 36 HOPEWELL ROAD

GLASTONBURY, CONNECTICUT

Prepared For:

MORELLO REALTY, LLC

SHEET TITLE

DETAILS

DESIGNED BY: PR	SCALE: 1"=30'
DRAWN BY: MJS	DATE: 11-29-23
CHECKED BY: MJS	PROJECT NUMBER: 2790
CAD FILE: R:\2790\DWG	

SEAL SHEET NUMBER

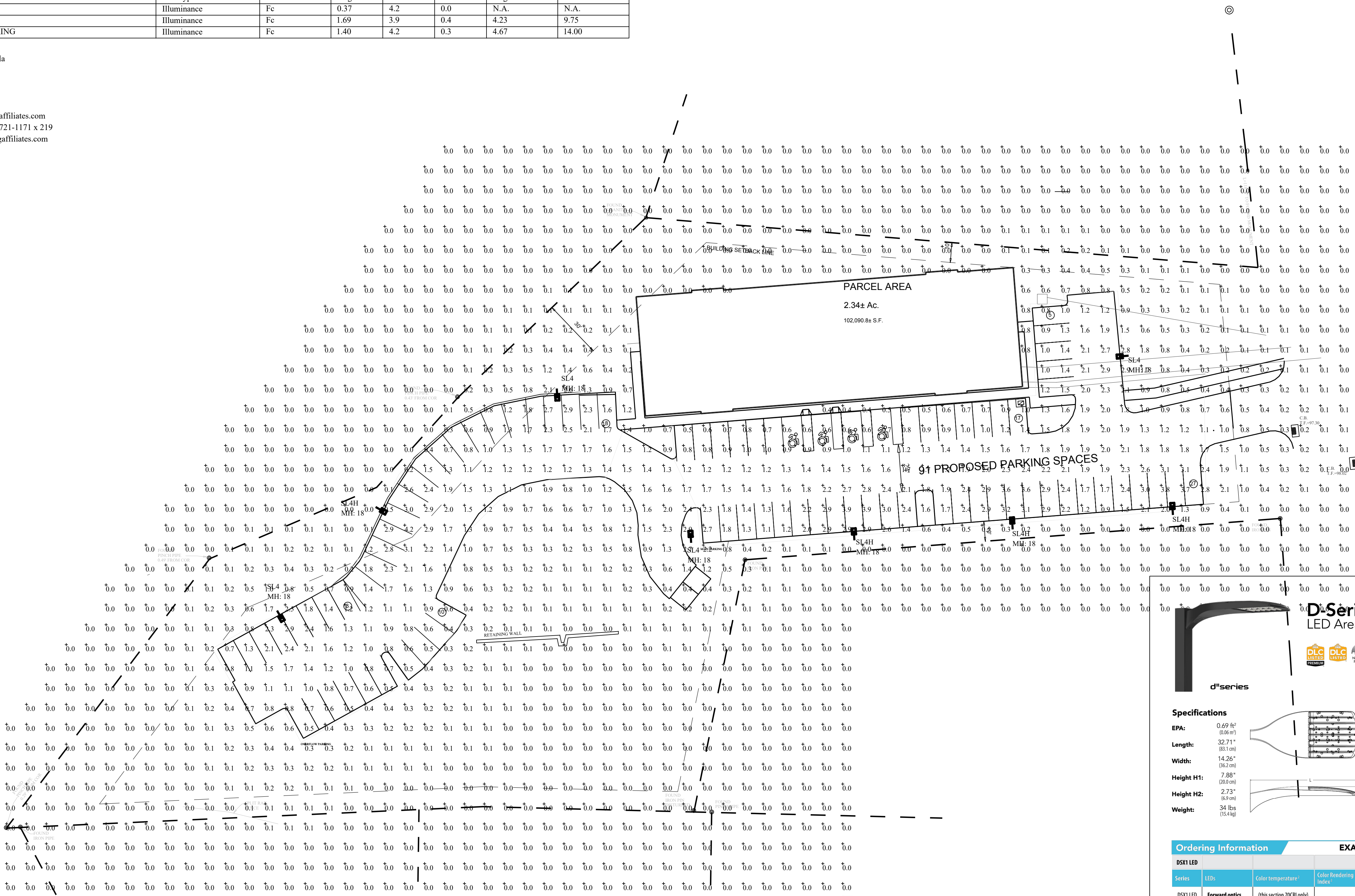
SP-5

Symbol	Qty	Label	Arrangement	Luminaire Lumens	Luminaire Watts	LLF	BUG Rating	Mounting Height	Description
	4	SL4	Single	9154	67.79	0.950	B2-U0-G3	18	Lithonia DSX1 LED P2 40K 80CRI TFTM MVOLT SPA PIR DBLXD - SSS 18 4C DM19AS DBLXD 18FT POLE
	4	SL4H	Single	9485	102.17	0.950	B0-U0-G3	18	Lithonia DSX1 LED P3 40K 80CRI BLC4 MVOLT SPA PIR DBLXD - SSS 18 4C DM19AS DBLXD 18FT POLE

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE	ILLUMINANCE	Fe	0.37	4.2	0.0	N.A.	N.A.
MAIN PARKING	ILLUMINANCE	Fe	1.69	3.9	0.4	4.23	9.75
OVERFLOW PARKING	ILLUMINANCE	Fe	1.40	4.2	0.3	4.67	14.00

Greg Loda / Jim Zemola
Lighting Affiliates
1208 Cromwell Ave
Rocky Hill, CT 06067

website: www.lightingaffiliates.com
Voice Number : (860) 721-1171 x 219
Email : gloda@lightingaffiliates.com



D-Series Size 1 LED Area Luminaire

Specifications

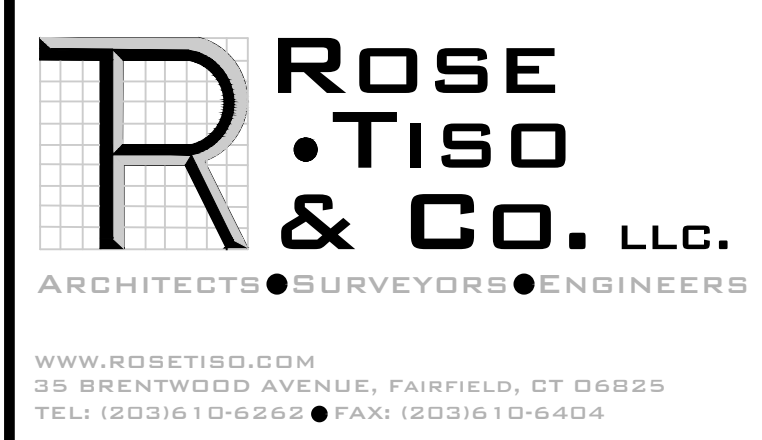
- EPA: 0.69 ft² (0.07 m²)
- Length: 32.71" (831 mm)
- Width: 14.26" (362 mm)
- Height H1: 7.88" (200 mm)
- Height H2: 2.73" (69 mm)
- Weight: 34 lbs (15.4 kg)

Introduction

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information		EXAMPLE: DSX1 LED P7 40K 70CRI T3M MVOLT SPA NLTAR2 PIRHN DDBXD	
Series	LEDs	Color Temp/Color	Color Rendering Index
DSX1 LED	Forward optics (this section 70CRI only)	30K 3000K	70CRI
	Rotated optics	30K 3000K	80CRI
	Rotated optics	35K 3500K	80CRI
	Rotated optics	40K 4000K	80CRI
	Rotated optics	50K 5000K	80CRI



REVISIONS			
NO.	BY	DATE	DESCRIPTION
1	MJS	09-30-24	ENGINEERING COMMENTS
2	MJS	10-03-24	BUILDING REVISION

HOPEWELL CROSSING

32 & 36 HOPEWELL ROAD

GLASTONBURY, CONNECTICUT

Prepared For:
MORELLO REALTY, LLC

SHEET TITLE
LIGHTING PLAN

DESIGNED BY: PR	SCALE: 1"=30'
DRAWN BY: MJS	DATE: 11-29-23
CHECKED BY: MJS	PROJECT NUMBER: 2790
CAD FILE: R:\2790\DWG	

SP-6

Anchor Base Poles

SSS

SQUARE STRAIGHT STEEL

Example: SSS 20 5C DM19 DDB

REVISIONS			
NO.	BY	DATE	DESCRIPTION
1	MJS	09-30-24	ENGINEERING COMMENTS
2	MJS	10-03-24	BUILDING REVISION

PROJECT TITLE

**HOPEWELL
 CROSSING**

32 & 36 HOPEWELL ROAD

**GLASTONBURY,
 CONNECTICUT**

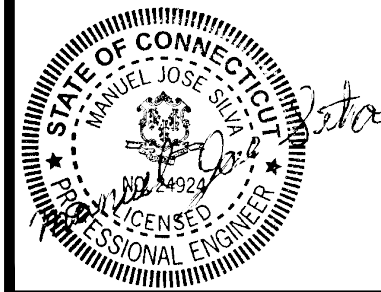
Prepared For:

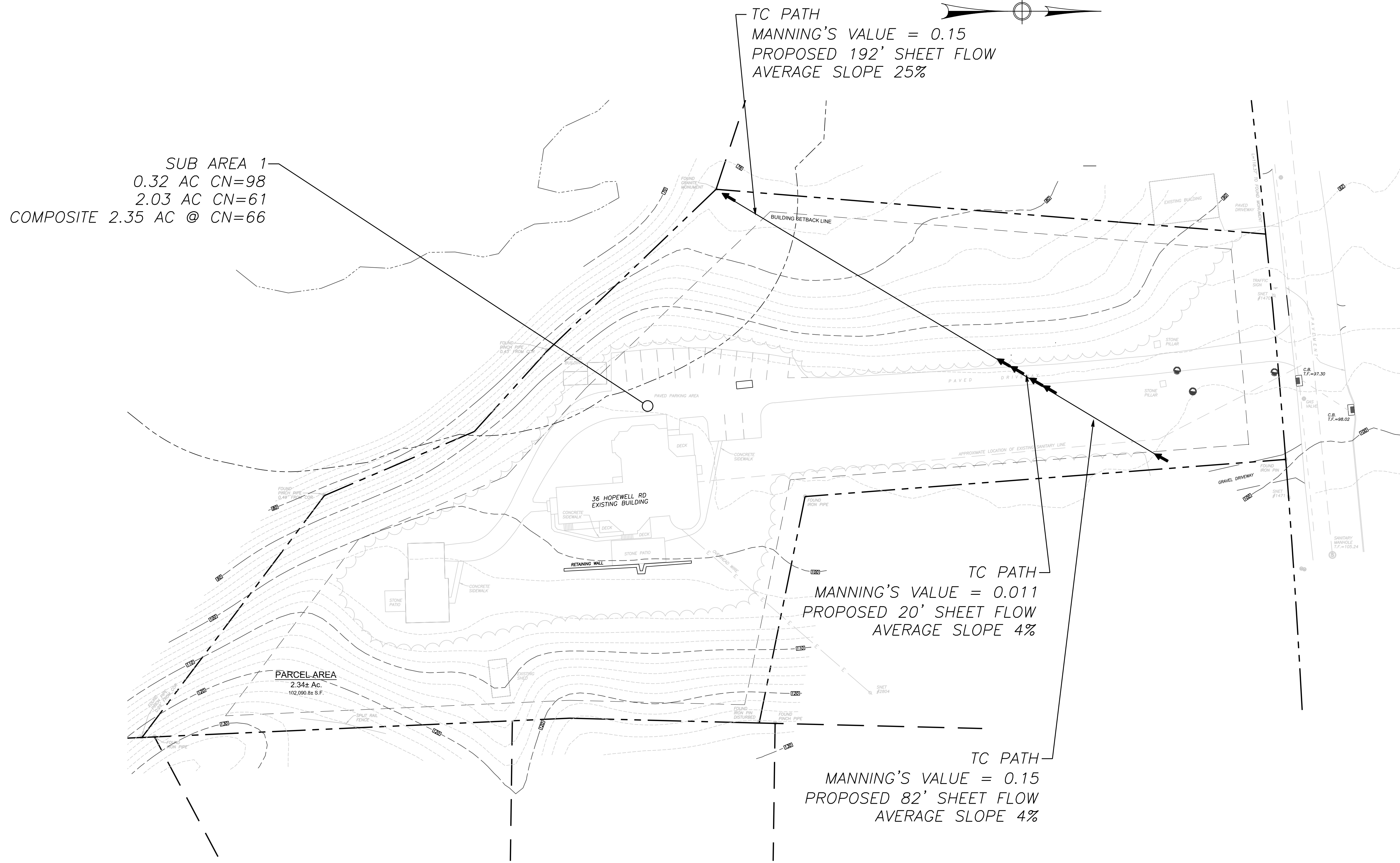
MORELLO REALTY, LLC

SHEET TITLE

**TOWN DEPT.
 CORRESPONDENCE SHEET**

DESIGNED BY: PR	SCALE: 1"=30'
DRAWN BY: MJS	DATE: 11-29-23
CHECKED BY: MJS	PROJECT NUMBER: 2790
CAD FILE: R:\2790\DWG	

SEAL	SHEET NUMBER
	SP-8



REVISIONS				
NO.	BY	DATE	DESCRIPTION	
1	MJS	09-30-24	ENGINEERING COMMENTS	

PROJECT TITLE

HOPEWELL CROSSING

32 & 36 HOPEWELL ROAD

GLASTONBURY, CONNECTICUT

Prepared For:

MORELLO REALTY, LLC

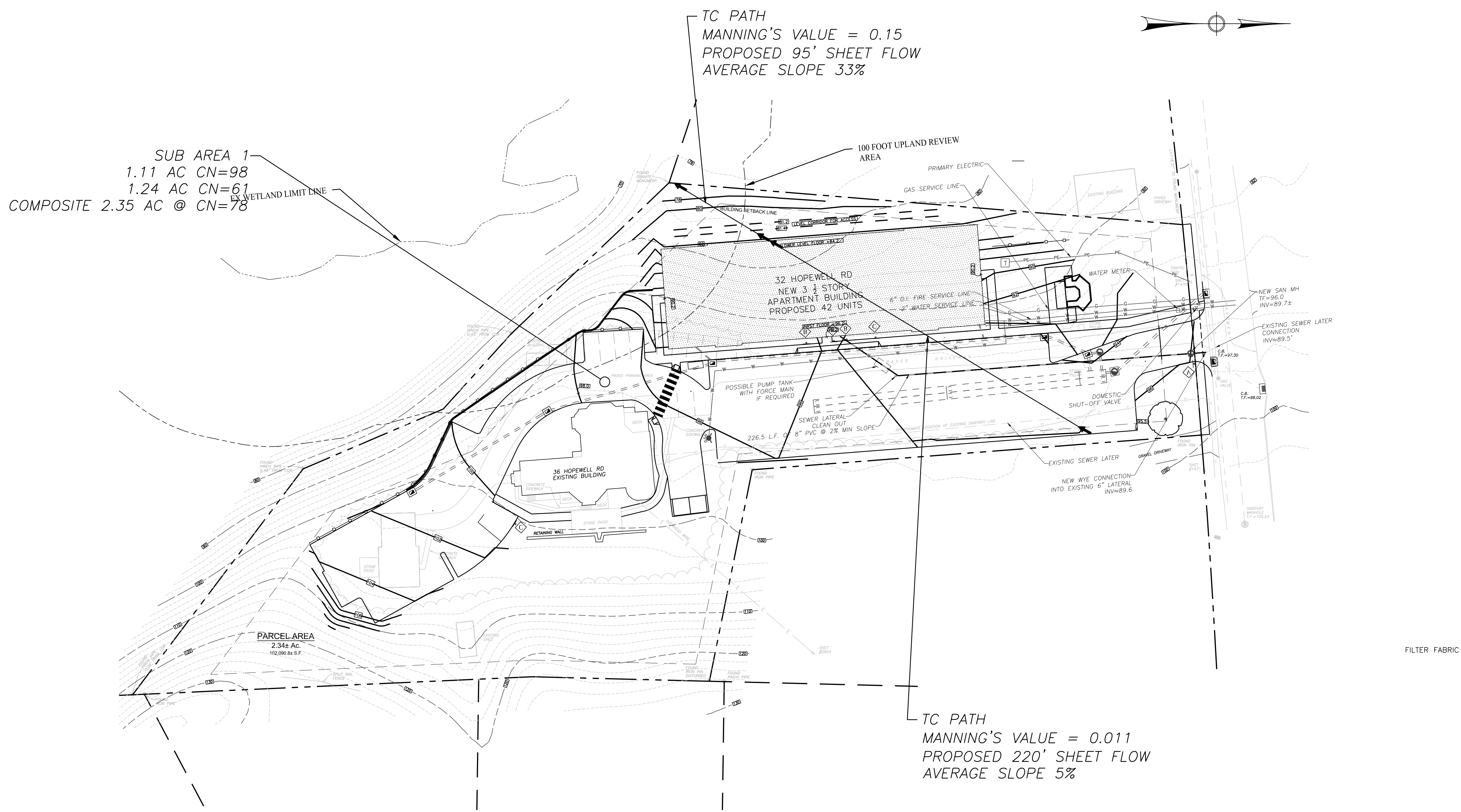
SHEET TITLE

EXISTING DRAINAGE AREA MAP

- EXISTING EDGE OF PAVEMENT
- - - PROPOSED EDGE OF PAVEMENT
- - - PROPERTY LINE
- - - STREAM
- - - WETLANDS
- PROPOSED BUILDING
- 123.4 x PROPOSED SPOT ELEVATION
- - - EXISTING 2' CONTOUR
- - - EXISTING 10' CONTOUR
- - - PROPOSED 2' CONTOUR
- EXISTING CATCH BASIN
- PROPOSED CATCH BASIN
- EXISTING MANHOLE
- PROPOSED MANHOLE
- EXISTING STORM PIPES
- - - PROPOSED STORM PIPES
- - - EXISTING SANITARY PIPES
- - - PROPOSED SANITARY PIPES

DESIGNED BY: PR	SCALE: 1"=30'
DRAWN BY: MJS	DATE: 11-29-23
CHECKED BY: MJS	PROJECT NUMBER: 2790
CAD FILE: R:\2790\DWG	

SEAL	SHEET NUMBER
	C-1



WATER QUALITY VOLUME COMPUTATION:
 $A = 102,366 \text{ SF } I = 47\%$
 $WQ_v = (P \cdot R_v \cdot A)$; $R_v = 0.05 + 0.009 \cdot I$
 $R_v = 0.05 + 0.009 \cdot 47 = 0.473 \text{ WATERSHED INCHES}$
 $WQ_v = (1.3 \cdot 0.473 \cdot 102,366 / 12) = 5,245 \text{ CF}$
REQUIRED
 Provided = 6,529CF

- EXISTING EDGE OF PAVEMENT
- - - PROPOSED EDGE OF PAVEMENT
- PROPERTY LINE
- - - STREAM
- WETLANDS
- PROPOSED BUILDING
- 123.4
x PROPOSED SPOT ELEVATION
- - - EXISTING 2' CONTOUR
- - - EXISTING 10' CONTOUR
- - - PROPOSED 2' CONTOUR
- EXISTING CATCH BASIN
- PROPOSED CATCH BASIN
- EXISTING MANHOLE
- PROPOSED MANHOLE
- EXISTING STORM PIPES
- - - PROPOSED STORM PIPES
- - - EXISTING SANITARY PIPES
- - - PROPOSED SANITARY PIPES

REVISIONS			
NO.	BY	DATE	DESCRIPTION
1	MJS	09-30-24	ENGINEERING COMMENTS

PROJECT TITLE

HOPEWELL CROSSING

32 & 36 HOPEWELL ROAD

GLASTONBURY, CONNECTICUT

Prepared For:

MORELLO REALTY, LLC

SHEET TITLE

PROPOSED DRAINAGE AREA MAP

DESIGNED BY: PR	SCALE: 1"=30'
DRAWN BY: MJS	DATE: 11-29-23
CHECKED BY: MJS	PROJECT NUMBER: 2790
CAD FILE: R:\2790\DWG	

SEAL

SHEET NUMBER

C-2