

**TOWN PLAN AND ZONING COMMISSION
GLASTONBURY, CT
APPLICATION FOR SPECIAL PERMIT**

Application for:

- _____ Section 12 Special Permit with Design Review (SPDR)
- _____ Section 12.8 Change of Use to an approved SPDR
- X _____ Section 12.9 Minor Change to an approved SPDR
- _____ Section 12.10 Insignificant Change to an approved SPDR
- _____ Section 6.2 Excavation Special Permit
- _____ Section 6.8 Rear Lot Special Permit
- _____ Section 6.11 Accessory Apartment Special Permit**
- _____ ** Applicant must submit addresses of property owners within 100 feet
of the premises in accordance with Section 6.11.4 of the Building-Zone Regulations
- _____ Section 4.11 Flood Zone Special Permit
- _____ Other

Application, Development Plan Review Checklist*, and fee (see page 2) to be submitted with 14 sets of plans. Consult Glastonbury Building-Zone Regulation Sections 12.4 and 12.5 and other relevant sections to determine standards and criteria for application evaluation, including special noticing requirements to abutters.

*Development Plan Review Checklist requirements do not apply to Section 12.9, 12.10 or 6.11 applications.

Applicant

Property Owner


Name <u>Al Costa, Glastonbury Public Schools</u>	Name <u>Town of Glastonbury</u>
Address <u>628 Hebron Ave</u>	Address <u>2155 Main Street</u>
Telephone <u>860-652-7992</u>	Telephone <u>860-652-7515</u>
Email <u>costaa@glastonburyus.org</u>	Email <u>shelley.caltagirone@glastonbury-ct.gov</u>

Address of proposed use 1389 Neipsic Road

Map/Street/Lot / / Zoning District of proposal

Nature of request, including type of use, reasons for application, etc.

(4) Modular Buildings proposed to address space demands. Units will be installed on the rear of the building as previously existed in the 1990s. These are temporary for not more than 5 years. Exterior surface mounted wall pack lights will be added to the north, east and south elevations. The structure will be in the rear of the existing building and only visible from the rear playground. No visibility to neighbors.

Signature  Al Costa
Applicant or Authorized Representative

Signature _____
Owner or Authorized Representative

Date 9/28/24

Date _____



STAFF REPORT

Staff Contact: Gary Haynes, Planner

OFFICE OF COMMUNITY DEVELOPMENT

Tel: (860) 652-7510

Email: planning@glastonbury-ct.gov

Meeting Date: October 1, 2024	Submittal Date: September 18, 2024
Agenda Item: Regular Meeting # 2	Date of Receipt: October 1, 2024
	Application Type: Section 12.9 Minor Change

Proposal Address:
1389 Neipsic Rd

Applicant: Al Costa,
Glastonbury Public Schools

Owner: Town of Glastonbury

Proposal:
Addition of 4 Modular Classrooms

Zone: Reserved Land (RL)

Existing Land Use:
Government Services: School and School Programs

Prior Reviews/ Permits:

- ASDRC Sub Committee Review: 9/12/24

Attached for Review:

- Draft Motion
- Department Memos
- Applicant Packet / Plan Set

Executive Summary

- The Town is proposing to construct 34ft x 120ft addition of 4 modular classroom.
- Same size and location as previously approved in 1994.
- The land is zoned Reserved Land (RL).
- Building will be leased for 5 year period.
- Will be constructed in the rear of the building and not visible from the roadway.
- Approved administratively by ASDRC Sub Committee at their 9/12/24 meeting.
- School is currently used for alternative programs for special needs students, preschool, and elementary early learning center. The addition will be used for high school early learning center.



Site Description

The site is located on the east side of Neipsic Rd at the former Eastbury School site. Parking is available on site and across the street.

Proposal

The proposal is to construct a 34 ft x 120 ft addition of 4 modular classrooms in the rear of the existing Eastbury School. The building will be used for high school early learning center programs. The location of the proposed 4 modular classroom were previously approved back in 1994 (same size and same location). Building will be leased for a 5 year period.

Commission and Board Reviews

- The ASDRC Sub Committee reviewed the proposal at their September 12, 2024 meeting.

Planning and Zoning Comments

- Use of the building for Government Services as an addition to the early learning center is an allowed use of the zone.
- Proposed building meets all bulk requirements for the zone.
- Proposal will be served by existing parking spaces on site and parking across the street.
- Proposal includes wall pack lights on the building by the building with full cutoff fixtures and applicant has provide photometric plan demonstrating no light pollution off site.
- Addition of the 4 modular classrooms will not add to the impervious surface as the addition will be constructed in area that is already paved.
- The location of modular classroom does not inhibit access of emergency vehicles. The applicant has provided turning movement site plan demonstrating ease of access for large emergency service vehicles.

TOWN PLAN AND
ZONING COMMISSION

SECTION 12.9 MINOR CHANGE

APPLICANT/

OWNER: GLASTONBURY PUBLIC
SCHOOLS
C/O AL COSTA
628 HEBRON AVE
GLASTONBURY, CT 06033

RE: 1389 Neipsic Rd Eastbury
School-Addition of 4 Modular
Classrooms

MOVED, that the Town Plan & Zoning Commission approve the application of Glastonbury Public Schools for a Section 12.9 Minor Change for addition of 4 modular classrooms, in accordance with plans dated 9/17/24 with the Office of Community Development, and in accordance with the following conditions of approval:

1. Adherence to:
 - a. The Town Engineer's memorandum dated September 27, 2024.
 - b. The Director of Health's memorandum dated September 26, 2024.
 - c. The Police Department memorandum dated September 24, 2024.
 - d. The Fire Marshal memorandum dated September 24, 2024.

2. With the following conditions:
 - a. Prior to issuance of a Building Permit applicant shall file motion of approval on the land records of the Town Clerk.
 - b. Prior to issuance of a Building Permit applicant shall file (1) paper copies of finalized approved plans to be filed in the Office of Community Development.
 - c. Prior to issuance of a Building Permit applicant shall file pdf digital copy of finalized approved plans to the Office of Community Development.
 - d. If unforeseen conditions are encountered during construction that would cause deviation from the approved plans, the applicant shall consult with the Office of Community Development to determine what further approvals, if any, are required.

APPROVED: TOWN PLAN & ZONING COMMISSION
October 1, 2024

ROBERT J. ZANLUNGO JR., CHAIRMAN

September 27, 2024

MEMORANDUM

To: Town Plan and Zoning Commission
Shelley Caltagirone, Director of Community Development

From: Stephen M. Braun, P.E. Assistant Town Engineer



Re: Eastbury School Modulares, 1389 Neipsic Road
Section 12.9 Minor Change

The Engineering Division has reviewed the plans for the proposed modular classroom building located behind Eastbury School at 1389 Neipsic Road prepared by Benesch dated September 17, 2024 and have no comments on this application.



Memo

September 26, 2024

To: Shelley Caltagirone, Director Planning and Land Use Services

Fr: Wendy S. Mis, Director of Health *W.S.M.*

Re: Four modular classrooms at Eastbury School- 1389 Neipsic Road

This office has received information about the proposed modular classrooms for Eastbury School.

The modular classrooms do not include toilet rooms, so will not be impacting the septic system.

Approval with respect to CT Public Health Code is forwarded for Commission consideration.



Town of Glastonbury

GLASTONBURY POLICE DEPARTMENT • TEL (860) 633-8301 • FAX (860) 652-4290

CHIEF OF POLICE
Marshall S. Porter

CAPTAIN
Mark Catania

MEMORANDUM

TO: Town Plan and Zoning Commission

FROM: Marshall S. Porter, Chief of Police

DATE: 09/24/2024

RE: Modular classroom project at Eastbury School- 1389 Neipsic Rd.

Members of the Police Department have reviewed the application and plans regarding a minor change to allow the construction of four modular classrooms at Eastbury School. The Police Department has no objection to the proposal.

MSP/ns





Town of Glastonbury

FIRE MARSHAL'S OFFICE • (860) 652-7526 • FireMarshal@glastonbury-ct.gov

TO: Gary Haynes; Planner

FROM: Michael Makuch; Fire Marshal

DATE: September 24, 2024

RE: October 1, 2024 TP&Z Meeting-1389 Neipsic Road.

The Fire Marshal's Office has done a review of submission and has determined that the proposed addition of modular classrooms allows for appropriate fire department access, so no further comment is required at this time. However, it should be noted that the proposed work would be subject to review by this office once an application for a building permit is submitted, and this office would have detailed fire code review comments at that time, in that process.

Respectfully,

MJMakuch

Michael Makuch
Fire Marshal

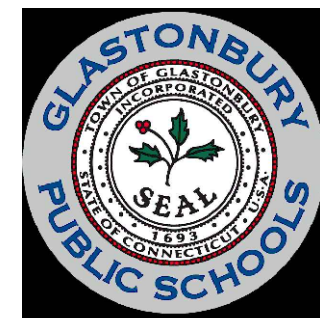
EASTBURY SCHOOL MODULARS

1389 NEIPSIC ROAD
GLASTONBURY, CONNECTICUT

ISSUED FOR PERMIT

SEPTEMBER 17, 2024

OWNER



CIVIL ENGINEER / LANDSCAPE ARCHITECT



120 Hebron Avenue
Glastonbury, CT 06033
P 860-633-8341
F 860-633-1068
www.Benesch.com

ARCHITECT

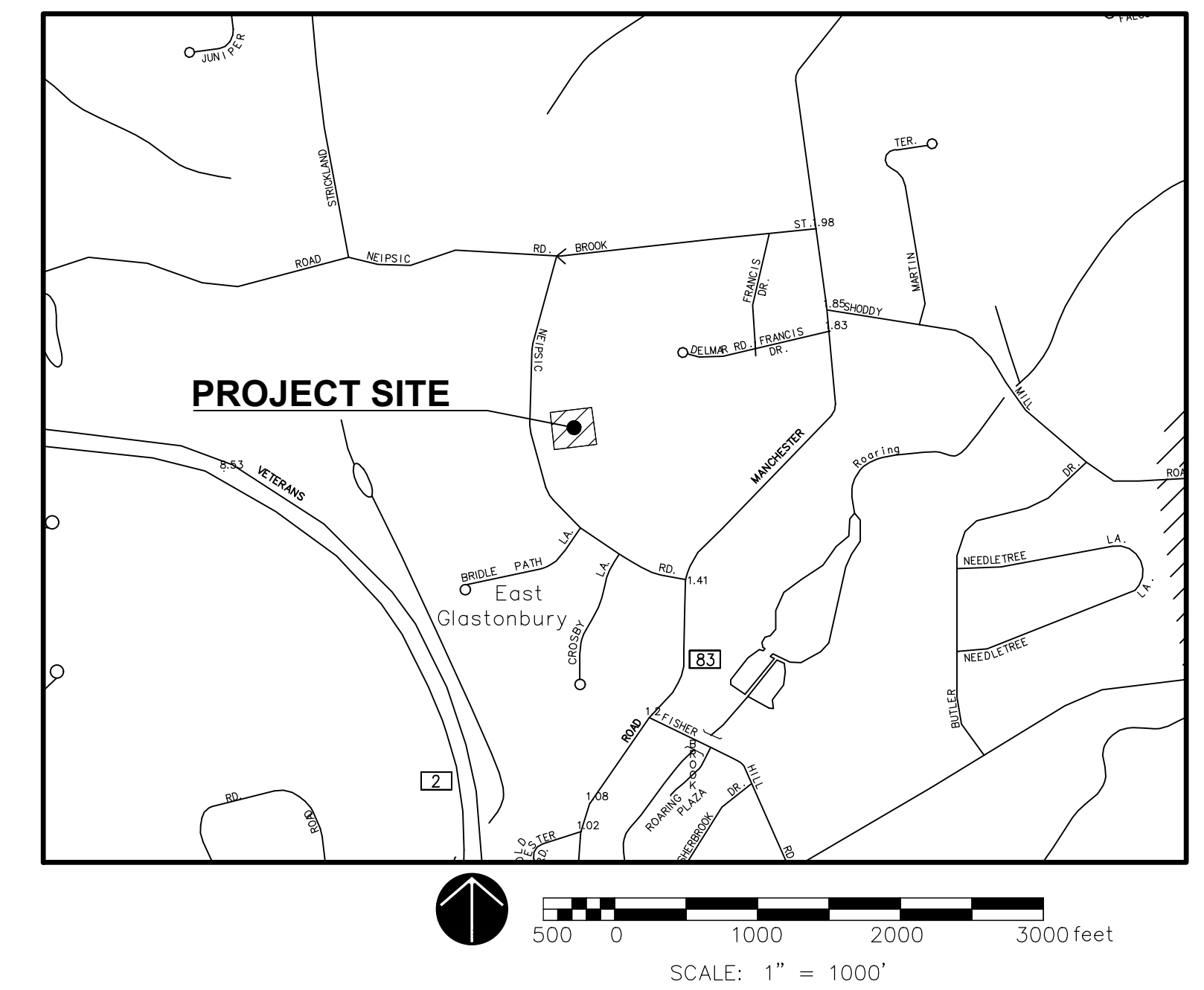


3190 Whitney Avenue
Hamden, CT 06518
331 State Street
New London, CT 06320
P 203-230-9007
www.silverpetrucelli.com

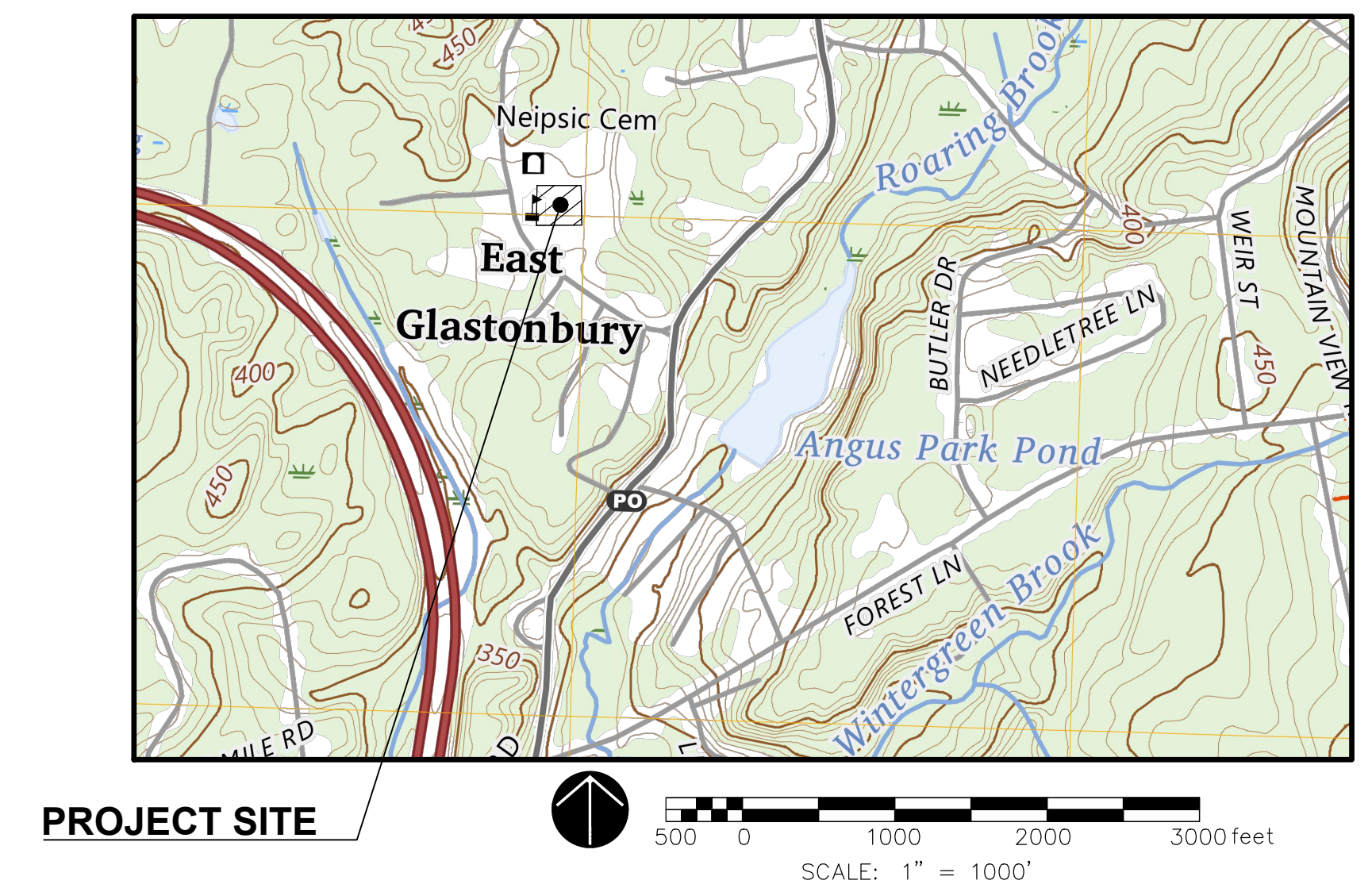
LIST OF DRAWINGS

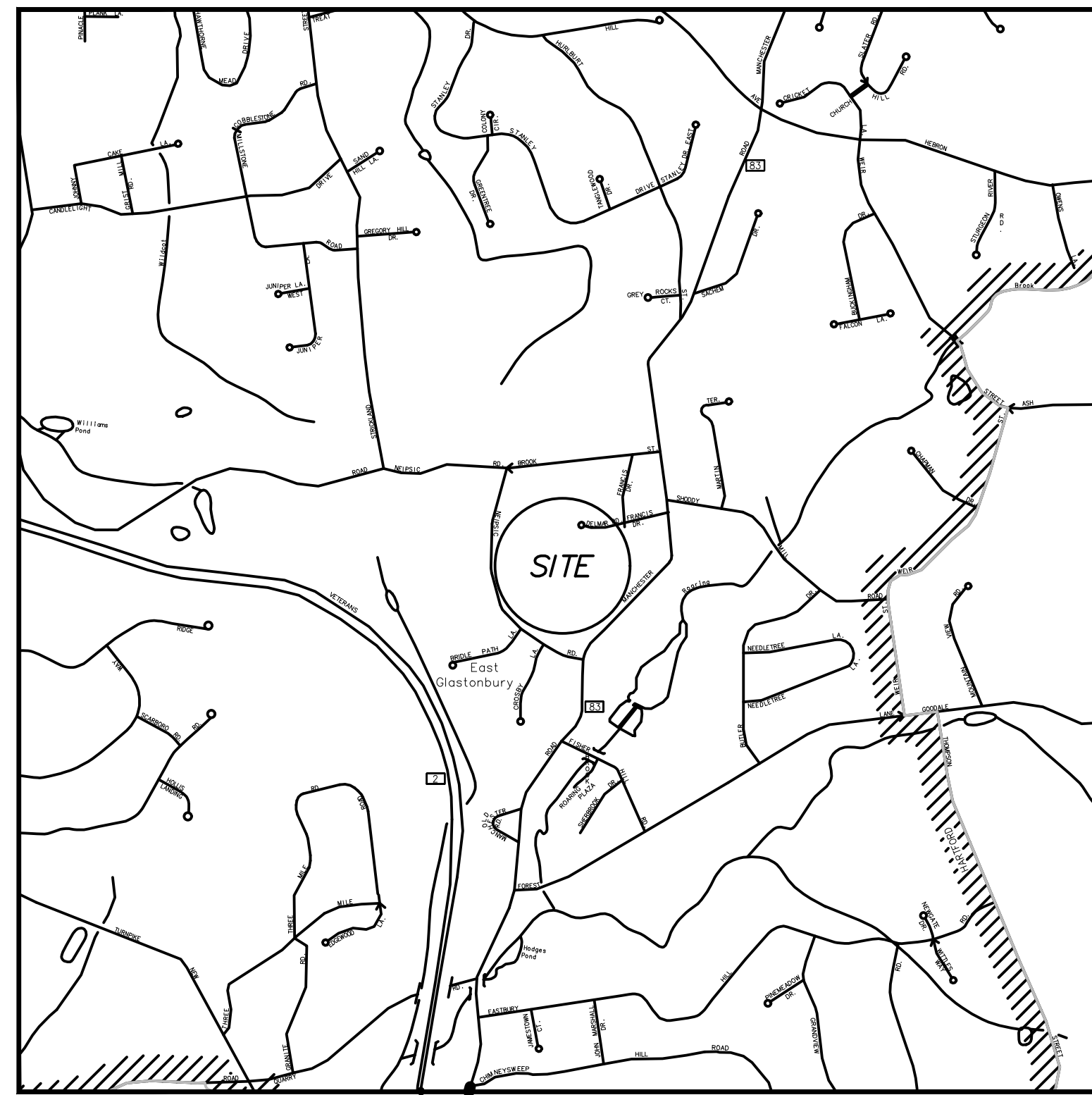
---	TITLE SHEET
SV.01	TOPOGRAPHIC SURVEY
C1.0	SITE PREP AND EROSION & SEDIMENTATION CONTROL PLAN
C2.0	SITE PLAN
C2.1	FIRE TRUCK TURNING MOVEMENT PLAN
C3.0	DETAILS
A1	FIRST FLOOR PLAN
A2	EXTERIOR ELEVATIONS - FLAT ROOF
A3	EXTERIOR ELEVATIONS - PITCHED ROOF
E1	ELECTRICAL SITE PLAN - LIGHTING CALCULATION

LOCATION MAP

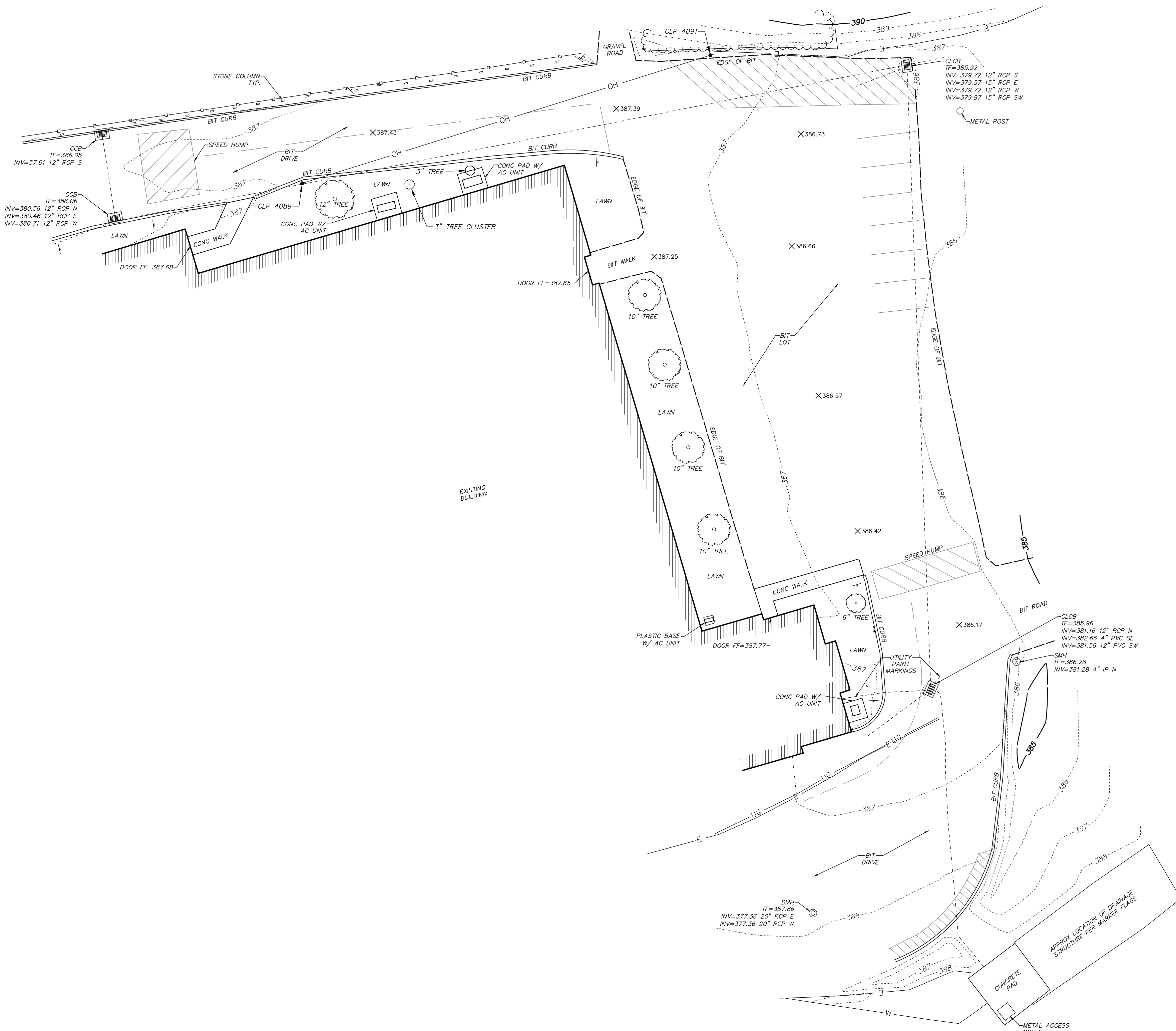


USGS QUADRANGLE MAP





LOCATION MAP N.T.S.



LEGEND

UTILITY SERVICES (UNDERGROUND OR OVERHEAD)	
—E—E—	ELECTRIC SERVICE
—SAN—	SANITARY SEWER PIPES
-----	STORM WATER PIPES (LESS THAN 12")
-----	STORM WATER PIPES (12" OR LARGER)
—W—W—	WATER PIPES
—OH—	OVERHEAD WIRES
FEATURE LINES	
=====	CURBED ROADWAY
-----	EDGE OF PAVED ROAD/DRIVE
-----	BUILDING ROOFLINE (AERIAL PHOTOS)
-----	STOCKADE FENCE
-----	CHAIN LINK/WIRE FENCE
-----	TREE/VEGETATION LINE
-----	INTERMEDIATE CONTOUR
-----	INDEX CONTOUR

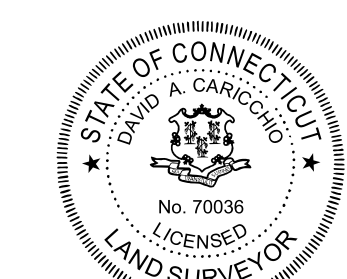
SYMBOL LEGEND	
	CATCH BASIN
	STORM DRAIN MANHOLE
	SANITARY MANHOLE
	SIGN (SINGLE POST)
	SPOT ELEVATION
	UTILITY POLE
	DECIDUOUS TREE

ABBREVIATIONS	
A/C	AIR CONDITIONER
BIT.	BITUMINOUS
CB	CATCH BASIN
CONC.	CONCRETE
CLF	CHAIN LINK FENCE
CL&P	CONNECTICUT LIGHT & POWER COMPANY
DMH	DRAINAGE MANHOLE
HYD.	HYDRANT
MH	MANHOLE
NAD	NORTH AMERICAN DATUM
NAVD	NATIONAL AMERICAN VERTICAL DATUM
PVC	POLYVINYL CHLORIDE
R.L.	RAIN LEADER
SAN.	SANITARY
SMH	SANITARY MANHOLE
W	WATER OR WEST
W.G.	WATER GATE

SURVEY NOTES

- THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300B-1 THRU 20-300B-20 AND THE "MINIMUM STANDARDS OF ACCURACY, CONTENT & CERTIFICATION FOR SURVEYS AND MAPS, AS AMENDED OCTOBER 26, 2018."
 - THE TYPE OF SURVEY IS A TOPOGRAPHIC AND GENERAL LOCATION SURVEY.
 - THE ACCURACIES ARE AS FOLLOWS:

HORIZONTAL CONTROL	CLASS "A-2"
VERTICAL CONTROL	CLASS "V-2"
TOPOGRAPHY	CLASS "T-2"
- THE COORDINATES AND ELEVATIONS DEPICTED ON THE PLAN REPRESENT THE NAD '83 AND THE NAVD '88 DATUMS. COORDINATES WERE ESTABLISHED ON THE SITE BASED UPON GPS OBSERVATIONS TAKEN ON AUGUST 2024 USING TRIMBLE GNSS RTK R10 RECEIVERS AND SOLUTIONS PROVIDED THROUGH THE KEYNET NETWORK.
- UNDERGROUND UTILITIES (IF DEPICTED) HAVE BEEN COMPILED, IN PART, BASED UPON INFORMATION FURNISHED BY OTHERS. THIS INFORMATION IS TO BE CONSIDERED APPROXIMATE AND ALFRED BENECH & COMPANY DOES NOT TAKE RESPONSIBILITY FOR SUBSEQUENT ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO THIS PLAN AS A RESULT. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCES OF WHICH ARE UNKNOWN TO ALFRED BENECH & COMPANY. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO ANY CONSTRUCTION. CALL "CALL BEFORE YOU DIG" 1-800-922-4455.
- THE PROPERTY IS LOCATED IN THE "RL" ZONE PER TOWN.
- THE PROPERTY LIES WITHIN THE "OTHER AREAS ZONE 'X' - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN." PER THE FEMA FLOOD INSURANCE RATE MAP HARTFORD COUNTY, CONNECTICUT (ALL JURISDICTIONS) PANEL 533 OF 675 MAP NUMBER: 0900300533F EFFECTIVE DATE: SEPTEMBER 26, 2008.



TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS DEPICTED AND NOTED HEREON.

David A. Caricchio
 09/18/2024
 DATE

DAVID A. CARICCHIO, P.L.S. No. 70036
 ALFRED BENECH & COMPANY, GLASTONBURY, CONNECTICUT
 (not valid without original signature and embossed seal)

PAPER SPACE LAYOUT NAME:
 TWISTVIEW:
 USER MANAGER NAME:
 PLOT TABLE: STB

SURVEY BOOK: 06-
SURVEY/OR: AG
DRAWN: LB
CHECKED: DAC
APPROVED: WW

REVISIONS	DESCRIPTION
No.	DATE

SCALE: HORIZ.: 1" = 20'
VERT.: 1" = 20'
SURVEY DATUM: HORIZ.: NAD 1983
VERT.: NAVD 1988

Prepared By:

Alfred Benesch & Company
 Glastonbury, Connecticut 06033
 Phone (860) 633-8341, Fax: (860) 633-1088
 www.benesch.com

TOPOGRAPHIC SURVEY
 PREPARED FOR
 EASTBURY SCHOOL
 1389 NEIPSIC ROAD
 GLASTONBURY
 Connecticut

PROJ. No.: 0725-500009.00
DATE: 2024 SEP 05
SV.01

TEMPORARY E&S MEASURES MAINTENANCE SCHEDULE

E&S MEASURE	MAINTENANCE MEASURES	SCHEDULE
FILTER INSERTS IN DRAINAGE SYSTEM	CLEAN CATCH BASIN GRATE. REMOVE SEDIMENT/DEBRIS FROM FILTER INSERTS	WEEKLY & WITHIN 24 HOURS AFTER STORM GENERATING A DISCHARGE
HAY BALES/ SILT FENCE BARRIER	REPAIR/REPLACE WHEN FAILURE OBSERVED. REMOVE SILT WHEN ACCUMULATION REACHES APPROX. HALF HEIGHT OF BARRIER	WEEKLY & WITHIN 24 HOURS AFTER STORM GENERATING A DISCHARGE
TARP TEMPORARY STOCKPILES	ENSURE TARP IS SECURED OVER STOCKPILE AT THE END OF EACH DAY	DAILY

SUGGESTED CONSTRUCTION SEQUENCE:

1. CONDUCT A PRE-CONSTRUCTION MEETING WITH THE OWNER PRIOR TO ANY CONSTRUCTION ACTIVITY.
2. INSTALL PERIMETER E&S CONTROLS.
3. CONSTRUCTION BUILDING FOUNDATIONS AND BUILDING.
4. CONSTRUCT SIDEWALKS AND OTHER SITE AMENITIES.
5. AT THE CONCLUSION OF CONSTRUCTION, COMPLETE THE INSTALLATION OF POST-CONSTRUCTION SITE STABILIZATION MEASURES AS SHOWN ON THE DRAWINGS.

EROSION AND SEDIMENT CONTROL NOTES:

1. THIS PLAN IS FOR SITE PREPARATION & EROSION AND SEDIMENTATION CONTROL ONLY. SEE OTHER PLANS FOR THE SCOPE OF CONSTRUCTION WORK.
2. IT IS ANTICIPATED THAT CONSTRUCTION WILL OCCUR IN THE FALL OF 2024 AND FINAL STABILIZATION WILL BE COMPLETE BY DECEMBER 2024.
3. THE MEASURES SPECIFIED HEREON ARE THE MINIMUM REQUIREMENTS FOR E&S CONTROL AND ARE SHOWN IN GENERAL SIZE AND LOCATION ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL E&S CONTROL MEASURES ARE CONFIGURED AND CONSTRUCTED IN A MANNER THAT WILL MINIMIZE EROSION AND OTHER POLLUTANTS TO ANY RESOURCE AREAS. PROVIDE ADDITIONAL E&S MEASURES AS REQUIRED TO CONTROL EROSION AND SILTATION THROUGHOUT THE DURATION OF THE CONSTRUCTION AS CONDITIONS DICTATE AND/OR AS DIRECTED BY THE OWNER OR THE ENGINEER.
4. MONITOR AND INSPECT ALL E&S MEASURES IN AN ONGOING MANNER THROUGHOUT THE WORK AND TAKE CORRECTIVE MEASURES, AS REQUIRED, TO MINIMIZE EROSION OF SOILS AND PREVENT THE TRANSPORT OF SEDIMENTS AND OTHER POLLUTANTS TO ANY RESOURCE AREAS.
5. ANY EROSION AND SEDIMENTATION MEASURE IMPLEMENTED BEYOND THAT SHOWN HEREON SHALL CONFORM TO APPLICABLE SECTIONS OF THE STATE OF CONNECTICUT'S 2002 "CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL."
6. ANY STOCKPILED MATERIAL SHALL BE SUBJECT TO EROSION CONTROL MEASURES THAT INCLUDE A MINIMUM OF SILT FENCE OR HAY BALE BARRIER COVER STOCKPILES IF SIGNIFICANT RAINFALL IS PREDICTED.
7. NO RUNOFF SHALL BE ALLOWED TO EXIT THE SITE PRIOR TO TREATMENT FOR SEDIMENT REMOVAL.
8. THE CONTRACTOR SHALL MAINTAIN A CLEAN CONSTRUCTION SITE AND SHALL NOT ALLOW THE ACCUMULATION OF RUBBISH OR CONSTRUCTION DEBRIS. ALL TRASH SHALL BE CLEANED ON A DAILY BASIS AND THE SITE SHALL BE LEFT IN A NEAT CONDITION AT THE END OF EACH WORK DAY.
9. TAKE ALL NECESSARY PRECAUTIONS TO AVOID THE SPILLAGE OF FUEL OR OTHER POLLUTANTS AND ADHERE TO ALL APPLICABLE POLICIES AND REGULATIONS RELATED TO SPILL PREVENTION, CONTROL, AND RESPONSE.
10. FOR DUST CONTROL, PERIODICALLY MOISTEN EXPOSED SOIL SURFACES WITH WATER AND MAINTAIN ADEQUATE MOISTURE LEVELS.
11. SWEEP ADJACENT ROADWAYS IF MUD OR SOIL IS TRACKED ON TO THEM, OR AS DIRECTED BY THE ENGINEER.
12. THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF E&S ITEMS AND STORMWATER MANAGEMENT DURING CONSTRUCTION AND AT THE CLOSE-OUT OF CONSTRUCTION. ONCE THE SITE HAS BEEN FINALLY STABILIZED ALL E&S AND STORMWATER MAINTENANCE WILL BE THE RESPONSIBILITY OF GHS FACILITIES.

SITE PREPARATION NOTES:

1. CONTRACTOR SHALL NOTIFY "CALL BEFORE YOU DIG" (1-800-922-4455) AND VERIFY UTILITY MARK-OUT WITH THE OWNER PRIOR TO THE INITIATION OF ANY SITE DISTURBANCE.
2. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR VERIFICATION OF THE LOCATION AND NATURE OF ALL SUBSURFACE UTILITIES AT THE PROJECT WHICH MAY BE AFFECTED BY THE WORK. COORDINATE WITH RESPECTIVE UTILITY OWNERS AND PERFORM VERIFICATION OF TYPE, LOCATION, AND INVERTS AS REQUIRED.
3. PROTECT ALL IMPROVEMENTS NOT INCLUDED WITHIN THE LIMITS OF WORK. ANY IMPROVEMENT WHICH IS DAMAGED SHALL BE REPAIRED OR REPLACED IN-KIND TO THE OWNER'S SATISFACTION.
4. DURING DEMOLITION, PROTECT ALL ADJACENT PAVEMENT, ABOVE-GRADE AND BELOW-GRADE UTILITIES, DRAINAGE STRUCTURES, LIGHT BASES, AND OTHER IMPROVEMENTS POTENTIALLY AFFECTED BY THE WORK. CLEARLY DELINEATE THE LIMITS OF WORK AND MARK, BARRICADE, OR OTHERWISE IDENTIFY THOSE IMPROVEMENTS THAT ARE TO BE PROTECTED AND/OR AVOIDED. ANY IMPROVEMENT WHICH IS DAMAGED SHALL BE REPAIRED OR REPLACED IN-KIND TO THE OWNER'S SATISFACTION.
5. THE LOCATIONS OF EXISTING SITE FEATURES AS SHOWN HAVE BEEN OBTAINED FROM MAPS, SURVEYS, FIELD INSPECTIONS, AND OTHER AVAILABLE INFORMATION. THEY MUST BE CONSIDERED APPROXIMATE BOTH TO LOCATION, SIZE, AND AS-BUILT CONDITION AND ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL FIELD CONDITIONS.
6. THE DIMENSIONS SHOWN ON THE PLANS, INCLUDING THE INTENDED DIMENSIONS OF THE WORK, MAY VARY FROM ACTUAL EXISTING CONDITIONS IN THE FIELD. THE CONTRACTOR SHALL TAKE APPROPRIATE MEASUREMENTS TO VERIFY ALL DIMENSIONS SHOWN ON THE DRAWINGS AS WELL AS OTHER DIMENSIONS HE MAY DEEM APPROPRIATE TO FACILITATE THE COMPLETION OF THE WORK. NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THAT PORTION OF THE WORK.
7. IMPLEMENTING WORKER SAFETY AND/OR HEALTH PROTOCOLS THAT ADDRESS COMPLIANCE WITH RULES, LAWS, AND REGULATIONS PERTAINING TO CONSTRUCTION SAFETY AND/OR THE POTENTIAL AND/OR ACTUAL RISK OF EXPOSURE TO SITE-SPECIFIC PHYSICAL OR CHEMICAL HAZARDS IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
8. PROVIDE PAVEMENT SAWCUT AT THE EDGE OF EACH PAVEMENT REMOVAL AREA TO ESTABLISH A CLEAN EDGE WHERE NEW WORK WILL MEET EXISTING PAVEMENT. SAWCUT SHALL BE A MINIMUM OF 12 INCHES FROM EDGE OF PAVEMENT REMOVAL.
9. UNLESS OTHERWISE INDICATED, ALL DISTURBED AREAS SHALL BE RESTORED WITH FOUR (4) INCHES OF LOAM, SEEDED, FERTILIZED, AND MULCHED. PROVIDE ADDITIONAL EROSION CONTROLS AS REQUIRED.
10. PORTABLE TOILETS AND DUMPSTER BOXES SHALL BE LOCATED AT LEAST 10 FEET FROM ANY STRUCTURE, TRAILER OR MATERIAL STOCKPILE.
11. THERE SHALL BE NO OPEN BURNING OF CONSTRUCTION DEBRIS, WASTE, OR VEGETATION.
12. ALL CONSTRUCTION ACTIVITIES SHALL BE COORDINATED WITH THE POLICE DEPARTMENT.

EROSION CONTROL NARRATIVE

THE PROJECT PROPOSES TO CONSTRUCT A NEW MODULAR BUILDING ADDITION TO THE EXISTING SCHOOL. PUBLIC WATER AND SEWER ARE AVAILABLE. SITE TOPOGRAPHY IS FLAT. THIS PROJECT WILL INCLUDE IMPROVEMENTS SUCH AS NEW SIDEWALKS AND MINOR RENOVATION OF BITUMINOUS PAVEMENT.

THE SPECIFIC EROSION CONCERNS, AND ASSOCIATED SOLUTIONS, ARE AS FOLLOWS:

- AIRBORNE DUST MIGRATION - IT IS CRITICAL THAT DUST MIGRATION BE MITIGATED BY PERIODICALLY DAMPENING EXPOSED SOILS WITH WATER TO PREVENT DUST FROM MIGRATING TO NEIGHBORING PROPERTIES. ADDITIONALLY, STOCKPILES NOT IN USE FOR 30 DAYS OR LONGER SHOULD BE COVERED WITH TARP OR TEMPORARILY SEEDED TO PREVENT RUNOFF TO THE MUNICIPAL SYSTEM.
- SEDIMENT-LADEN WATER - ALL EXISTING CATCH BASINS SUBJECT TO SITE FLOW ON THE SITE, SHALL BE FITTED WITH INLET PROTECTION. AS NEW CATCH BASINS ARE CONSTRUCTED ON THE SITE, THEY SHALL BE FITTED WITH INLET PROTECTION. ADDITIONALLY, SEDIMENT BARRIER PROTECTION, EITHER IN THE FORM OF HAY BALES, OR FILTER SOCKS, SHALL BE MAINTAINED ON THE SOUTH SIDE OF THE SITE. ALL SEDIMENT PROTECTION ITEMS SHALL BE CHECKED ON A WEEKLY BASIS, AND AFTER A STORM GENERATING A RUNOFF, TO ENSURE THEY ARE IN GOOD, WORKING CONDITION, AND FUNCTIONING AS DESIGNED.

THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR THE PLACEMENT AND UPKEEP OF THE EROSION CONTROL MEASURES, AS WELL AS ENSURING SEDIMENT-LADEN WATER DOES NOT ENTER THE RESOURCE AREAS AND AIRBORNE DUST DOES NOT AFFECT NEIGHBORING PROPERTIES.

IT IS HEREBY CERTIFIED THAT THIS SOIL EROSION AND SEDIMENT CONTROL PLAN IS IN COMPLIANCE WITH SECTION 19 OF THE GLASTONBURY BUILDING-ZONE REGULATIONS OR SECTION 5.7 & 11.3 OF THE GLASTONBURY SUBDIVISION AND RESUBDIVISION REGULATIONS, AS APPLICABLE, AND THAT IT SATISFIES THE MINIMUM STANDARDS ESTABLISHED IN CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL (1985), AS AMENDED.

THE PERMITTEE UNDER THIS PLAN IS RESPONSIBLE FOR ENSURING COMPLIANCE WITH THIS PLAN. THE TOWN OF GLASTONBURY SHALL NOT BE HELD LIABLE FOR IMPROPER INSTALLATION, LACK OF MAINTENANCE OR OTHER NEGLIGENCE ON BEHALF OF THE PERMITTEE.

DATE: _____

CHAIRMAN OF SECRETARY OF THE TOWN PLAN AND ZONING COMMISSION

STANDARD INSPECTION NOTE

THE CONTRACTOR SHALL NOTIFY THE TOWN OF GLASTONBURY ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, SANITARY SEWER INSTALLATION, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, OR ANY EXCAVATION IN THE TOWN RIGHT-OF-WAY TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:00 AM - 4:30 PM MONDAY THRU FRIDAY AT (860) 652-7735.

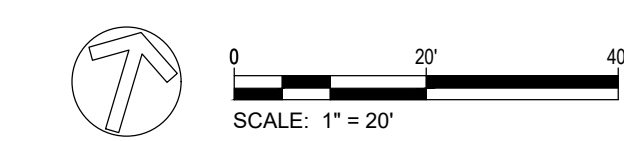
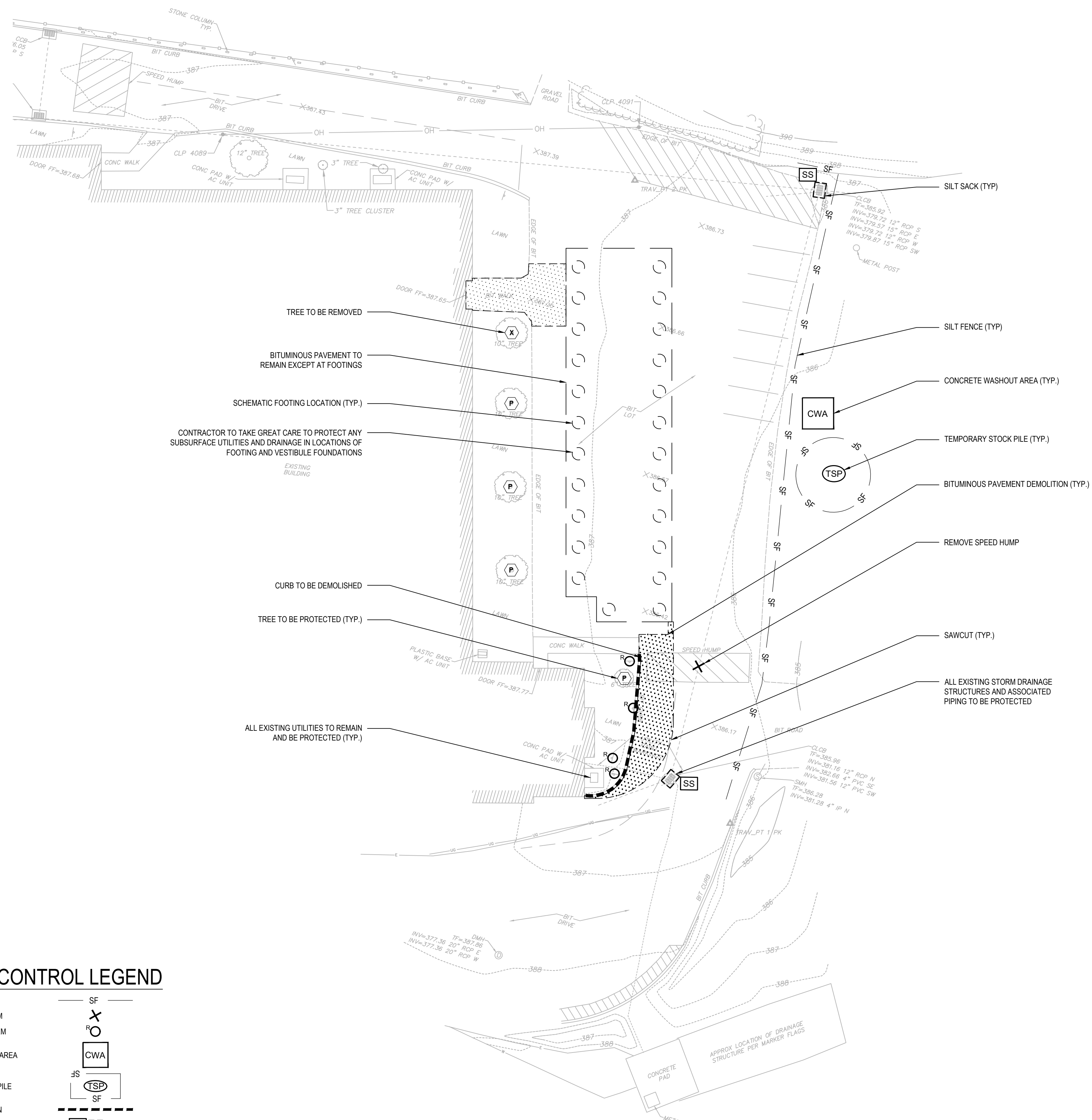
EROSION & SEDIMENTATION CONTACT

AL COSTA, DIRECTOR OF OPERATIONS/MAINTENANCE
(860)-652-7992
COSTAA@GLASTONBURY.US.ORG

<i>GLASTONBURY PUBLIC SCHOOLS</i>	<i>RURAL RESIDENCE</i>
<i>PROJECT/APPLICANT</i>	<i>ZONE</i>
<i>1389 NEPSIC ROAD</i>	
<i>PROJECT ADDRESS</i>	
<i>SPECIAL PERMIT</i>	<i>TPZ CHAIRPERSON</i>
<i>DATE SPECIAL PERMIT APP'D</i> <i>DIRECTOR OF COMMUNITY DEVELOPMENT</i>	
<i>FILE NO.</i>	

EROSION CONTROL LEGEND

- SILT FENCE SF
- REMOVE SITE ITEM X
- RELOCATE SITE ITEM O
- CONCRETE WASHOUT AREA CWA
- TEMPORARY STOCKPILE JS
- CURB DEMOLITION SF
- SILT SACK SS
- BITUMINOUS PAVEMENT DEMOLITION [Pattern]
- TREE TO BE REMOVED (X)
- TREE TO BE PROTECTED (P)



Project Title:
New Construction
EASTBURY SCHOOL MODULARS

1389 NEPSIC ROAD
GLASTONBURY, CT 06033



SILVER PETRUCELLI + ASSOCIATES
3190 WHITNEY AVENUE HAMDEN CT 06518
311 STATE STREET NEW LONDON CT 06320
203 230 9007 silverpetrucci.com

Revision:	Description:	Date:	Revised By:



Drawing Title:
SITE PREP AND EROSION & SEDIMENTATION CONTROL PLAN

Date: 09/17/2024
Scale: 1" = 20'
Drawn By: RLC
Project Number: 0725-500009.00
Drawing Number: **C-1.0**

TOTAL REDUCTION OF IMPERVIOUS COVER TABLE	
ADDITION OF PROPOSED IMPERVIOUS COVER	444 SF
ADDITION OF EXISTING IMPERVIOUS COVER	458 SF
NET TOTAL REDUCTION	-14 SF

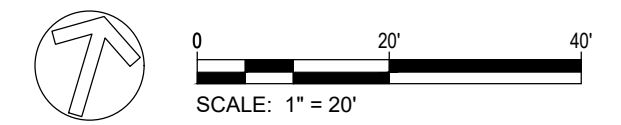
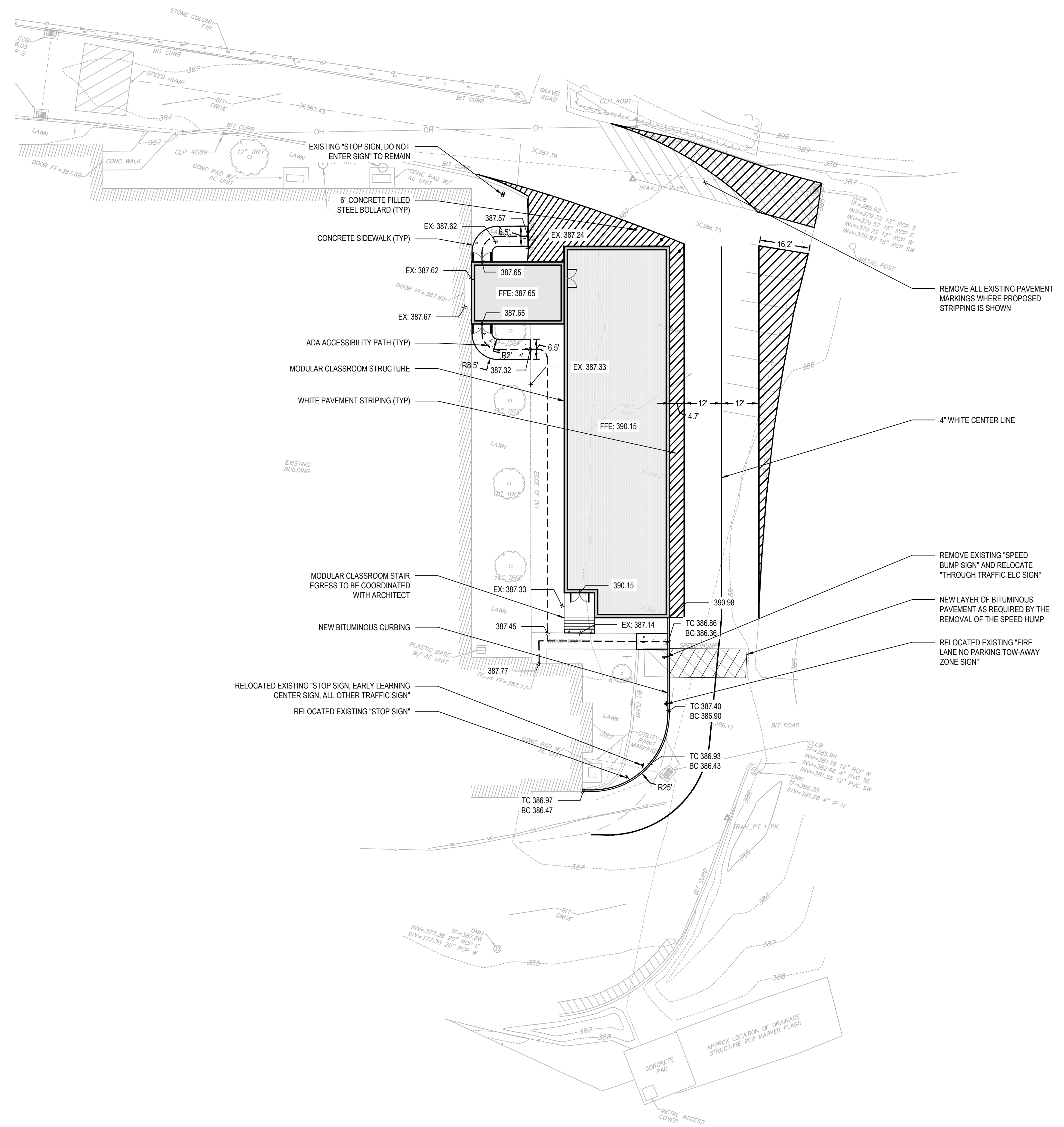
MATERIALS NOTES

- MATERIALS AND CONSTRUCTION PROCEDURES SHALL COMPLY WITH CT DOT FORM 818, THE TOWN OF GLASTONBURY REGULATIONS AND THE PROJECT MANUAL.
- ALL LOCATIONS WHERE EXISTING CURBING, BITUMINOUS CONCRETE ROADWAY OR CONCRETE ROADWAY OR CONCRETE SIDEWALK ABUT NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO PROVIDE A CLEAN, SMOOTH EDGE. TACK COAT EXPOSED EDGES OF EXISTING CONCRETE PRIOR TO PLACEMENT OF NEW BITUMINOUS CONCRETE PAVEMENT.
- MANUFACTURED ITEMS SHALL BE INSTALLED, CONNECTED AND CLEANED ACCORDING TO THE MANUFACTURERS DIRECTIONS.
- EXPANSION AND SCORE JOINTS FOR NEW CONCRETE WALKS SHALL BLEND TO MATCH EXISTING PATTERNS. CONTRACTOR TO ARRANGE TIMELY ON-SITE CONFERENCES WITH LANDSCAPE ARCHITECT TO APPROVE LAYOUT OF JOINT PATTERNS.
- PROVIDE EXPANSION JOINTS FOR NEW CONCRETE PAVING AT ALL CURBS, TREE GRATES, BUILDING WALLS, SITE WALLS, STAIRS, LIGHT POLE BASES, MANHOLES, GRATES/VAULTS, EXISTING CONCRETE PAVING, STOP LIGHTS, FIRE HYDRANTS AND ALL OTHER FIXED MATERIALS. MAXIMUM DISTANCE BETWEEN EXPANSION JOINTS SHALL NOT EXCEED 20 FEET.
- ALL DAMAGED OR BROKEN SECTIONS OF EXISTING STREET SIDEWALK AND CURBING WITHIN THE TOWN RIGHT OF WAY SHALL BE REPLACED.
- TRAFFIC SIGNAL VEHICLE DETECTION ZONE TO BE UPDATED FOR THIS PROJECT.
- EV CHARGING STATION IS TO BE PROVIDED BY THE OWNER, INSTALLED BY THE VENDOR. CONTRACTOR IS RESPONSIBLE TO PROVIDE INSTALLATION-READY CONDITION INCLUSIVE OF ALL SITE PREPARATION, WIRING, ETC.

STANDARD INSPECTION NOTE

THE CONTRACTOR SHALL NOTIFY THE TOWN OF GLASTONBURY ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, SANITARY SEWER INSTALLATION, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, OR ANY EXCAVATION IN THE TOWN RIGHT-OF-WAY TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:00 AM - 4:30 PM MONDAY THRU FRIDAY AT (860) 652-7735.

GLASTONBURY PUBLIC SCHOOLS PROJECT/APPLICANT	RURAL RESIDENCE ZONE
1389 NEIPSIC ROAD PROJECT ADDRESS	
SPECIAL PERMIT	TPZ CHAIRPERSON
DATE SPECIAL PERMIT APP'D	DIRECTOR OF COMMUNITY DEVELOPMENT
FILE NO.	

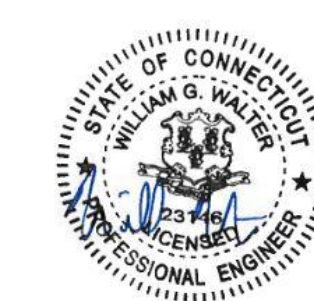


Project Title:
New Construction
EASTBURY SCHOOL MODULARS
 1389 NEIPSIC ROAD
 GLASTONBURY, CT 06033



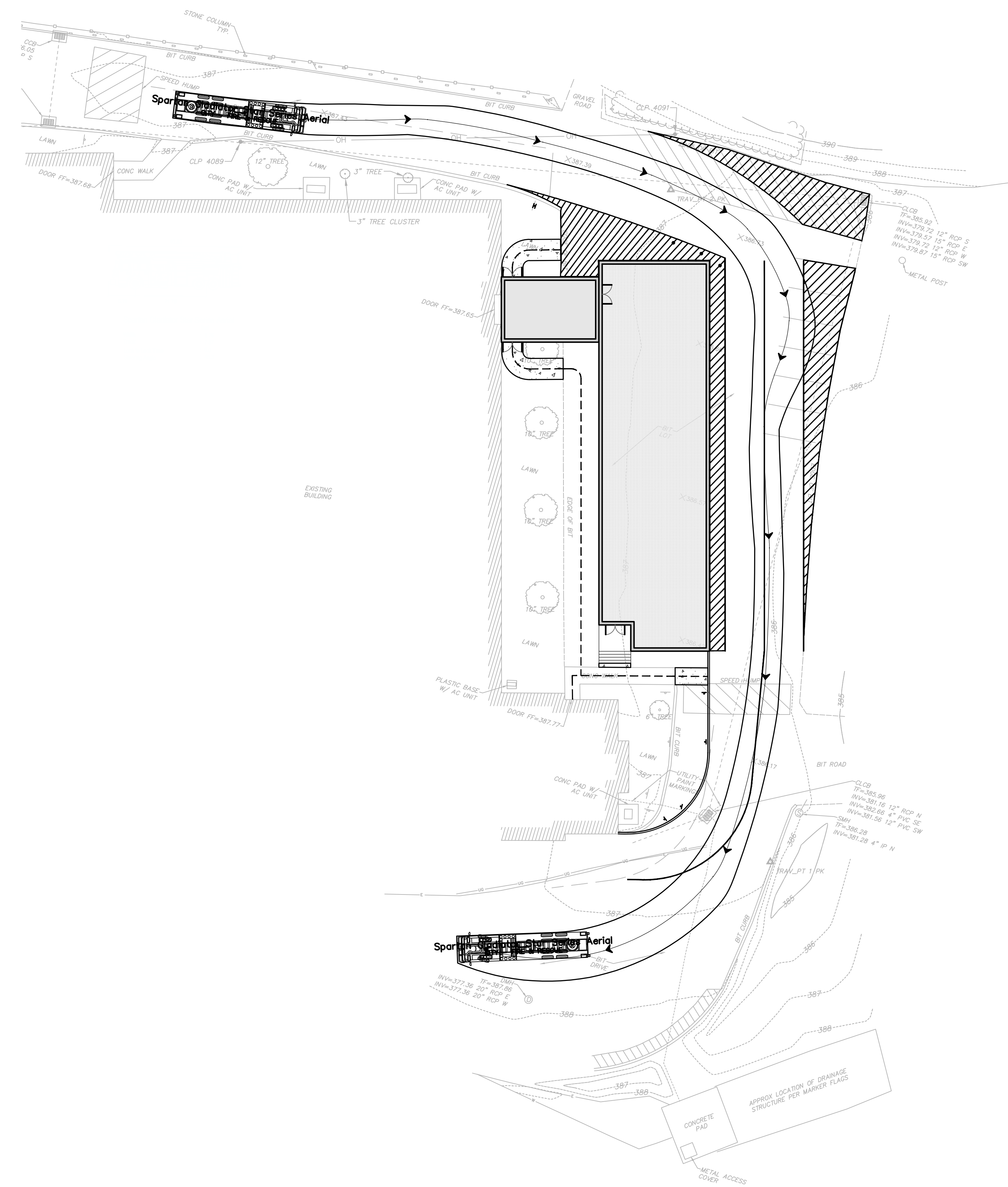
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 311 STATE STREET NEW LONDON CT 06320
 203 230 9007 silverpetrucci.com

Revision:	Description:	Date:	Revised By:



Drawing Title:
SITE PLAN

Date: 09/17/2024
 Scale: 1" = 20'
 Drawn By: RLC
 Project Number: 0725-500009.00
 Drawing Number: **C-2.0**



GLASTONBURY PUBLIC SCHOOLS PROJECT/APPLICANT
 RURAL RESIDENCE ZONE
 1389 NEIPSIC ROAD PROJECT ADDRESS
 SPECIAL PERMIT TP2 CHAIRPERSON
 DATE SPECIAL PERMIT APP'D DIRECTOR OF COMMUNITY DEVELOPMENT
 FILE NO.



Project Title:
New Construction
EASTBURY SCHOOL MODULARS
 1389 NEIPSIC ROAD
 GLASTONBURY, CT 06033



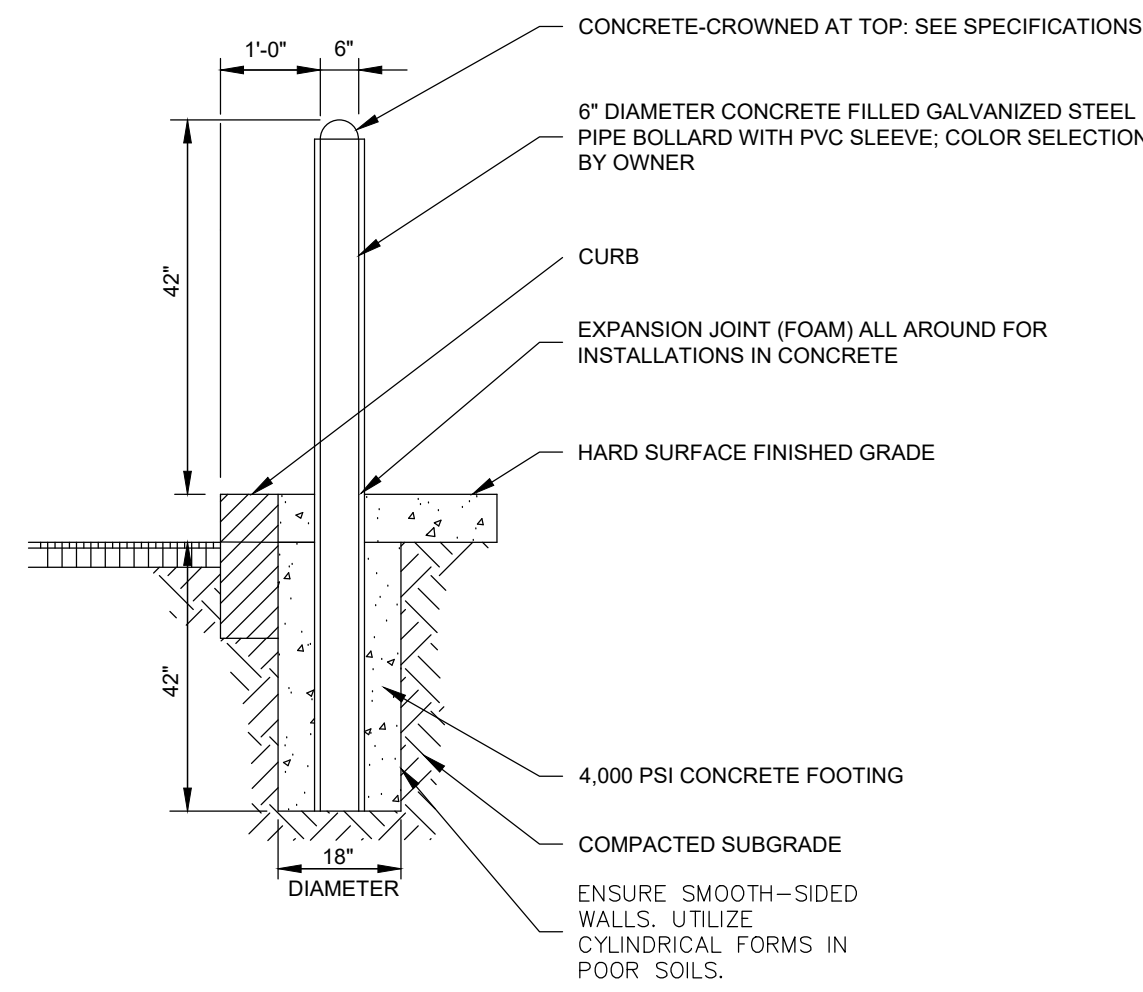
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Revision:	Description:	Date:	Revised By:

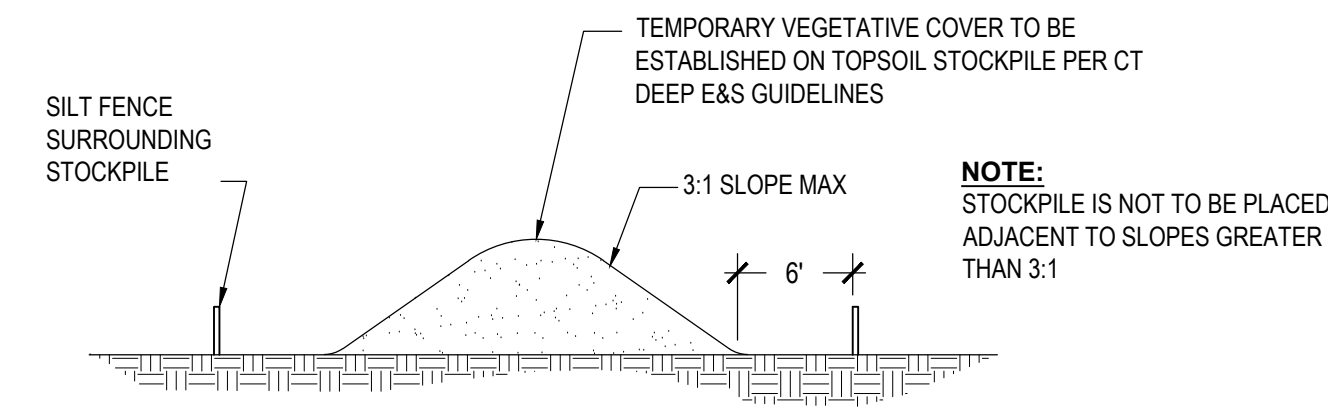


Drawing Title:
FIRE TRUCK TURNING
MOVEMENT PLAN

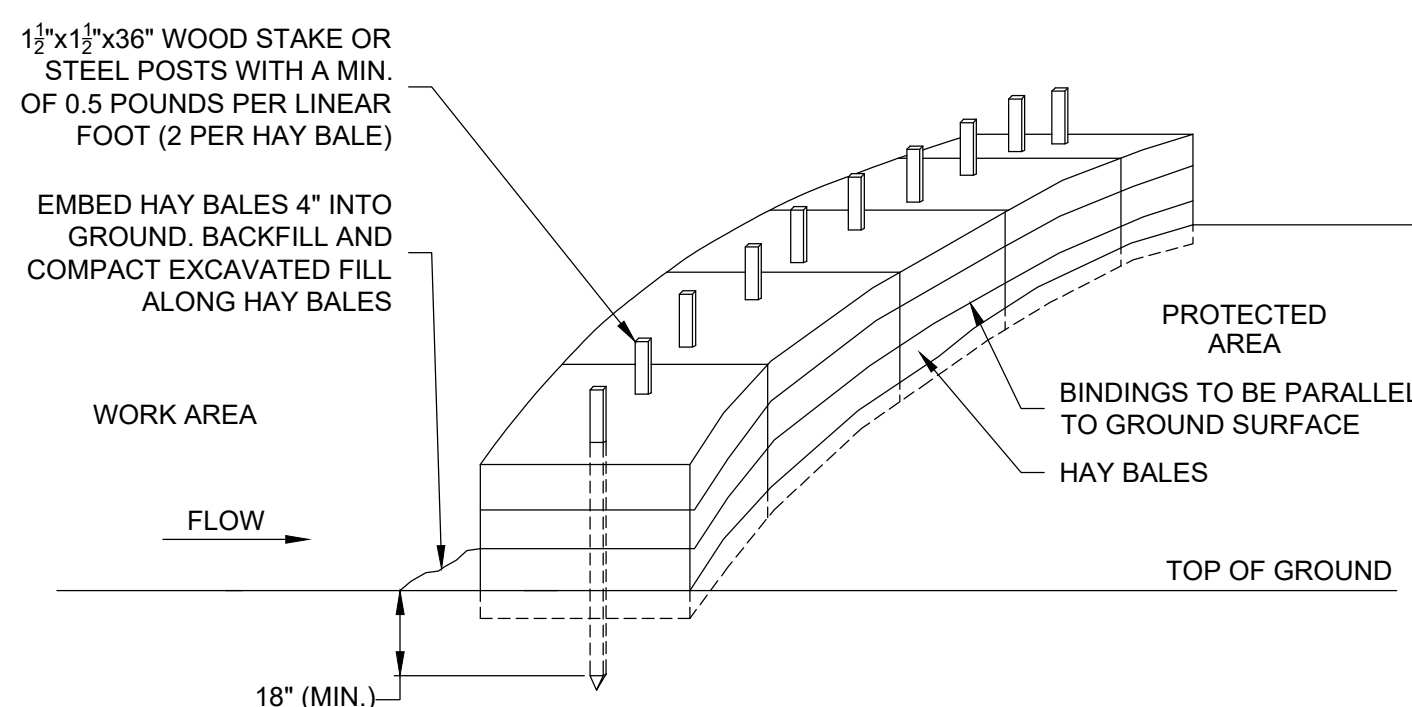
Date: 09/17/2024
 Scale: 1" = 20'
 Drawn By: RLC
 Project Number: 0725-500009.00
 Drawing Number: **C-2.1**



CONCRETE FILLED STEEL BOLLARD
N.T.S.

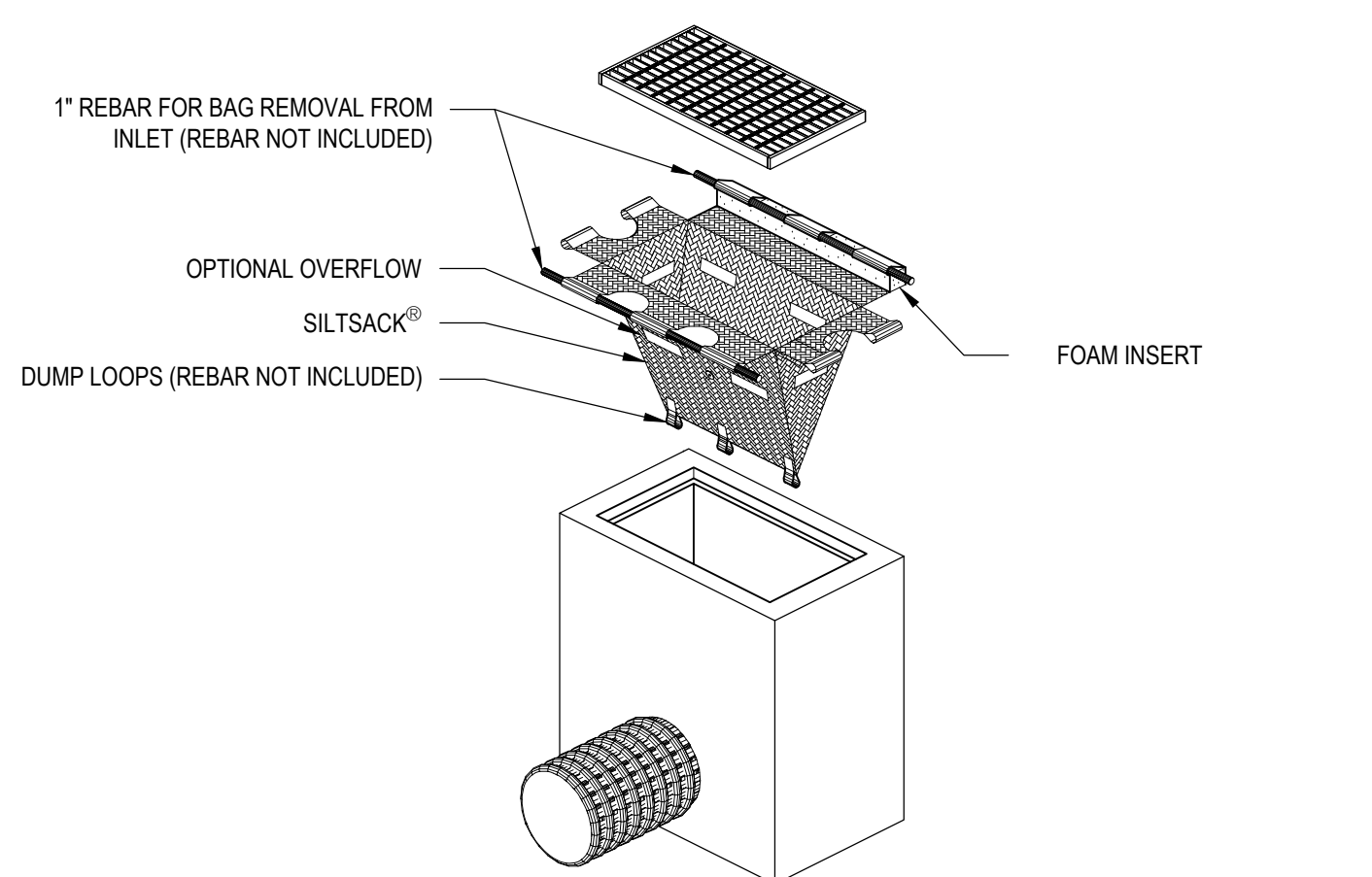


TEMPORARY STOCKPILE (TSP)
N.T.S.



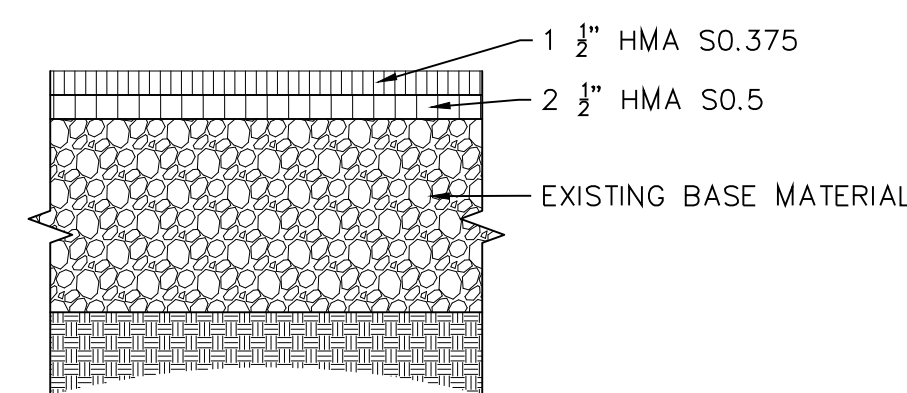
- NOTES:
- HAY BALES SHALL BE MADE OF HAY OR STRAW WITH 40 POUND MIN. WEIGHT AND 120 POUND MAX. WEIGHT HELD TOGETHER BY TWINE OR WIRE.
 - PLACE HAY BALES ON CONTOUR AND WING THE LAST HAY BALES UP SLOPE SO THAT THE TOP OF THE LAST SEVERAL HAY BALES ARE HIGHER THAN THE LINE OF HAY BALES.
 - DRIVE FIRST STAKE IN EACH BALE TOWARD THE PREVIOUSLY LAID BALE TO FORCE THEM TOGETHER.
 - PUT ONE HAY BALE PERPENDICULAR ALONG HAY BALE BARRIER EACH 100 FEET.

HAY BALE BARRIER (HB)
N.T.S.

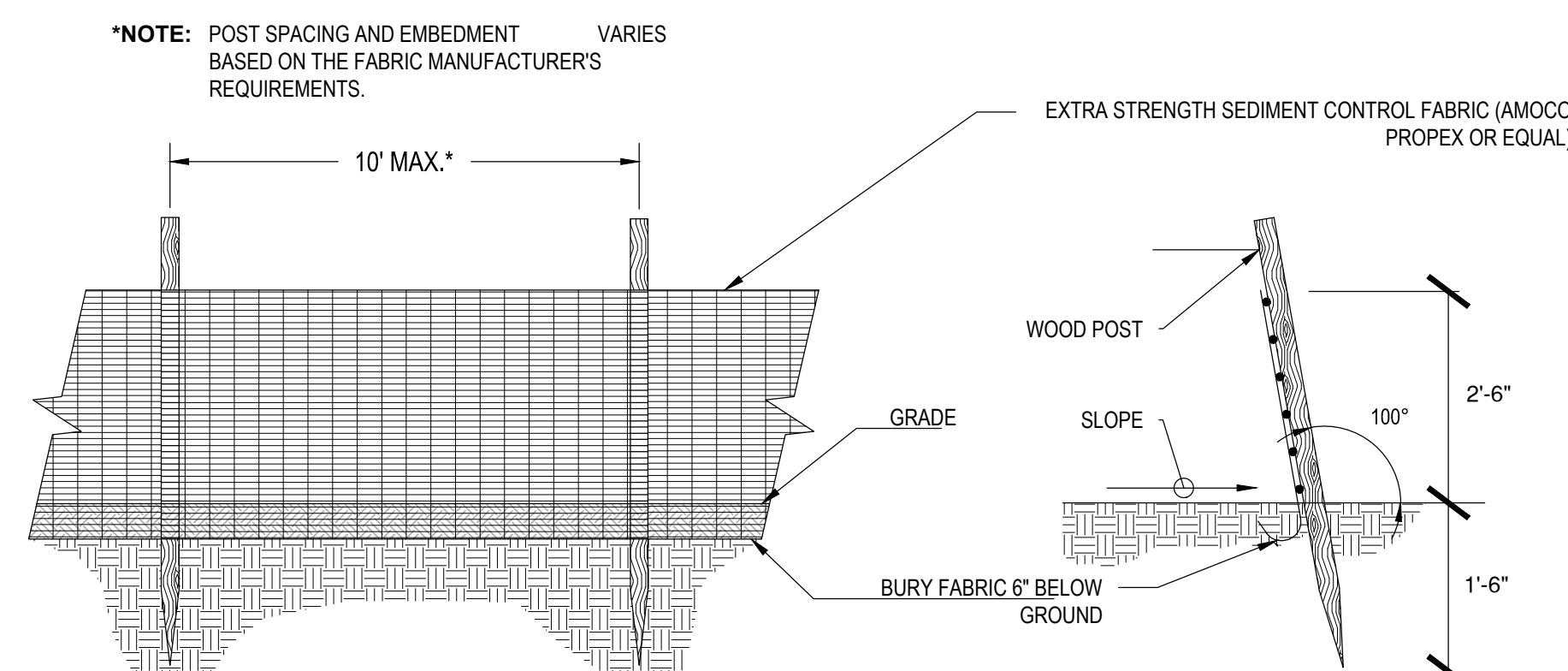


*SILTSACK® SEDIMENT CONTROL DEVICE, TERRAFIX GEOSYNTHETICS INC. TORONTO, ONTARIO, CA
WWW.TERRAFIXGEO.COM

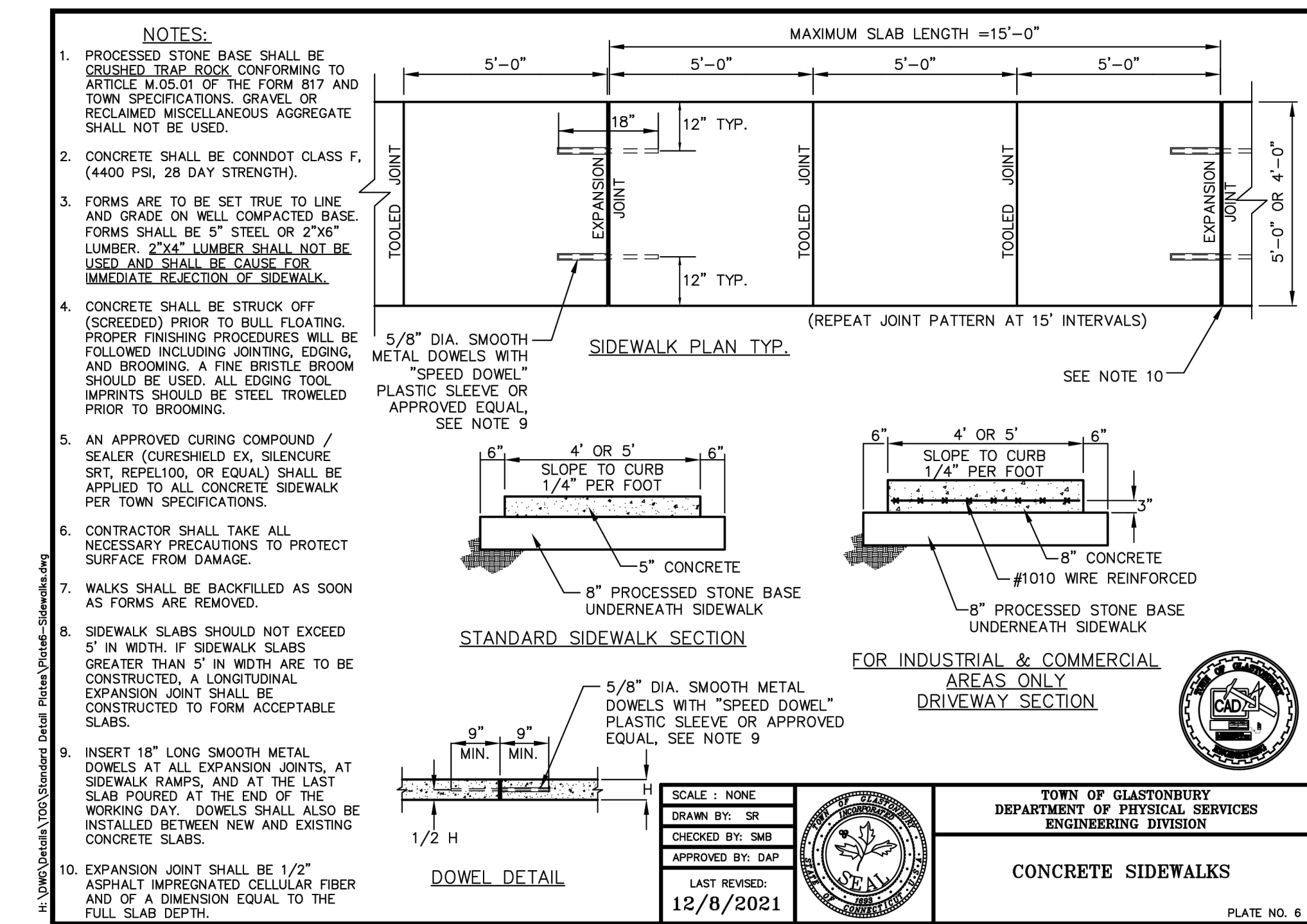
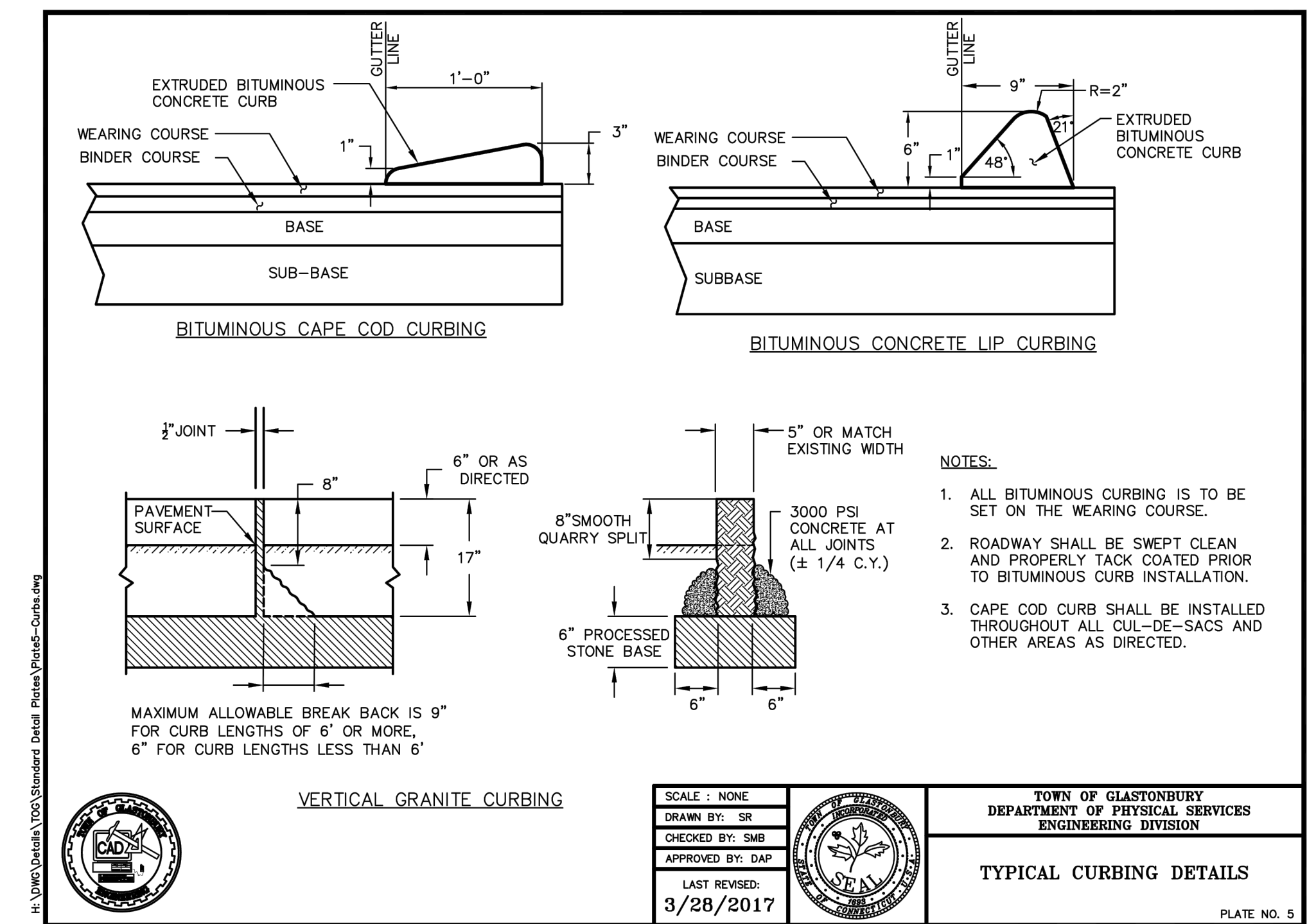
SILT SACK DETAIL (SS)
N.T.S.



BITUMINOUS CONCRETE PAVEMENT
N.T.S.



SILT FENCE BARRIER (SF)
N.T.S.



GLASTONBURY PUBLIC SCHOOLS PROJECT/APPLICANT

RURAL RESIDENCE ZONE

1389 NEIPSIC ROAD PROJECT ADDRESS

SPECIAL PERMIT TPZ CHAIRPERSON

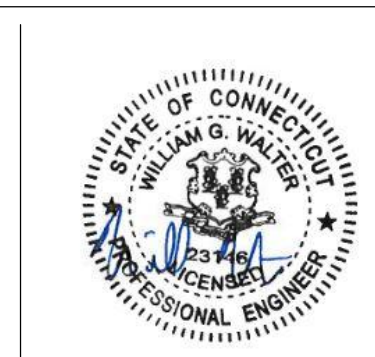
DATE SPECIAL PERMIT APP'D DIRECTOR OF COMMUNITY DEVELOPMENT

FILE NO.

Project Title:
**New Construction
EASTBURY SCHOOL MODULARS**
1389 NEIPSIC ROAD
GLASTONBURY, CT 06033

SILVER PETRUCELLI + ASSOCIATES
3190 WHITNEY AVENUE HAMDEN CT 06518
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Revision	Description	Date	Revised By



Drawing Title:
DETAILS

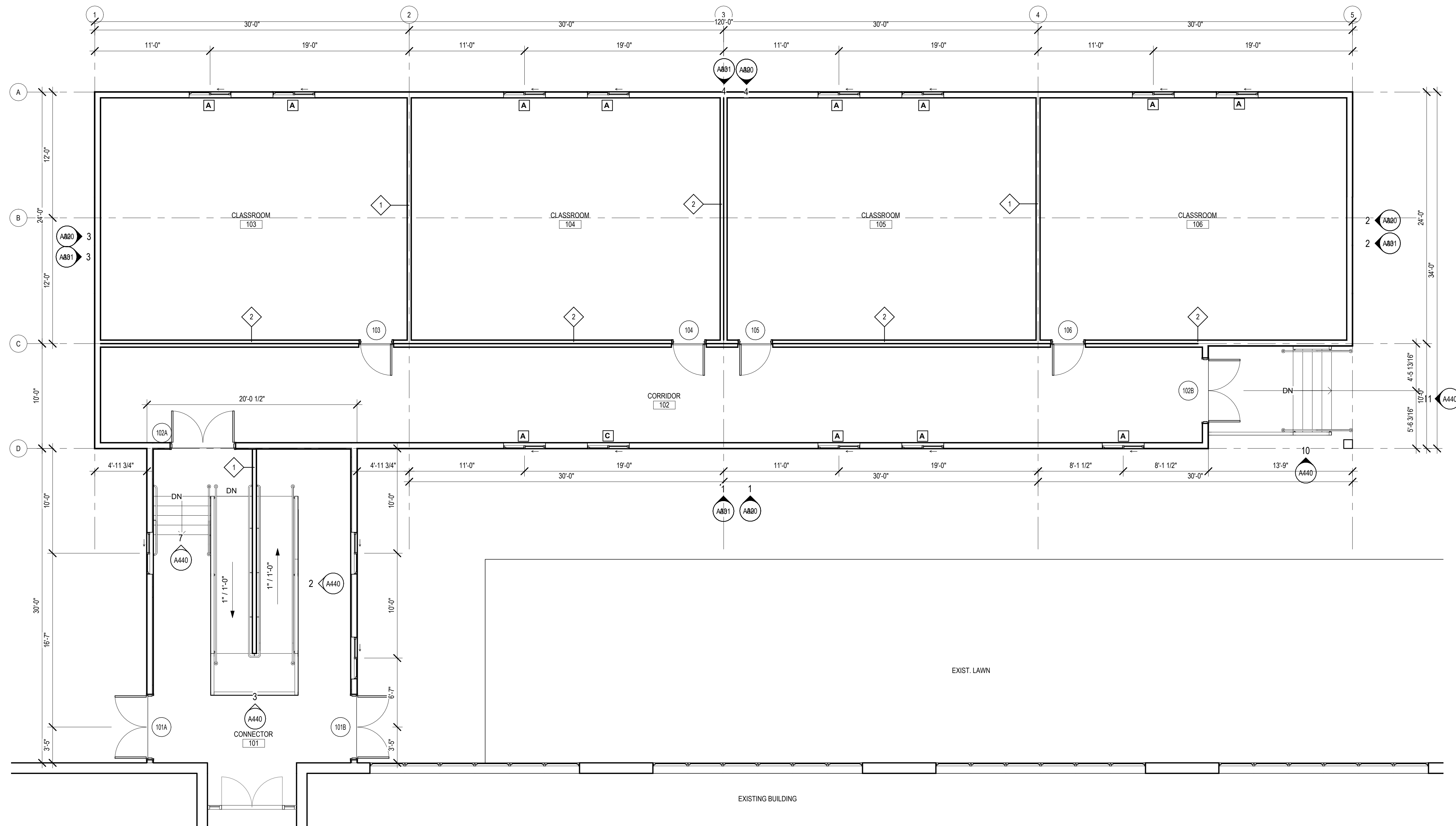
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09/17/2024

Scale:
AS INDICATED

Drawn By:
RLC

Project Number:
0725-500009.00

Drawing Number:
C-3.0

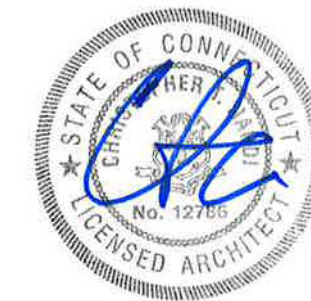


SYMBOL LEGEND	
	- NEW METAL STUD PARTITIONS
	- NEW MASONRY WALL
	- NEW CMU WALL
	- DOOR NUMBER
	- WINDOW TYPE
Room name 101	- ROOM NAME - ROOM NUMBER
	- PARTITION TYPE
	- CONSTRUCTION NOTE
2	- EXTERIOR ELEVATION NUMBER
	- SHEET NUMBER
2	- INTERIOR ELEVATION NUMBER
	- SHEET NUMBER
	- BUILDING SECTION NUMBER
	- SHEET NUMBER
	- WALL SECTION NUMBER
	- SHEET NUMBER
F.E.C.	- FIRE EXTINGUISHER CABINET
FD	- FLOOR DRAIN - SLOPE TO DRAIN
H.D.F.	- HANDICAPPED DRINKING FOUNTAIN

- GENERAL NOTES**
1. READ ALL GENERAL NOTES ON DRAWING A001.
 2. CONTRACTORS SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS. PATCH TO MATCH ALL EXISTING WALLS AND CEILINGS TO REMAIN AFFECTED BY NEW WORK.
 3. PATCH TO MATCH ALL EXISTING WALLS AND CEILINGS TO REMAIN AFFECTED BY NEW WORK.
 4. ALL DIMENSIONS ARE TO OUTSIDE FACE OF BRICK, CONCRETE MASONRY UNITS AND METAL FRAMING UNLESS OTHERWISE NOTED. ALL NEW WALL AND PARTITION ASSEMBLIES SHALL EXTEND TO UNDERSIDE OF DECK UNLESS OTHERWISE NOTED.
 5. PROVIDE CMU WITH PRE-MANUFACTURED BULLNOSE AT ALL EXPOSED CORNERS.
 6. WHERE THE WORD "ALIGN" IS INDICATED IT SHALL MEAN TO ALIGN BOTH SIDES OF WALL.

CONSTRUCTION NOTES - PLAN

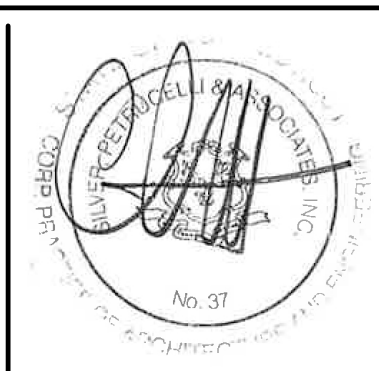
1 FIRST FLOOR PLAN
3/16" = 1'-0" REFERENCE: 1/ A2



Project Title:
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Revision:	Description:	Date:	Revised By:



Drawing Title:
FIRST FLOOR PLAN

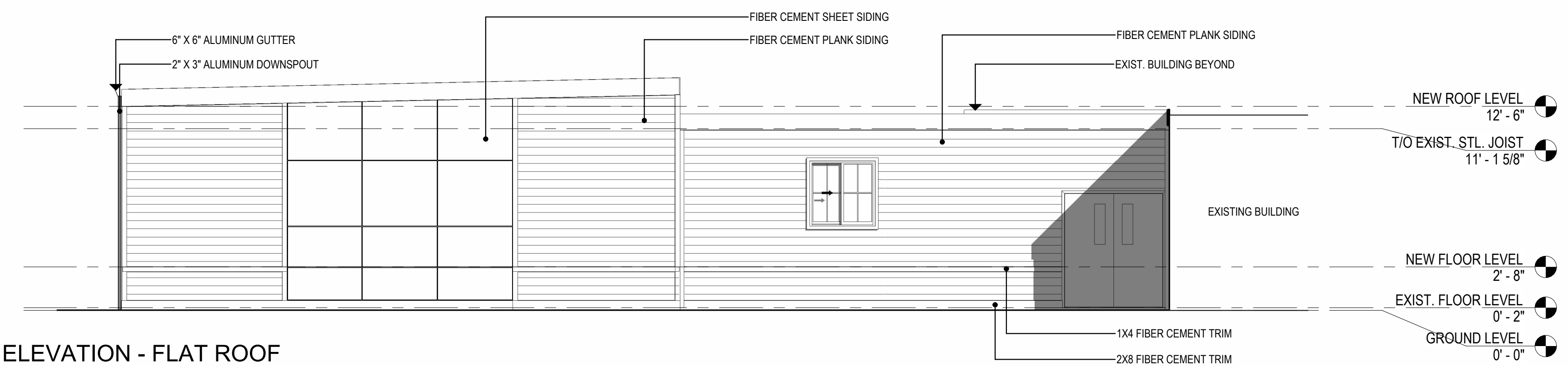
Date: 09/17/2024
Scale: _____
As indicated _____
Drawn By: _____
Author: _____
Project Number: 24.127

A1

4 EAST ELEVATION - FLAT ROOF
 3/16" = 1'-0" REFERENCE: 1/A1



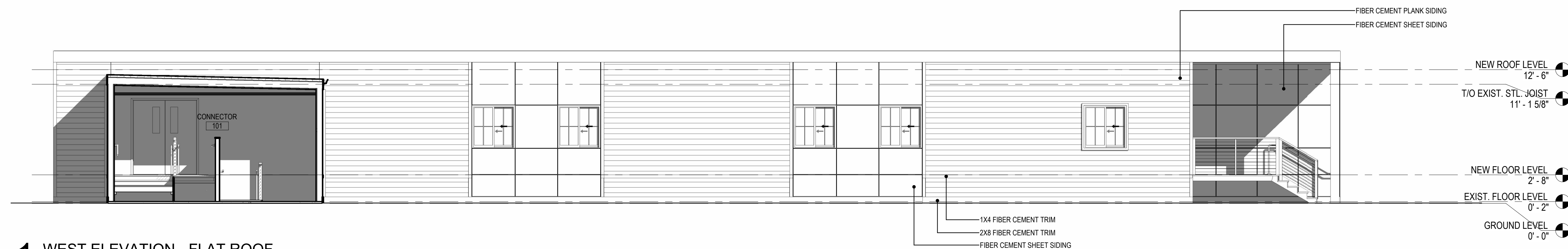
3 NORTH ELEVATION - FLAT ROOF
 3/16" = 1'-0" REFERENCE: 1/A1



2 SOUTH ELEVATION - FLAT ROOF
 3/16" = 1'-0" REFERENCE: 1/A1



1 WEST ELEVATION - FLAT ROOF
 3/16" = 1'-0" REFERENCE: 1/A1

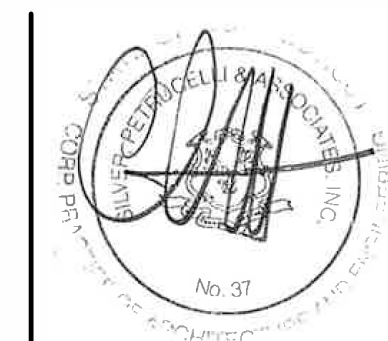
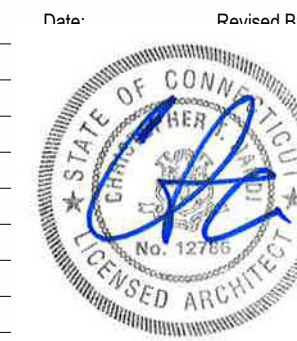


Project Title:
New Construction
EASTBURY SCHOOL MODULARS
 1389 NEIPSIC ROAD
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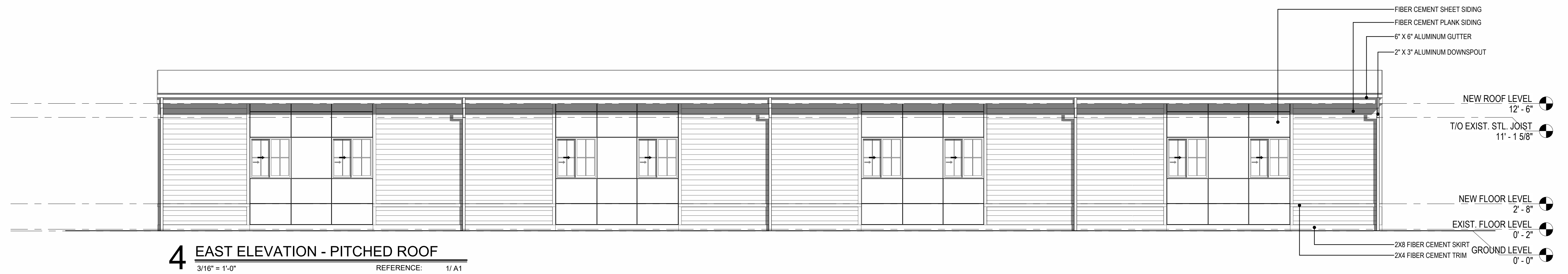
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Revision:	Description:

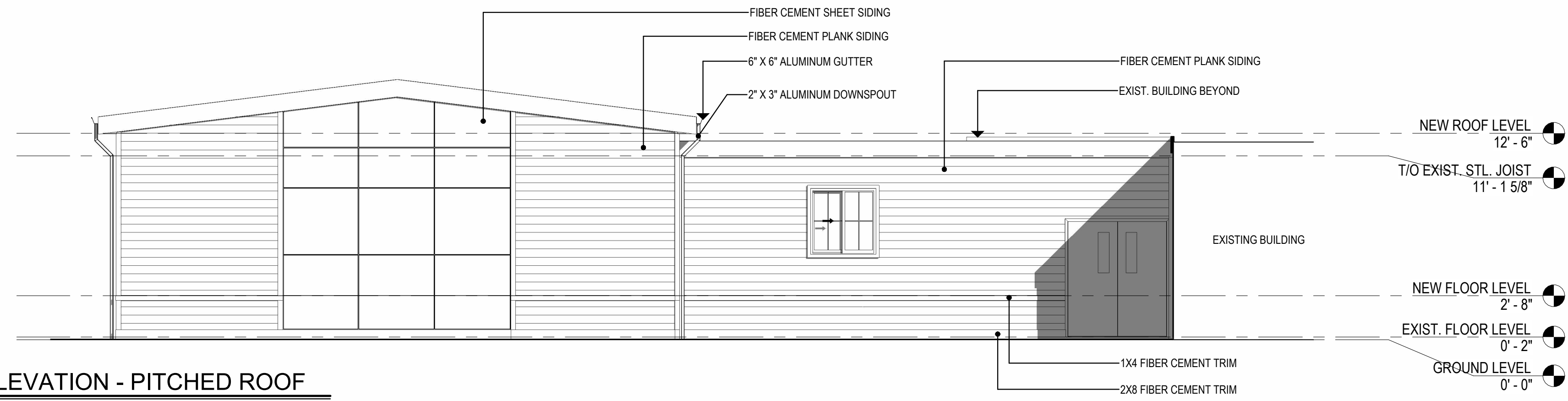


Drawing Title:
EXTERIOR ELEVATIONS - FLAT ROOF

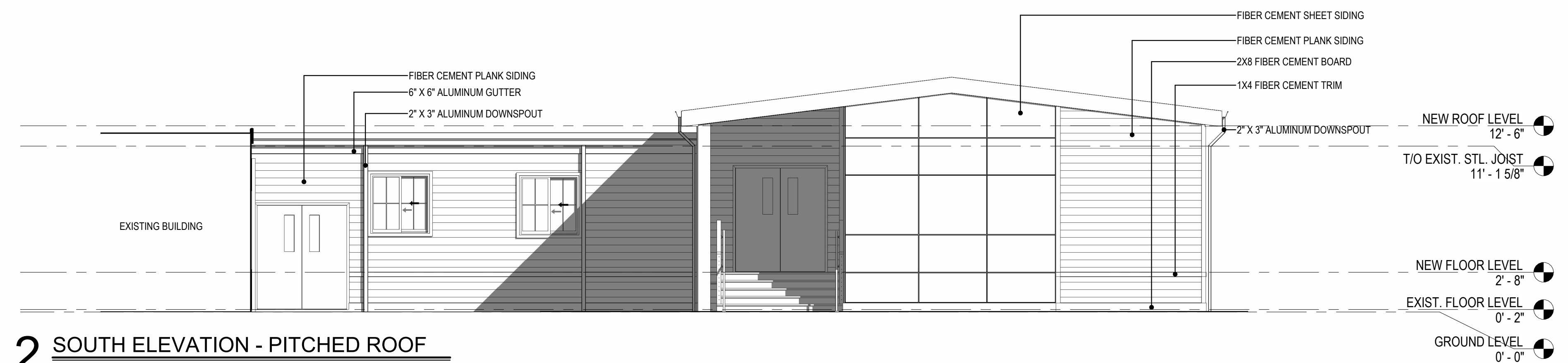
Date: 09/17/2024
 Scale: 3/16" = 1'-0"
 Drawn By:
 Author:
 Project Number: 24.127
 Drawing Number: **A2**



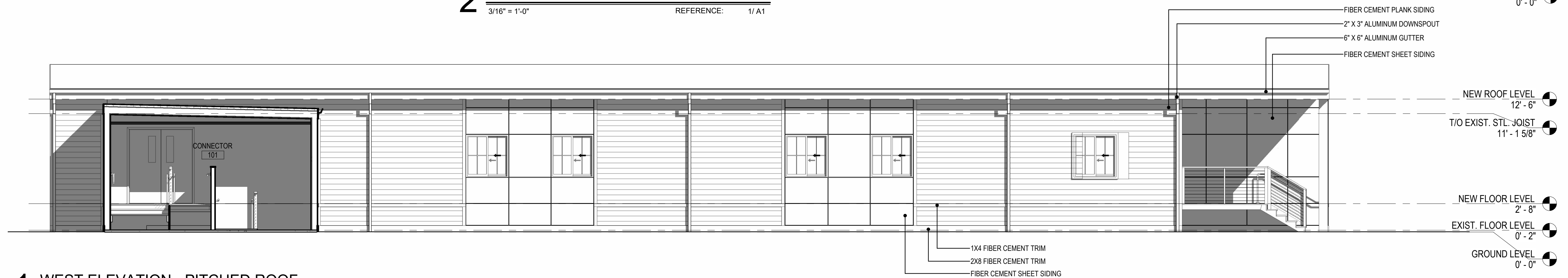
4 EAST ELEVATION - PITCHED ROOF
 3/16" = 1'-0" REFERENCE: 1/A1



3 NORTH ELEVATION - PITCHED ROOF
 3/16" = 1'-0" REFERENCE: 1/A1



2 SOUTH ELEVATION - PITCHED ROOF
 3/16" = 1'-0" REFERENCE: 1/A1



1 WEST ELEVATION - PITCHED ROOF
 3/16" = 1'-0" REFERENCE: 1/A1

Project Title:
New Construction
EASTBURY SCHOOL MODULARS
 1389 NEIPSIC ROAD
 GLASTONBURY, CT 06033



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Revision:	Description:



Drawing Title:
EXTERIOR ELEVATIONS - PITCHED ROOF

Date: 09/17/2024
 Scale: 3/16" = 1'-0"
 Drawn By:
 Author:
 Project Number: 24.127

A3

LIGHTING FIXTURE SCHEDULE									
DESIGNATION	DESCRIPTION	MANUFACTURER/ MODEL NUMBER	LAMP			ELECTRICAL			NOTES
			TYPE	COLOR TEMP	LUMEN	DRIVER	VOLTAGE	WATTS	
1	WALL MOUNTED FULL CUTOFF EXTERIOR LED LIGHT FIXTURE WITH BLACK FINISH.	BEACON TRP2 GEOPAK #TRP2-36L-15-AM-2-SCP	LED	3600	1444	ELECTRONIC	120	17.3	

MEP NOTES

- ① EXISTING FIXTURE NOT INCLUDED IN THE LIGHTING CALCULATION.

GEOPAK Series 2 - Low Glare
SIZE 2 - TRP2/RD12

FEATURES

- Mid sized architectural wallpacks in two stylish shapes
- Capable of replacing up to 400w HID luminaires
- Forward Throw and Wide Throw distributions for a wide variety of applications.
- Control capabilities offer additional energy savings options
- Zero uplight distributions
- Optional up-light with Wall Graze or Column distributions

SPECIFICATIONS

CONSTRUCTION

- Die-cast aluminum housing and door
- Seven powder coat standard finishes, plus custom color options
- Meets ASTM B17 with 1,000 hours of salt spray exposure

OPTICS

- LEDs deliver up to 9,353 lumens
- Up to 155 lumens per watt (LPW)
- Distribution patterns for a variety of applications - Forward Throw and Wide Throw
- CCT: 3000K, 4000K, and 5000K
- CRI: 70

INSTALLATION

- Quick-mount adapter with gasket seal provides easy installation to wall or to recessed junction box (4" square junction box). Fixture attaches by two Allen-head hidden fasteners for tamper resistance
- Back box accessory available for surface conduit application

ELECTRICAL

- 120-277, 347 and 480 voltage, 50/60Hz
- Power factor > 90%
- THD (Total Harmonic Distortion) <20%
- Ambient operating temperature -40°C to 40°C

ELECTRICAL (CONTINUED)

- Optional 20kA surge protection device (series). Automatically takes fixture off-line when device is consumed

CONTROLS

- Drivers are 0-10V dimming standard
- Universal button photocontrol for dusk to dawn energy savings
- Photocell and occupancy sensor options available for complete on/off and dimming control

CERTIFICATIONS

- IP66 rated housing
- Zero uplight (UO), dark sky, neighbor friendly
- Drivers IP66 and RoHS compliant
- This product meets federal procurement law requirements under the Buy American Act (52.225-9) and Trade Agreements Act (FAR 52.225-11). See American(n) Solutions (line to <http://www.currentlighting.com/resources/american-solutions>)

WARRANTY

- 5 year limited warranty

KEY DATA	
Lumen Range	2774-9353
Wattage Range	20-70
Efficacy Range (LPW)	119-155
Weights lbs. (kg)	16-18 (7.3-8.2)

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Page 1 of 7
Rev 12/13/23
Geopak2 SpecSheet_R02

DATE: _____ LOCATION: _____

TYPE: _____ PROJECT: _____

CATALOG #: _____

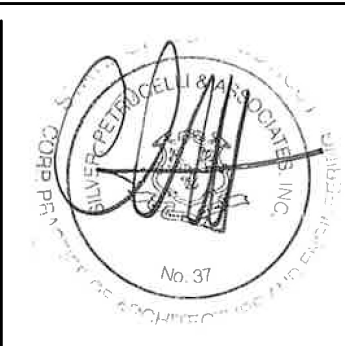


LIGHTING CALCULATION
SCALE: 1" = 1'

Project Title:
New Construction
EASTBURY SCHOOL MODULARS
1389 NEIPSIC ROAD
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Revision: _____ Description: _____ Date: _____ Revised By: _____



Drawing Title:
ELECTRICAL SITE PLAN -
LIGHTING CALCULATION

Date: 09/17/2024
Scale: _____
AS NOTED
Drawn By: Richard Papa
Project Number: _____
Drawing Number: 24-127

E1