

**TOWN PLAN AND ZONING COMMISSION  
GLASTONBURY, CT  
APPLICATION FOR SPECIAL PERMIT**

**Application for:**

- Section 12 Special Permit with Design Review (SPDR)
- Section 12.8 Change of Use to an approved SPDR
- Section 12.9 Minor Change to an approved SPDR
- Section 12.10 Insignificant Change to an approved SPDR
- Section 6.2 Excavation Special Permit
- Section 6.8 Rear Lot Special Permit
- Section 6.11 Accessory Apartment Special Permit\*\*
- \*\* Applicant must submit addresses of property owners within 100 feet of the premises in accordance with Section 6.11.4 of the Building-Zone Regulations*
- Section 4.11 Flood Zone Special Permit
- Other

**Application, Development Plan Review Checklist\*, and fee (see page 2) to be submitted with 14 sets of plans.** Consult Glastonbury Building-Zone Regulation Sections 12.4 and 12.5 and other relevant sections to determine standards and criteria for application evaluation, including special noticing requirements to abutters.

\*Development Plan Review Checklist requirements do not apply to Section 12.9, 12.10 or 6.11 applications.

**Applicant**

**Property Owner**

Name <u>SJW 148 Oak St LLC</u>	Name <u>Same</u>
Address <u>316 Stanley Drive</u>	Address _____
Telephone <u>860-633-3374</u>	Telephone _____
Email <u>sanapol@ctplumb.com</u>	Email _____

Address of proposed use 148 Oak St

Map/Street/Lot E6 / 4880 / E0012 Zoning District of proposal PC

**Nature of request, including type of use, reasons for application, etc.**

Conversion of residential house into a professional office for a Plumbing Company.

A parking lot of 11 spaces is proposed along with a building addition for a garage. A sign permit is also being applied for.

Signature  <u>Gregory Anapol, SJW 148 Oak St LLC</u> Applicant or Authorized Representative	Signature  Owner or Authorized Representative
Date <u>08/28/2024</u>	Date <u>08/28/2024</u>

**STAFF REPORT**

Staff Contact: Gary Haynes, Planner

**OFFICE OF COMMUNITY DEVELOPMENT**

Tel: (860) 652-7510

Email: [planning@glastonbury-ct.gov](mailto:planning@glastonbury-ct.gov)

<b>Application #:</b> N/A	<b>Submittal Date:</b> August 28, 2024
<b>Meeting Date:</b> September 17, 2024	<b>Date of Receipt:</b> September 3, 2024
<b>Agenda Item:</b> # 2	<b>Application Type:</b> Section 12 Special Permit

**Proposal Address:**  
148 Oak St

**Applicant:** SJW 148 Oak St LLC

**Owner:** SJW 148 Oak St LLC

**Proposal:**  
Section 12 Special Permit with Design Review: Conversion of Residential Hom to Office with Addition

**Zone:** Planned Commerce (PC)

**Existing Land Use:**  
Residential

**Attached for Review:**

- Draft motions
- Department Memos
- Applicant Packet / Floor Plans

**Executive Summary**

- Applicant is converting Single Family Home on 18,560 sq ft lot to office to run their plumbing business.
- Applicant will demolish 2 car detached garage and construct an approximate 20 ft by 24 ft sq ft addition to the rear of the building.
- Addition will be used for storage area for construction materials for the plumbing business.
- In the rear of the property applicant has created 11 parking spaces to meet the parking requirement for office use in Section 9.11 of the zoning regulations.



Aerial View

### **Site Description**

The property is 18,560 sq ft zoned Planned Commerce Zone. Site is located on Oak St 2 parcels to the north of the intersection with Commerce Street.



*Street View*

### **Proposal**

The applicant is proposing converting existing single family residential home to office to run their plumbing business. They propose demolishing detached 2 car garage to provide 16 ft access drive to proposed rear parking area in the back of the building. At the rear of the building the applicant proposes constructing an approximate 20 ft x 24 ft addition for storage of construction materials for the plumbing business. The proposed building is service by water and sewer.

### **ASDRC Committee Report**

At the 7/16/24 ASDRC Meeting the board forwarded a favorable recommendation to TPZ per their committee report dated 7/16/24. The applicant has revised their plans to and addressed most of the comments and recommendations. The applicant needs to provide sign plan to address comments about detached sign and wall sign. They also need to revise elevations and renderings to accurately show window replacement and identify which windows will have 6 over 1 mutton bars.

### **Planning and Zoning Analysis**

Office is allowable use in Planned Commerce zone. The proposed building with the addition will be 2,056 sq ft and the applicant has provided per Section 9.11 of the zoning regulations 1 parking space per every 200 sq ft (total of 11 parking spaces).



# *Town of Glastonbury*

## *Community Development*

### DRAFT MOTION OF APPROVAL

TOWN PLAN AND ZONING COMMISSION

SECTION 12 SPECIAL PERMIT

Greg Anapol  
SJW 148 Oak LLC  
316 Stanley Dr  
Glastonbury, CT 06033

RE: 148 Oak Street

MOVED, that the Town Plan & Zoning Commission approve the application of SJW 148 Oak St LLC for a Section 12 Special Permit – convert single family residential home to professional office – 148 Oak Street– Planned Commerce Zone – SJW 148 Oak St LLC, applicant, in accordance with the plans on file with the Office of Community Development and the following conditions:

1. In compliance with:
  - a. The recommendations from ASDRC in their Committee Report dated 7/16/24.
2. Adherence to:
  - a. The Health Department memorandum dated, September 5, 2024.
  - b. The Engineering Department memorandum, September 12, 2024.
  - c. The Fire Marshal memorandum, September 9, 2024
  - d. The Police Department memorandum, dated September 10, 2024.
3. If unforeseen conditions are encountered during construction that would cause deviation from the approved plans, the applicant shall consult with the Office of Community Development to determine what further approvals, if any, are required.

APPROVED: TOWN PLAN & ZONING COMMISSION  
September 17, 2024

\_\_\_\_\_  
ROBERT J. ZANLUNGO



# Architectural & Site Design Review Committee Report

**MEETING DATE:** 7/16/24

**APPLICANT:** Greg Anapol, Delponte Plumbing & Heating

**PROPERTY ADDRESS:** 148 Oak St

**ZONE:** Planned Commer (PC)

**APPLICATION TYPE:**  Regulatory  Advisory  Courtesy

**REVIEW TYPE:**  Preliminary/Conceptual Review  Final Review

**DESIGN AREA:**  Town Center Village District  Town Center  Upper Main Street

Putnam/Glastonbury Blvd  Naubuc Ave/ Pratt St  Lower New London Tpke

Reserved Land  Other Area

**ASDRC MEMBERS PRESENT:**

M. Branse  B. Davis  D. DeVries-Dalton  D. Flinchum  J. Kamm

A. Luzi  M. Stankov

**APPLICATION:**  New Construction  Addition  Exterior Renovation  Demolition

Other: \_\_\_\_\_

**ACTION:**  ASDRC forwards a favorable recommendation with regard to architectural and landscape design as noted

ASDRC forwards a non-favorable recommendation with regard to architectural and landscape design as noted

Additional design studies/information requested

**COMMENTS and RECOMMENDATIONS:**

- Per ASDRC request revise driveway width to 16ft wide as approved by Department of Engineering and the Fire Marshal Office.
- **Revise sign plan for detached sign as follows: Remove two "blank sign panels, Lower sign height to no more than 6ft high, Add landscaping to the base of detached sign, Measure sign area by a single rectangle in which the text fits into.**
- **Remove or reduce size of wall sign. (By Special Permit TPZ has the authority to reduce sign area)**
- **In the landscape island adjacent to handicap parking space replace Little Blue Stem with a shade tree.**
- Relocate light pole in landscape island adjacent to handicap parking space to north side of driveway.
- **Revise elevations and architectural drawings to include 6 over 1 mutton bars on the windows. (at minimum shall be added to windows on front elevation).**
- Add note to lighting plan all exterior lighting will be shut off and turned on 30 minutes prior to opening and closing of business operations, except for necessary security lighting.
- Submit revised lighting plan to be approved administratively by ASDRC as the lighting plan is too bright and has "hot spots" going from 9-foot candles to .3-foote candles. Lighting plan submitted shall meet IES recommended standards.
- Revise landscape plan on southern property boundary to strategically place no larger than 5-gallon containers of viburnum to be installed, using ANSI Tree, Shrub, and Other Woody Plant Management-Standard Practices to help protect root system of mature maples.



## Memo

September 5, 2024

**To:** Shelley Caltagirone, Director Planning and Land Use Services

**Fr:** Wendy S. Mis, Director of Health

**Re:** 148 Oak Street conversion of residence into office

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This office has received information about the conversion of 148 Oak Street into an office.


The property is served by public water and sewer. Town records indicate the house was constructed in 1937, so lead paint may be present on the exterior of the building where the addition will be built. The garage may also have lead paint. Workers should be protected against lead dust during the demolition and construction process.

Approval with respect to CT Public Health Code is forwarded for Commission consideration.

September 12, 2024

**MEMORANDUM**

To: Town Plan and Zoning Commission  
Shelley Caltagirone, Director of Community Development

From: Daniel A. Pennington, Town Engineer / Manager of Physical Services 

Re: 148 Oak Street, Conversion of Residence to Office  
Section 12 Special Permit with Design Review

The Engineering Division has reviewed the application materials for the proposed conversion of the existing residential building to office use with an addition at 148 Oak Street prepared by Megson, Heagle, and Friend Civil Engineers and Land Surveyors, LLC including plans dated August 13, 2024 and Hydrology and Hydraulics Report dated August 2024 and offers the following comments:

1. The design of the stormwater management system is in conformance with Town standards through installation of an infiltration system that was sized to contain all run-off from a 10-year storm event and provide water quality volume retention.
2. Water quality volume computations should be corrected to utilize the 1.3-inch run-off depth recommended by the 2023 DEEP Stormwater Quality Manual and to clarify that the required volume is achieved through a combination of static storage volume as well as infiltration volume.
3. An MS4 tracking table needs to be provided on the plans summarizing the pre and post development impervious areas and directly connected impervious areas.
4. The stormwater maintenance program should be revised to include required maintenance of the proposed infiltration system and to indicate that the property owner is required to perform all such maintenance. This maintenance plan should also be relocated to the site plan for ease of future reference.
5. A silt sack is required for the closest catch basin in Oak Street downhill of the proposed driveway and should be indicated on the erosion and sediment control plan.
6. Proposed site lighting should be shown on the site plan and planting plan for coordination with other design elements. Appropriate details for proposed site lighting including foundations, luminaires, and mounting details should be included on the plans.

7. The Engineering Division standard inspection note should be added to the site plan.
8. Applicant shall provide a copy of final stamped and signed plans and computations in PDF form to the Town Engineer.





# Town of Glastonbury

FIRE MARSHAL'S OFFICE • (860) 652-7526 • [FireMarshal@glastonbury-ct.gov](mailto:FireMarshal@glastonbury-ct.gov)

TO: Gary Haynes; Planner

FROM: Michael Makuch; Fire Marshal

DATE: September 9, 2024

RE: September 17, 2024 TP&Z Meeting-148 Oak Street

The Fire Marshal's Office has done a review of submission and has determined that there are no further concerns currently. The fire chief may introduce access concerns that our office can comment on if that is the case. A full code review will occur upon permit submission. Should the scope of work change, please advise so we can review the changes.

Respectfully,

*MM Makuch*

Michael Makuch  
Fire Marshal



# Town of Glastonbury


GLASTONBURY POLICE DEPARTMENT • TEL (860) 633-8301 • FAX (860) 652-4290

CHIEF OF POLICE  
Marshall S. Porter

CAPTAIN  
Mark Catania

## MEMORANDUM

TO: Town Plan and Zoning Commission

FROM: Marshall S. Porter, Chief of Police 

DATE: 09/10/2024

RE: 148 Oak St. Addition and Special Permit for conversion of residence into an office.

Members of the Police Department have reviewed the special permit contents for 148 Oak St. The Police Department has no objection to the proposal.

MSP/ns





**SITE LOCATION PLAN**  
SCALE: 1"=1,000'

ZONING TABLE		
PLANNED COMMERCE	REQUIRED/ALLOWED	EXISTING/PROVIDED
LOT AREA	40,000 S.F.	*18,560 S.F.
LOT FRONTAGE	150 FT	*110 FT
FRONT YARD SETBACK	50 FT	*33.7 FT
SIDE YARD SETBACK	25 FT	33.1 FT
REAR YARD SETBACK	25 FT	61.1 FT
BUILDING HEIGHT	2.5 STORIES/35 FT	2 STORIES
LOT COVERAGE	20% (3712 S.F.)	9.3% (1,730 S.F.)
OPEN SPACE	35% (6496 S.F.)	57.1% (10,601 S.F.)

\*LOT IS AN EXISTING SUBSTANDARD LOT OF RECORD

**PARKING TABLE**

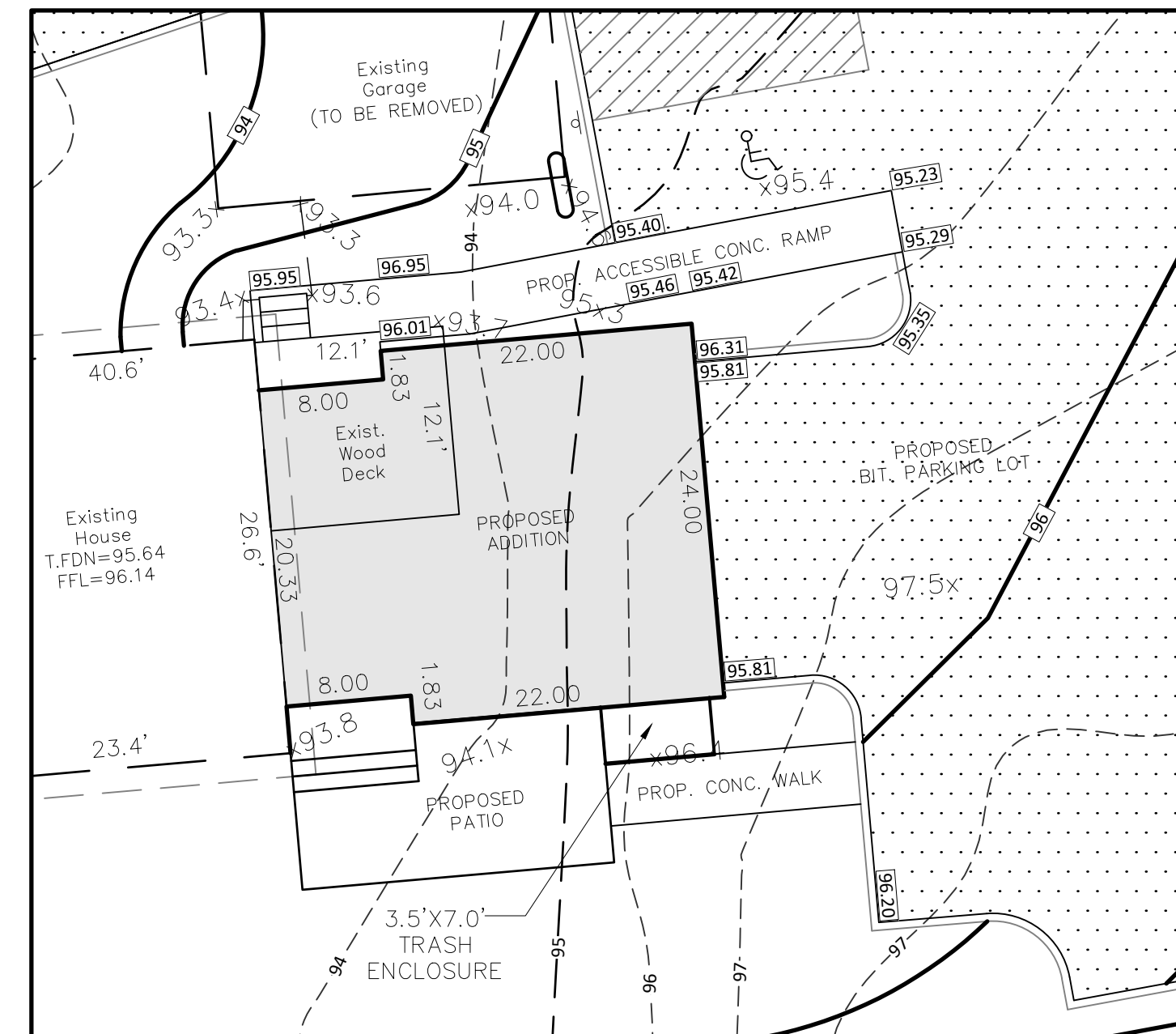
GENERAL OFFICE = 1 SPACE/200 S.F.  
FLOOR AREA = 2,056 S.F. = 11 SPACES  
TOTAL = 11 SPACES

DELPONTE PLUMBING	PLANNED COMMERCE
PROJECT/APPLICANT	ZONE
#148 OAK STREET	
PROJECT ADDRESS	
SPECIAL PERMIT SECTION	TPZ CHAIRMAN
DATE SPECIAL PERMIT APP'D	DIRECTOR OF COMMUNITY DEVELOPMENT
	FILE NO.

T.P. #1  
DATE: 6/6/24  
DEPTH 96"  
0-2" TOPSOIL  
2-40" RED SAND FILL?  
40-56" RED/GRAY COMPACT SILTY SAND  
56-96" RED/GRAY FINE SAND  
NO WATER  
NO MOTTLING  
NO LEDGE

T.P. #2  
DATE: 6/6/24/DEPTH: 98"  
0-2" TOPSOIL  
2-30" RED FINE SAND  
30-98" RED SILTY SAND  
NO WATER  
NO MOTTLING  
NO LEDGE

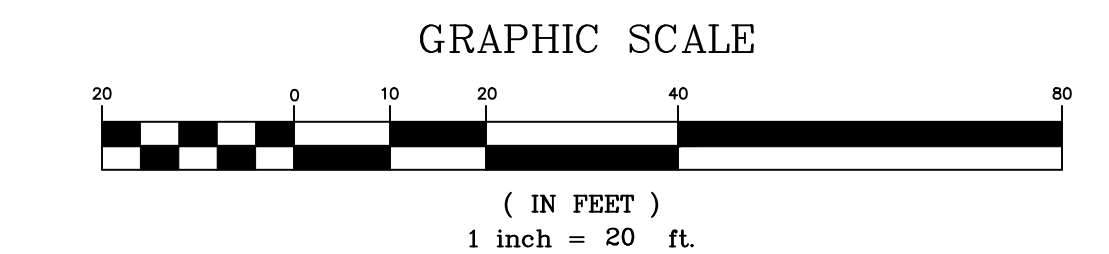
NOTE: SAMPLE TAKEN AT 4.5-5' FOR PERMEABILITY



**DETAIL**  
1"=10'

**LEGEND**

- 94 --- EXISTING CONTOUR
- 94 --- PROPOSED CONTOUR
- PROPOSED IRON PIN
- +93.6 EXISTING SPOT ELEVATION
- 95.60 PROPOSED SPOT ELEVATION
- SL --- EXISTING SANITARY LATERAL
- W --- EXISTING WATER
- G --- EXISTING WATER GATE
- G --- EXISTING GAS
- BCLC --- PROPOSED BCLC
- ▣ EXISTING CATCH BASIN
- ▣ PROPOSED CATCH BASIN



**ZONE: PLANNED COMMERCE**  
**AREA=18,560 S.F.**

PARKING PROVIDED: 11 SPACES (1 HANDICAP)

THIS MAP IS NOT VALID IF MODIFIED IN ANY WAY AND/OR DOES NOT BEAR THE EMBOSSED SEAL OF THE UNDERSIGNED.

I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.

MARK W. FRIEND P.E. #15618

**MEGSON, HEAGLE & FRIEND**  
CIVIL ENGINEERS & LAND SURVEYORS, LLC  
81 RANKIN ROAD  
GLASTONBURY, CONN. 06033  
PHONE (860) 659-0587

**SITE PLAN**  
**#148 OAK STREET**  
PREPARED FOR  
**DELPONTE PLUMBING**  
GLASTONBURY, CONN.

CK. BY: MWF  
DRW. BY: PEJ  
DATE: 8-13-24  
SCALE: 1"=20'  
SHEET 1 OF 5  
MAP NO. 46-23-1SP

CAD FILE: P:\2023\proj\04623.dwg (BASE) (04623-PT\_SitePlan\_6-4-24.dwg) PLOT DATE/TIME: 8/19/2024 - 12:50pm

REFERENCE MADE TO MAP TITLED:  
LOT LINE REVISION BUILDING #7 #160 & #148 OAK STREET  
PREPARED FOR AERO-OAK, LLC GLASTONBURY, CONN. BY  
MEGSON & HEAGLE C.E. & L.S. GLASTONBURY, CONN. DATE:  
9-26-07 REV. 6-27-08 SCALE: 1"=40' MAP NO. 109-07-1B

**THIS MAP IS NOT VALID IF MODIFIED IN ANY WAY AND/OR DOES NOT BEAR THE EMBOSSED SEAL OF THE UNDERSIGNED.**

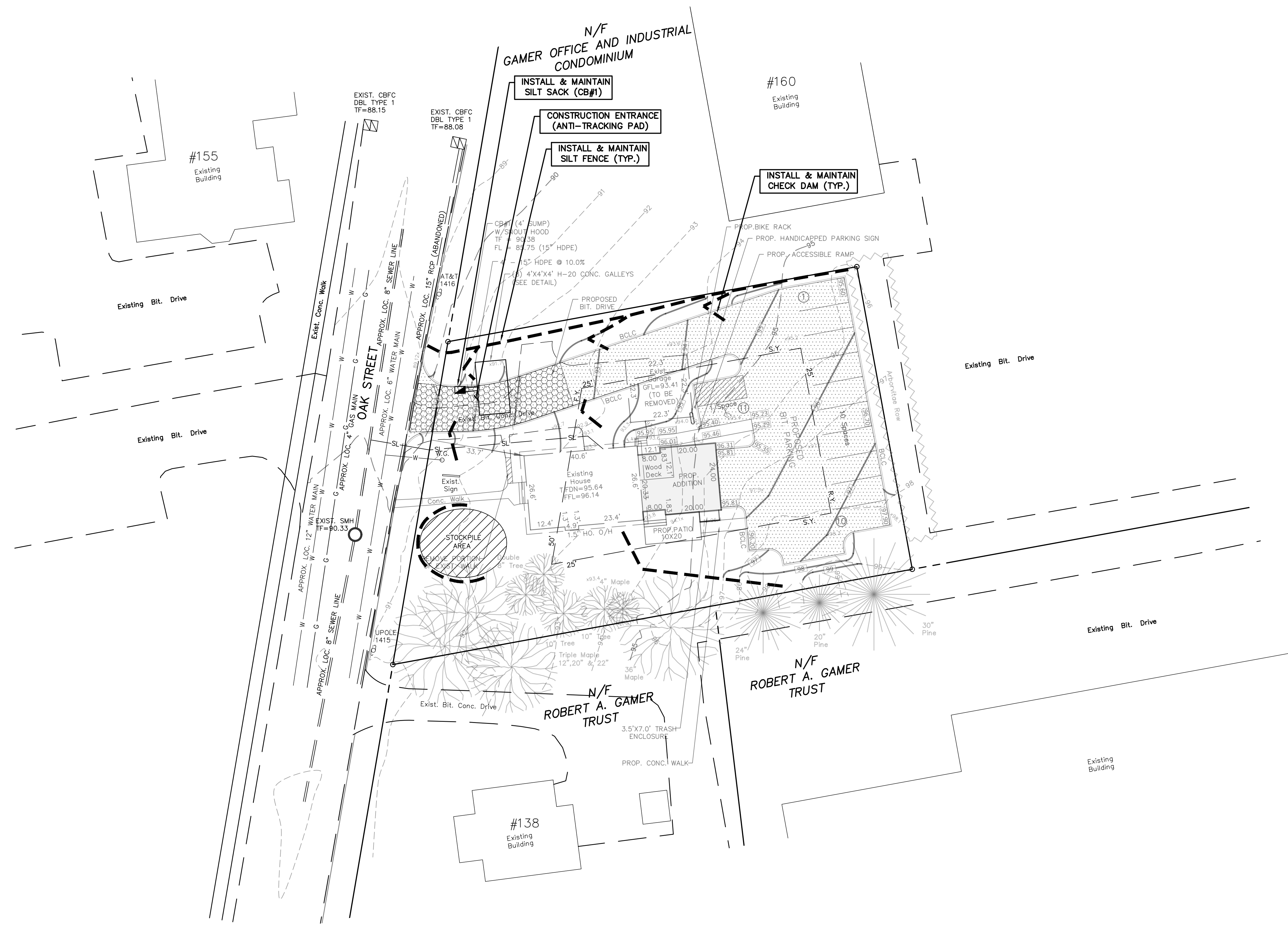
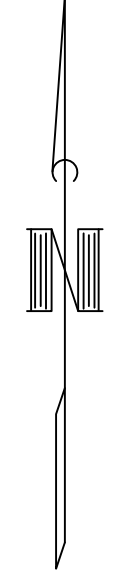
NO ZONING VIOLATIONS

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON. THIS SURVEY WAS PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTION 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS AND SUGGESTED METHODS AND PROCEDURES FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" REVISED OCTOBER 26, 2018 AND AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON AUGUST 29, 2019.

TYPE OF SURVEY ZONING LOCATION SURVEY  
BOUNDARY DETERMINATION CATEGORY: RESURVEY  
CLASS OF ACCURACY: A-2

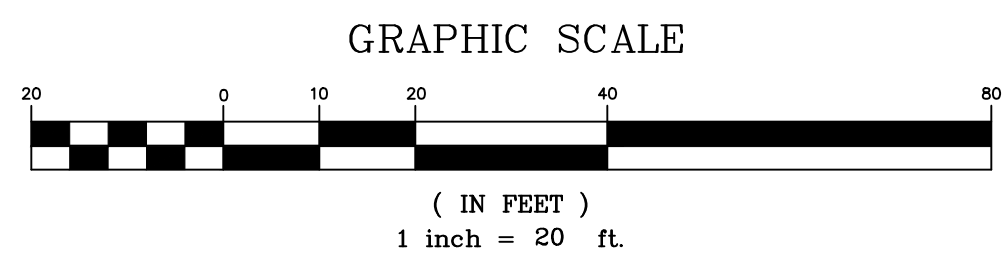
SANDS E. AESCHLIMAN L.S. # 14201

D'ELPONTE PLUMBING		PLANNED COMMERCE	
PROJECT/APPLICANT		ZONE	
#48 OAK STREET			
PROJECT ADDRESS			
SPECIAL PERMIT SECTION		TPZ CHAIRMAN	
DATE SPECIAL PERMIT APP'D		DIRECTOR OF COMMUNITY DEVELOPMENT	
FILE NO.			



**PROJECT DESCRIPTION**  
 THIS PROJECT CONSISTS OF A BUILDING ADDITION FOR A WAREHOUSE AS WELL AS A PARKING LOT ADDITION WITH 11 SPACES. THE EXISTING GARAGE IS PROPOSED TO BE TORN DOWN. THE SURFACE WATER OF THE LOT CURRENTLY FLOWS FROM EAST TO WEST TO THE NORTHWEST CORNER OF THE LOT. THE LOT HAS MINIMAL SLOPE WHICH WILL HELP WITH EROSION CONTROL. EROSION AND SEDIMENTATION CONTROL WILL BE ACHIEVABLE WITH SEDIMENT BARRIERS, CHECK DAMS AND ANTI-TRACKING PAD. UNDERGROUND INFILTRATION STRUCTURES ARE PROPOSED TO PROVIDE GROUNDWATER RECHARGE AS WELL AS MITIGATION OF PEAK RUNOFF INCREASES FOR STORMS UP TO A 10 YEAR FREQUENCY STORM. IN ACCORDANCE WITH MS4 REQUIREMENTS, THE WOV WILL BE RETAINED ONSITE AND INFILTRATED INTO THE GROUND. THE SOILS AND GROUNDWATER CONDITIONS OF THE SITE ARE CONDUCTIVE TO INFILTRATION PRACTICES.

**SCHEDULING**  
 THE ENTIRE PROJECT IS EXPECTED TO TAKE APPROXIMATELY 4-6 MONTHS. AFTER INSTALLATION OF NECESSARY SEDIMENT BARRIERS AND ANTI-TRACKING PAD AT THE CONSTRUCTION ENTRANCE, THE LOT SHALL BE STRIPPED.



THIS MAP IS NOT VALID IF MODIFIED IN ANY WAY AND/OR DOES NOT BEAR THE EMBOSSED SEAL OF THE UNDERSIGNED.

I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.

MARK W. FRIEND  
 P.E. #15618

**MEGSON, HEAGLE & FRIEND**  
 CIVIL ENGINEERS & LAND SURVEYORS, LLC  
 81 RANKIN ROAD  
 GLASTONBURY, CONN. 06033  
 PHONE (860)-659-0587

EROSION & SEDIMENTATION CONTROL PLAN  
**#148 OAK STREET**  
 PREPARED FOR  
**D'ELPONTE PLUMBING**  
 GLASTONBURY, CONN.

CK. BY: MWF  
 DRW. BY: PEJ  
 DATE: 8-13-24  
 SCALE: 1"=20'  
 SHEET 2 OF 5  
 MAP NO. 46-23-1ES

CAD FILE: P:\2023\proj\04623\dwg\04623-01-STEPPLAN\_6-4-24.dwg  
 PLOT DATE/TIME: 8/19/2024 12:50pm

**EROSION & SEDIMENT CONTROL NOTES**

**GENERAL**

WARNING: THESE PLANS NOT TO BE USED FOR LOCATION OF UNDERGROUND UTILITIES - CALL BEFORE YOU DIG 1-800-922-4455 TWO WORKING DAYS BEFORE YOU DIG.

THESE GUIDELINES SHALL APPLY TO ALL WORK CONSISTING OF ANY AND ALL TEMPORARY AND/OR PERMANENT MEASURES TO CONTROL WATER POLLUTION AND SOIL EROSION AS REQUIRED DURING THE CONSTRUCTION OF THE PROJECT.

CONSTRUCTION METHODS, IN GENERAL, SHALL BE IN ACCORDANCE WITH THE PROVISIONS SET FORTH IN THE "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL," (2002) BY THE STATE OF CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION.

IN GENERAL, ALL CONSTRUCTION ACTIVITIES SHALL PROCEED IN SUCH A MANNER SO AS NOT TO POLLUTE ANY WETLANDS, WATERCOURSE, WATERBODY, AND CONDUIT CARRYING WATER, ETC. THE CONTRACTOR SHALL LIMIT, INSOFAR AS POSSIBLE, THE SURFACE AREA OF EARTH MATERIALS EXPOSED BY CONSTRUCTION METHODS, AND IMMEDIATELY PROVIDE PERMANENT AND TEMPORARY MEASURES TO PREVENT CONTAMINATION OF ADJACENT WETLANDS, WATERCOURSES AND WATERBODIES, AND TO PREVENT, INSOFAR AS POSSIBLE, EROSION ON THE SITE.

THE POINT OF ACCESS TO THE SITE SHALL BE WELL DEFINED.

AN APRON OF 2" TRAP ROCK AT A MINIMUM DEPTH OF 6 INCHES AND 50 FEET IN LENGTH SHALL BE INSTALLED AND MAINTAINED TO THE SITE.

ALL VEHICULAR ACTIVITIES SHALL BE SERVED VIA THIS LOCATION.

THE TRAP ROCK IS TO BE REPLACED WHEN SILTED IN TO THE EXTENT THAT IT IS NO LONGER EFFECTIVE FOR ANTI-TRACKING.

**GOALS OF THE EASCP**

- REDUCE MOVEMENT OF SOIL FROM EXPOSED SURFACES UTILIZING TEMPORARY MULCH.
- SLOW RUNOFF VELOCITIES AND TRAP SEDIMENTS WITH SEDIMENT BARRIERS UTILIZING SILT FENCE AND/OR HAY BALES.
- CONTAIN OFF SITE TRACKING OF SEDIMENTS FROM TIRES WITH ANTI-TRACKING PADS.
- WINTER STABILIZATION MEASURES SHALL BE PLANNED IN ADVANCE OF THE END OF THE GROWING SEASON TO ALLOW FOR ADEQUATE EROSION AND SEDIMENTATION CONTROL FOR THE WINTER MONTHS.

**ESTABLISHMENT:**

- USE ANNUAL RYEGRASS AT A RATE OF 40 LBS/AC. OR SUITABLE EQUIVALENT AS SPECIFIED IN THE "GUIDELINES".
- SEEDING TO BE DONE FROM APRIL 1ST TO JUNE 15 OR AUGUST 1ST TO OCTOBER 1ST. WINTER STABILIZATION PLANTINGS TO BE NO LATER THAN OCTOBER 1ST. THIS INCLUDES STOCKPILE AREAS.
- APPLY SEED UNIFORMLY ACCORDING TO THE RATE INDICATED BY BROADCASTING, DRILLING, OR HYDRAULIC APPLICATION.
- UNLESS HYDROSEEDED, COVER RYEGRASS SEEDS WITH NOT MORE THAN 1/4 INCH OF SOIL WITH SUITABLE EQUIPMENT. COVER SUDAGRASS AND SMALL GRAINS WITH 1/2 INCH SOIL.
- MULCH IMMEDIATELY AFTER SEEDING, IF REQUIRED, ACCORDING TO THE "GUIDELINES".

**PERMANENT VEGETATIVE COVER**

**GENERAL:**

- PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED AS VARIOUS SECTIONS OF THE PROJECT ARE COMPLETED IN ORDER TO STABILIZE THE SOIL, REDUCE DOWNSTREAM DAMAGE FROM SEDIMENT AND RUNOFF AND TO ENHANCE THE AESTHETIC NATURE OF THE SITE. IT WILL BE APPLIED TO ALL CONSTRUCTION AREAS SUBJECT TO EROSION WHERE FINAL GRADING HAS BEEN COMPLETED AND A PERMANENT COVER IS NEEDED.

**SITE PREPARATION:**

- INSTALL REQUIRED SURFACE WATER CONTROL MEASURES.
- REMOVE LOOSE ROCK, STONE AND CONSTRUCTION DEBRIS FROM AREA.
- PERFORM ALL PLANTING OPERATIONS PARALLEL TO THE CONTOURS OF THE SLOPE.
- APPLY TOPSOIL AS INDICATED ELSEWHERE HEREIN.
- APPLY FERTILIZER ACCORDING TO SOIL TEST. USE ONLY SLOW RELEASE AND LOW/NO PHOSPHORUS FERTILIZERS.

**ESTABLISHMENT:**

- SMOOTH AND FIRM SEEDBED WITH CULTIPACKER OR OTHER SIMILAR EQUIPMENT PRIOR TO SEEDING (EXCEPT WHEN HYDROSEEDING).
- SELECT ADAPTED SEED MIXTURE AS FOLLOWS. NOTE RATES AND THE SEEDING DATES.

- SUNNY TO PARTIALLY SUNNY SITES -		
KENTUCKY BLUEGRASS	20	0.50
CREeping RED FESCUE	20	0.50
PERENNIAL RYEGRASS	05	0.10
TOTAL	45	1.10
- SHADY SITES -		
CREeping RED FESCUE	50	1.00
PERENNIAL RYEGRASS	05	0.10
TOTAL	55	1.10
- DROUGHTY SITES -		
CREeping RED FESCUE	1.00	40
TALL FESCUE	0.50	20
TOTAL	60	1.50

**LAND GRADING**

**GENERAL:**

- THE RESHAPING OF THE GROUND SURFACE BY EXCAVATION AND FILLING OR A COMBINATION OF BOTH, TO OBTAIN PLANNED GRADES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING BASIC CRITERIA:
  - THE CUT FACE OF EARTH EXCAVATION SHALL NOT BE STEEPER THAN TWO HORIZONTAL TO ONE VERTICAL (2:1).
  - THE PERMANENT EXPOSED FACES OF FILLS SHALL NOT BE STEEPER THAN TWO HORIZONTAL TO ONE VERTICAL (2:1).
  - THE CUT FACE OF ROCK EXCAVATION SHALL NOT BE STEEPER THAN ONE HORIZONTAL TO FOUR VERTICAL (1:4).
  - NO FILL SHOULD BE PLACED WHERE IT WILL SLIDE, OR WASH UPON THE PREMISES OF ANOTHER OWNER OR UPON ADJACENT WETLANDS, WATERCOURSE OR WATERBODY.
  - INSTALLATION OF SEDIMENT AND EROSION CONTROLS SUCH AS HAY BALES AND SILT FENCES SHALL BE ESTABLISHED PRIOR TO COMMENCING LAND DISTURBANCE ACTIVITIES. ALL SEDIMENT AND EROSION CONTROL STRUCTURES MUST BE MONITORED AND MAINTAINED BY THE CONTRACTOR UNTIL THE SOIL SURFACE IS STABILIZED.
  - IF NECESSARY, LATERAL WATER DIVERSIONS SHALL BE INSTALLED ACROSS THE GRADED ROADWAY TO PREVENT DOWNSLOPE OUTFLOW AND EROSION.
  - HAY BALES SHALL BE STAKED AND SILT FENCES SHALL BE PROPERLY SECURED. SEDIMENT WILL BE REMOVED FROM ALL CATCHMENTS AS NECESSARY.
  - PRIOR TO ANY REGRADING, STONE APRON SHALL BE PLACED BY THE ENTRANCE TO THE WORK AREA IN ORDER TO REDUCE MUD AND OTHER SEDIMENTS FROM LEAVING THE SITE.
  - PROVISIONS SHOULD BE MADE TO CONDUCT SURFACE WATER SAFELY TO STORM DRAINS, TO PREVENT SURFACE RUNOFF FROM DAMAGING CUT FACES AND FILL SLOPES.
  - EXCAVATIONS SHOULD NOT BE MADE SO CLOSE TO PROPERTY LINES AS TO ENDANGER ADJOINING PROPERTY WITHOUT PROTECTING SUCH PROPERTY FROM EROSION, SLIDING, SETTLING OR CRACKING.

**EROSION CHECKS**

**GENERAL:**

- TEMPORARY PERVIOUS BARRIERS USING BALES OF HAY OR STRAW, HELD IN PLACE WITH STAKES DRIVEN THROUGH THE BALES AND INTO THE GROUND, OR SEDIMENT FILTER FABRIC FASTENED TO A FENCE POST AND BURIED INTO THE GROUND, SHALL BE INSTALLED AND MAINTAINED AS REQUIRED TO CHECK EROSION AND REDUCE SEDIMENTATION. STRAW SHALL BE USED RATHER THAN HAY BALES TO PREVENT INTRODUCTION OF INVASIVE PLANT SPECIES TO THE SENSITIVE WETLAND AREAS.

**CONSTRUCTION:**

- BALES SHALL BE PLACED IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.

**WINDBLOWN SEDIMENT**

**GENERAL:**

ALL WINDBLOWN SEDIMENTS SHALL BE CONTROLLED AT ALL TIMES. THE SITE CONTRACTOR IS RESPONSIBLE FOR APPLYING DUST CONTROL AS OF AS NEEDED TO PREVENT ANY WINDBLOWN SEDIMENTS FROM LEAVING THE SITE. PREDETERMINED TRAFFIC ROUTES FOR ALL TRAFFIC SHALL BE ESTABLISHED BY THE SITE CONTRACTOR TO STABILIZED ROUTES. TEMPORARY AND PERMANENT MULCHING AND TEMPORARY AND PERMANENT VEGETATIVE COVER SHALL BE USED TO MINIMIZE THE NEED FOR DUST CONTROL. MECHANICAL SWEEPERS SHALL BE USED ON ALL PAVED SURFACES TO PREVENT DUST BUILD UP DURING THE COURSE OF SITE WORK.

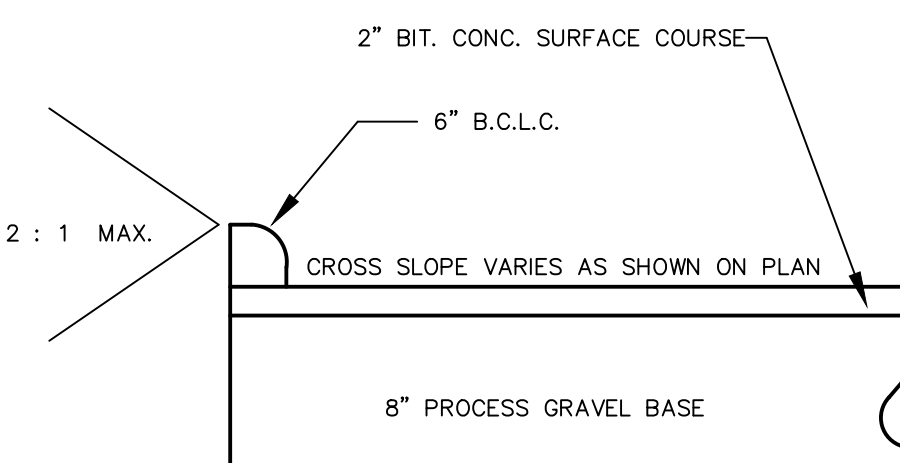
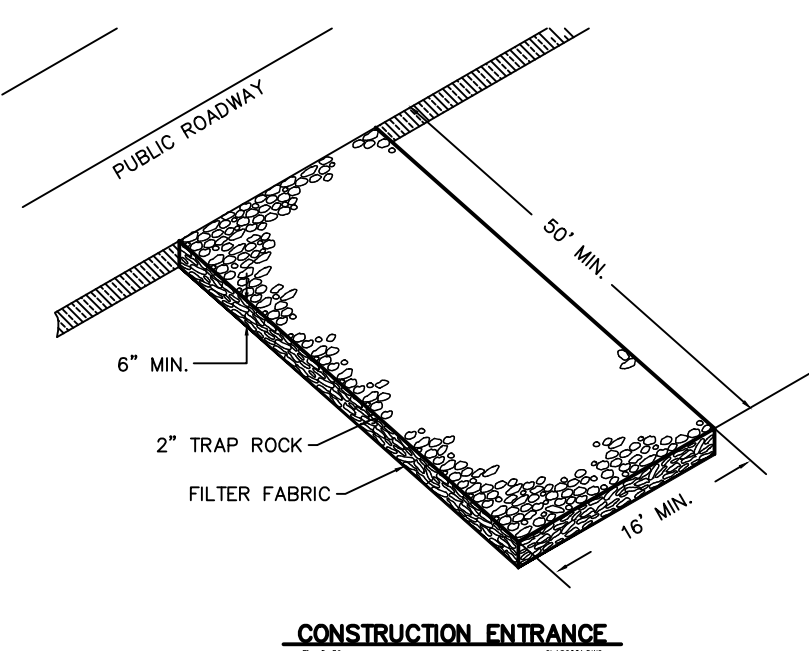
**METHODS:**

- WATER IS ACCEPTABLE AND MUST BE APPLIED OFTEN IN HOT, DRY WEATHER. CALCIUM CHLORIDE IS NOT ACCEPTABLE.
- CRUSHED STONE OR COARSE GRAVEL CAN ALSO BE USED.

**TEMPORARY VEGETATIVE COVER**

**GENERAL:**

- TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED ON ALL UNPROTECTED AREAS THAT PRODUCE SEDIMENT. AREAS WHERE FINAL GRADING HAS BEEN COMPLETED AND AREAS WHERE THE ESTIMATED PERIOD OF BARE SOIL EXPOSURE IS LESS THAN 12 MONTHS.
- SITE PREPARATION:**
- INSTALL REQUIRED SURFACE WATER CONTROL MEASURES.
  - REMOVE LOOSE ROCK, STONE, AND CONSTRUCTION DEBRIS FROM AREA.
  - APPLY LIME ACCORDING TO SOIL TEST.
  - APPLY FERTILIZER ACCORDING TO SOIL TEST. SLOW RELEASE AND LOW/NO PHOSPHORUS FERTILIZERS SHALL BE USED.
  - UNLESS HYDROSEEDED, WORK IN LIME AND FERTILIZER TO A DEPTH OF FOUR (4") INCHES USING A DISK OR ANY SUITABLE EQUIPMENT.
  - TRACTORS SHOULD ACHIEVE A REASONABLY UNIFORM, LOOSE SEEDBED. WORK ON CONTOUR IF SITE IS SLOPING.



**PAVEMENT DETAIL**  
NOT TO SCALE

**SITE/CIVIL NOTES**

**SURVEY**  
PLANIMETRIC AND TOPOGRAPHIC INFORMATION SHOWN HEREON WAS OBTAINED FROM GROUND SURVEYS CONDUCTED IN 7-23.

THE MERIDIAN OF THIS SURVEY IS REFERENCED TO THE CONNECTICUT STATE PLANE COORDINATE SYSTEM (NAD 83). POSITION WAS DETERMINED BY GLOBAL NAVIGATION SATELLITE SYSTEMS (GNSS) AS PROVIDED BY THE ADVANCED CONTINUOUSLY OPERATING REFERENCE NETWORK (ACORN).

ELEVATIONS SHOWN ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AS DETERMINED BY GNSS PROVIDED BY THE ADVANCED CONTINUOUSLY OPERATING REFERENCE NETWORK (ACORN).

ALL UNDERGROUND UTILITIES LINES (GAS, WATER, ELECTRIC AND TELE/COM) SHOWN ON THESE PLANS ARE BASED ON AVAILABLE RECORDS PROVIDED BY OTHERS. NO FIELD VERIFICATION OF THESE UTILITIES WAS DONE AS A PART OF THIS SURVEY.

**GENERAL SITE/CIVIL ENGINEERING**

PRIOR TO ANY CONSTRUCTION, NOTIFY CALL BEFORE YOU DIG (1-800-922-4455) FOR FIELD LOCATION AND MARKING OF SUBSURFACE UTILITIES AT LEAST 48 HOURS IN ADVANCE BUT NO MORE THAN 30 DAYS. THE CONTRACTOR SHALL ALSO OBTAIN THE SERVICES OF A QUALIFIED UNDERGROUND UTILITY LOCATION FIRM TO VERIFY THE LOCATIONS OF UNDERGROUND UTILITIES NOT IDENTIFIED BY "CALL BEFORE YOU DIG".

THE LOCATION OF ALL EXISTING UTILITIES SHOWN IS APPROXIMATE. THE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THE LOCATIONS OF EXISTING UTILITIES IN THE FIELD PRIOR TO CONSTRUCTION AND FOR COORDINATING ANY CONFLICTS WITH EXISTING UTILITIES.

ALL CONSTRUCTION METHODS SHALL CONFORM TO THE DRAWINGS AND ANY REFERENCED STANDARDS SUCH AS BUT NOT LIMITED TO THE FOLLOWING:

- TOWN OF GLASTONBURY SPECIFICATIONS AND STANDARD DETAILS OR AS DIRECTED BY THE TOWN ENGINEER
- STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION THE STANDARD SPECIFICATIONS FOR ROADS, BRIDGES, FACILITIES AND INCIDENTAL CONSTRUCTION (FORM 818 2020 AS AMENDED).

THE CONTRACTOR SHALL NOTIFY THE TOWN OF GLASTONBURY ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, SANITARY SEWER INSTALLATION, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, OR ANY EXCAVATION IN THE TOWN RIGHT-OF-WAY TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:00-4:30 PM MONDAY THRU FRIDAY AT (860) 652-7735.

PRIOR TO ANY CONSTRUCTION, THE PROPER UTILITY AGENCIES MUST BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.

ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND SPECIFICATIONS AND REFERENCED STANDARDS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.

OBTAIN ALL NECESSARY PERMITS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

ALL EXISTING UTILITIES WHICH ARE NOT INDICATED ON THE PLANS SHALL NOT BE INTERRUPTED FROM CONTINUOUS SERVICE. CONTRACTOR TO NOTIFY ENGINEER OF ANY CONFLICTS OR CONCERNS. EXISTING UTILITIES TO REMAIN ARE TO BE PROTECTED DURING CONSTRUCTION.

ACCESSIBLE PARKING SPACES SHALL BE CONSTRUCTED IN ACCORDANCE WITH ADA REQUIREMENTS AND SUCH THAT NO SLOPES EXCEED 2.0% IN ANY DIRECTION.

ACCESSIBLE ROUTES AND WALKWAYS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL ADA REQUIREMENTS.

ANY GRADED, UNPAVED, DISTURBED AREAS SHALL HAVE 6 INCHES OF TOPSOIL WITH SEED, MULCH, FERTILIZER AND WATER APPLIED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. THE CONTRACTOR SHALL ACKNOWLEDGE THAT WORK IS NOT CONSIDERED COMPLETE UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.

ALL PAVEMENT CUTTING SHALL BE COMPLETED BY SAW-CUTTING ONLY. THE CONTRACTOR SHALL ENSURE A SMOOTH TRANSITION BETWEEN EXISTING AND PROPOSED PAVEMENT.

THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS FOR SITE DEMOLITION AND DISPOSAL.

**STORMWATER MAINTENANCE PROGRAM**

**GENERAL**

**LITTER REMOVAL**

- ALL PAVED SURFACES AND LANDSCAPED AREAS ARE TO BE MAINTAINED FREE OF LITTER AND ACCUMULATED DEBRIS. LITTER AND DEBRIS ARE TO BE REMOVED (HAND PICKED) FROM ALL LANDSCAPED AND PARKING AREAS. THESE MEASURES SHALL BE DONE AS SITE CONDITIONS WARRANT.

**PARKING LOT SWEEPING**

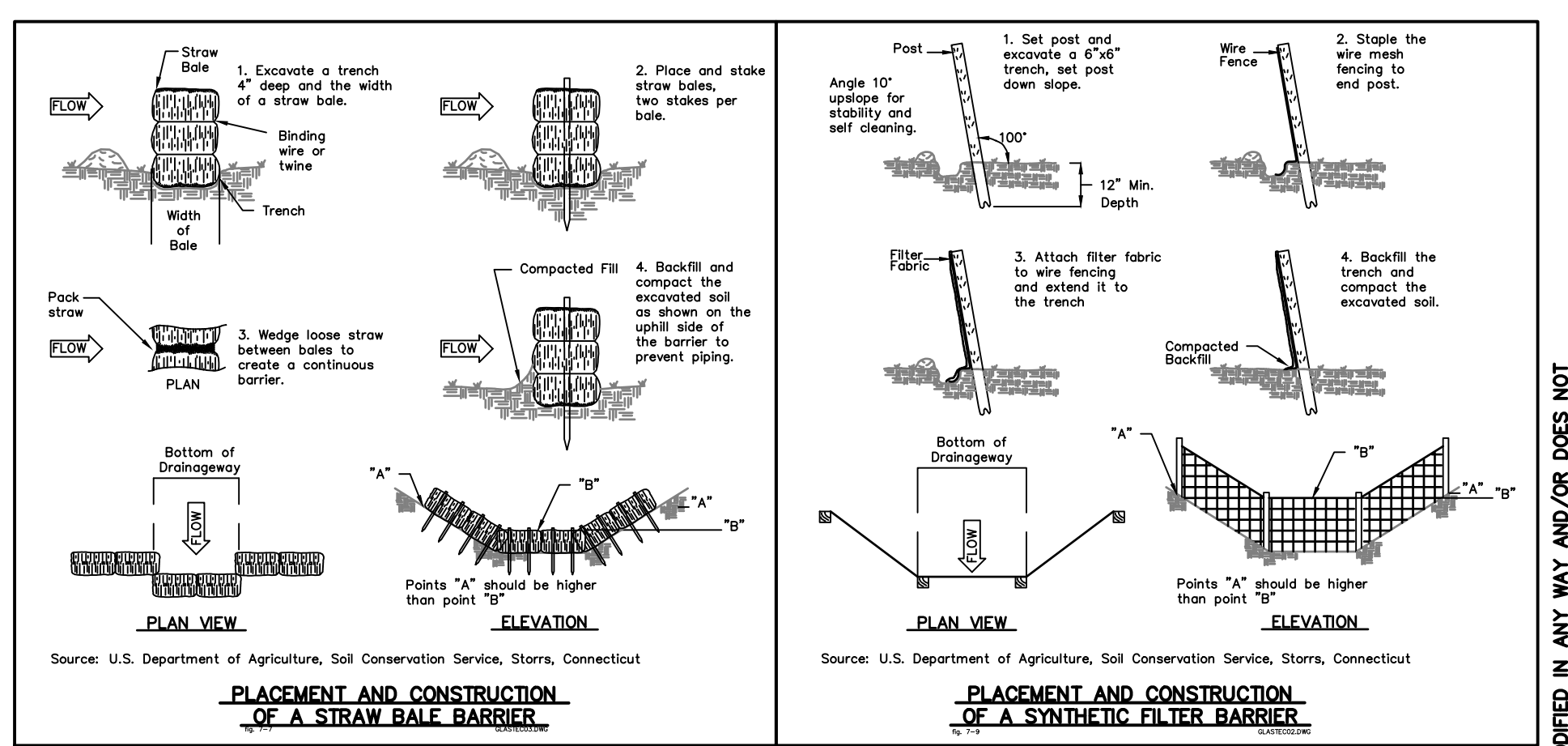
- THE SWEEPING PROGRAM IS INTENDED TO MITIGATE SEDIMENT ACCUMULATION FROM SANDING OPERATIONS ON PARKING AREAS DURING THE WINTER MONTHS. MOST OF THE APPLIED SAND REMAINS ON OR ADJACENT TO THE PAVED SURFACES. FALL FOLIAGE IS ANOTHER ANNUALLY RECURRING MATERIAL THAT CAN NEGATIVELY AFFECT THE STORMWATER SYSTEM. THESE MATERIALS MUST BE REMOVED BIANNUALLY IN NOVEMBER AND APRIL.

**CATCHBASINS**

- ACCUMULATED SEDIMENT IN ALL CATCHBASINS ON THE SITE SHOULD BE REMOVED ON AN ANNUAL BASIS IN THE SPRING.

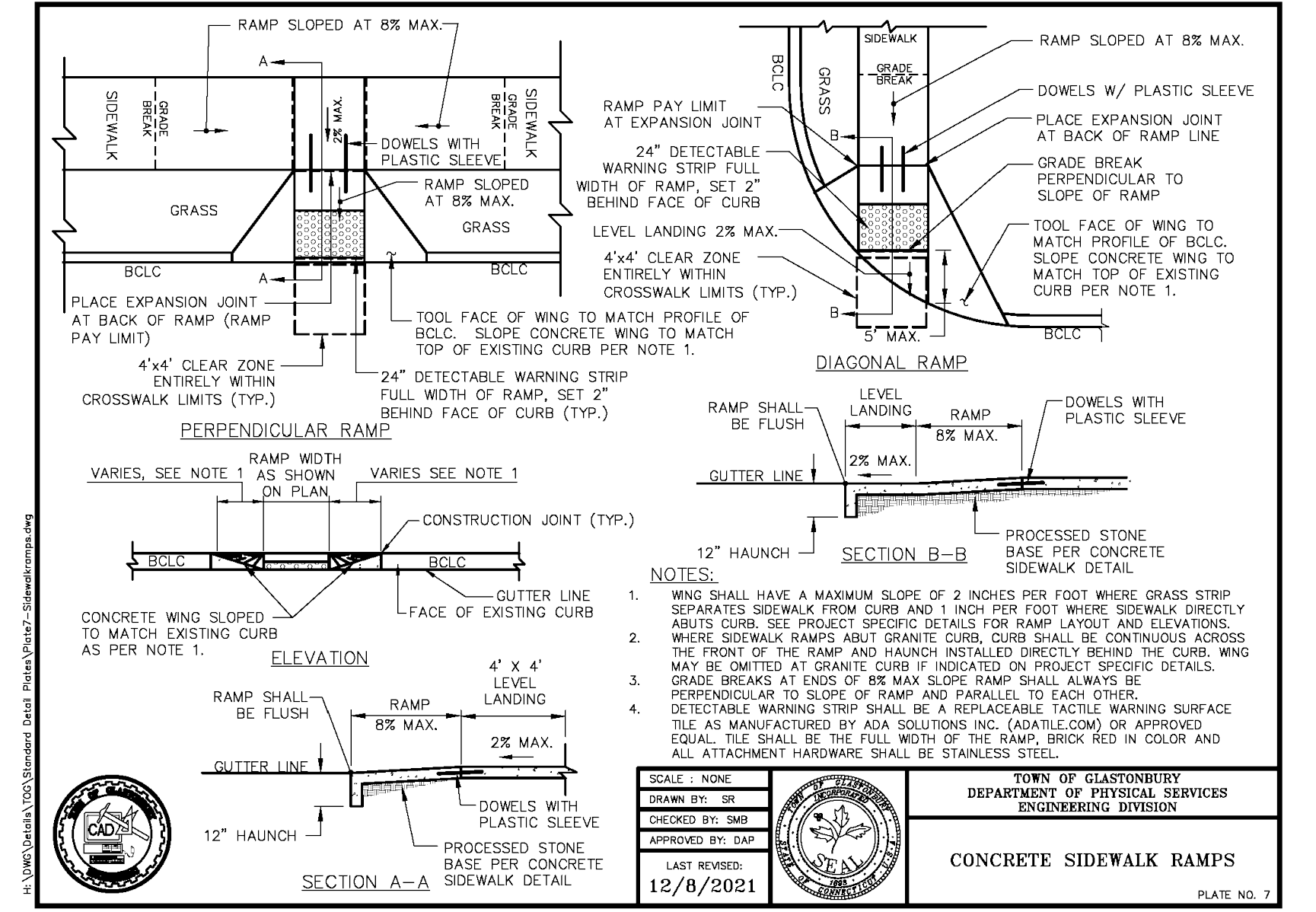
**DISPOSAL OF SEDIMENT AND DEBRIS**

- DISPOSAL OF DEBRIS AND SEDIMENT MUST BE DONE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. ONSITE DISPOSAL OF THESE MATERIALS IS PROHIBITED.



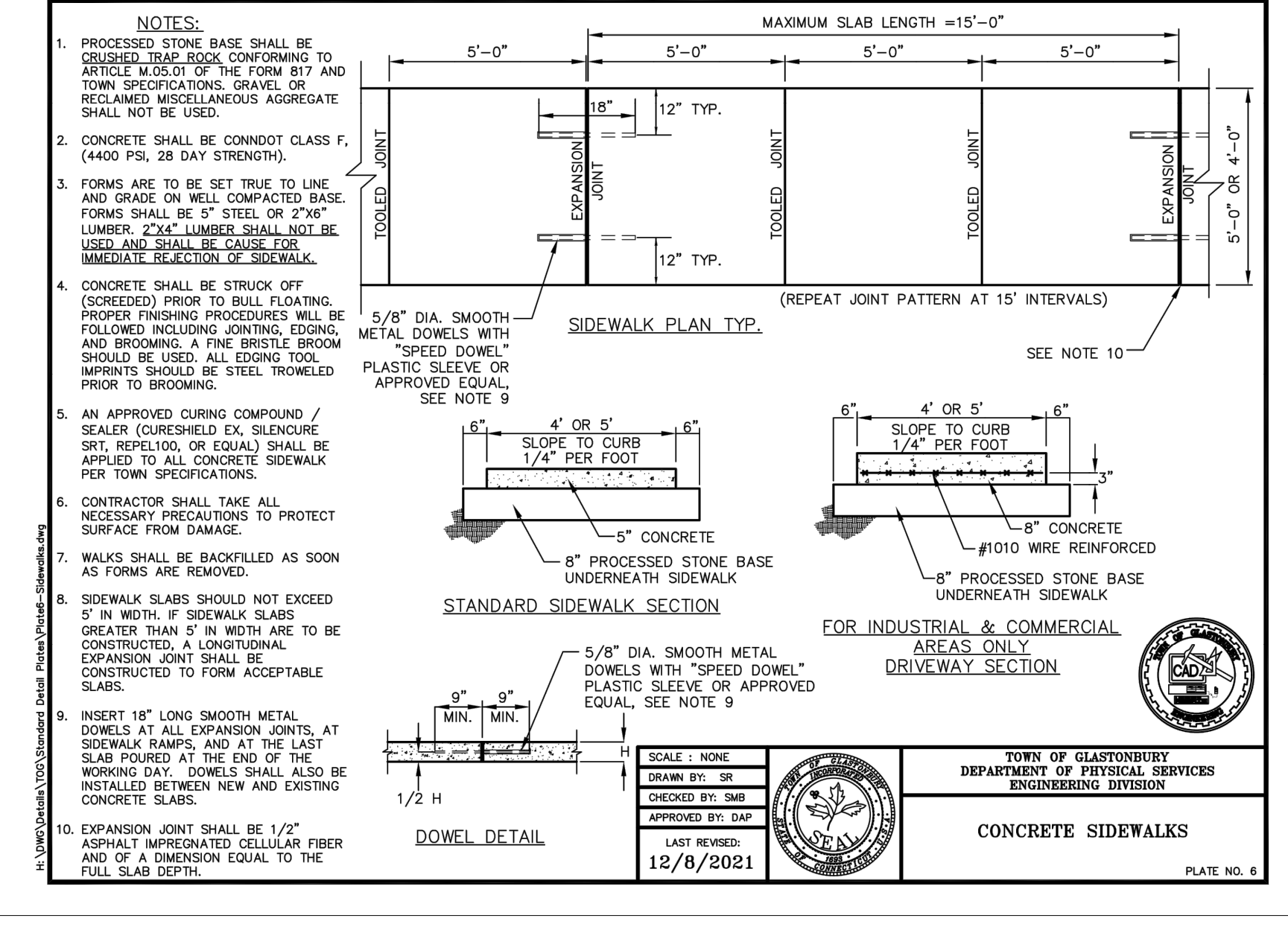
**PLACEMENT AND CONSTRUCTION OF A STRAW BALE BARRIER**

**PLACEMENT AND CONSTRUCTION OF A SYNTHETIC FILTER BARRIER**



**NOTES:**

- WING SHALL HAVE A MAXIMUM SLOPE OF 2 INCHES PER FOOT WHERE GRASS STRIP SEPARATES SIDEWALK FROM CURB AND 1 INCH PER FOOT WHERE SIDEWALK DIRECTLY ADJUTS CURB. SEE PROJECT SPECIFIC DETAILS FOR RAMP LAYOUT AND ELEVATIONS.
- WHERE SIDEWALK RAMP MEETS EXISTING CURB, CURB SHALL BE CONTINUOUS ACROSS THE FRONT OF THE RAMP AND HAUNCH INSTALLED DIRECTLY BEHIND THE CURB. WING MAY BE OMITTED AT GRADE OF RAMP AND PARALLEL TO EACH OTHER.
- GRADE BREAKS AT ENDS OF 8% MAX SLOPE RAMP SHALL ALWAYS BE PERFORMED TO SLOPE OF RAMP AND PARALLEL TO EACH OTHER.
- DETECTABLE WARNING STRIP SHALL BE A REPLACEABLE TACTILE WARNING SURFACE TILE AS MANUFACTURED BY ADA SOLUTIONS INC. (ADA TILE) OR APPROVED EQUIVALENT. TILE SHALL BE THE FULL WIDTH OF THE RAMP, BRICK RED IN COLOR AND ALL ATTACHMENT HARDWARE SHALL BE STAINLESS STEEL.



**NOTES:**

- PROCESSED STONE BASE SHALL BE CRUSHED TRAP ROCK CONFORMING TO ARTICLE 16-20 OF THE FORM 817 AND TOWN SPECIFICATIONS. GRAVEL OR RECLAIMED MISCELLANEOUS AGGREGATE SHALL NOT BE USED.
- CONCRETE SHALL BE CONDOIT CLASS F, (4400 PSI, 28 DAY STRENGTH).
- FORMS ARE TO BE SET TRUE TO LINE AND GRADE ON WELL COMPACTED BASE. FORMS SHALL BE 2" STEEL OR 2" X 4" LUMBER. 2" X 4" LUMBER SHALL NOT BE USED AND SHALL BE CONSIDERED MAINTENANCE OF EXISTING SIDEWALK.
- CONCRETE SHALL BE STRUCK OFF (SCORDED) PRIOR TO BULL FLOATING. PROPER FINISHING PROCEDURES WILL BE FOLLOWED INCLUDING JOINTING, EDGING, AND BROOING. A FINE BRISTLE BRUSH SHOULD BE USED. ALL EDGING TOOL IMPRINTS SHOULD BE STEEL TROWELED PRIOR TO BROOMING.
- AN APPROVED CURING COMPOUND / SEALER (GURESHIELD EX. SLENORET SRT, REPELLO, OR EQUAL) SHALL BE APPLIED TO ALL CONCRETE SIDEWALK PER TOWN SPECIFICATIONS.
- CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT SURFACE FROM DAMAGE.
- WALKS SHALL BE BACKFILLED AS SOON AS FORMS ARE REMOVED.
- SIDEWALK SLABS SHOULD NOT EXCEED 5' IN WIDTH IF SIDEWALK SLABS GREATER THAN 5' IN WIDTH ARE TO BE CONSTRUCTED. CONSTRUCTIONAL EXPANSION JOINTS SHALL BE CONSTRUCTED TO FORM ACCEPTABLE SLABS.
- INSERT 18" LONG SMOOTH METAL DOWELS AT ALL EXPANSION JOINTS, AT SIDEWALK RAMP, AND AT THE LAST SLAB POURED AT THE END OF THE WORKING DAY. DOWELS SHALL ALSO BE INSTALLED BETWEEN NEW AND EXISTING CONCRETE SLABS.
- EXPANSION JOINT SHALL BE 1/2" ASPHALT IMPREGATED CELLULAR FIBER AND OF A DIMENSION EQUAL TO THE FULL SLAB DEPTH.

PLOT DATE/TIME: 8/19/2024 12:50pm CAD FILE: C:\2023\proj\046233.dwg (046233.dwg) StepPlan\_6-4-24.dwg

THIS MAP IS NOT VALID IF MODIFIED IN ANY WAY AND/OR DOES NOT BEAR THE EMBOSSED SEAL OF THE UNDERSIGNED.

I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.

MARK W. FRIEND  
P.E. #15818

MEGSON, HEAGLE & FRIEND  
CIVIL ENGINEERS & LAND SURVEYORS, LLC  
81 RANKIN ROAD  
GLASTONBURY, CONN. 06033  
PHONE: (860)-659-0587

NOTES & DETAILS  
#148 OAK STREET  
PREPARED FOR  
DELPONTE PLUMBING  
GLASTONBURY, CONN.

DELPONTE PLUMBING	PLANNED COMMERCE
PROJECT/APPLICANT	ZONE
#48 OAK STREET	
PROJECT ADDRESS	
SPECIAL PERMIT SECTION	TP2 CHAIRMAN
DATE SPECIAL PERMIT APP'D	DIRECTOR OF COMMUNITY DEVELOPMENT
	FILE NO.

CK. BY: MWF  
DRW. BY: PEJ  
DATE: 8-13-24  
SCALE: 1"=20'  
SHEET 3 OF 5  
MAP NO. 46-23-1N

CAD FILE: P:\2023\proj\04623\dwg\BASE\04623-PT\_StepPlan\_6-4-24.dwg PLOT DATE/TIME: 8/19/2024 12:50pm

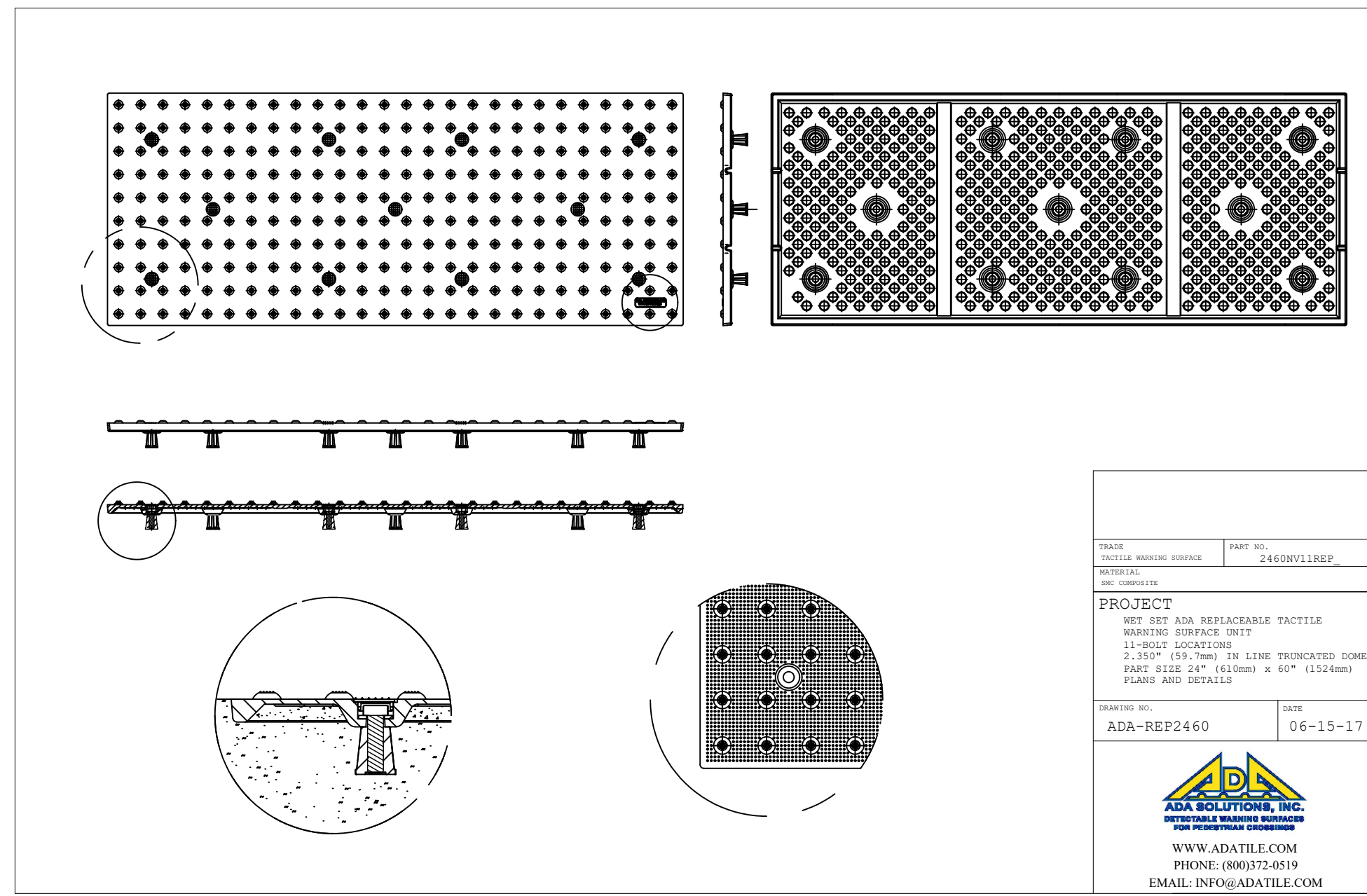
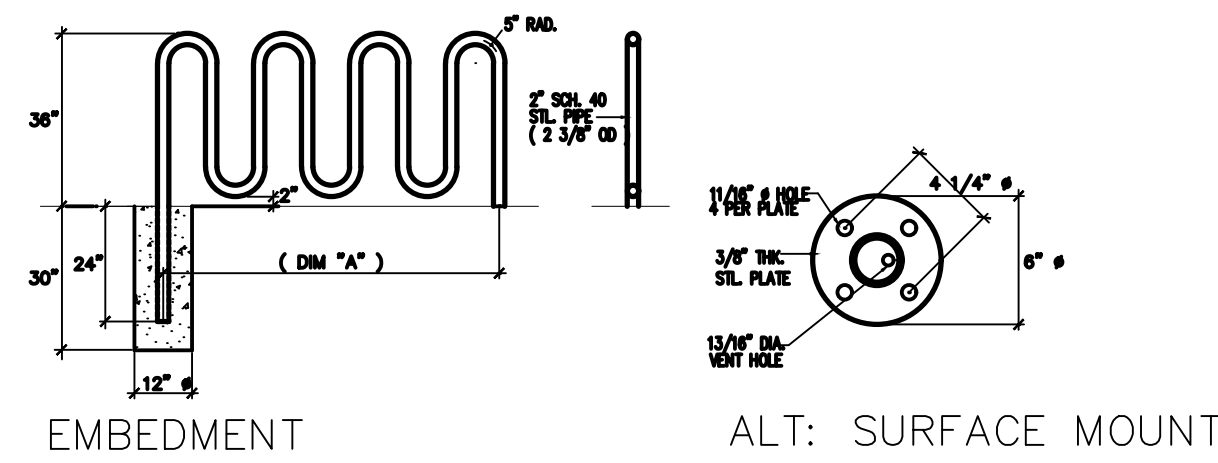
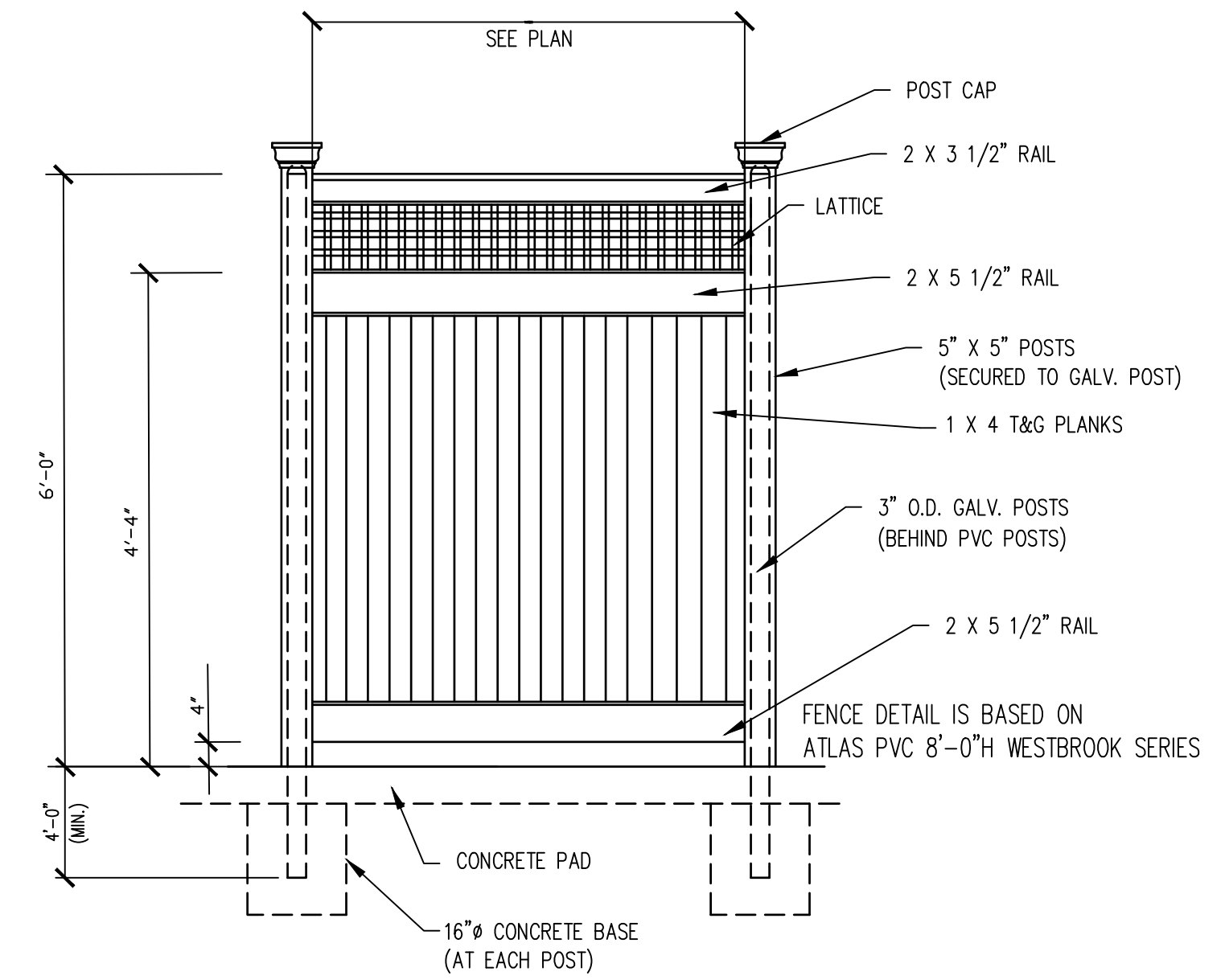


TABLE NUMBER: 2460V21REP.  
 PROJECT: NEW SET ADA REPLACEABLE TACTILE WARNING SURFACE UNIT  
 11-2007 MODIFICATIONS  
 2-2009 (03.794) IN LINE REINFORCED SOME BRICK 2115 24" (112000) & 40" (112400) PLANS AND DETAILS  
 DRAWING NO.: ADA-REP2460  
 DATE: 06-15-17  
 WWW.ADATILE.COM  
 PHONE: (800)72-6519  
 EMAIL: INFO@ADATILE.COM



Ribbon Bike Rack

Not to Scale



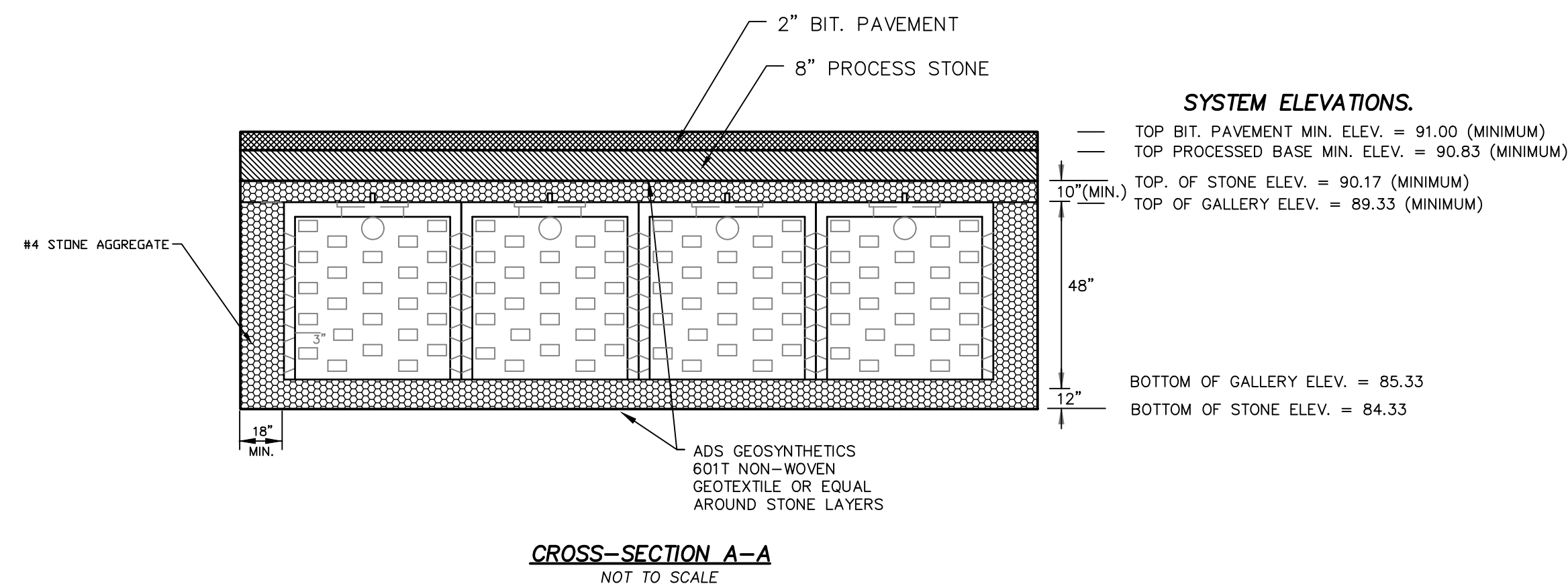
VINYL (PVC) TRASH ENCLOSURE  
N.T.S.

THIS MAP IS NOT VALID IF MODIFIED IN ANY WAY AND/OR DOES NOT BEAR THE EMBOSSED SEAL OF THE UNDERSIGNED.

I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.

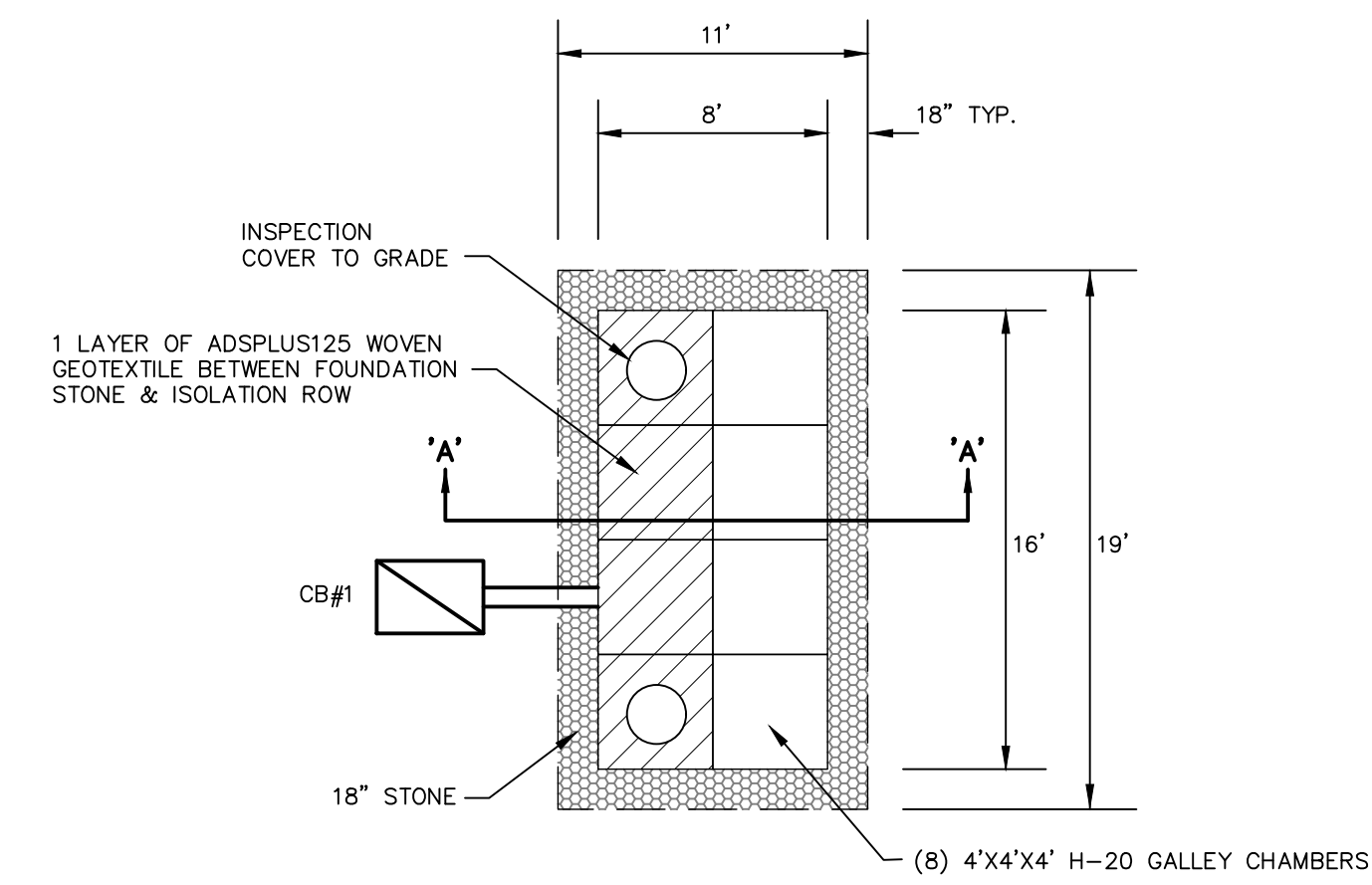
MARK W. FRIEND P.E. #15618

MEGSON, HEAGLE & FRIEND  
 CIVIL ENGINEERS & LAND SURVEYORS, LLC  
 81 RANKIN ROAD  
 GLASTONBURY, CONN. 06033  
 PHONE (860)-659-0587

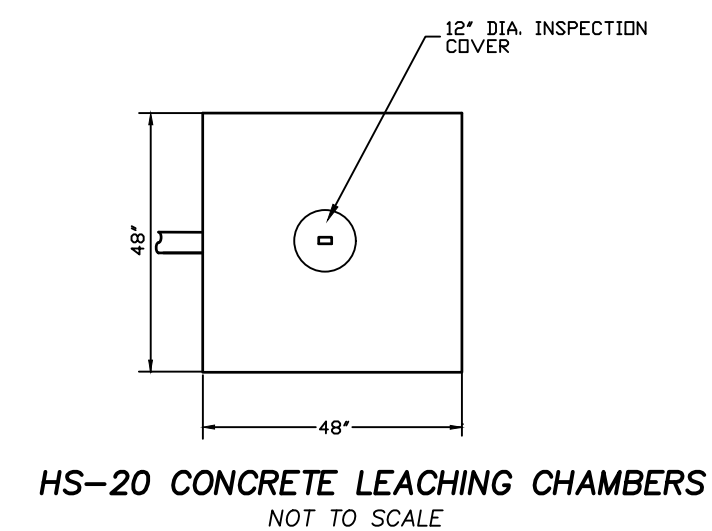


CROSS-SECTION A-A  
NOT TO SCALE

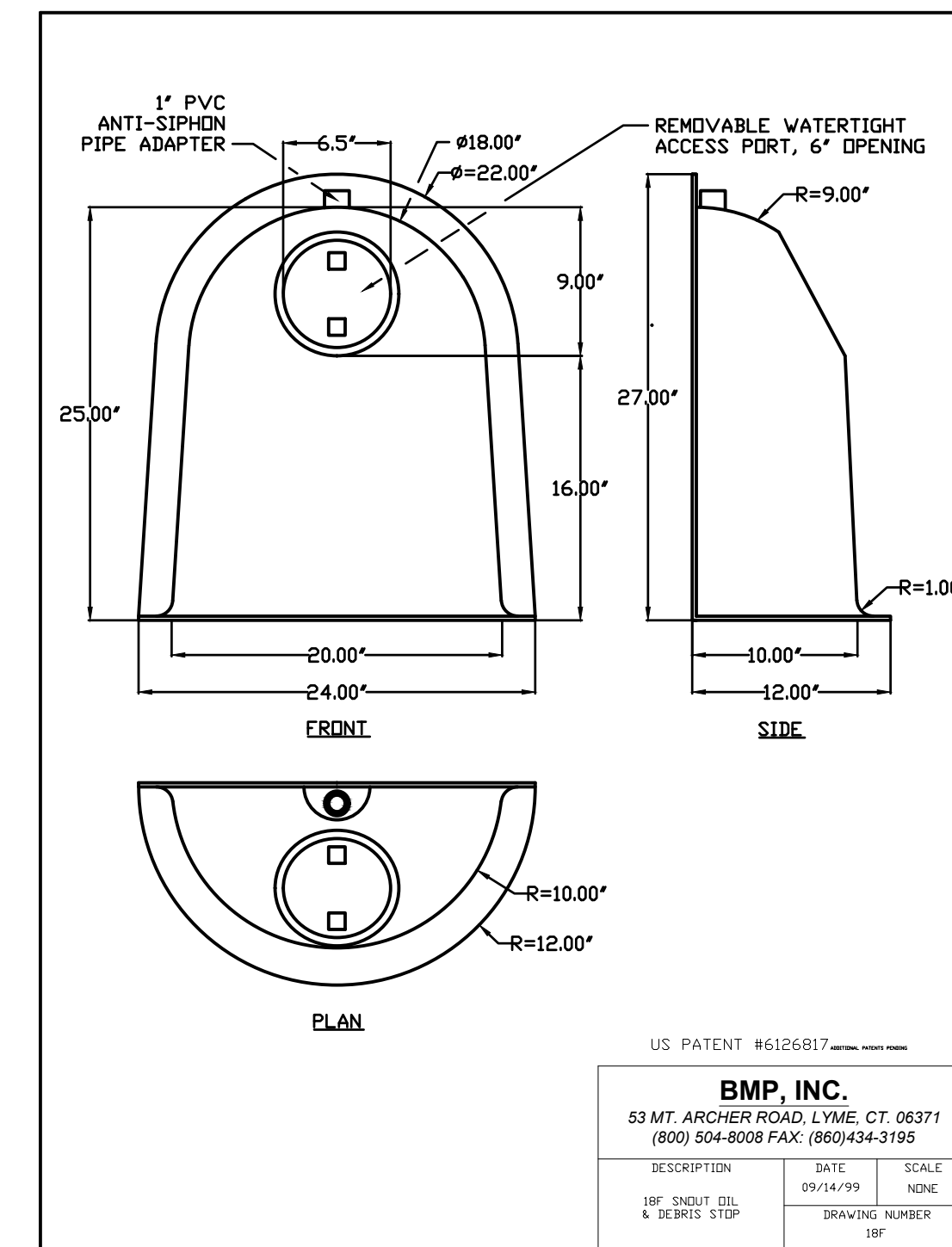
NOTES:  
 FOUNDATION STONE, EMBEDMENT STONE AND PERIMETER STONE SHALL BE CLEAN, CRUSHED ANGULAR STONE MEETING DOT #4 AGGREGATE GRADATION.  
 PERIMETER STONE MUST EXTEND HORIZONTALLY TO THE EXCAVATION WALL.



WATER QUALITY SYSTEM  
NOT TO SCALE



HS-20 CONCRETE LEACHING CHAMBERS  
NOT TO SCALE



BMP, INC.  
 53 MT. ARCHER ROAD, LYME, CT 06371  
 (800) 504-8000 FAX: (860) 434-3195  
 DESCRIBED DATE SCALE  
 18" SHUT OFF & SERIES STOP 05/14/99 NONE  
 DRAWING NUMBER 18"

NOTES & DETAILS  
 #148 OAK STREET  
 PREPARED FOR  
 DELPONTE PLUMBING  
 GLASTONBURY, CONN.

DELPONTE PLUMBING	PLANNED COMMERCE
PROJECT/APPLICANT	ZONE
#48 OAK STREET	
PROJECT ADDRESS	
SPECIAL PERMIT SECTION	TPZ CHAIRMAN
DATE SPECIAL PERMIT APP'D	DIRECTOR OF COMMUNITY DEVELOPMENT
	FILE NO.

CK. BY: MWF  
 DRW. BY: PEJ  
 DATE: 8-13-24  
 SCALE: 1"=20'  
 SHEET 4 OF 5  
 MAP NO. 46-23-1N

DELPONTE PLUMBING	PLANNED COMMERCE
PROJECT/APPLICANT	ZONE
#48 OAK STREET	
PROJECT ADDRESS	
SPECIAL PERMIT SECTION	TPZ CHAIRMAN
DATE SPECIAL PERMIT APP'D	DIRECTOR OF COMMUNITY DEVELOPMENT
	FILE NO.

THIS MAP IS NOT VALID IF MODIFIED IN ANY WAY AND/OR DOES NOT BEAR THE EMBOSSED SEAL OF THE UNDERSIGNED.

**MEGSON, HEAGLE & FRIEND**  
 CIVIL ENGINEERS & LAND SURVEYORS, LLC  
 81 RANKIN ROAD  
 GLASTONBURY, CONN. 06033  
 PHONE (860)-659-0587

NOTES, DETAILS & CONDITIONS OF APPROVAL  
**#148 OAK STREET**  
 PREPARED FOR  
**DELPONTE PLUMBING**  
 GLASTONBURY, CONN.

CK. BY: MWF

DRW. BY: PEJ

DATE: 8-13-24

SCALE: 1"=20'

SHEET 5 OF 5

MAP NO. 46-23-1ES





Filename: 148 Oak Street - Delponte Site Lighting - Glastonbury - REV 3.AGI

Luminaire Schedule	Qty	Label	Luminaire Lumens	Luminaire Watts	LLF	BUG Rating	Mounting Height	Description
2	D	463	5.74	0.900	B1-U0-G0	8	Lithonia LDN4 30/05 L04AR LD TRW MVOLT GZ10	
6	SL4H	2423	35	0.900	B0-U0-G1	12	AVPL-ENVSSIP-T4-401-70-3000K-120-277-BLK-HSSI-SWA - RSS-124-11-PT23-BLK 12FT POLE	
3	W	718	6.7947	0.900	B0-U0-G0	8	Lithonia WDGELI LED P0 30K 80CRI VF MVMVOLT PBBW DBLXD	

Calculation Summary	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE	ILLUMINANCE	Fc	0.25	4.5	0.0	N.A.	N.A.
DRIVEWAY	ILLUMINANCE	Fc	1.38	2.5	0.2	6.90	12.50
PARKING	ILLUMINANCE	Fc	1.43	3.0	0.1	14.30	30.00

Greg Loda / Greg Horn  
Lighting Affiliates  
1208 Cromwell Ave  
Rocky Hill, CT 06067

Website: www.lightingaffiliates.com  
Voice Number: (860) 721-1171 x 219  
Email: gloda@lightingaffiliates.com



SITE LOCATION PLAN  
SCALE: 1"=1,000'

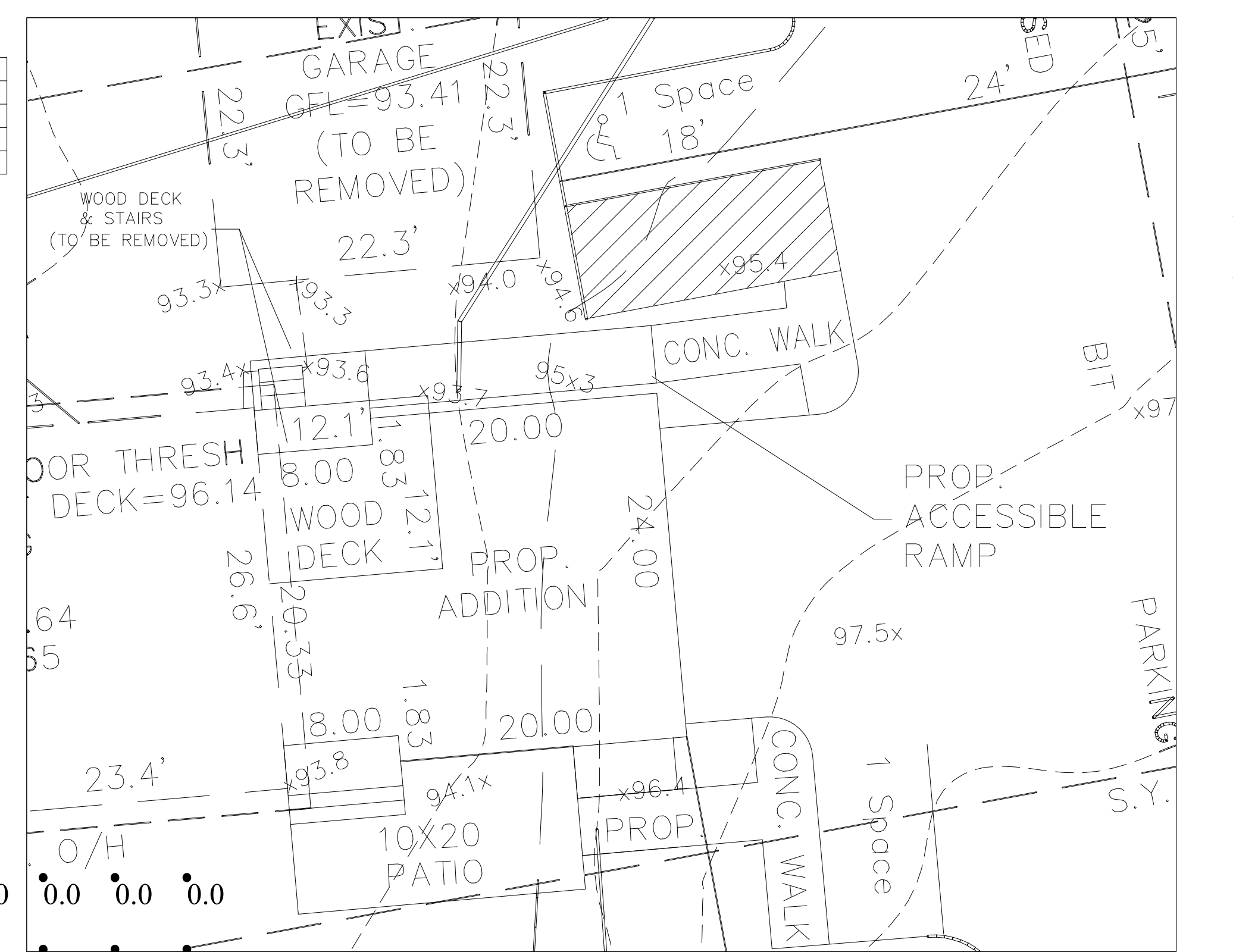
ZONING TABLE		
PLANNED COMMERCE	REQUIRED/ALLOWED	EXISTING/PROVIDED
LOT AREA	40,000 S.F.	*18,560 S.F.
LOT FRONTAGE	150 FT	*110 FT
FRONT YARD SETBACK	50 FT	*33.7 FT
SIDE YARD SETBACK	25 FT	*18.0 FT
REAR YARD SETBACK	25 FT	65.4 FT
BUILDING HEIGHT	2.5 STORIES/35 FT	2 STORIES
LOT COVERAGE	20% (3712 S.F.)	9.3% (1,730 S.F.)
OPEN SPACE	35% (6496 S.F.) MIN.	52.2% (9684 S.F.)

\*LOT IS AN EXISTING SUBSTANDARD LOT OF RECORD

PARKING TABLE

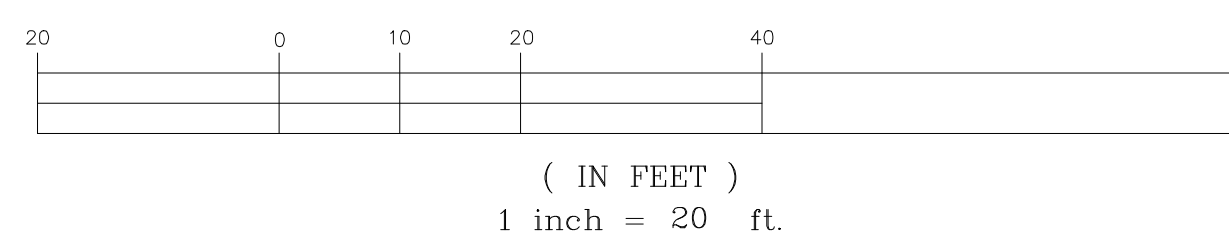
GENERAL OFFICE = 1 SPACE/200 S.F.  
FLOOR AREA = 1,820 S.F. = 10 SPACES  
WAREHOUSE = 1 SPACE/2500 S.F.  
FLOOR AREA = 480 S.F. = 1 SPACES  
TOTAL = 11 SPACES REQUIRED  
= 12 SPACES PROVIDED

REFERENCE MADE TO MAP TITLED:  
LOT LINE REVISION BUILDING #7 #160 & #148 OAK STREET  
PREPARED FOR AERO-OAK, LLC GLASTONBURY, CONN." BY  
MEGSON & HEAGLE C.E. & L.S. GLASTONBURY, CONN. DATE:  
9-26-07 REV. 6-27-08 SCALE: 1"=40' MAP NO. 109-07-1B



DETAIL  
1"=10'

GRAPHIC SCALE



NOTE: ALL EXTERIOR LIGHTING WILL BE SHUT OFF AND TURNED ON 30 MINUTES PRIOR TO OPENING AND CLOSING OF BUSINESS OPERATIONS, EXCEPT FOR NECESSARY SECURITY LIGHTING.

NOTE: VERIFY ALL UTILITY LOCATIONS IN THE FIELD PRIOR TO START OF ANY WORK (SEE NOTE BELOW).

WARNING: THESE PLANS NOT TO BE USED FOR LOCATION OF UNDERGROUND UTILITIES - CALL BEFORE YOU DIG 1-800-922-4455 TWO WORKING DAYS BEFORE YOU DIG.

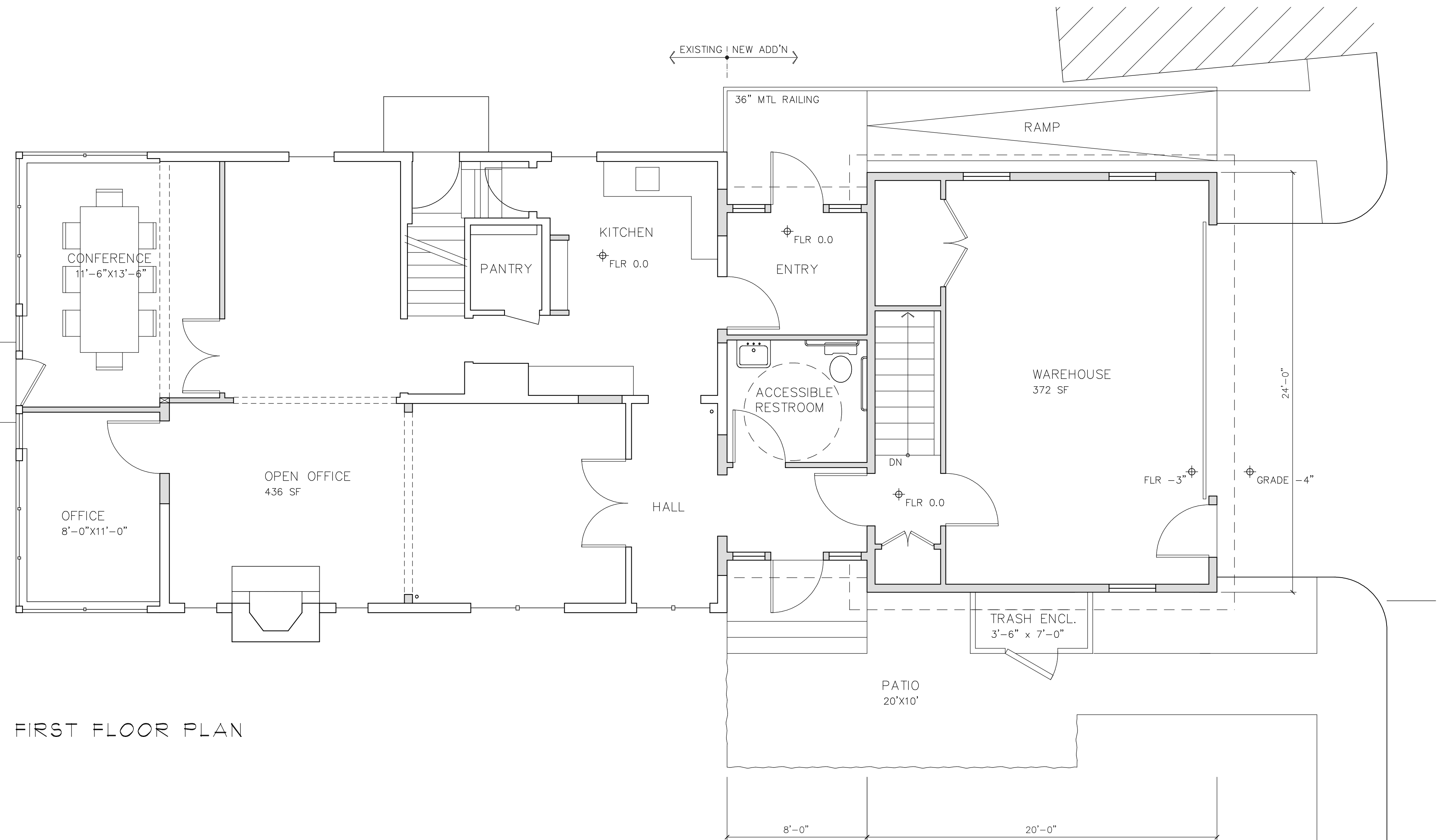


MEGSON, HEAGLE & FRIEND  
CIVIL ENGINEERS & LAND SURVEYORS, LLC  
81 RANKIN ROAD  
GLASTONBURY, CONN. 06033  
PHONE (860)-659-0587

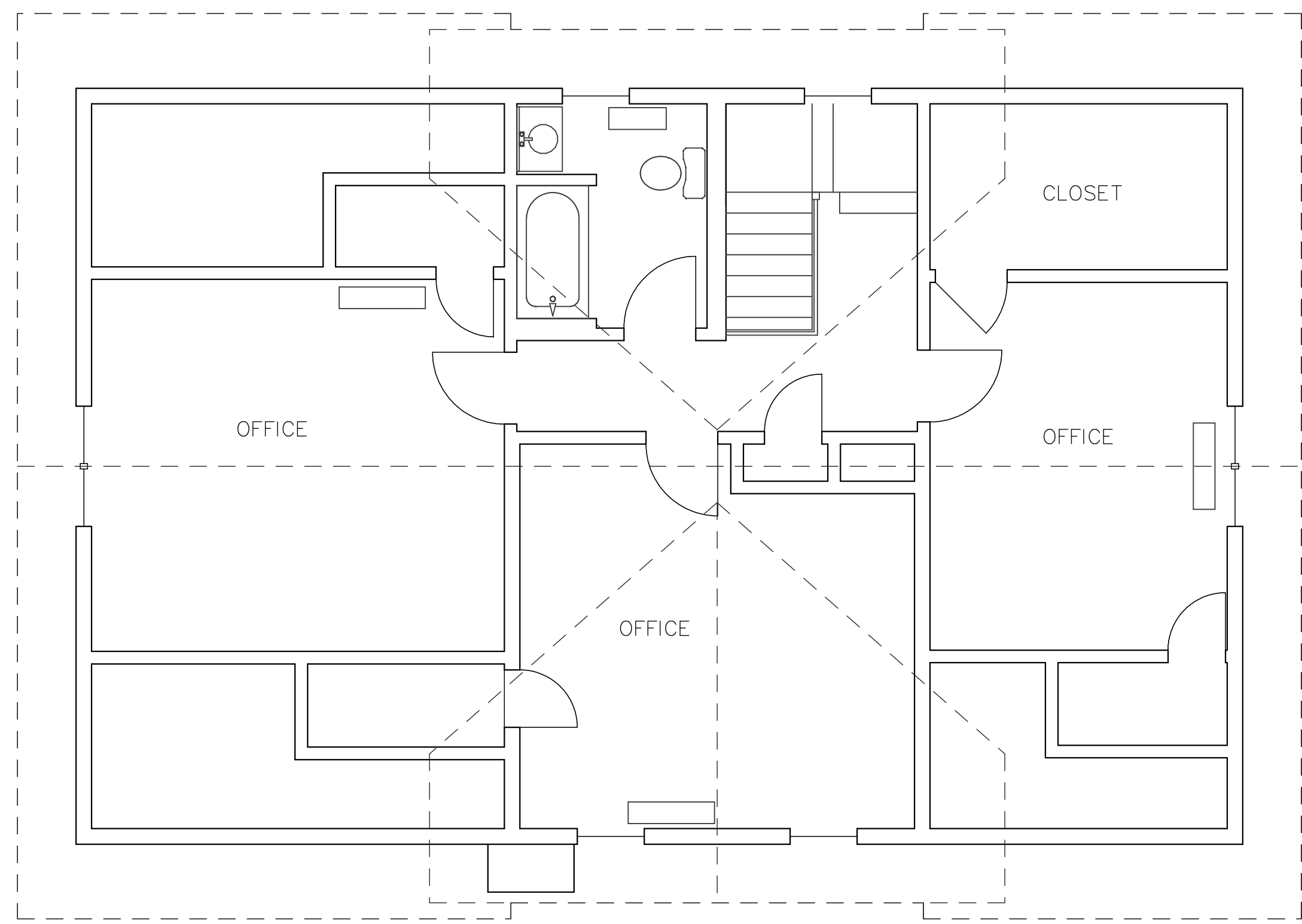
PRELIMINARY SITE PLAN  
#148 OAK STREET  
PREPARED FOR  
DELPONTE PLUMBING  
GLASTONBURY, CONN.

REV. 4-24-24 PROPOSED ADDITION AND PARKING LAYOUT  
CK. BY: MWF  
DRW. BY: PEJ  
DATE: 6-21-23  
SCALE: 1"=20'  
SHEET 1 OF 1  
MAP NO. 46-23-1PL

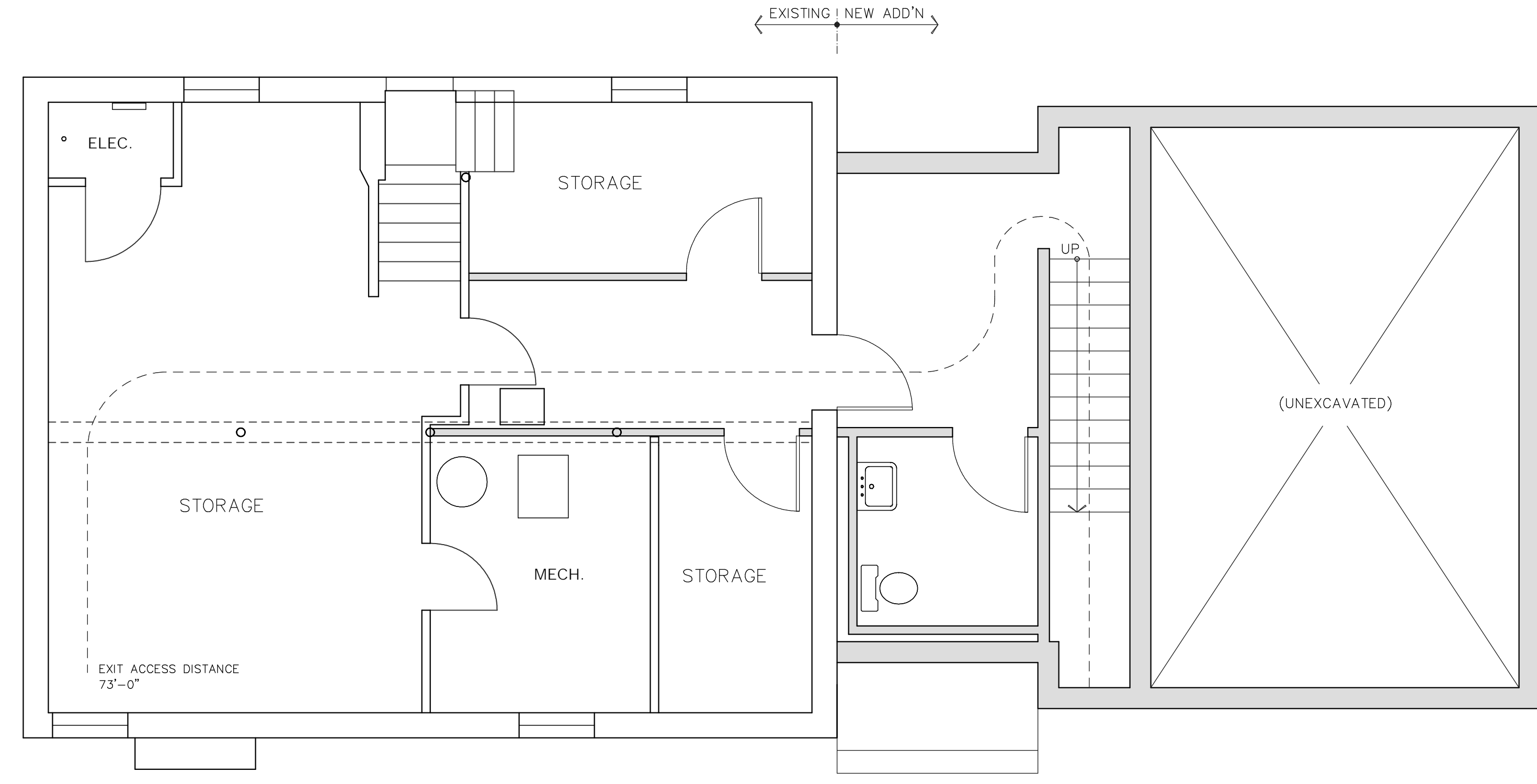
ZONE: PLANNED COMMERCE  
AREA=18,560 S.F.  
PARKING PROVIDED: 12 SPACES (1 HANDICAP)



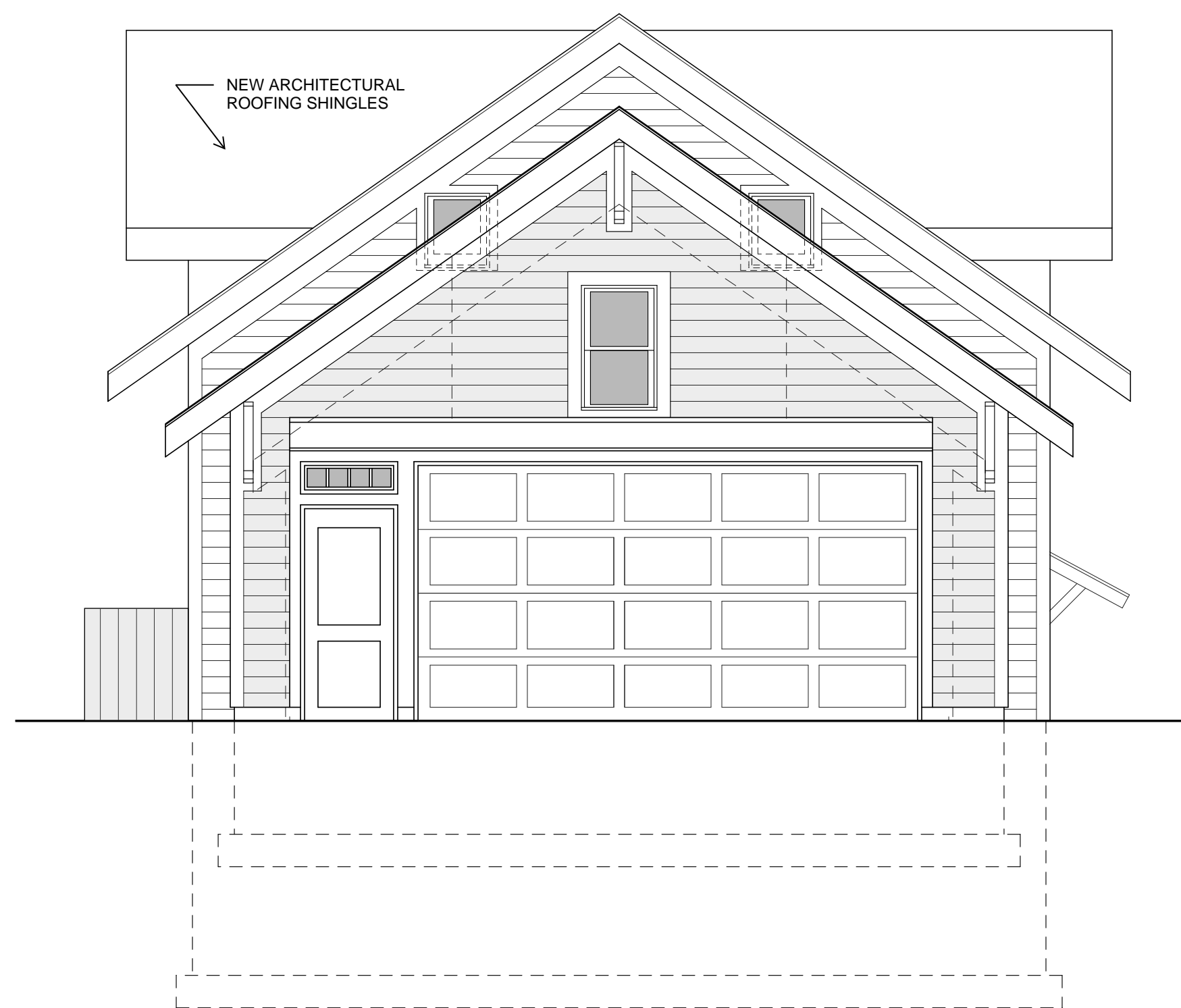
FIRST FLOOR PLAN



SECOND FLOOR PLAN



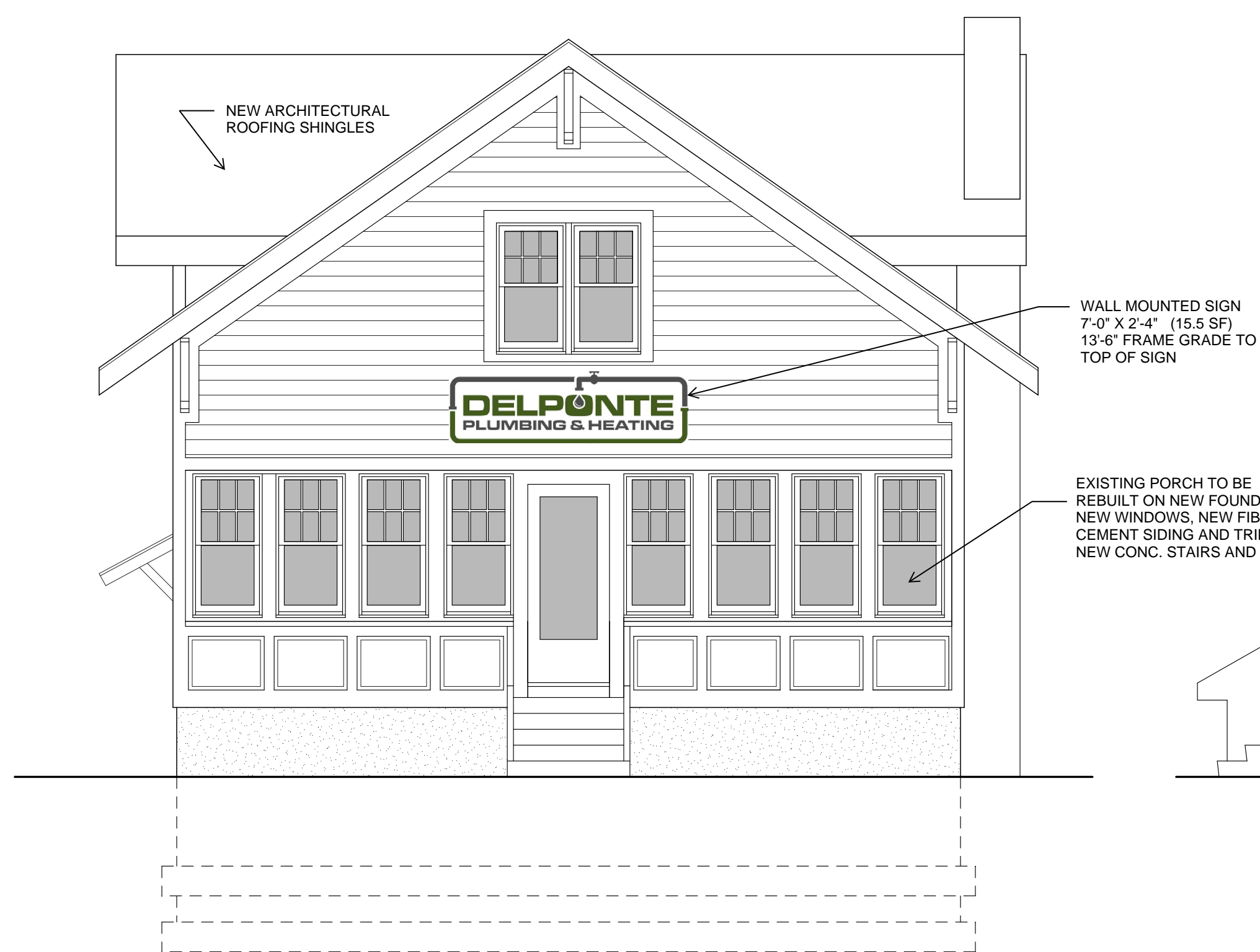
BASEMENT PLAN



EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION