

PERMANENT VEGETATIVE COVER:

THE PURPOSE OF PERMANENT VEGETATIVE COVER IS TO STABILIZE EXPOSED SOIL, REDUCE DAMAGE FROM WIND & WATER EROSION AND ENHANCE THE ENVIRONMENT. EMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED ON ALL SOIL STOCKPILE AREAS WHICH WILL BE IN PLACE FOR MORE THAN 21 DAYS BETWEEN AUGUST 1

PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED AS SOON AS POSSIBLE ON AREAS WHERE CONSTRUCTION HAS BEEN COMPLETED.

PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED BETWEEN THE PRIME SEEDING DATES OF APRIL 15 THROUGH JUNE 15 AND AUGUST 15 THROUGH

TEMPORARY VEGETATIVE COVER CANNOT BE ESTABLISHED BETWEEN THE PRIME SEEDING DATES. THE AREA SHALL BE STABILIZED TO THE EXTENT POSSIBLE WITH TEMPORARY MULCH UNTIL THE NEXT PRIME SEEDING DATE.

REFER TO THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL FOR ADDITIONAL INFORMATION.

SITE PREPARATION:

APPLICABLE EROSION AND SEDIMENTATION CONTROLS (SEDIMENT BARRIERS, TTC.) SHALL BE INSTALLED PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATIVE

. REMOVE LOOSE ROCK AND LARGE STONES, DEBRIS, TRASH, STUMPS AND OTHER

3. UNLESS HYDROSEEDED, APPLY LIME PER SOIL TEST OR AT THE RATE OF 135

UNLESS HYDROSEEDED, APPLY FERTILIZER PER SOIL TEST OR AT THE RATE OF 7.5 LB PER 1000 S.F. OF 10-10-10 FERTILIZER AND 7 LB PER 1000 S.F. OF 38-0-0 OF SLOW RELEASE NITROGEN FOR TOPDRESSING.

5. UNLESS HYDROSEEDED, LIME AND FERTILIZER SHALL BE WORKED INTO SOIL TO A DEPTH OF 4". WHEN HYDROSEEDING, THE SOIL SHALL BE TILLED AS DESCRIBED BELOW. LIME AND

FERTILIZER MAY BE APPLIED SIMULTANEOUSLY WITH THE SEED. TILLAGE SHALL RESULT IN A UNIFORM CONTOUR, FREE FROM DEPRESSIONS AND 1. APPLY ANNUAL RYEGRASS (OR APPROVED EQUAL) AT A RATE OF 1 LB WATER POCKETS.

SEEDING: . SELECT AN APPROPRIATE SEED MIXTURE FROM THE LIST BELOW. ALTERNATE SEED MIXES SHALL BE APPROVED BY THE ENVIRONMENTAL PLANNER. APPLY

PROPER INOCULANT WHEN USING LEGUME SEED. P. SEED SHALL BE APPLIED UNIFORMLY BY BROADCASTING, DRILLING OR

HYDRAULIC APPLICATION. UNLESS HYDROSEEDED OR "CULTIPACKER" TYPE SEEDER IS USED, COVER THE SEEDS WITH NOT MORE THAN 1/4 INCH OF SOIL. THE SEEDBED SHALL BE FIRMED TOLLOWING SEEDING WITH A RÓLLER OR LIGHT DRAG

. UNLESS HYDROSEEDED, APPLY MULCH AS REQUIRED IMMEDIATELY AFTER

SEEDING SHALL OCCUR BETWEEN APRIL 15 TO JUNE 15 AND / OR AUGUST 15 O SEPTEMBER 15. WHEN HYDROSEEDING, SEEDING RATES SHALL BE INCREASED BY 10 % (400%

FIBER MULCH SHALL BE USED WHEN HYDROSEEDING EXCEPT FOR CRITICAL AREAS WHICH SHALL BE MULCHED WITH STRAW MULCH.

SHADY SITE: CREEPING RED FESCUE - 1.10 LB/1000 S.F. PERENNIAL RYEGRASS — 0.10 LB/1000 S.F.

RECOMMENDED SEED MIXES:

SUNNY / PARTIALLY SUNNY SITE: KENTUCKY BLUEGRASS - 0.50 LB/1000 S.F. CRFFPING RFD FESCUE - 0.50 LB/1000 S.F. PERENNIAL RYEGRASS — 0.10 LB/1000 S.F.

CREEPING RED FESCUE - 1.00 LB/1000 S.F. TALL FESCUE — 0.50 LB/1000 S.F.

MULCHING:

GENERAL: THE PURPOSE OF MULCHING IS TO PROTECT THE SOIL, CONTROL RUNOFF AND

LL AREAS WHICH HAVE BEEN TEMPORARILY OR PERMANENTLY SEEDED SHALL BE MULCHED IMMEDIATELY FOLLOWING SEEDING.

MULCH SHALL BE USED ON ALL DISTURBED AREAS FOR PROTECTION FROM EROSION WHICH WILL BE EXPOSED FOR MORE THAN 21 DAYS AND CANNOT BE SEEDED WITHIN THE PRIME SEEDING DATES.

THE MATERIALS USED FOR MULCHING SHALL BE STRAW OR HAY FREE FROM OARSE MATTER AND WEEDS.

WHEN HYDROSEEDING, MULCH SHALL BE APPLIED SIMULTANEOUSLY WITH THE SEED. MULCH MATERIAL AND APPLICATION RATE SHALL BE AS RECOMMENDED BY THE APPLICATION:

MULCH SHALL BE APPLIED UNIFORMLY BY HAND OR BLOWER AT A RATE OF 90 CRITICAL AREAS (SLOPES OVER 3 HORIZ. TO 1 VERT.) AND/OR AREAS IDENTIFIED

ON THE PLAN SHALL BE MULCHED WITH HAY OR STŔAW MÚLCH. . IF REQUIRED, MULCH SHALL BE ANCHORED IMMEDIATELY FOLLOWING

2. STRAW AND HAY MULCH ON SLOPES IN EXCESS OF 5% SLOPE AND/OR AREAS AS DIRECTED BY THE ENVIRONMENTAL PLANNER SLOPE BE ANCHORED IN ACCORDANCE WITH CHAPTER 7 OF THE CONNECTICUT GUIDELINES FOR SOIL ROSION AND SEDIMENT CONTROL, LATEST EDITION.

TOPSOILING:

MATERIALS:

TOPSOIL SHALL BE FRIABLE AND LOAMY (LOAM, SANDY LOAM OR SILT LOAM) AND SHALL BE FREE OF DEBRIS, TRASH, STUMPS, ROCKS, ROOTS AND NOXÍOUS WEEDS. IT SHALL GIVE EVIDENCE OF BEING ABLE TO SUPPORT HEALTHY ÆGETATION AND CONTAIN NO SUBSTANCE THAT IS POTENTIALLY TOXIC TO PLANT

MEET THE FOLLOWING REQUIREMENTS: ORGANIC MATTER: NOT LESS THAN 1.5% BY WEIGHT. Ph RANGE: 6.0-7.5 (IF LESS THAN 6.0, LIME SHALL BE APPLIED AS SOLUBLE SALTS: SHALL NOT EXCEED 500 ppm.

LL TOPSOIL SHALL BE TESTED BY A RECOGNIZED LABORATORY AND SHALL

APPLICABLE EROSION AND SEDIMENTATION CONTROLS (SEDIMENT BARRIERS, ETC.) SHALL BE IN PLACE AND IN GOOD CONDITION PRIOR TO PLACING TOPSOIL. TOPSOIL SHALL NOT BE APPLIED WHILE IN A FROZEN OR MUDDY CONDITION. OPSOIL SHALL BE UNIFORMLY DISTRIBUTED TO A MINIMUM COMPACTED DEPTH OF ", SURFACE IRREGULARITIES SHALL BE CORRECTED AT TIME OF PLACEMENT TO

TOPSOIL SHALL BE COMPACTED ONLY ENOUGH TO ENSURE GOOD CONTACT WITH THE UNDERLYING SOIL AND TO OBTAIN A UNIFORM SEEDBED. OVER COMPACTING

TRENCH DE-WATERING:

VOID DEPRESSIONS AND WATER POCKETS.

THE PURPOSE OF TRENCH DE-WATERING IS TO PERMIT THE INSTALLATION OF UNDERGROUND UTILITY STRUCTURES AND SERVICES IN A STABLE ENVIRONMENT. THE EROSION & SEDIMENTATION CONCERN IS THE OUTFLOW FROM THE E-WATERING OPERATION.

F A SMALL AMOUNT OF WATER IS ENCOUNTERED, THE OUTFLOW SHALL BE PLACED SUCH THAT THE WATER IS ENCOURAGED TO DISPERSE OVER UNDISTURBED EXISTING VEGETATION, UPSTREAM OF A SEDIMENT BARRIER.

F LARGE AMOUNTS OF DE—WATERING IS REQUIRED, THE PUMP OUTLET SHALL BE DIRECTED INTO A 6" DIAMETER PERFORATED PIPE 50 FEET LONG (MIN.), LAID EVEL ON EXISTING GRADE, WHERE THE WATER WILL FLOW ONTO UNDISTURBED EXISTING VEGETATION UPSTREAM OF A SEDIMENT BARRIER.

TEMPORARY VEGETATIVE COVER:

THE PURPOSE OF TEMPORARY VEGETATIVE COVER IS TO STABILIZE EXPOSED SOIL AND REDUCE WIND AND WATER EROSION.

TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED ON ALL SOIL STOCKPILE AREAS WHICH WILL BE IN PLACE FOR MORE THAN 21 DAYS

CONSTRUCTION HAS BEEN COMPLETED AND PERMANENT STABILIZATION WILL NOT TAKE PLACE WITHIN 21 DAYS BETWEEN AUGUST 1 AND JUNE 15. IN ALL CASES, PERMANENT STABILIZATION SHALL BE COMPLETED WITHIN 12

TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED ON AREAS WHERE

IF TEMPORARY VEGETATIVE COVER CANNOT BE ESTABLISHED BETWEEN THE PRIME SEEDING DATES INDICATED BELOW, THE AREA SHALL BE STABILIZED TO THE EXTENT POSSIBLE WITH TEMPORARY MULCH.

REFER TO THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, LATEST ADDITION, FOR ADDITIONAL INFORMATION.

SITE PREPARATION: 1. APPLICABLE EROSION AND SEDIMENTATION CONTROLS (SEDIMENT BARRIERS, ETC.) SHALL BE INSTALLED PRIOR TO ESTABLISHMENT OF TEMPORARY VEGÉTATIVE COVER.

R. REMOVE LOOSE ROCK AND LARGE STONES, DEBRIS, TRASH, STUMPS AND OTHER NOXIOUS MATERIALS. 3. APPLY LIME PER SOIL TEST OR AT THE RATE OF 50 LB PER 1000 S.F.

S.F. OF 10-10-10 FERTILIZER. 5. UNLESS HYDROSEEDED, LIME AND FERTILIZER SHALL BE WORKED INTO SOIL TO A DEPTH OF 4".

4. APPLY FERTILIZER PER SOIL TEST OR AT THE RATE OF 7 LB PER 1000

6. TILLAGE SHALL RESULT IN A UNIFORM CONTOUR, FREE FROM DEPRESSIONS AND WATER POCKETS.

PER 1000 S.F.

2. SEED SHALL BE APPLIED UNIFORMLY BY BROADCASTING, DRILLING OR HYDRAULIC APPLICATION.

3. UNLESS HYDROSEEDED, SEEDS SHALL BE COVERED WITH NOT MORE THAN 1/4 INCH OF SOIL.

4. APPLY MULCH AS REQUIRED IMMEDIATELY AFTER SEEDING.

5. SEEDING SHALL OCCUR BETWEEN APRIL 1 TO JUNE 15 AND / OR AUGUST 1 TO OCTOBER 1.

GENERAL E & S NOTES:

ALL EROSION AND SEDIMENTATION CONTROL METHODS SHALL BE IN ACCORDANCE WITH THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENTATION CONTROL, LATEST EDITION UNLESS SPECIFICALLY NOTED OTHERWISE ON THESE PLANS.

EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED WITHIN THE PROPER SEQUENCE DURING CONSTRUCTION (I.E. SEDIMENT BARRIERS INSTALLED DOWNSLOPE OF AREAS TO BE DISTURBED PRIOR TO DISTURBANCE).

ALL DISTURBED AREAS SHALL BE COVERED WITH A MINIMUM OF 4 INCHES OF TOPSOIL, SEEDED AND MULCHED IMMEDIATELY UPON COMPLETION OF FINAL

ALL SOIL STOCKPILE AREAS SHALL BE ENCIRCLED WITH SEDIMENT BARRIERS. TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED ON ANY STOCKPILE AREA WHICH IS TO REMAIN MORE THAN 21 DAYS.

THE CONTRACTOR SHALL KEEP A SUPPLY OF EROSION AND SEDIMENTATION CONTROL TOOLS AND SUPPLIES ON SITE (SEDIMENT BARRIER, STONE,

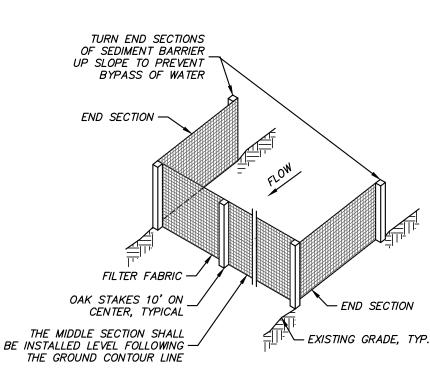
THE CONTRACTOR SHALL INSPECT THE EROSION AND SEDIMENTATION CONTROLS WEEKLY AND PRIOR TO A PREDICTED RAIN EVENT. THE EROSION AND SEDIMENTATION CONTROLS SHALL BE REPAIRED OR MAINTAINED AS

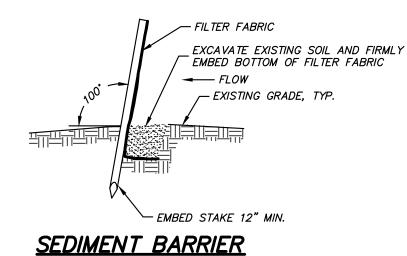
WIND EROSION. THE METHOD USED SHALL BE APPROVED BU THE EROSION AND SEDIMENTATION CONTROL MEASURES ARE SUBJECT TO REVIEW

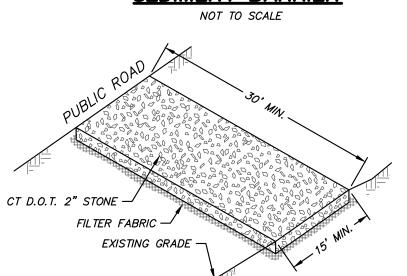
THE CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED TO PREVENT

ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED AS DIRECTED BY THE TOWNS ENVIRONMENTAL PLANNER TO

SEE THE ATTACHED EROSION CONTROL NARRATIVE. CONSTRUCTION SEQUENCE. CONSTRUCTION SCHEDULE FOR ADDITIONAL INFORMATION.







<u>CONSTRUCTION ENTRANCE</u>

EROSION CONTROL NARRATIVE:

SITE LOCATION: 39 SADDLE RIDGE ROAD PARCEL AREA: 43,044 S.F., 0.9882 AC. AREA OF WETLAND SOILS: 10,724 S.F.= 0.3850 AC.* UPLAND REVIEW AREA: 24,599 S.F.= 0.5647 AC.* TOTAL REGULATED AREA: 35,323 S.F.= 0.5647 AC.* DIRECT WETLAND IMPACT AREA: 0 S.F.*

UPLAND REVIEW IMPACT AREA: 17,430 S.F.= 0.4003 AC.*

DEVELOPMENT

TOTAL AREA OF DISTURBANCE: 54,719 S.F.* TOPOGRAPHY: THE SITE CONTAINS MODERATE TO STEEP SLOPES, 2:1 ALONG THE ROAD, AND 10-15%+ WITHIN THE SITE. MOST OF THE SITE (MAINLY THE BUILDING AREA) DRAINS TO THE SITE GENERALLY DRAINS FROM THE SOUTHEAST TO THE NORTHWEST TO THE INTERMITTENT WATERCOURSE, AND SMALL AREA TO THE ROAD. A SMALLER PORTION OF THE SITE DRAINS FROM THE NORTHEAST TO THE SOUTHWEST (MAINLY HE NORTHEAST CORNER OF THE SITE) TO THE INTERMITTENT WATERCOURSE.

WETLAND SOILS: RIDGEBURY, LEICESTER AND WHITMAN FINE SANDY LOAM (REFER TO THE SOILS REPORT BY IAN COLE, SOILS SCIENTIST FOR ADDITIONAL DETAILED INFORMATION. UPLAND SOILS: CANTON AND CHARLTON COMPLEX (REFER TO THE SOILS REPORT BY IAN COLE, SOILS SCIENTIST FOR ADDITIONAL INFORMATION. SITE CONDITIONS: THE SUBJECT PROPERTY IS A SINGLE LOT APPROVED IN 1983 BY THE

TOWN OF GLASTONBURY AS PART OF THE SADDLE RIDGE SUBDIVISION, THE SUBDIVISION PLANS ARE ON FILE IN THE OFFICE OF THE TOWN CLERK AS MAP NO. 4232. THE SITE IS WOODED CONTAINING OAK, MAPLE, TULIP AND YELLOW BIRCH TREES WITH LIGHT UNDERSTORY CONTAINING A NUMBER SHRUB AND HERBACEOUS SPECIES (SEE THE SOILS REPORT FOR ADDITIONAL INFORMATION). THE STEEP SLOPE ALONG THE ROADWAY IS STABLE AND VEGETATED. THERE ARE NO SIDEWALKS IN THE AREA. THE LOT TO THE SOUTH WAS PREVIOUSLY DEVELOPED WITH A SINGLE FAMILY HOME. A SMALL AREA OF

DRAINAGE/WATER QUALITY: THE SITE CONTAINS TWO WATERSHED AREAS. THE NORTHERLY PORTION OF THE SITE DRAINS TO THE WATERCOURSE TRAVERSING THE PROPERTY AND THE REMAINING AREA DRAINS TO A CATCH BASIN INLET IN SADDLE RIDGE ROAD. STORM WATER FLOWS WESTERLY ACROSS SADDLE RIDGE ROAD TO A TOWN OF GLASTONBURY SEDIMENTATION CONTROL STRUCTURE THEN INTO THE EXISTING DETENTION POND. DUE TO THE LIMITED DEVELOPMENT AREA AVAILABLE ON THE SITE DUE TO TOPOGRAPHY AND THE EXISTING CONSERVATION EASEMENT, DESIGN AND CONSTRUCTION OF AN "ON-SITE" WATER QUALITY SYSTEM IS NOT PRACTICAL. THE PROPOSAL FOR WATER QUALITY (AND STORM FLOWS AND FROM NEARLY ALL IMPERVIOUS AREA) ARE TO BE COLLECTED AND ENTER A PROPOSED CATCH BASIN INLET LOCATED AT THE BOTTOM OF THE DRIVEWAY CLOSE TO THE ROAD. THE PROPOSED CATCH BASIN WILL BE CONNECTED TO THE EXISTING CATCH BASIN IN SADDLE RIDGE ROAD MENTIONED ABOVE. THE PLAN ALSO CALLS FOR MAINTENANCE OF THE DETENTION BASIN WHICH INCLUDES REMOVAL OF ACCUMULATED SEDIMENT AND DEBRIS

CLEARING EXISTS ALONG THE SOUTHERLY BOUNDARY, LIKELY FROM THE ADJACENT

TRAPPED IN THE BASIN. IT DOES NOT APPEAR THE BASIN HAS BEEN CLEANED BY THE TOWN PUBLIC WORKS DEPARTMENT SINCE ITS CONSTRUCTION IN 1984. WATER QUALITY TREATMENT WILL BE ACCOMPLISHED DUE TO THE OUTLET CONTROL ORIFICE BEING ABOVE THE BOTTOM OF THE BASIN WHICH ALLOWS WATER TO REMAIN IN THE BASIN AND SOAK INTO THE BASIN BOTTOM. POTENTIAL E. & S. PROBLEMS AND RECOMMENDED SOLUTIONS

THE FOLLOWING IS A DISCUSSION OF EROSION AND SEDIMENTATION CONCERNS AND THE SUGGESTED METHODS OF MITIGATION AND CONTROL. ALL EROSION AND SEDIMENTATION CONTROL METHODS AND MATERIALS ARE SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN OF GLASTONBURY. ADDITIONAL EROSION AND SEDIMENTATION CONTROLS MAY BE REQUIRED TO ADDRESS FIELD CONDITIONS.

1) SEDIMENT ENTERING THE EXISTING STORM SEWERS. THE PLAN CALLS FOR ALL STORM SEWER INLET SUBJECT TO RUNOFF FROM THE DISTURBED AREA HAVE ITS INLET PROTECTED WITH FILTER FABRIC "SILT SACKS". THE "SILT SACK" PROTECTION SHOULD BE CHECKED AT REGULAR INTERVALS. THE ACCUMULATED SEDIMENT REMOVED AND THE FILTER FABRIC REPLACED TO AVOID EXCESSIVE PONDING AT THE INLETS.

2) WIND EROSION. BECAUSE THE SITE IS SMALL AND THE DISTURBED EARTH AREAS ARE MINIMAL, WIND EROSION AND DUST SHOULD NOT BE A MAJOR PROBLEM. IF DUST BECOMES AN ISSUE, THE DISTURBED EARTH AREAS SHALL BE WATERED OR STABILIZED BY OTHER MEANS TO REDUCE THE WIND EROSION.

3) INSPECTION AND MAINTENANCE OF E. & S. CONTROLS. INSPECTION AND PROPER MAINTENANCE OF ALL EROSION AND SEDIMENTATION CONTROL SYSTEMS IS CRITICAL TO THE ULTIMATE SUCCESS OF THE PROJECT. THE PLAN REQUIRES THE SITE CONTRACTOR TO INSPECT AND MAINTAIN THE EROSION AND SEDIMENTATION CONTROL SYSTEMS ON AT LEAST A WEEKLY BASIS AND PRIOR TO A PREDICTED RAIN

4) EFFICIENT CONSTRUCTION AND TIMING. MINIMIZE THE EROSION AND SEDIMENTATION CONTROL PROBLEMS, THE SITE CONTRACTOR SHOULD CAREFULLY PLAN THEIR CONSTRUCTION ACTIVITIES TO MINIMIZE THE PERIOD OF TIME THE SITE IS EXPOSED TO EROSIVE FORCES AND TIME THE STABILIZATION WITH PRIME SEEDING DATES.

*NUMBERS PROVIDED ARE FOR THE BUILDING LOT ONLY.

SUGGESTED CONSTRUCTION SEQUENCE

1) INSTALL BASIC EROSION AND SEDIMENTATION CONTROLS. INSPECT AND MAINTAIN E & S CONTROLS WEEKLY AND/OR PRIOR TO A RAIN EVENT.

2) REMOVE ACCUMULATED SEDIMENT FROM THE DETENTION BASIN, RE-LOAM & SEED BASIN BOTTOM.

3) INSTALL CONSTRUCTION ENTRANCE

4) REMOVE TREES FROM HOUSE DEVELOPMENT AREA, GRUB STUMPS.

5) ROUGH GRADE SITE.

6) INSTALL FOUNDATION, FOUNDATION DRAIN AND ROOF DRAIN PIPING.

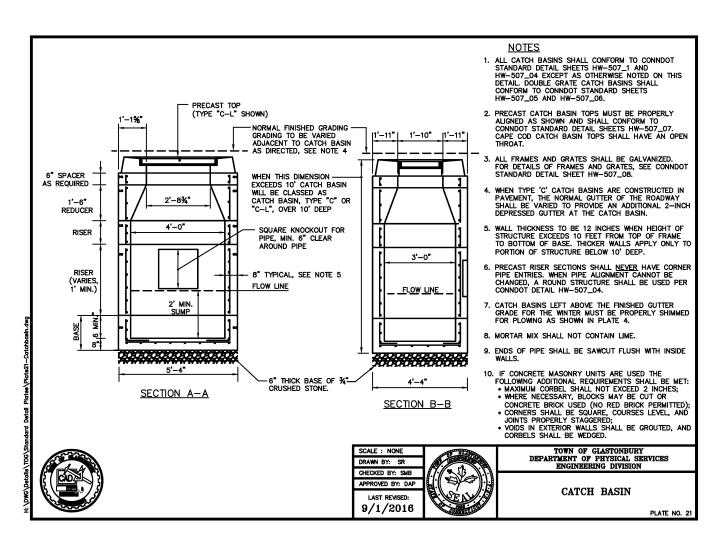
FINE GRADE SITE.

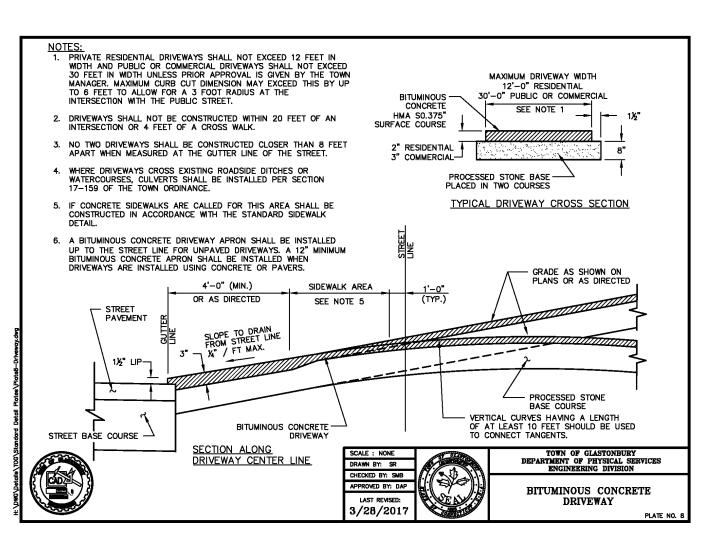
8) SPREAD TOPSOIL, SEED AND MULCH DISTURBED AREAS, INSTALL LANDSCAPING.

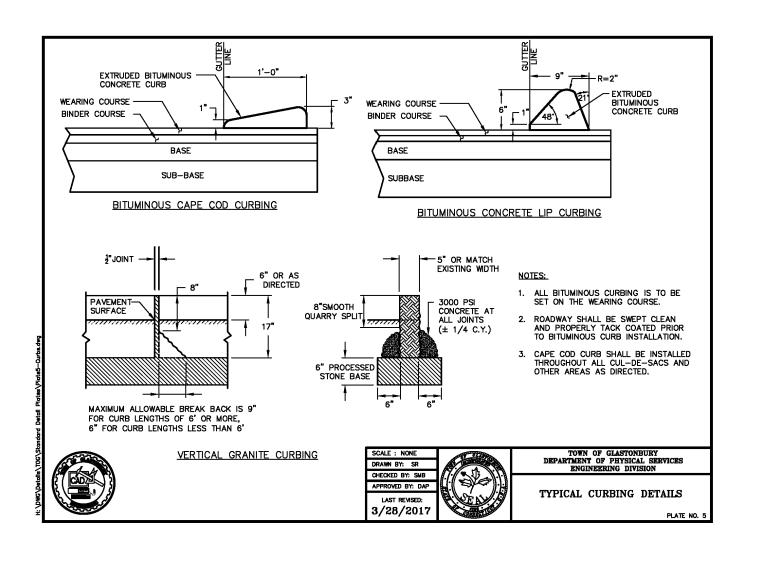
9) REMOVE ACCUMULATED SEDIMENT AND SEDIMENT BARRIERS ONCE ALL UPSTREAM AREAS ARE STABILIZED.

SUGGESTED CONSTRUCTION SCHEDULE

OPERATION / WEEKS	2	4	6	8	10	12	14	16	18	20	22	
1) E & S CONTROLS												
2) CLEAN DET. BASIN												
3) CONST. ENTRANCE												
4) CLEAR & GRUB												
5) ROUGH GRADE												
6) FOUNDATION /DRAIN												
7) FINE GRADE												
8) SPREAD TOPSOIL												
9) REMOVE SED. BARRIERS												







UNDERGROUND UTILITY NOTE:

UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROLE TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO THE UNDERSIGNED. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455 OR 811.

INSPECTION NOTE: THE CONTRACTOR SHALL NOTIFY THE TOWN OF GLASTONBURY ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, SANITARY SEWER INSTALLATION, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, OR ANY EXCAVATION IN THE TOWN RIGHT—OF—WAY TO SCHEDULE INSPECTIONS. THE

DIVISION CAN BE REACHED BETWEEN 8:00 AM - 4:30 PM MONDAY THROUGH FRIDAY AT (860)-652-7735

CONSTRUCTION NOTES:

UNDERGROUND UTILITY STRUCTURE FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED. IN PART. FROM RECORD MAPPING AND INFORMATION PROVIDED BY OTHERS. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES AND STRUCTURES MAY EXIST IN THE AREA, THE EXISTENCE OF WHICH IS UNKNOWN TO DUTTON ASSOCIATES, LLC. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION.

PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES AT CROSSING AND CONNECTION POINTS. ANY CONFLICT OR DISCREPANCY WITH THE PLANS SHALL BE REPORTED TO THE ENGINEER SO THAT ADJUSTMENTS TO THE DESIGN CAN BE MADE.

PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL REQUEST AN UNDERGROUND UTILITY MARK OUT BY CALLING THE CONNECTICUT UNDERGROUND UTILITY PROTECTION PLAN (PHONE 1-800-922-4455).

THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS AND ARRANGE FOR ALL NECESSARY INSPECTIONS FOR THE WORK TO BE PERFORMED.

THE CONTRACTOR IS RESPONSIBLE FOR PAYMENT OF ALL PERMIT AND/OR INSPECTION FEES.

THE CONDITIONS OF APPROVAL ARE A PART OF THIS PLAN. THE CONTRACTOR SHALL CONFORM TO ALL APPLICABLE CONDITIONS.

CONSTRUCTION WASTE AND/OR DEBRIS SHALL BE DISPOSED OF ONLY AT APPROVED LOCATIONS AND IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL LAWS AND/OR

CONSTRUCTION METHODS AND MATERIALS SHALL BE IN ACCORDANCE WITH: THE NOTES AND DETAILS ON THESE PLANS, IF NOT ON SAID PLAN THE TOWN OR CITY STANDARD DETAILS AND SPECIFICATIONS SHALL APPLY AND IF NOT INCLUDED IN ABOVE THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES AND INCIDENTAL CONSTRUCTION, LATEST EDITION, FORM 814A AS APPLICABLE.

THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING STRUCTURES, SERVICES AND/OR PROPERTY CAUSED BY HIM DURING CONSTRUCTION. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER OF THE DAMAGED PROPERTY AT THE CONTRACTORS EXPENSE.

PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL COORDINATE CONSTRUCTION WITH OUTSIDE UTILITY COMPANIES PROVIDING SERVICE TO THE SITE. CONFLICTS WITH SUCH UTILITIES SHALL BE REPORTED TO THE ENGINEER SO THAT ADJUSTMENTS TO THE DESIGN CAN BE MADE.

THE PROPOSED TOP OF FOUNDATION (TOP FDN.), BASEMENT FLOOR (BSMT. FLR.), GARAGE FLOOR (GAR. FLR.) AND GRADING SHOWN ON THIS PLAN SHALL BE REVIEWED IN THE FIELD BY THE OWNER, BUILDER AND ARCHITECT PRIOR TO CONSTRUCTION TO INSURE CONFORMANCE TO THE ARCHITECTURAL PLANS AND CONCEPTS. ANY ADJUSTMENTS TO THE PROPOSED ELEVATIONS OR GRADING SHALL BE REVIEWED WITH THE ENGINEER TO INSURE PROPER FUNCTION OF THE PROPOSED UTILITY SYSTEMS.

PRIOR TO ANY EXCAVATION OR GRADING ON THE SITE, THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES BY CONTACTING THE CONNECTICUT UNDERGROUND UTILITY PROTECTION PLAN FOR UTILITY MARK-OUT (TEL.1-800-922-4455)

PRIOR TO THE START OF CONSTRUCTION, STRIPPING OR GRADING, SEDIMENT BARRIERS SHOWN ON THIS PLAN SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS AND DETAILS OUTLINED IN THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL. SECOND PRINTING, JANUARY 1988. THE BARRIERS SHALL REMAIN IN PLACE AND BE PROPERLY MAINTAINED UNTIL ALL UPSTREAM AREAS ARE STABILIZED TO THE SATISFACTION OF THE ENVIRONMENTAL PLANNER.

AT THE REQUEST OF THE ENVIRONMENTAL PLANNER, ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED TO ADDRESS FIELD CONDITIONS.

ALL DISTURBED AREAS WHICH ARE TO BE STABILIZED WITH VEGETATIVE COVER SHALL BE TOPSOILED, FERTILIZED, SEEDED AND MULCHED IN ACCORDANCE WITH THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL. LATEST EDITION.

ALL UNDERGROUND UTILITY (ELECTRIC, TELEPHONE, CATY, ETC.) INSTALLATION SHALL PROVIDE FOR EFFECTIVE EROSION AND SEDIMENTATION CONTROL TO THEIR POINT OF CONNECTION.

INSPECTION BY THE TOWN STAFF IS REQUIRED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY. THIS INSPECTION EVALUATES COMPLIANCE TO THE APPROVED PLOT PLAN AND THE PERMANENT STABILIZATION REQUIREMENT. THE BUILDER SHALL NOTIFY THE TOWN UPON COMPLETION OF PERMANENT STABILIZATION.

A CERTIFICATE OF OCCUPANCY SHALL NOT BE ISSUED PRIOR TO ADEQUATE SITE STABILIZATION AS DETERMINED BY TOWN STAFF.

ALL DRIVEWAY SHOULDERS SHOULD BE STABILIZED IMMEDIATELY UPON COMPLETION OF ROUGH GRADING. THE DRIVEWAY ROADBED SHOULD BE STABILIZED WITH COMPACTED GRAVEL OR AGGREGATE AS SOON AS POSSIBLE.

TOPSOIL AND/OR EXCAVATED SUBSOIL SHOULD BE STOCKPILED WITHIN THE AREA OF DISTURBANCE IF NOT USED FOR ON SITE REGRADING. EACH STOCKPILE SHALL BE RINGED WITH SEDIMENT BARRIERS AND STABILIZED AS DIRECTED BY THE ENVIRONMENTAL PLANNER.

LUMBER AND BUILDING MATERIAL STOCKPILES, VEHICLE PARKING AND MOVEMENT SHALL BE CONFINED TO THE AREA OF DISTURBANCE. THE BUILDER SHALL PROVIDE A DUMPSTER FOR STORAGE AND/OR DISPOSAL OF ALL CONSTRUCTION WASTE.

STORM SEWER MAINTENANCE PLAN

ALL MAINTENANCE ITEMS LISTED BELOW ARE THE RESPONSIBILITY OF THE LAND OWNER.

PROPER MAINTENANCE OF THE STORM SEWER SYSTEM AND OTHER SITE ELEMENTS ARE CRITICAL TO IT' PROPER FUNCTION AND LONGEVITY OF THE STORM SEWER SYSTEM.

THE ITEMS BELOW ARE NORMALLY NOT BURDENSOME UNLESS THERE IS NEGLECT OR HEAVY DAMAGE (STORMS, ETC.). THIS PLAN ASSUMES THE PAVED DRIVEWAY WILL BE USED AS A "STAGING AREA" (TO STOCKPILE

LEAVES, DEBRIS, EQUIPMENT, ETC.) FOR ALL MAINTENANCE OPERATIONS. CARE SHOULD BE TAKEN TO INSURE ADDITIONAL DEBRIS DOES NOT ENTER THE "WQV STRUCTURE" AND "TYPE CL-CB". TWICE PER YEAR, FOLLOWING THE "LAST FROST" IN SPRING AND "LEAF DROP" IN FALL, THE FOLLOWING INSPECTIONS AND OPERATIONS SHALL

BE CONDUCTED: 1) INSPECT ROOF GUTTERS, DOWN SPOUTS AND LEAF FILTERS. REMOVE DEBRIS AND REPAIR

2) INSPECT THE CATCH BASIN AT THE END OF THE DRIVEWAY, REMOVE ACCUMULATED SEDIMENT

3) TRIM/PRUNE LANDSCAPING, REMOVE DEBRIS AND LEAVES FROM SITE, DISPOSE AT AN APPROVED LOCATION.

4) INSPECT THE ROOF DRAIN PIPING SYSTEM DISCHARGING TO THE RAIN GARDEN. CLEAN AND

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MARK A. REYNOLDS, P.E. #19789

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REVISIONS: 07/25/2024 - COMMENTS 08/08/2024 - COMMENTS

09/11/2024 - COMMENTS

DATE: 06/24/2024 AS NOTED

4*-23-048-D2* FILE: 24-048.DWG

SHEET 4 of 4

SOILS INFORMATION

#39 Saddle Ridge Road - 2/27/24

0.0-0.5' Topsoil
0.5-2.5' Light Brown Fine Sandy Loam
2.5-3.8' Very Compact Fine Sand, Sand, Gravel
3.8-6.5' Dark Reddish Brown Compact Silty Fine
Sand Gravel Cobbles

Roots: 3.5'
No Mottling Observed
Groundwater Observed
No Ledge Observed

#39 Saddle Ridge Road - 2/27/24

O.O-O.3' Topsoil
O.3-2.2' Light Brown Fine Sandy Loam
2.2-5.4' Compact Sand, Gravel, Cobbles
5.4-7.0' Grayish, Reddish Brown Fine Sand
Roots: None Noted
No Mottling Observed
Groundwater Observed
No Ledge Observed

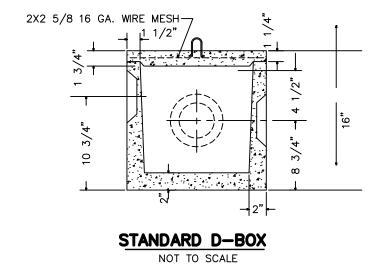
PERCOLATION TEST LOCATION (DATE - 3/01/2024) HOLE DEPTH: 25"

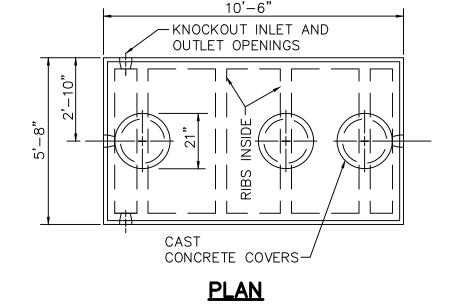
TIME	DEPTH
1: 43	10.0"
1: 48	12 1/2"
1:53	14 1/4"
1:58	16"
2:03	17"
2:08	18"
2:13	19 1/2"
2:18	20 1/4"

PERC RATE: 6.67 min./inch

MINIMUM LEACHING SYSTEM SPREAD (MLSS) CALCULATIONS:

MLSS NEED NOT TO BE CONSIDERED, RESTRICTIVE LAYER GREATER THAN 60"



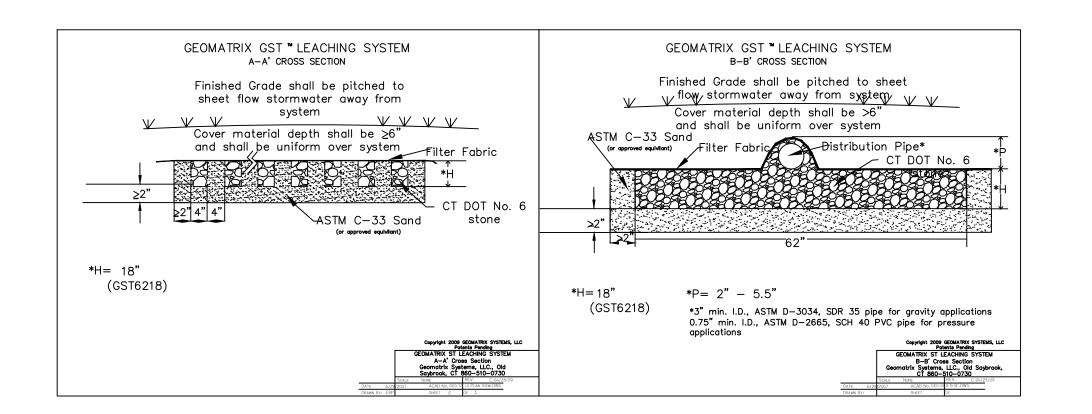


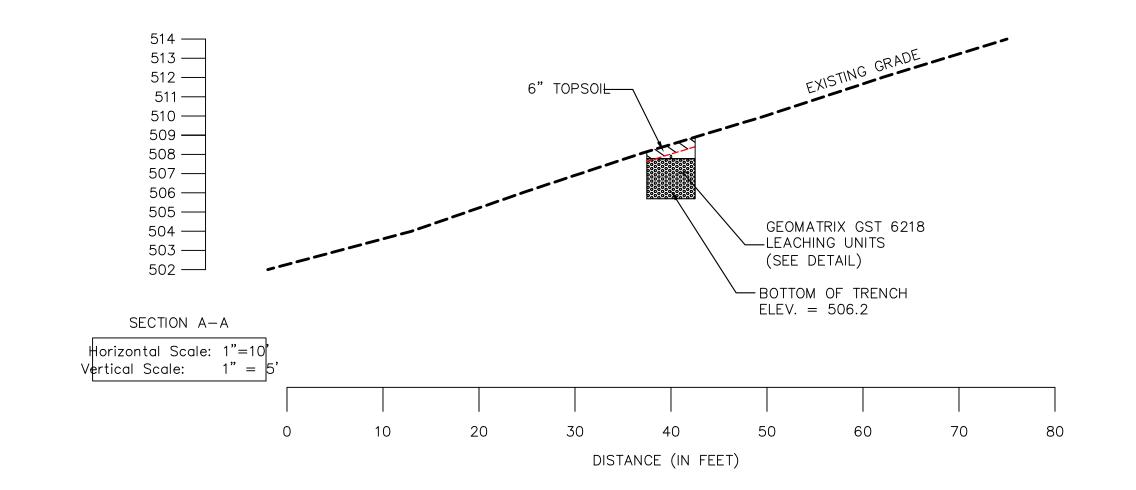
CAPACITIES A B C

	CAI ACITIES		ט		
	1250 GAL	61"	51"	48"	
	1500 GAL	69"	59"	56"	
				•	•
	-4 × 4	126/	126	GA W	/IRE MESH
	17 1/2", /6	$\times 66$	6/6 G	A. WIF	RE MESH
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CROSS SECTION







DESIGN NOTES:

- ALL CONSTRUCTION TO CONFORM TO STANDARDS OF THE CONNECTICUT PUBLIC HEALTH CODE AND TO THE SATISFACTION OF THE TOWN SANITARIAN.
- PERCOLATION RATE FOR DESIGN: 6.67 min./inch DEPTH TO RESTRICTIVE LAYER: NONE NOTED
- 3. REQUIRED LEACHING AREA FOR 4 BEDROOM BUILDING = 577.5 SF ELA
- 4. DESIGN: USE 45 LF OF GEOMATRIZ GST 6218 LEACHING UNITS ELA PROVIDED = 14 SF/LF x 45 LF = 630 SF ELA
- 5. THIS SYSTEM HAS NOT BEEN DESIGNED FOR THE USE OF LARGE CAPACITY (+100 GALLONS), DISCHARGE TYPE BATHTUBS.
 NOTE: A GARBAGE DISPOSAL IS ANTICIPATED FOR THIS DESIGN.
 SEPTIC TANK SIZE FOR 5 BEDROOM SYSTEM PLUS A GARBAGE DISPOSAL FIELD CAPACITY WILL BE 1000 + 1(125) + 250 = 1,500 GALLON TANK
 IN THE EVENT THAT SUCH AN INSTALLATION IS CONTEMPLATED FOR THE PROPOSED HOUSE, A LARGER SEPTIC TANK AND INCREASED LEACHING FIELD CAPACITY WILL BE REQUIRED.
- 6. THE DESIGN SHOWN HEREON CONFORMS TO ALL APPLICABLE STATE AND LOCAL HEALTH CODE REQUIREMENTS AND TO GOOD ENGINEERING PRACTICE. I CAN NOT GUARANTEE AGAINST FAILURE DUE TO IMPROPER INSTALLATION, IMPROPER MAINTENANCE OR TO NATURAL PHENOMENA BEYOND THE SCOPE OF NORMAL FIELD INVESTIGATION.

SEPTIC SYSTEM CONSTRUCTION NOTES:

- 1. CONSTRUCTION SEQUENCE
- A. STRIP & STOCKPILE TOPSOIL FROM LEACHING AREA.
- B. CONSTRUCT LEACHING UNITS TO DESIGN LINE & GRADE.D. LOAM, FINE GRADE TO FINISHED GRADE AND SEED. PROTECT DISTURBED AREAS WITH EROSION CONTROLS UNTIL FIRST MOWING.
- THE PIPE BETWEEN THE HOUSE AND SEPTIC TANK SHALL BE 4 IN. EXTRA HEAVY CAST IRON, DUCTILE IRON OR EXTRA STRENGTH PVC ASTM D1785 SCHD 40 OR APPROVED EQUAL.
- 3. ALL DISTRIBUTION PIPE IS TO BE ASTM D3034 SDR 35 (4"PVC) OR APPROVED EQUAL UNLESS NOTED.
- 4. SEPTIC TANK SHALL BE SET LEVEL ON A MINIMUM OF 6" OF PROCESSED GRAVEL OR BROKEN STONE ON COMPACTED SUBGRADE.
- 5. THERE ARE NO APPARENT WELLS OR SEPTIC FIELDS WITHIN 75' OF THE PROPOSED WELL AND SEPTIC SYSTEM AS SHOWN ON THIS PLAN.
- 6. APPROVED STONE AGGREGATE FOR LEACHING TRENCHES SHALL BROKEN STONE, CRUSHED STONE, OR SCREENED GRAVEL MEETING CT DOT FROM 814A SPECIFICATION FOR M.01.01
- STONE, OR SCREENED GRAVEL MEETING CT DOT FROM 814A SPECIFICATION FOR M.O FOR NO. 4 STONE:

 SIEVE SIZE PERCENT PASSING (BY WEIGHT)

<u>SIEVE SIZE </u>	<u>PASSING (BY WEIGH</u>
2-INCH	100
1-1/2-INCH	90-100
1-INCH	20-55
3/4-INCH	0-10
3/8-INCH	0-5
#40	0-3
"#200	0-1.5

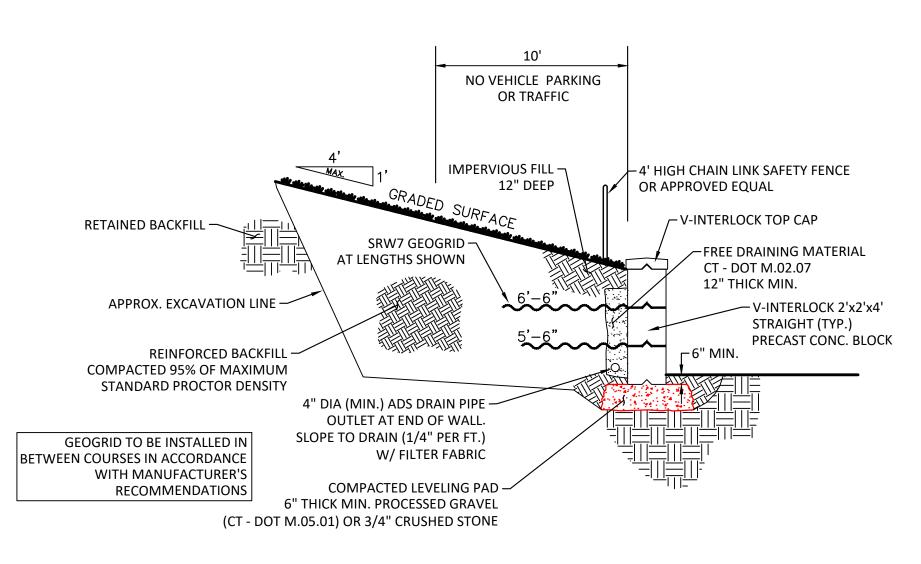
7. THE LOCATION AND ELEVATION OF THE PROPOSED SEPTIC SYSTEM SHALL BE STAKED IN THE FIELD BY A LICENSED LAND SURVEYOR. BENCHMARK TO BE SET IN THE VICINITY OF THE LEACH FIELD AT THE TIME OF STAKEOUT.

LEACHING SYSTEM CONSTRUCTION NOTES:

- 1. TOPSOIL TO BE STRIPPED OFF PRIOR TO FILLING. FILL MATERIAL BETWEEN AND BEYOND TRENCHES TO BE PERVIOUS, GOOD QUALITY AND CLEAN MEDIUM SAND (SELECT FILL) PLACED AND COMPACTED IN 6" LIFTS. SELECT FILL SHALL MEET THE FOLLOWING MINIMUM REQUIREMENTS:
- A. THE FILL SHALL NOT CONTAIN ANY MATERIAL LARGER THAN 3 INCHES.
 B. THE FILL SHALL NOT CONTAIN MORE THAN 45 PERCENT GRAVEL (GRAVEL IS BETWEEN NO. 4 & 3" SIEVES)
 NO MORE THAN 45 PERCENT OF THE MATERIAL CAN BE RETAINED ON THE NO. 4 SIEVE.
 C. THE FILL LESS THE GRAVEL SHALL MEET THE FOLLOWING GRADATION CRITERIA:

SIEVE SIZE:	#4	# 10	#40	#100	#20
% PASSING:	WET SEINOEO	70-100	**10-50	0-20	0-5
% PASSING:	DRY SEINOEO	70-100	10-75	0-5	0-:

- ** PERCENT PASSING THE #40 SIEVE CAN BE INCREASED TO NO GREATER THAN 75% IF THE PERCENT PASSING THE #100 SIEVE DOES NOT EXCEED 10% AND THE #200 SIEVE DOES NOT EXCEED 5%.
- 2. DOCUMENTATION OF TEST RESULTS ARE TO BE PROVIDED TO THE HEALTH DISTRICT.
- 3. FILL MATERIAL TO BE PLACED PRIOR TO TRENCH EXCAVATION. NO TRAFFIC OTHER THAN TRACK—DRIVEN EQUIPMENT IS TO CROSS, DUMP, UNLOAD OR OTHERWISE COMPACT THE FILL AREA AFTER TOPSOIL REMOVAL. FILL MATERIAL TO BE DUMPED AT THE EDGE OF THE STRIPPED AREA AND SPREAD AND COMPACTED WITH TRACK—DRIVEN VEHICLES. STOCKPILING IS TO TAKE PLACE UPGRADIENT OF THE LEACHING AREA. THE AREA DOWN GRADIENT OF THE LEACHING AREA IS NOT TO BE DISTURBED.



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NOT TO SCALE

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NOTES & DETAILS

LOT 1

SADDLE RIDGE ROAD

M BUILDING CO., INC.

REVISIONS:

06/25/2024 - COMMENTS

07/25/2024 - COMMENTS

08/08/2024 - COMMENTS

09/11/2024 - COMMENTS

DATE: 06/14/2024

SCALE: AS NOTED

SHEET 3 of 4

24-048-D1

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