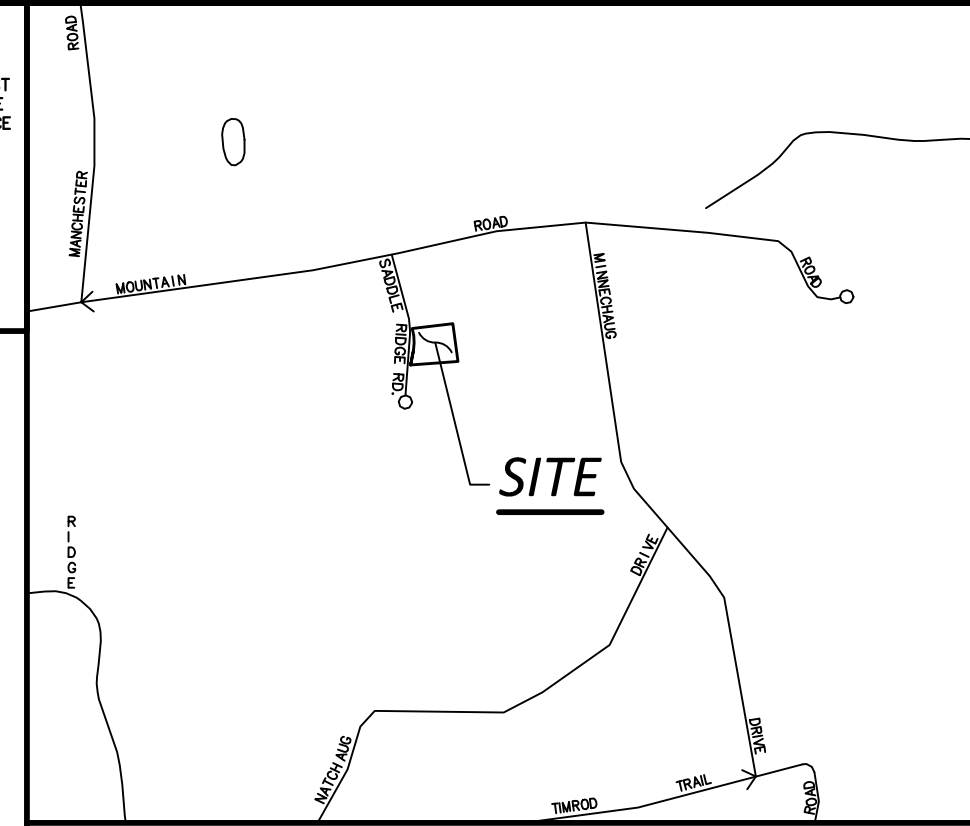


UNDERGROUND UTILITY NOTE:
 UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROLE TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO THE UNDERSIGNED. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455 OR 811.

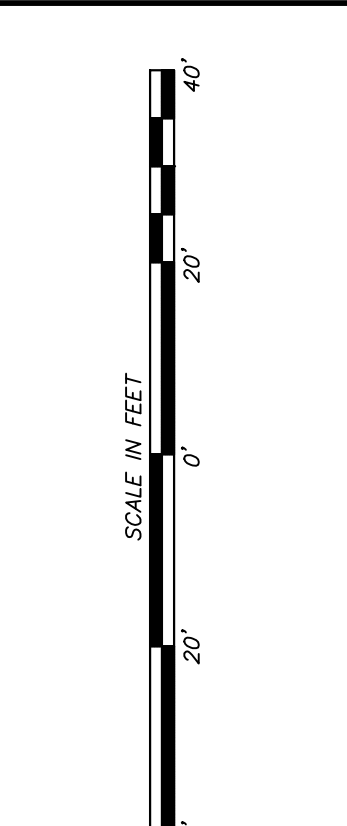
INSPECTION NOTE:
 THE CONTRACTOR SHALL NOTIFY THE TOWN OF GLASTONBURY ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, SANITARY SEWER INSTALLATION, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, OR ANY EXCAVATION IN THE TOWN RIGHT-OF-WAY TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:00 AM - 4:30 PM MONDAY THROUGH FRIDAY AT (860)-652-7735



LOCATION MAP
 SCALE: 1"=1,000'

WETLAND DELINEATION CERTIFICATION
 I HAVE REVIEWED THE WETLAND LIMITS DEPICTED HEREON AND FIND THEM TO BE CONSISTANT WITH THE FIELD DELINEATION I PERFORMED

IAN COLE, REGISTERED SOILS SCIENTIST
 PO BOX 619
 MIDDLETOWN, CT 06457
 ITCOLE@MAIL.COM



DUTTON ASSOCIATES, LLC
 LAND SURVEYORS AND CIVIL ENGINEERS
 67 EASTERN BOULEVARD
 GLASTONBURY, CONNECTICUT 06033
 TEL: 860-633-9401, FAX: 860-633-8851
 EMAIL: JMD@DUTTONASSOCIATESL.LC.COM

JAMES W. DUTTON, L.S. #70074
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ZONING LOCATION SURVEY
LOT #1
#39 SADDLE RIDGE ROAD
 PREPARED FOR
T & M BUILDING CO., INC.
 GLASTONBURY, CONNECTICUT

THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.

REFERENCE IS MADE TO MAP TITLED: "SADDLE RIDGE" SUBDIVISION PLAN GLASTONBURY, CT SHEET 1 OF 3", SCALE 1"=40', DATED 06-04-84, REVISED 12-07-84, MAP NO. A-86-26-S1, BY LUCHS & BECKERMAN, GLASTONBURY, CT.

"THE CONNECTICUT LIGHT AND POWER COMPANY A NORTHEAST UTILITY COMPANY EASEMENT ON THE PROPERTY OF BALDWIN CONSTRUCTION COMPANY", SCALE 1"=40', DATED 4-18-86 ON FILE IN THE OFFICE OF THE TOWN CLERK AS MAP NO. 4470

THE TYPE OF SURVEY PERFORMED IS A LIMITED PROPERTY/BOUNDARY, ZONING LOCATION SURVEY.

THE BOUNDARY DETERMINATION CATEGORY IS RESURVEY.

THIS SURVEY CONFORMS TO HORIZONTAL ACCURACY CLASS A-2.

THIS SURVEY CONFORMS TO TOPOGRAPHIC ACCURACY CLASS T-D.

THIS SURVEY CONFORMS TO VERTICAL ACCURACY CLASS V-2.

THIS MAP WAS PREPARED FOR THE PURPOSE OF ZONING COMPLIANCE DETERMINATION AND SITE DESIGN.

NO ZONING VIOLATIONS EXIST WITH REGARD TO THE PROPOSED HOUSE LOCATION OR SIZE.

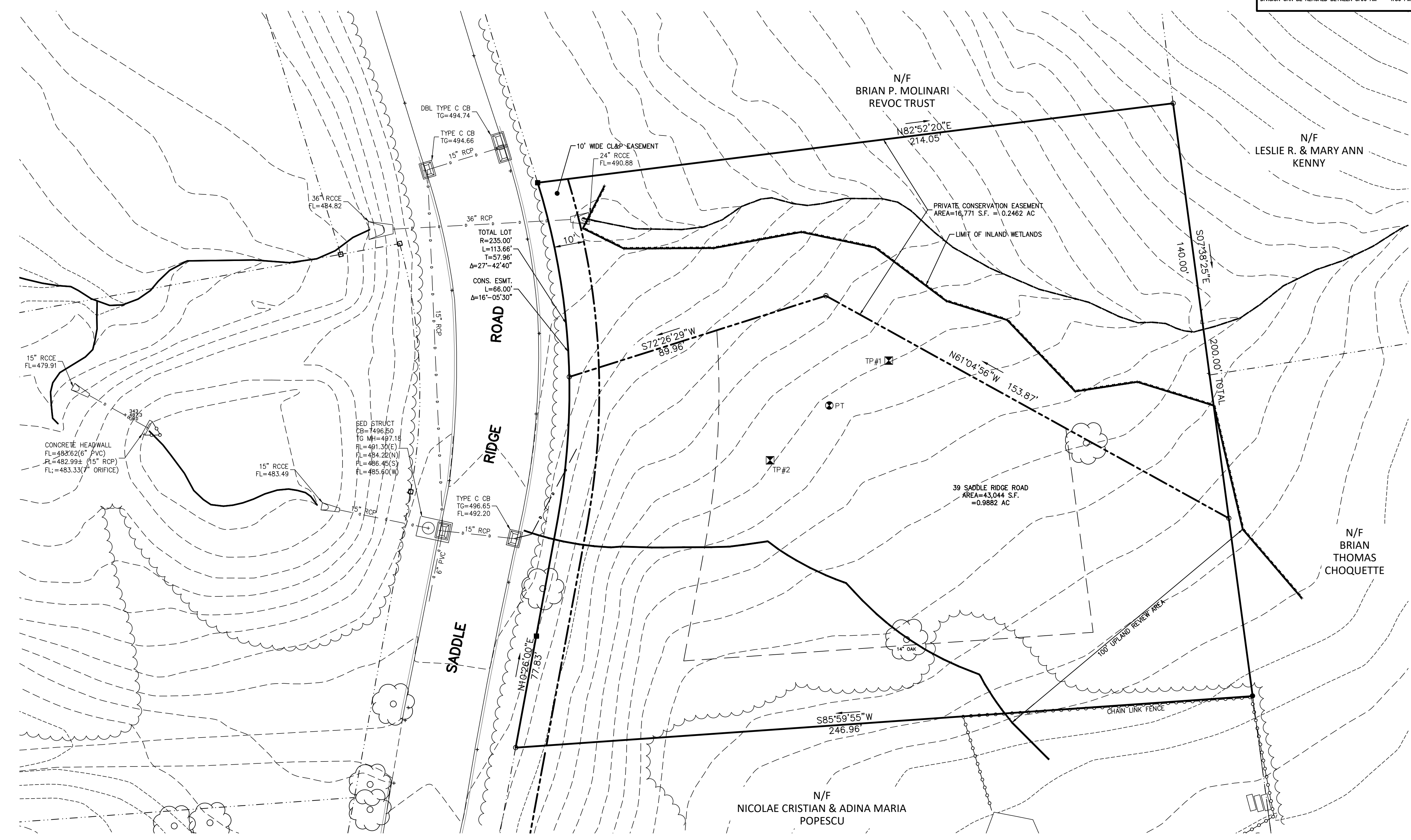
TOPOGRAPHIC INFORMATION, UTILITY LOCATIONS AND ELEVATIONS SHOWN PER TOWN OF GLASTONBURY AERIAL PHOTOGRAMMETRY UPDATED BY LIMITED FIELD SURVEY.

"TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON"
 THIS MAP IS NOT VALID UNLESS IT BEARS THE LIVE SIGNATURE AND SEAL OF THE UNDERSIGNED SURVEYOR.

REVISIONS:

06/25/2024	COMMENTS
07/25/2024	COMMENTS
08/08/2024	COMMENTS
09/11/2024	COMMENTS

DATE: 06/14/2024
 SCALE: 1" = 20'
 SHEET 1 of 4
 24-048-L1
 FILE: 24-048 06-14-2024



LEGEND

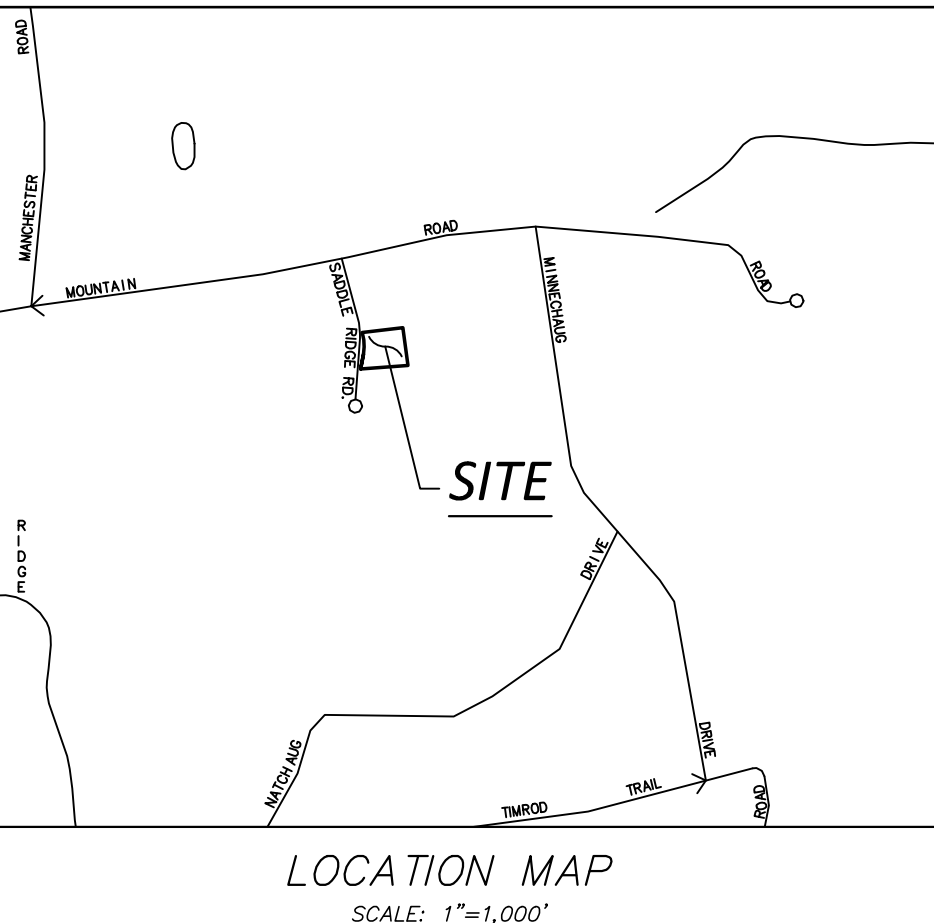
EXISTING	PROPOSED
● I.P. SET	○
■ MON. SET	□
— PROPERTY LINE	—
- - - ABUTTING PROPERTY LINES	- - -
- - - EASEMENT LINE	- - -
- - - BUILDING LINE	- - -
- - - GROUND CONTOURS	222
- - - SPOT ELEVATION	222.2
- - - TREE LINE	- - -
▭ BUILDINGS	▭
▭ ROOF OVERHANG	▭
▭ STEPS/HATCHWAY	▭
▭ CONC. PAVEMENT	▭
▭ BIT. PAVEMENT	▭
▭ CONCRETE CURB	▭
▭ BITUMINOUS CURB	▭
▭ EDGE OF WATER LINE	▭
▭ WETLANDS LIMIT	▭
▭ WETLANDS FLAG	▭
▭ STORM SEWERS	▭
▭ TYPE C & CL CATCH BASINS	▭
▭ YARD DRAIN	▭
▭ CULVERT END	▭
▭ FOUNDATION DRAIN	▭
▭ CURTAIN DRAIN	▭
▭ ELECTRIC MAIN/ELECTRIC SERVICE	▭
▭ SEDIMENT BARRIER	▭
▭ CONSTRUCTION ENTRANCE	▭
▭ SOIL STOCKPILE	▭
▭ RIPRAP EROSION PROTECTION	▭

TOWN OF GLASTONBURY MS-4 PERMIT INFORMATION

	TOTAL IMPERVIOUS AREA	DIRECTLY CONNECTED IMPERVIOUS AREA
PRE-DEVELOPMENT	0.0000 ACRES	0.0000 ACRES
POST-DEVELOPMENT	0.1004 ACRES	0.0025 ACRES
NET CHANGE	+0.1004 ACRES	+0.0025 ACRES

UNDERGROUND UTILITY NOTE:
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INSPECTION NOTE:
 THE CONTRACTOR SHALL NOTIFY THE TOWN OF GLASTONBURY ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, SANITARY SEWER INSTALLATION, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, OR ANY EXCAVATION IN THE TOWN RIGHT-OF-WAY TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:00 AM - 4:30 PM MONDAY THROUGH FRIDAY AT (860)-652-7735



- SEPTIC SYSTEM INVERTS**
- 1 INVERT @ HOUSE - 509.85 MIN.
 - 2 INVERT IN @ SEPTIC TANK - 509.25
 - 3 INVERT OUT @ SEPTIC TANK - 509.00
 - 4 D-BOX / FLOWLINE @ UNITS - 507.7 BOTTOM OF UNITS - 506.2 EXISTING GRADE - 508.2 FINISHED GRADE - 508.2

NOTES:

THE PROPOSED TOP OF FOUNDATION (TOP FDN.), BASEMENT FLOOR (BSMT. FLR.), GARAGE FLOOR (GAR. FLR.) AND GRADING SHOWN ON THIS PLAN SHALL BE REVIEWED IN THE FIELD BY THE OWNER, BUILDER AND ARCHITECT PRIOR TO CONSTRUCTION TO INSURE CONFORMANCE TO THE ARCHITECTURAL PLANS AND CONCEPTS. ANY ADJUSTMENTS TO THE PROPOSED ELEVATIONS OR GRADING SHALL BE REVIEWED WITH THE ENGINEER TO INSURE PROPER FUNCTION OF THE PROPOSED UTILITY SYSTEMS.

PRIOR TO ANY EXCAVATION OR GRADING ON THE SITE, THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES BY CONTACTING THE CONNECTICUT UNDERGROUND UTILITY PROTECTION PLAN FOR UTILITY MARK-OUT (TEL:1-800-922-4455)

PRIOR TO THE START OF CONSTRUCTION, STRIPPING OR GRADING, SEDIMENT BARRIERS SHOWN ON THIS PLAN SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS AND DETAILS OUTLINED IN THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, SECOND PRINTING, JANUARY 1988. THE BARRIERS SHALL REMAIN IN PLACE AND BE PROPERLY MAINTAINED UNTIL ALL UPSTREAM AREAS ARE STABILIZED TO THE SATISFACTION OF THE ENVIRONMENTAL PLANNER.

AT THE REQUEST OF THE ENVIRONMENTAL PLANNER, ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED TO ADDRESS FIELD CONDITIONS.

ALL DISTURBED AREAS WHICH ARE TO BE STABILIZED WITH VEGETATIVE COVER SHALL BE TOPSOILED, FERTILIZED, SEEDED AND MULCHED IN ACCORDANCE WITH THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, LATEST EDITION.

ALL UNDERGROUND UTILITY (ELECTRIC, TELEPHONE, CATV, ETC) INSTALLATION SHALL PROVIDE FOR EFFECTIVE EROSION AND SEDIMENTATION CONTROL TO THEIR POINT OF CONNECTION.

INSPECTION BY THE TOWN STAFF IS REQUIRED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY. THIS INSPECTION EVALUATES COMPLIANCE TO THE APPROVED PLOT PLAN AND THE PERMANENT STABILIZATION REQUIREMENT. THE BUILDER SHALL NOTIFY THE TOWN UPON COMPLETION OF PERMANENT STABILIZATION.

A CERTIFICATE OF OCCUPANCY SHALL NOT BE ISSUED PRIOR TO ADEQUATE SITE STABILIZATION AS DETERMINED BY TOWN STAFF.

ALL DRIVEWAY SHOULDERS SHOULD BE STABILIZED IMMEDIATELY UPON COMPLETION OF ROUGH GRADING. THE DRIVEWAY ROADBED SHOULD BE STABILIZED WITH COMPACTED GRAVEL OR AGGREGATE AS SOON AS POSSIBLE.

TOPSOIL AND/OR EXCAVATED SUBSOIL SHOULD BE STOCKPILED WITHIN THE AREA OF DISTURBANCE. IF NOT USED FOR ON SITE REGRADING, EACH STOCKPILE SHALL BE RINGED WITH SEDIMENT BARRIERS AND STABILIZED AS DIRECTED BY THE ENVIRONMENTAL PLANNER.

LUMBER AND BUILDING MATERIAL STOCKPILES, VEHICLE PARKING AND MOVEMENT SHALL BE CONFINED TO THE AREA OF DISTURBANCE. THE BUILDER SHALL PROVIDE A DUMPSTER FOR STORAGE AND/OR DISPOSAL OF ALL CONSTRUCTION WASTE.

DUTTON ASSOCIATES, LLC
 LAND SURVEYORS AND CIVIL ENGINEERS
 67 EASTERN BOULEVARD
 GLASTONBURY, CONNECTICUT 06033
 TEL: 860-633-9401 FAX: 860-633-8851
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MARK A. REYNOLDS, P.E. #19789

JAMES W. DUTTON, L.S. #70074

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SITE DEVELOPMENT PLAN
 LOT #1
 #39 SADDLE RIDGE ROAD
 PREPARED FOR
 T & M BUILDING CO., INC.
 GLASTONBURY, CONNECTICUT

ZONING TABLE - RR ZONE

ITEM	REQUIRED/ALLOWED	PROPOSED
LOT AREA	40,000 S.F.	43,044 S.F.
LOT FRONTAGE	125 FT.	100 FT.
FRONT YARD	50 FT.	113.48 FT.
SIDE YARD	25 FT.	25.49 / 92.50 FT.
REAR YARD	50 FT.	69.57 FT.
COVERAGE	10% (4,304 S.F.)	2,055 S.F. (4.8%)
BLDG. HEIGHT	2.5 STRY / 35.5 FT.	<35.5' / 2.5 STRY

SITE INFORMATION:

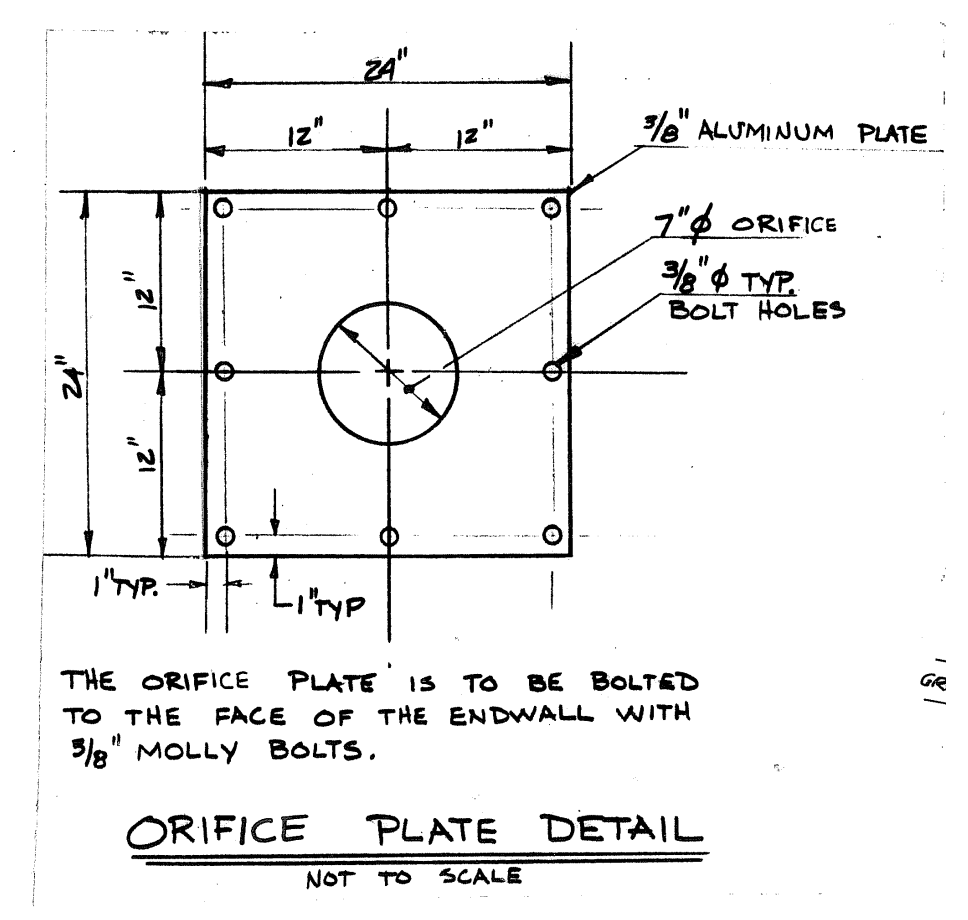
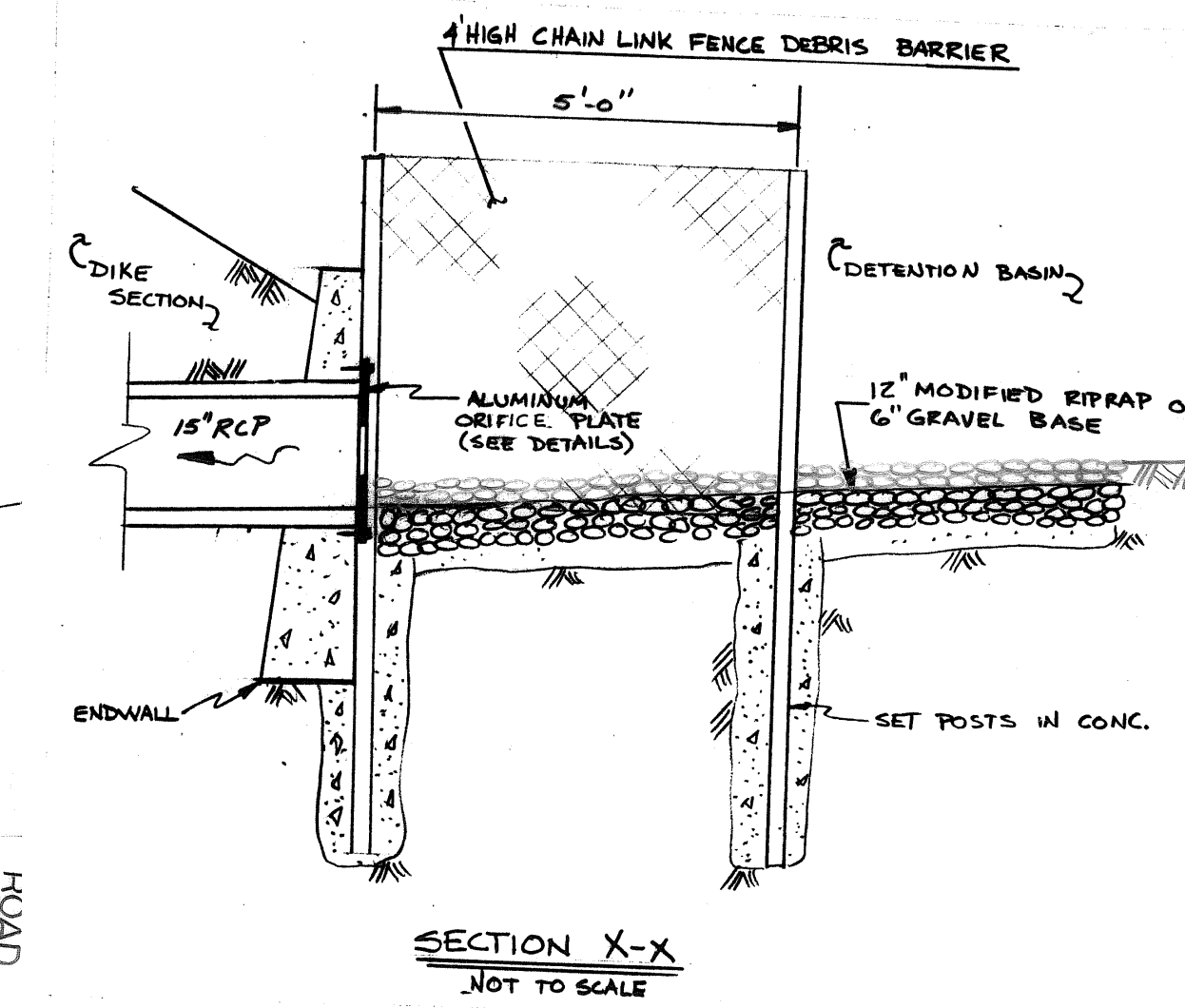
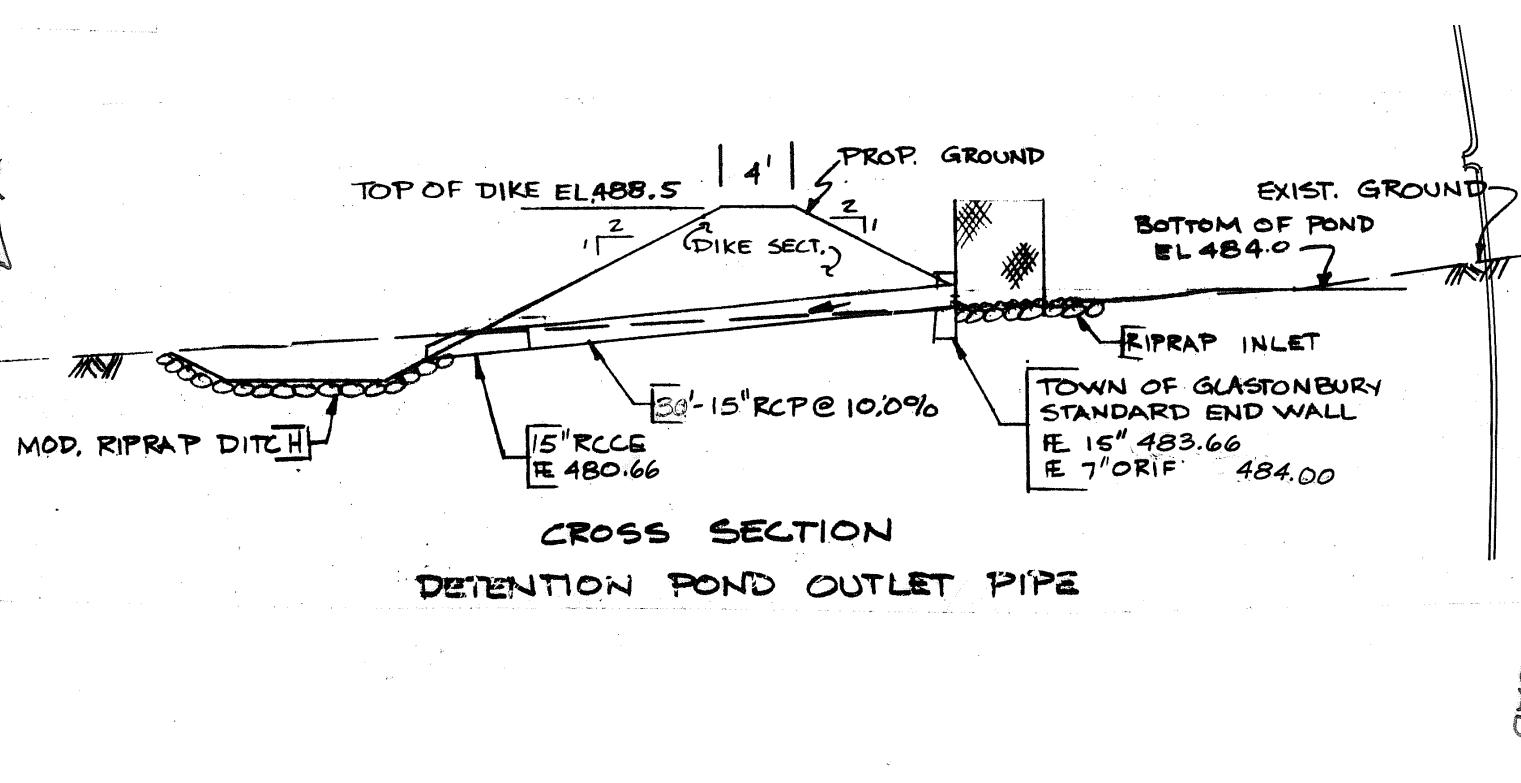
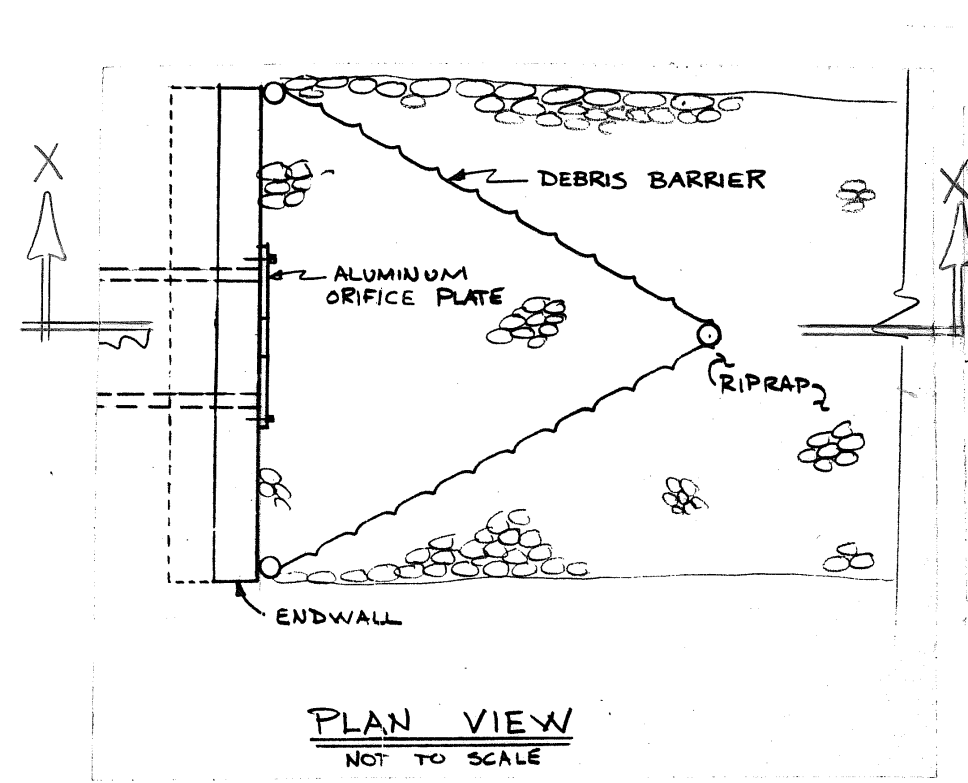
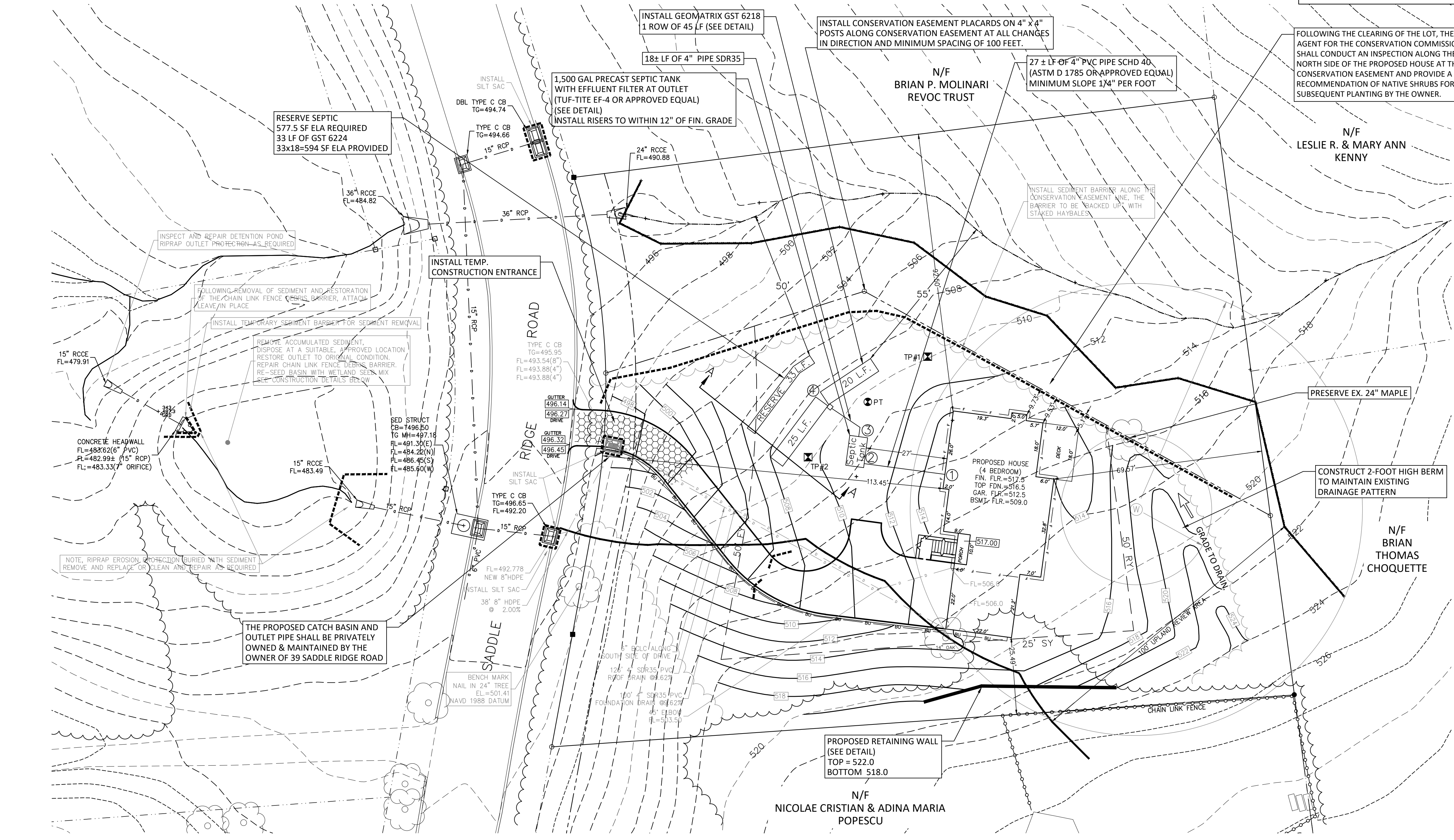
TOTAL PARCEL AREA = 43,044 S.F. = 0.9882 AC.
 CONSERVATION EASEMENT AREA = 16,771 S.F. = 0.3850 AC.
 TOTAL WETLANDS AREA = 10,724 S.F. = 0.2462 AC.
 TOTAL UPLAND REVIEW AREA = 24,599 S.F. = 0.5647 AC.
 TOTAL REGULATED AREA = 35,323 S.F. = 0.8109 AC.
 DIRECT WETLANDS IMPACT = 0.0 S.F. = 0.0 AC.
 UPLAND REVIEW AREA IMPACT = 17,437 S.F. = 0.4003 AC.
 IMPACT AREA = 49.4% OF TOTAL REGULATED AREA
 IMPACT AREA = 70.9% OF UPLAND REVIEW AREA

REVISIONS:

06/25/2024	- COMMENTS
07/25/2024	- COMMENTS
08/08/2024	- COMMENTS
09/11/2024	- COMMENTS
09/18/2024	- COMMENTS

DATE: 06/14/2024
 SCALE: 1" = 20'
 SHEET 2 of 4
 24-048-L2
 FILE: 24-048 06-14-2024

THERE ARE NO WELLS LOCATED WITHIN 75' OF THE PROPOSED SEPTIC SYSTEM ON THIS LOT.



DETENTION POND CONSTRUCTION DETAILS FROM APPROVED PLANS
 NOT TO SCALE

PERMANENT VEGETATIVE COVER:

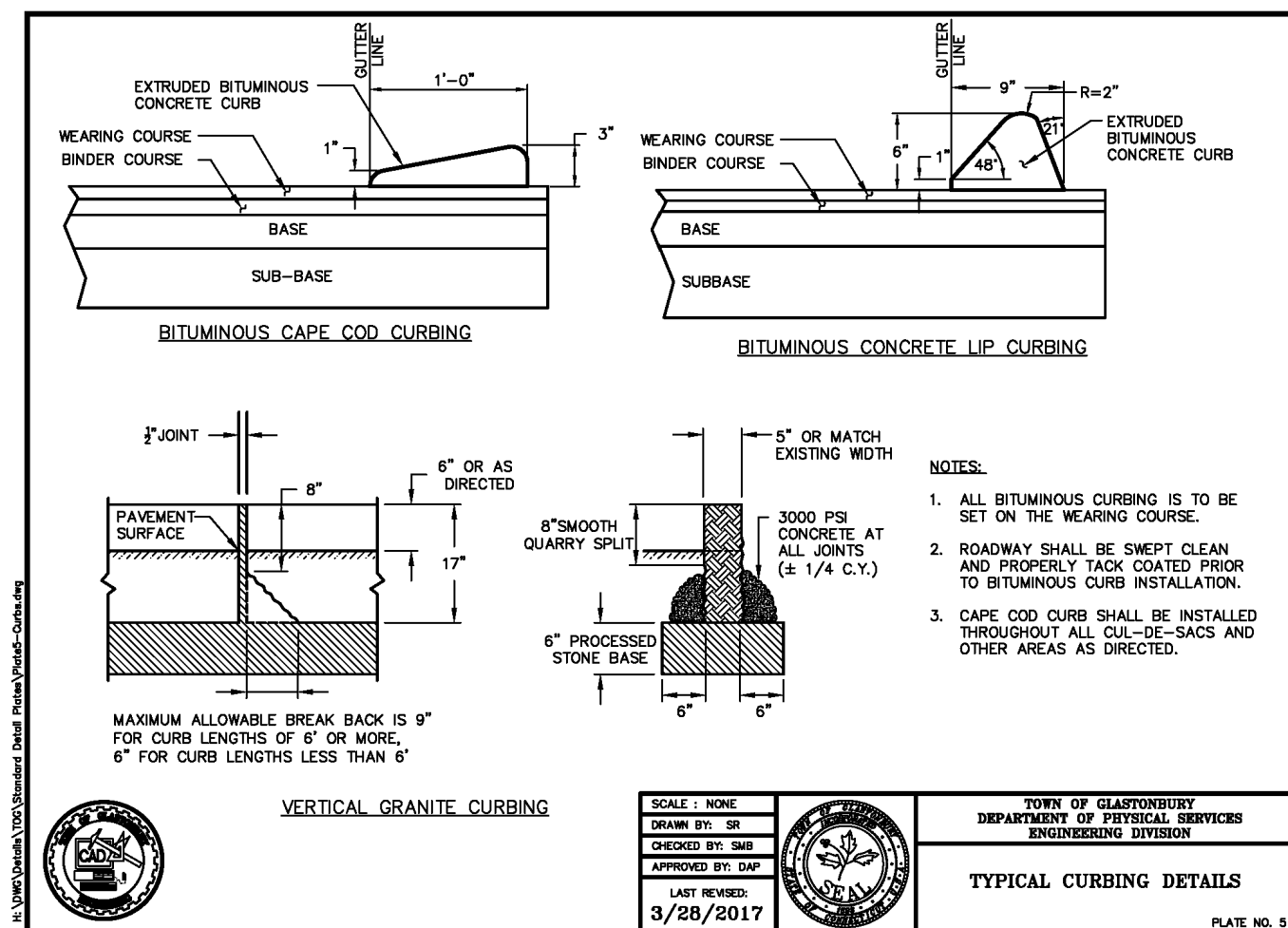
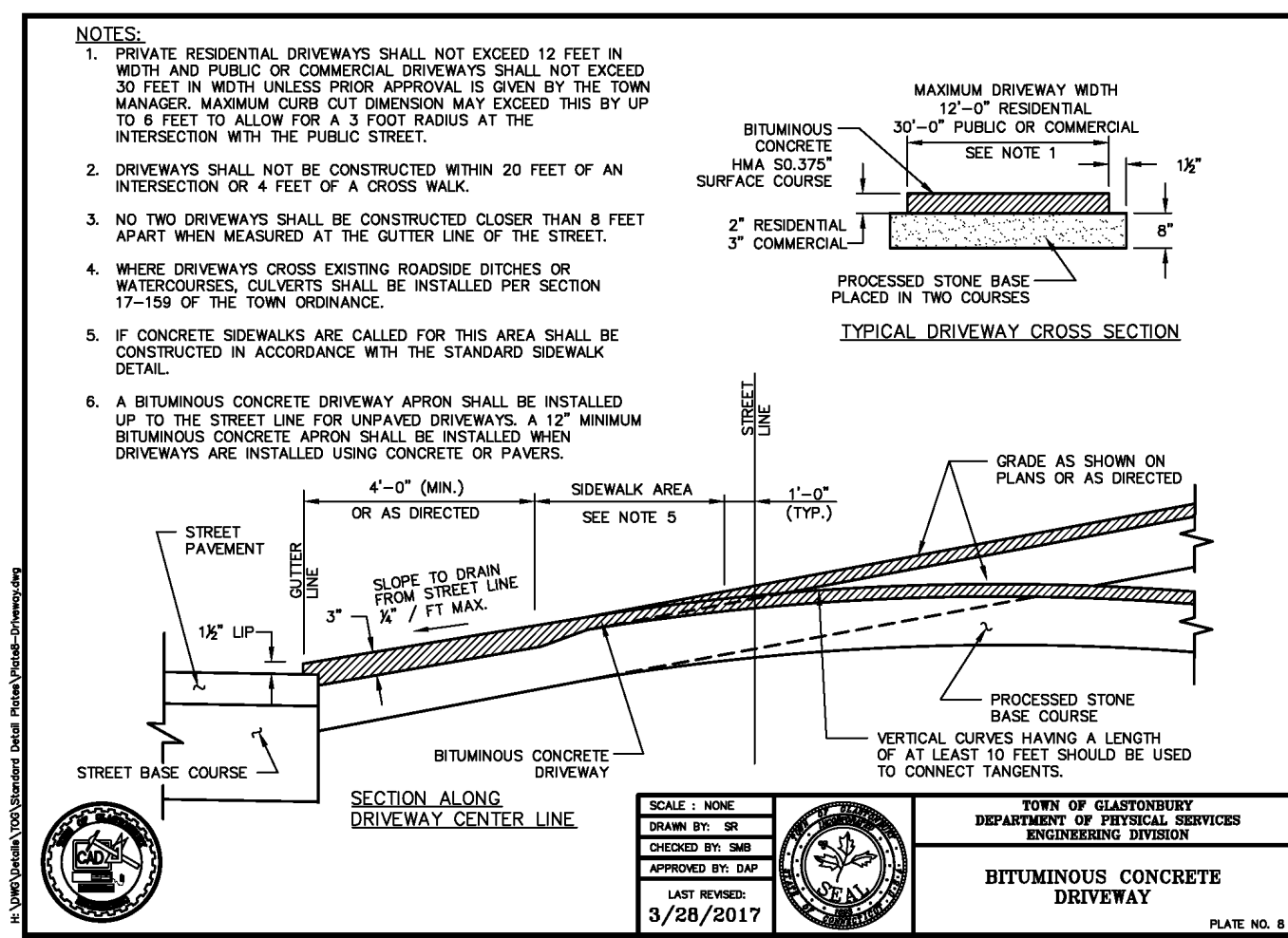
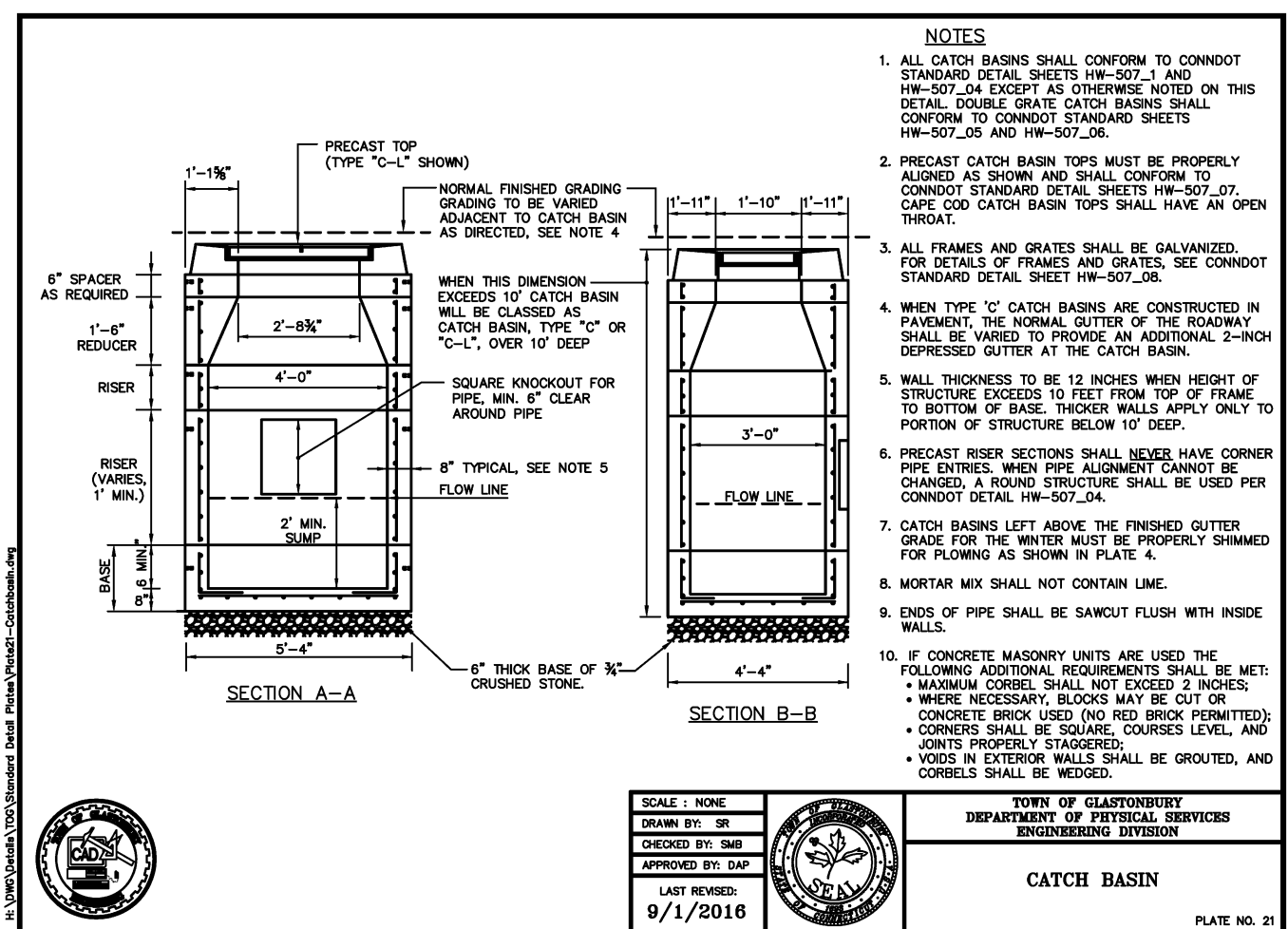
GENERAL: THE PURPOSE OF PERMANENT VEGETATIVE COVER IS TO STABILIZE EXPOSED SOIL, REDUCE DAMAGE FROM WIND & WATER EROSION AND ENHANCE THE ENVIRONMENT.

TEMPORARY VEGETATIVE COVER:

GENERAL: THE PURPOSE OF TEMPORARY VEGETATIVE COVER IS TO STABILIZE EXPOSED SOIL AND REDUCE WIND AND WATER EROSION.

EROSION CONTROL NARRATIVE:

SITE LOCATION: 39 SADDLE RIDGE ROAD. PARCEL AREA: 43,044 S.F., 0.9882 AC. AREA OF UPLAND SOILS: 10,724 S.F. = 0.2450 AC.



SITE PREPARATION:

- 1. APPLICABLE EROSION AND SEDIMENTATION CONTROLS (SEDIMENT BARRIERS, ETC.) SHALL BE INSTALLED PRIOR TO ESTABLISHMENT OF TEMPORARY VEGETATIVE COVER.

SEEDING:

- 1. APPLY ANNUAL RYEGRASS (OR APPROVED EQUAL) AT A RATE OF 1 LB PER 1000 S.F.

GENERAL E & S NOTES:

ALL EROSION AND SEDIMENTATION CONTROL METHODS SHALL BE IN ACCORDANCE WITH THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENTATION CONTROL, LATEST EDITION UNLESS SPECIFICALLY NOTED OTHERWISE ON THESE PLANS.

SITE PREPARATION:

- 1. APPLICABLE EROSION AND SEDIMENTATION CONTROLS (SEDIMENT BARRIERS, ETC.) SHALL BE INSTALLED PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.

SEEDING:

- 1. SELECT AN APPROPRIATE SEED MIXTURE FROM THE LIST BELOW. ALTERNATE SEED MIXES SHALL BE APPROVED BY THE ENVIRONMENTAL PLANNER.

GENERAL E & S NOTES:

ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED WITHIN THE PROPER SEQUENCE DURING CONSTRUCTION (I.E. SEDIMENT BARRIERS INSTALLED DOWN SLOPE OF AREAS TO BE DISTURBED PRIOR TO DISTURBANCE).

SUGGESTED CONSTRUCTION SEQUENCE

- 1) INSTALL BASIC EROSION AND SEDIMENTATION CONTROLS. INSPECT AND MAINTAIN E & S CONTROLS WEEKLY AND/OR PRIOR TO A RAIN EVENT.

SUGGESTED CONSTRUCTION SCHEDULE

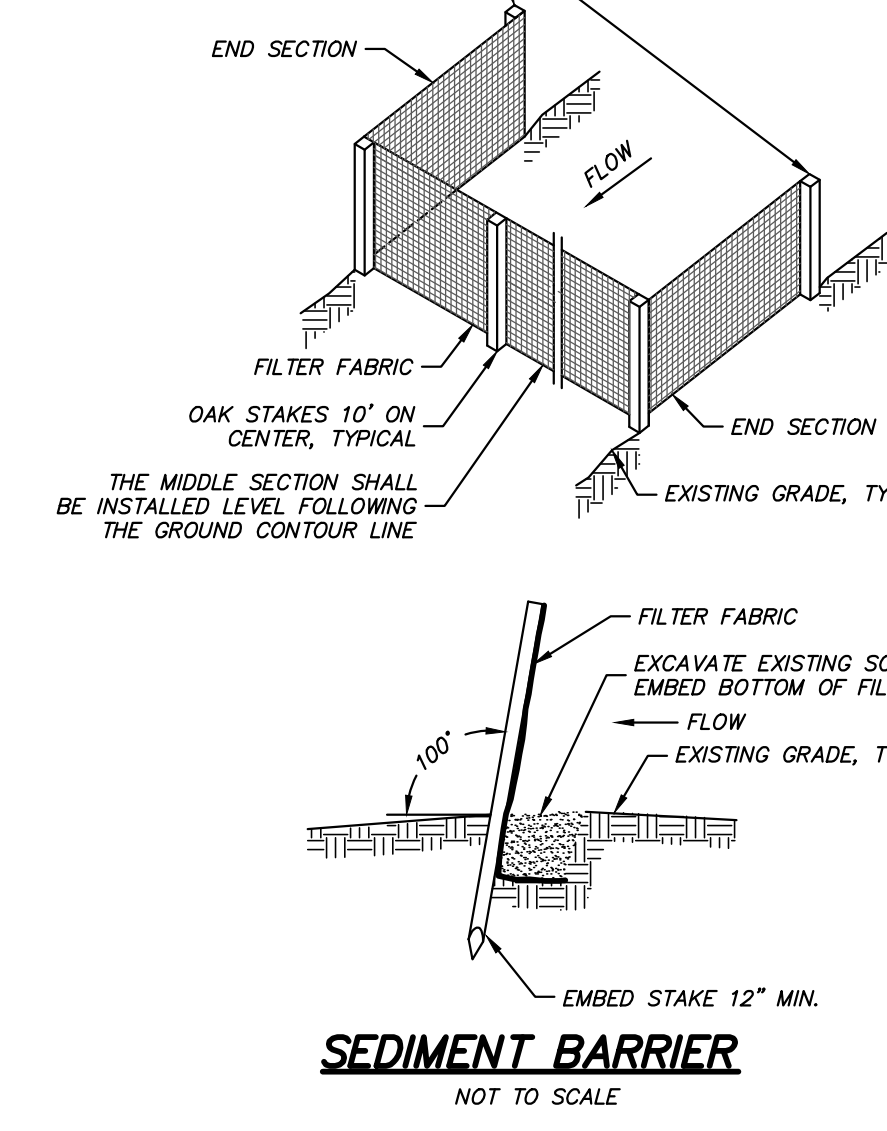
Table with 2 columns: OPERATION / WEEKS and 22 numbered weeks. Shows progress bars for various construction tasks over time.

MULCHING:

GENERAL: THE PURPOSE OF MULCHING IS TO PROTECT THE SOIL, CONTROL RUNOFF AND PROMOTE PLANT GROWTH.

MULCHING:

GENERAL: THE PURPOSE OF MULCHING IS TO PROTECT THE SOIL, CONTROL RUNOFF AND PROMOTE PLANT GROWTH.



TRENCH DE-WATERING:

GENERAL: THE PURPOSE OF TRENCH DE-WATERING IS TO PERMIT THE INSTALLATION OF UNDERGROUND UTILITY STRUCTURES AND SERVICES IN A STABLE ENVIRONMENT.



UNDERGROUND UTILITY NOTE: UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES...

CONSTRUCTION NOTES:

UNDERGROUND UTILITY STRUCTURE FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING AND INFORMATION PROVIDED BY OTHERS...

NOTES:

THE PROPOSED TOP OF FOUNDATION (TOP FDN.), BASEMENT FLOOR (BSMT. FLR.), GARAGE FLOOR (GAR. FLR.) AND GRADING SHOWN ON THIS PLAN SHALL BE REVIEWED IN THE FIELD...

Vertical text box for 'DUTTON ASSOCIATES, LLC' with contact information for Mark A. Reynolds, P.E.

Vertical text box for 'NOTES & DETAILS' with project information for 'T & M BUILDING CO., INC.' and '39 SADDLE RIDGE ROAD'.

STORM SEWER MAINTENANCE PLAN

ALL MAINTENANCE ITEMS LISTED BELOW ARE THE RESPONSIBILITY OF THE LAND OWNER.

REVISIONS:

Table with 3 columns: DATE, DESCRIPTION, COMMENTS. Lists revisions to the plan.

Vertical text box for 'NOTES & DETAILS' with project information and revision details.

SOILS INFORMATION

#39 Saddle Ridge Road - 2/27/24
 TP#1
 0.0-0.5' Topsoil
 0.5-2.5' Light Brown Fine Sandy Loam
 2.5-3.0' Very Compact Fine Sand, Sand, Gravel
 3.0-6.5' Dark Reddish Brown Compact Silty Fine Sand Gravel Cobbles
 Roots: 3.5'
 No Mottling Observed
 Groundwater Observed
 No Ledge Observed

#39 Saddle Ridge Road - 2/27/24
 TP#2
 0.0-0.3' Topsoil
 0.3-2.2' Light Brown Fine Sandy Loam
 2.2-5.4' Compact Sand, Gravel, Cobbles
 5.4-7.0' Grayish, Reddish Brown Fine Sand
 Roots: None Noted
 No Mottling Observed
 Groundwater Observed
 No Ledge Observed

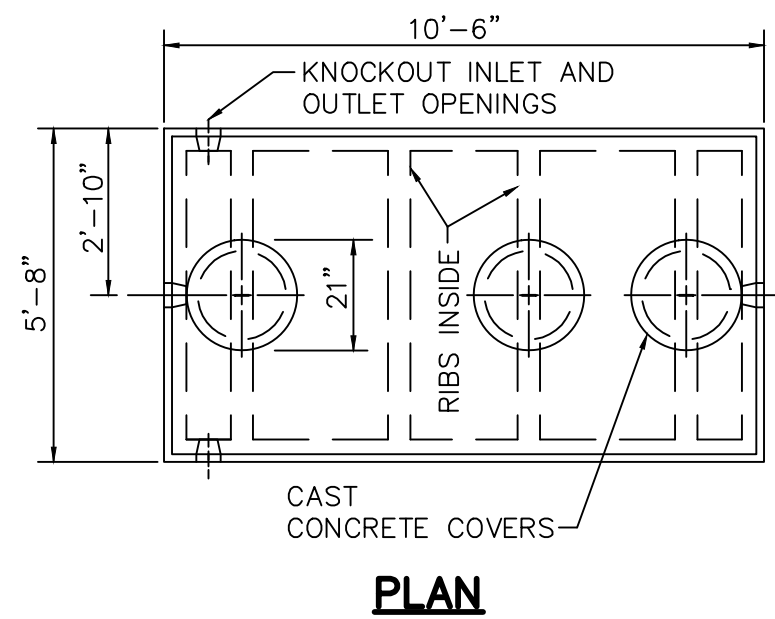
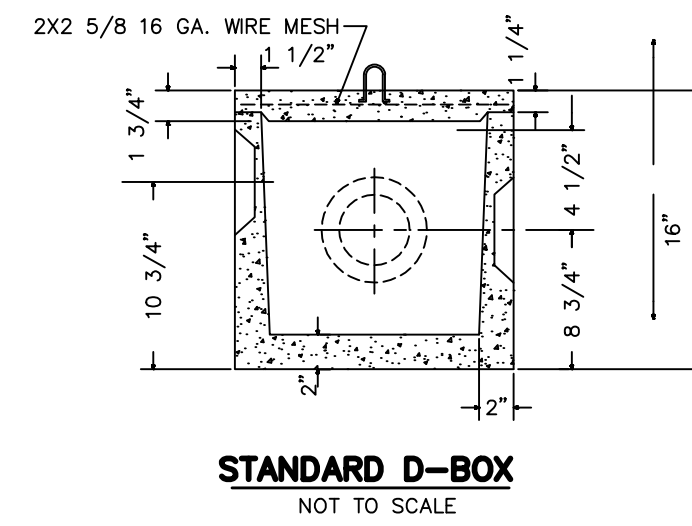
PERCOLATION TEST LOCATION (DATE - 3/01/2024) HOLE DEPTH: 25"

TIME	DEPTH
1:43	10.0"
1:48	12 1/2"
1:53	14 1/4"
1:58	16"
2:03	17"
2:08	18"
2:13	19 1/2"
2:18	20 1/4"

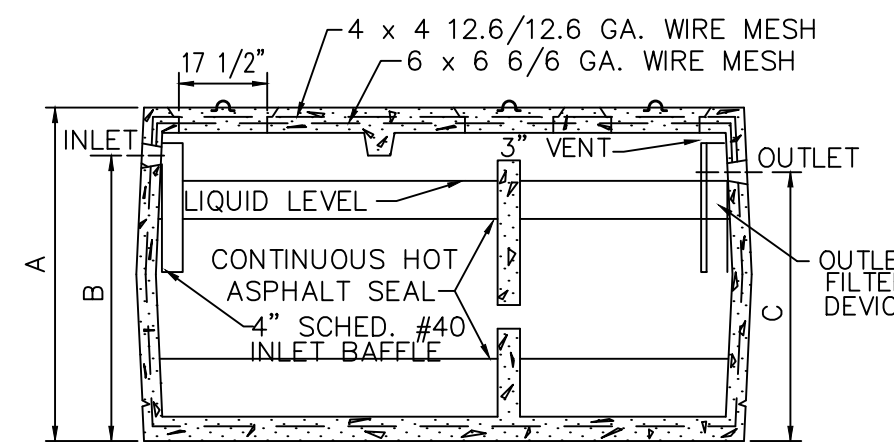
PERC RATE: 6.67 min./inch

MINIMUM LEACHING SYSTEM SPREAD (MLSS) CALCULATIONS:

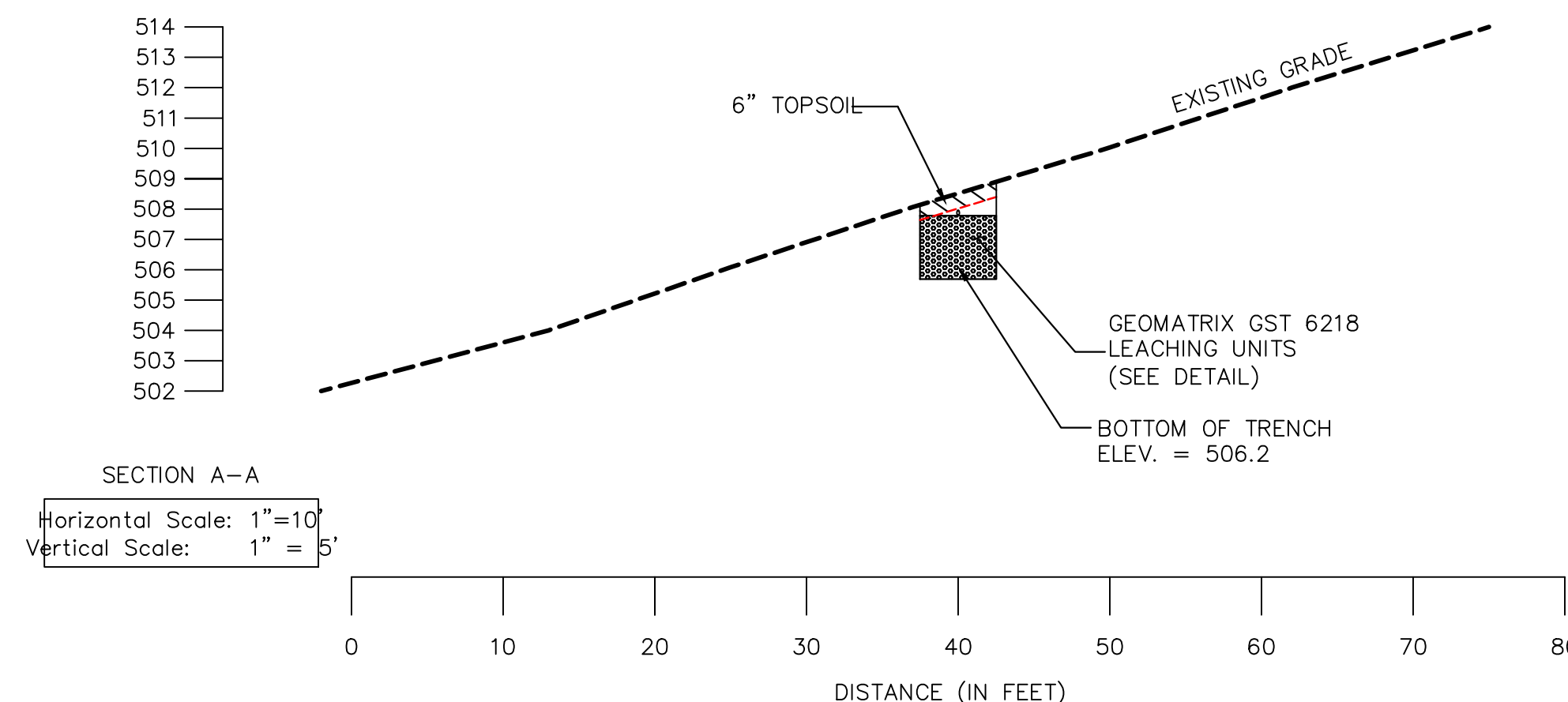
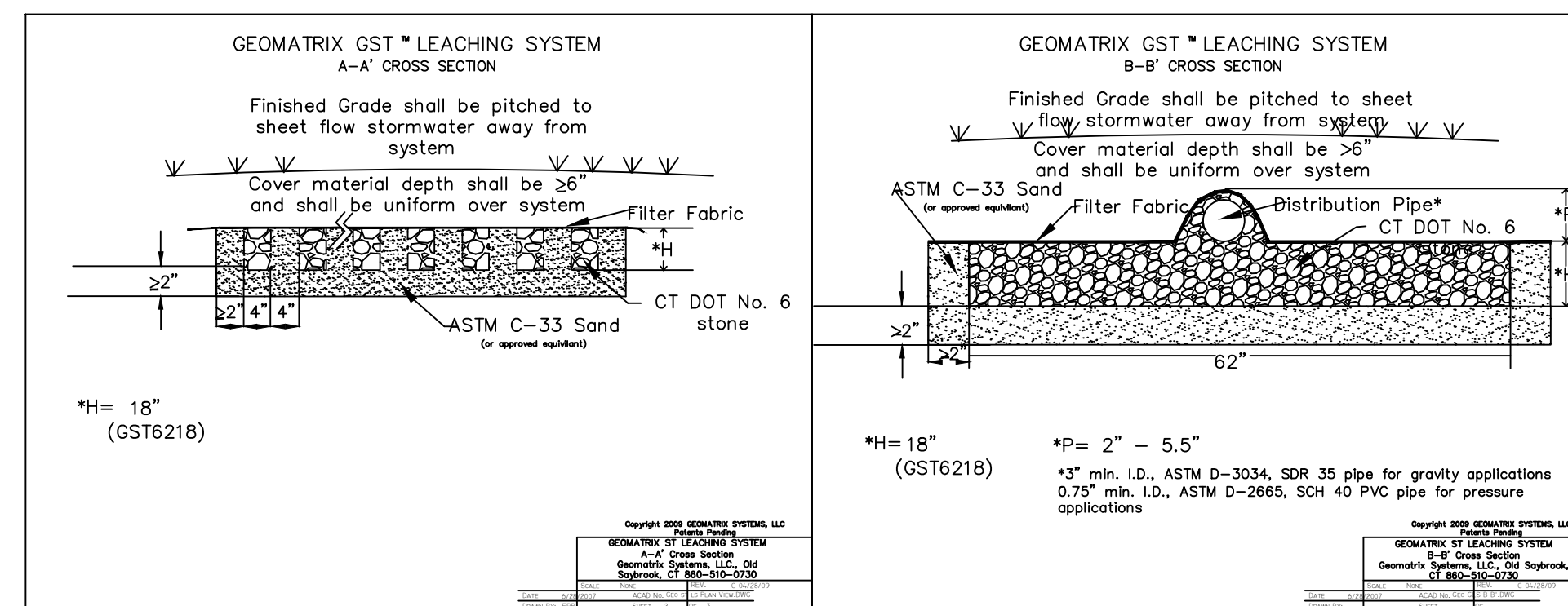
MLSS NEED NOT TO BE CONSIDERED,
 RESTRICTIVE LAYER GREATER THAN
 60"



CAPACITIES	A	B	C
1250 GAL	61"	51"	48"
1500 GAL	69"	59"	56"



CROSS SECTION
1250/1500 GALLON
2 COMPARTMENT
SEPTIC TANK
 NOT TO SCALE



DESIGN NOTES:

- ALL CONSTRUCTION TO CONFORM TO STANDARDS OF THE CONNECTICUT PUBLIC HEALTH CODE AND TO THE SATISFACTION OF THE TOWN SANITARIAN.
- PERCOLATION RATE FOR DESIGN: 6.67 min./inch
 DEPTH TO RESTRICTIVE LAYER: NONE NOTED
- REQUIRED LEACHING AREA FOR 4 BEDROOM BUILDING = 577.5 SF ELA
- DESIGN: USE 45 LF OF GEOMATRIX GST 6218 LEACHING UNITS
 ELA PROVIDED = 14 SF/LF x 45 LF = 630 SF ELA
- THIS SYSTEM HAS NOT BEEN DESIGNED FOR THE USE OF LARGE CAPACITY (+100 GALLONS), DISCHARGE TYPE BATHTUBS.
 NOTE: A GARBAGE DISPOSAL IS ANTICIPATED FOR THIS DESIGN. SEPTIC TANK SIZE FOR 5 BEDROOM SYSTEM PLUS A GARBAGE DISPOSAL FIELD CAPACITY WILL BE 1000 + 1(125) + 250 = 1,500 GALLON TANK IN THE EVENT THAT SUCH AN INSTALLATION IS CONTEMPLATED FOR THE PROPOSED HOUSE, A LARGER SEPTIC TANK AND INCREASED LEACHING FIELD CAPACITY WILL BE REQUIRED.
- THE DESIGN SHOWN HEREON CONFORMS TO ALL APPLICABLE STATE AND LOCAL HEALTH CODE REQUIREMENTS AND TO GOOD ENGINEERING PRACTICE. I CAN NOT GUARANTEE AGAINST FAILURE DUE TO IMPROPER INSTALLATION, IMPROPER MAINTENANCE OR TO NATURAL PHENOMENA BEYOND THE SCOPE OF NORMAL FIELD INVESTIGATION.

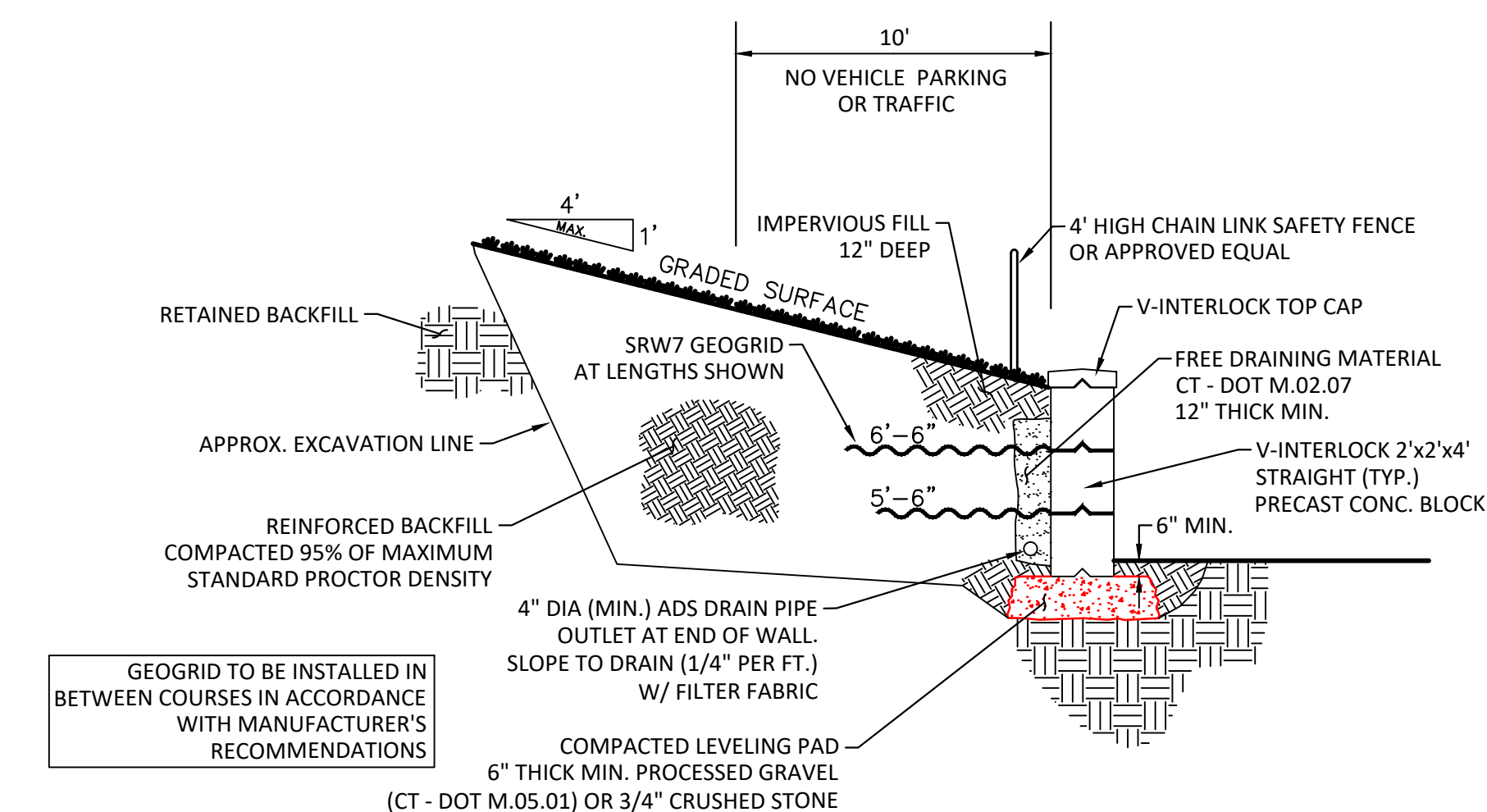
SEPTIC SYSTEM CONSTRUCTION NOTES:

- CONSTRUCTION SEQUENCE
 - STRIP & STOCKPILE TOPSOIL FROM LEACHING AREA.
 - CONSTRUCT LEACHING UNITS TO DESIGN LINE & GRADE.
 - LOAM, FINE GRADE TO FINISHED GRADE AND SEED. PROTECT DISTURBED AREAS WITH EROSION CONTROLS UNTIL FIRST MOWING.
- THE PIPE BETWEEN THE HOUSE AND SEPTIC TANK SHALL BE 4 IN. EXTRA HEAVY CAST IRON, DUCTILE IRON OR EXTRA STRENGTH PVC ASTM D1785 SCHD 40 OR APPROVED EQUAL.
- ALL DISTRIBUTION PIPE IS TO BE ASTM D3034 SDR 35 (4\"/>

SILO SIZE	PERCENT PASSING (BY WEIGHT)
2-INCH	100
1-1/2-INCH	90-100
1-INCH	20-55
3/4-INCH	0-10
3/8-INCH	0-5
#40	0-3
#200	0-1.5

LEACHING SYSTEM CONSTRUCTION NOTES:

- TOPSOIL TO BE STRIPPED OFF PRIOR TO FILLING. FILL MATERIAL BETWEEN AND BEYOND TRENCHES TO BE PERVIOUS, GOOD QUALITY AND CLEAN MEDIUM SAND (SELECT FILL) PLACED AND COMPACTED IN 6\"/>
 - THE FILL SHALL NOT CONTAIN ANY MATERIAL LARGER THAN 3 INCHES.
 - THE FILL SHALL NOT CONTAIN MORE THAN 45 PERCENT GRAVEL (GRAVEL IS BETWEEN NO. 4 & 3\"/>
- FILL MATERIAL TO BE PLACED PRIOR TO TRENCH EXCAVATION. NO TRAFFIC OTHER THAN TRACK-DRIVEN EQUIPMENT IS TO CROSS, DUMP, UNLOAD OR OTHERWISE COMPACT THE FILL AREA AFTER TOPSOIL REMOVAL. FILL MATERIAL TO BE DUMPED AT THE EDGE OF THE STRIPPED AREA AND SPREAD AND COMPACTED WITH TRACK-DRIVEN VEHICLES. STOCKPILING IS TO TAKE PLACE UPGRADIENT OF THE LEACHING AREA. THE AREA DOWN GRADIENT OF THE LEACHING AREA IS NOT TO BE DISTURBED.



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NOTES & DETAILS
LOT 1
39 SADDLE RIDGE ROAD
 PREPARED FOR
T & M BUILDING CO., INC.
 GASTONBURY, CONNECTICUT

REVISIONS:
06/25/2024 - COMMENTS
07/25/2024 - COMMENTS
08/08/2024 - COMMENTS
09/11/2024 - COMMENTS

DATE: 06/14/2024
 SCALE: AS NOTED
 SHEET 3 of 4
24-048-D1
 FILE: 24-048.DWG