MAIN STREET MIXED USE DEVELOPMENT

2277-2389 MAIN STREET
GLASTONBURY, CT

IWWC & CONSERVATION SUBMISSION

JULY 26, 2024

OWNER

Prepared For:

HB NITKIN
230 Mason Street
Greenwich, CT 06830
P 203-861-9000

CONSULTANTS

Prepared By:

Civil Engineer + Landscape Architect

benesch
120 Hebron Avenue
Glastonbury, CT 06033
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www.Benesch.com

Architect

JKRP ARCHITECTS
100 East Penn Square, Suite 1080
Philadelphia, PA 19107
P 215-928-9331
F 215-928-0218

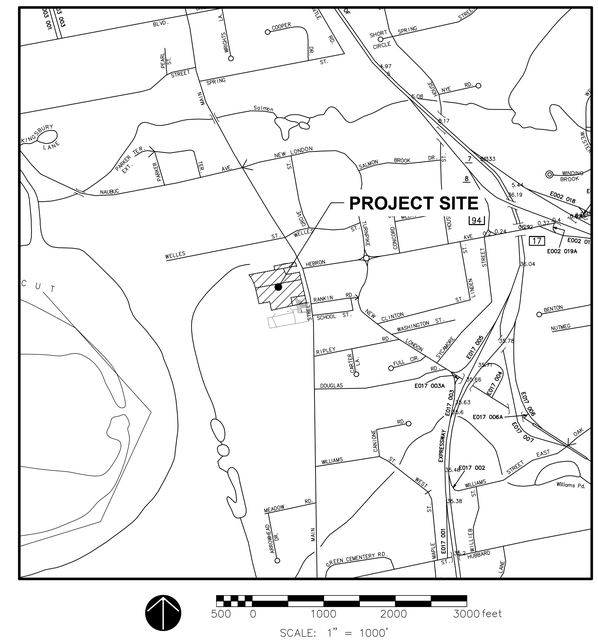
LIST OF DRAWINGS

T-1.0	TITLE SHEET
SV.01-SV.03	BOUNDARY/TOPOGRAPHIC SURVEY
WRL.0	FEMA AND UPLAND REVIEW IMPACTS
C-0.0	GENERAL INFORMATION F.A.R. CALCULATIONS
C-1.0	DEMOLITION & PREPARATION PLAN
C-1.1	EROSION & SEDIMENTATION CONTROL PLAN
C-1.2	EROSION & SEDIMENTATION CONTROL DETAILS
C-1.3	SITE PREPARATION & EROSION CONTROL NOTES
C-2.0	MATERIALS & LAYOUT PLAN PLAZA LEVEL
C-2.1	MATERIALS & LAYOUT PLAN LOWER/GRADE LEVEL
C-2.2	TURNING MOVEMENTS PLAN DELIVERY TRUCK
C-2.3	TURNING MOVEMENTS PLAN FIRE TRUCK
C-2.4	PHOTOMETRICS PLAN
C-3.0	GRADING & DRAINAGE PLAN
C-4.0	SITE PLANTING PLAN
C-4.1	SITE PLANTING DETAILS
C-5.0	SITE UTILITIES PLAN
C-6.0-C-6.5	SITE DETAILS

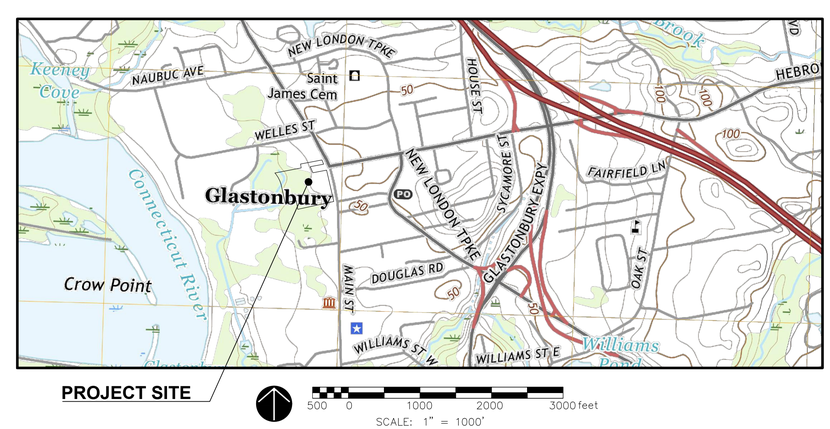
PROPERTY OWNERS

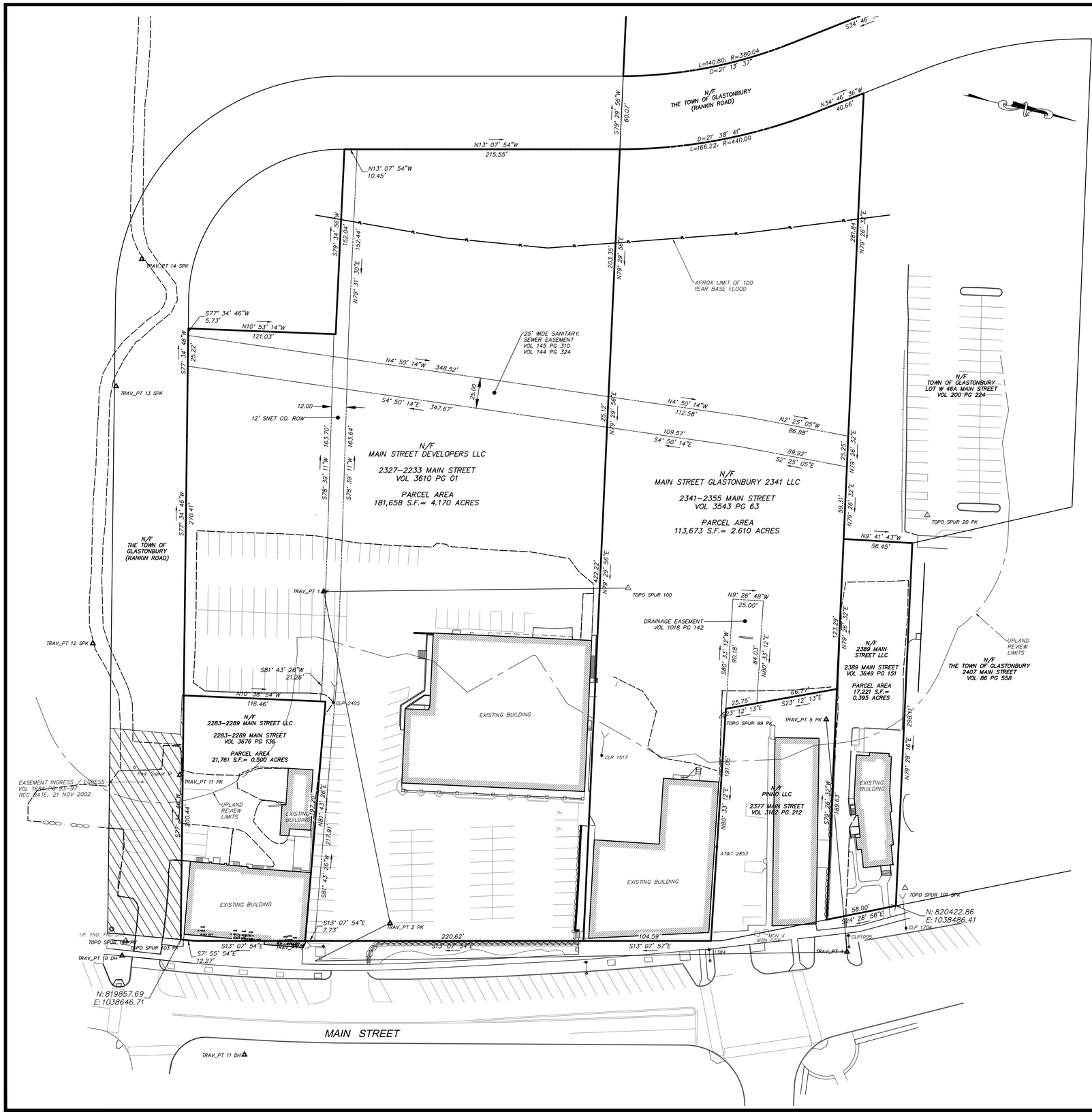
- MAIN STREET DEVELOPERS LLC - OWNER OF 2327-2333 MAIN STREET
- MAIN STREET GLASTONBURY 2341 LLC - OWNER OF 2341-2345 MAIN STREET
- PINNO LLC - PROPERTY OWNER OF 2377 MAIN STREET
- 2389 MAIN STREET LLC - OWNER OF 2389 MAIN STREET
- 2231 - 2261 LKM65 LLC - OWNER OF 2231 - 2261 MAIN STREET

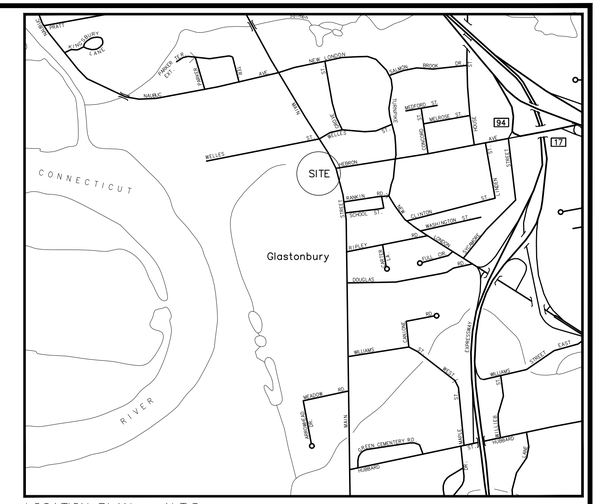
LOCATION MAP



USGS QUADRANGLE MAP







LOCATION PLAN N.T.S.

MAP REFERENCES

1. BOUNDARY MAP #2319-#2333, #2341-2355 MAIN STREET AND ASSESSORS PARCEL W0046 PREPARED FOR SOUTH MEADOWS NO. 10, LLC GLASTONBURY, CONN. MEGSON, HEAGLE & FRIEND C.E.& L.S. LLC GLASTONBURY CONN. DATE: 6-5-19 SCALE 1"=40 MAP NO 53-19-1BDY SHEETS 1 OF 2 AND 2 OF 2
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4. MAP OF PROPERTY PREPARED FOR B FLOYD TURNER GLASTONBURY, CONN BY MOLLOY & MOZZOCHI ENGINEERS SCALE 1"=30' DATE JUNE 9, 49

SURVEY NOTES

1. THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300B-1 THRU 20-300B-20 AND THE "MINIMUM STANDARDS OF ACCURACY, CONTENT & CERTIFICATION FOR SURVEYS AND MAPS" AS AMENDED OCTOBER 26, 2018.
   1.1. THE TYPE OF SURVEY IS A PROPERTY/BOUNDARY, TOPOGRAPHIC AND GENERAL LOCATION SURVEY.
   1.2. THE BOUNDARY DETERMINATION CATEGORY IS RESURVEY.
   1.3. THE ACCURACIES ARE AS FOLLOWS:

HORIZONTAL CONTROL	CLASS "A-2"
VERTICAL CONTROL	CLASS "V-2"
BOUNDARY	CLASS "A-2"
TOPOGRAPHY	CLASS "T-2"

2. THE COORDINATES AND ELEVATIONS DEPICTED ON THE PLAN REPRESENT THE NAD '83 AND THE NAVD '88 DATUMS. COORDINATES WERE ESTABLISHED ON THE SITE BASED UPON GPS OBSERVATIONS TAKEN ON MARCH 2019 USING TRIMBLE GNSS RTK R10 RECEIVERS AND SOLUTIONS PROVIDED THROUGH THE KEYNET NETWORK.
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4. THE PROPERTY IS LOCATED IN THE "TC" ZONE PER TOWN.
5. A PORTION OF THE PROPERTY LIES WITHIN THE "SPECIAL FLOOD HAZARD AREAS - ZONE 'AE' - BASE FLOOD ELEVATIONS DETERMINED TO BE 28'. AND "OTHER AREAS ZONE 'X' - AREAS DETERMINED TO BE 0.2% ANNUAL CHANCE FLOODPLAIN. AND AREA OF MINIMAL FLOOD HAZARD" PER THE FEMA FLOOD INSURANCE RATE MAP HARTFORD COUNTY, CONNECTICUT (ALL JURISDICTIONS) PANEL 528 OF 675 MAP NUMBER: 09003C0528F EFFECTIVE DATE: SEPTEMBER 26, 2008
6. TOTAL PARCELS AREA IS 440,960 SQ. FT. = 10.123 AC.
7. 2283-2289 MAIN STREET: THE EXISTING BUILDING IS NON-CONFORMING TO THE FRONT YARD SETBACK AND SIDE YARD SETBACK
8. 2327-2233 MAIN STREET: THE EXISTING BUILDING IS NON-CONFORMING TO THE SIDE YARD SETBACK.
9. 2341-2355 MAIN STREET: THE EXISTING BUILDING IS NON-CONFORMING TO THE FRONT YARD SETBACK AND SIDE YARD SETBACK
10. 2389 MAIN STREET: THE EXISTING BUILDING IS NON-CONFORMING TO THE SIDE YARD SETBACK

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS DEPICTED AND NOTED HEREON.

DAVID A. CARICCHIO, P.L.S. No. 70036 DATE
ALFRED BENESCH & COMPANY, GLASTONBURY, CONNECTICUT
(not valid without original signature and embossed seal)

REVISIONS

No.	DATE	DESCRIPTION
1	9/29/2024	ADD EASEMENT

SURVEY BOOK: 06-
SURVEYOR: NDC
DRAWN: DAC
CHECKED: RS
APPROVED: WW

SCALE: HORZ.: 1" = 40'
VERT.:
SURVEY DATUM: HORZ.: NAD 1983
VERT.: NAVD 1988

GRAPHIC SCALE 40 0 20 40

Prepared By:

benesch
Alfred Benesch & Company
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Glastonbury, Connecticut 06033
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www.benesch.com

BOUNDARY SURVEY
PREPARED FOR
HB NITKIN

22-2289, 2327-2333, 2341-2355 & 2389 MAIN STREET

GLASTONBURY CONNECTICUT

PROJ. No.: 70607
DATE: OCTOBER 13, 2020

SV.01

File Location/Name - Y:\Glastonbury\70600S\70607.00_HB_Nitkin_Gby_Reet\Survey\ACAD\70607 BASE.dwg
Date of Plot: July 28, 2024 - 1:34 PM

attached xrefs .\Town Utilities in Street.dwg

PAPER SPACE LAYOUT NAME:
TWISTVIEW:
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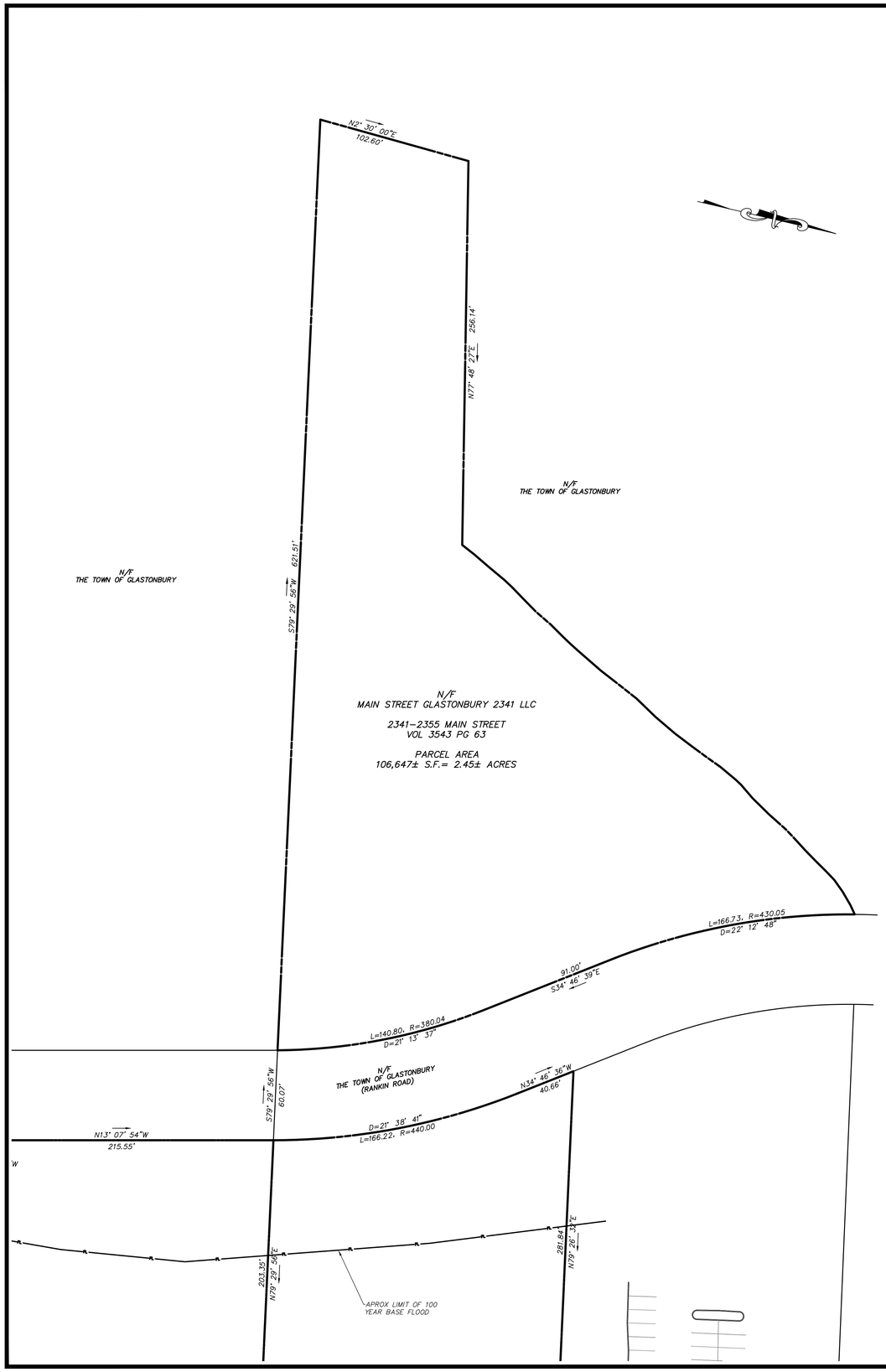
PLOT TABLE: STB



LEGEND

UTILITY SERVICES (UNDERGROUND OR OVERHEAD)

E	ELECTRIC SERVICE
G	GAS PIPES
SAN	SANITARY SEWER PIPES
	STORM WATER PIPES (LESS THAN 12")
	STORM WATER PIPES (12" OR LARGER)
STM	STEAM PIPES (SUPPLY & COND.)
T	TELEPHONE SERVICE
W	WATER PIPES
COM	COMMUNICATION/FIBER OPTIC SERVICE
FP	FIRE PROTECTION PIPES
UG UG	UNKNOWN UTILITY SERVICE
OH	OVERHEAD WIRES

PROPERTY/BOUNDARY LINES

	PROPERTY/BOUNDARY LINES (CLASS A-2)
	PROPERTY/BOUNDARY LINES (CLASS D)
	EASEMENT LINES

FEATURE LINES

	CURBED ROADWAY
	EDGE OF PAVED ROAD/DRIVE
	BUILDING ROOFLINE (AERIAL PHOTOS)
	RETAINING WALL
	STOCKADE FENCE
	CHAIN LINK/WIRE FENCE
	TREE/VEGATATION LINE
	STONE WALL
	SURFACE WATER (WATERCOURSE)
	WETLANDS LIMIT
LANDSCAP LANDSCAP	EDGE OF LANDSCAPING
	INTERMEDIATE CONTOUR
40	INDEX CONTOUR

SYMBOL LEGEND

	CATCH BASIN
	ROUND DRAIN
	SQUARE DRAIN
	STORM DRAIN MANHOLE
	ELECTRIC MANHOLE
	SANITARY MANHOLE
	STEAM MANHOLE
	TELEPHONE MANHOLE
	WATER MANHOLE
	MANHOLE (OF UNKNOWN TYPE)
	HAND HOLE (SQ. / REC.)
W.G.	WATER VALVE
G.G.	GAS VALVE
	HYDRANT
	COMBO STANDPIPE
	GUY WIRE
	SIGN (SINGLE POST)
	SIGN (DOUBLE POST)
	BORING (AS DRILLED)
	BORING (AS STAKED)
x 427.3	SPOT ELEVATION
x WF-1	WETLANDS FLAG
	PROPERTY MONUMENT
	UTILITY MONUMENT (SET AS 2' OFFSET)
	IRON PIPE OR REBAR FOUND
	IRRIGATION CONTROL BOX
	EMERGENCY PHONE
	TRAFFIC CONTROLLER CABINET
	UTILITY POLE
	UTILITY POLE W/ LIGHT
	STREET LIGHT
	LIGHT POST
	BOLLARD LIGHT
	BOULDER / ROCK
	CONIFER SHRUB
	DECIDUOUS SHRUB
	DECIDUOUS TREE (SAPLING)
	DECIDUOUS TREE
	CONIFER TREE

ABBREVIATIONS

A/C	AIR CONDITIONER
AT&T	AMERICAN TELEPHONE & TELEGRAPH COMPANY
BIT.	BITUMINOUS
BLK.	BLACK
CB	CATCH BASIN
COM	COMMUNICATION
CON.	CONIFER
CONC.	CONCRETE
CNG	CONNECTICUT NATURAL GAS
CL	CENTERLINE
CLF	CHAIN LINK FENCE
CL&P	CONNECTICUT LIGHT & POWER COMPANY
CP	CONTROL POINT
DEC.	DECIDUOUS
DMH	DRAINAGE MANHOLE
E	EAST OR ELECTRIC
EL.	ELECTRIC
ELEV	ELEVATION
EMH	ELECTRIC MANHOLE
F.L.	FLOW LINE
FND.	FOUND
GRAN.	GRANITE
GSTC	GRANITE STONE CURB
HELCO	HARTFORD ELECTRIC COMPANY
HYD.	HYDRANT
H.H.	HAND HOLE
L.P.	LIGHT POLE
MH	MANHOLE
M	METER
M.W.	MONITOR WELL
N	NORTH
NAD	NORTH AMERICAN DATUM
NAVD	NATIONAL AMERICAN VERTICAL DATUM
NE	NORTHEAST
N/F	NOW OR FORMERLY
NW	NORTHWEST
PVC	POLYVINYL CHLORIDE
P.I.V.	POST INDICATOR VALVE
RET.	RETAINING
RCP	REINFORCED CONCRETE PIPE
R.L.	RAIN LEADER
S	SOUTH OR SUPPLY
SE	SOUTHEAST
SW	SOUTHWEST
SAN.	SANITARY
SMH	SANITARY MANHOLE
SNET	SOUTHERN NEW ENGLAND TELEPHONE
SQ.	SQUARE
STM	STEAM
TMH	TELEPHONE MANHOLE
TEL.	TELEPHONE
T.F.	TOP OF FRAME
UNK.	UNKNOWN
W	WATER OR WEST
W.G.	WATER GATE

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DAVID A. CARICCHIO, P.L.S. No. 70036 — DATE
ALFRED BENESCH & COMPANY, GLASTONBURY, CONNECTICUT
(not valid without original signature and embossed seal)

SURVEY BOOK: 06-
SURVEYOR: NDC
DRAWN: DAC
CHECKED: RS
APPROVED: WW

REVISIONS

No.	DATE	DESCRIPTION

SCALE: HORZ.: 1" = 40'
VERT.:
SURVEY DATUM: HORZ.: NAD 1983
VERT.: NAVD 1988

GRAPHIC SCALE 40 20 0 40

Prepared By:

benesch

Alfred Benesch & Company
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BOUNDARY SURVEY
PREPARED FOR
HB NITKIN

22-2289, 2327-2333, 2341-2355 & 2389 MAIN STREET

GLASTONBURY CONNECTICUT

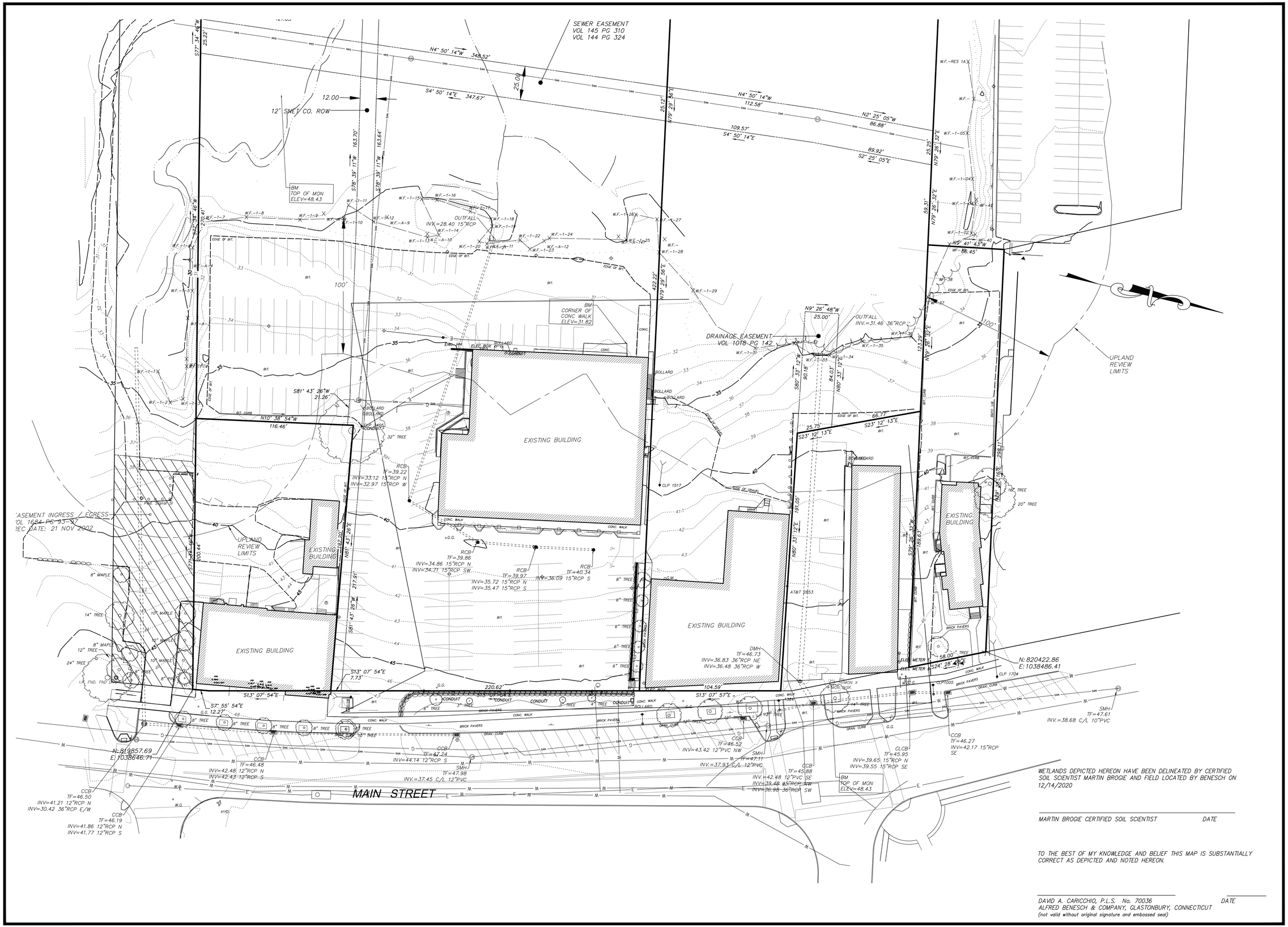
PROJ. No.: 70607
DATE: OCTOBER 13, 2020

SV.02

File Location/Name - Y:\Glastonbury\70600S\70607.00_HB_Nitkin_Gby_Rest\Survey\ACAD\70607 BASE.dwg
Date of Plot: July 26, 2024 - 1:34 PM

attached xrefs :\Town Utilities in Street.dwg

PAPER SPACE LAYOUT NAME:
TWISTVIEW:
VIEWNAME:
LAYER MANAGER NAME:
PLOT TABLE: STB



WETLANDS DEPICTED HEREON HAVE BEEN DELINEATED BY CERTIFIED SOIL SCIENTIST MARTIN BROGIE AND FIELD LOCATED BY BENESCH ON 12/14/2020

MARTIN BROGIE CERTIFIED SOIL SCIENTIST DATE

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS DEPICTED AND NOTED HEREON.

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ALFRED BENESCH & COMPANY, GLASTONBURY, CONNECTICUT
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REVISIONS

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DRAWN: DAC
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APPROVED: WW

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SURVEY DATUM: HORZ.: NAD 1983
VERT.: NAVD 1988

GRAPHIC SCALE 30 15 0 30

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benesch

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TOPOGRAHIC SURVEY
PREPARED FOR
HB NITKIN

22-2289, 2327-2333, 2341-2355 & 2389 MAIN STREET

GLASTONBURY CONNECTICUT

PROJ. No.: 70607
DATE: OCTOBER 13, 2020

SV.03

File Location/Name - Y:\Glastonbury\70600S\70607.00_HB_Nitkin_Gby_Rest\Survey\ACAD\70607 BASE.dwg
Date of Plot: July 26, 2024 - 1:34 PM

attached xrefs :\Town Utilities in Street.dwg

PAPER SPACE LAYOUT NAME:
TWISTVIEW:
VIEWNAME:
LAYER MANAGER NAME:
PLOT TABLE: .STB

WETLAND IMPACT LEGEND

WETLANDS & WATERCOURSES
179,604 SF

150' UPLAND REVIEW AREA
123,608 SF

DISTURBED UPLAND REVIEW AREA
42,554 SF

UPLAND REVIEW DISTURBANCE - WITH RANKIN ROAD R.O.W

	AREA	PARCEL AREA SF	WETLAND AREA	150' DISTURBED UPLAND REVIEW	100' DISTURBED UPLAND REVIEW
GATESY PROPERTY	1	17,221	302	11,679	8,656
DAYBREAK PROPERTY	2	17,566	0	5,870	3,615
2341-2355 MAIN STREET	3	40,000[1]	5,620	23,230	17,838
2327-2233 MAIN STREET	4	255,331[2]	144,552	54,696	41,359
2283-2289 MAIN STREET	5	21,761	0	0	0
REAR EASEMENT AREAS	6	0	15,322	10,888	7,876
RANKIN ROAD R.O.W.	7	83,622	13,808	0	0
2341-2355 (BACK 40)		106,647	0	0	0
					752
TOTAL SF	=	542,148	179,604	119,162	84,843
			$1 / 1,000 SF		$10 / 1,000 SF
FEES			**$179.60**		**$848.43**

(1) PROPOSED LOT SIZE
(2) PROPOSED LOT SIZE (INCREASE FROM LOT SIZE REDUCTION AT 2341-2355 MAIN STREET)

UPLAND REVIEW DISTURBANCE - W/O RANKIN ROAD R.O.W

	AREA	PARCEL AREA SF	WETLAND AREA	150' DISTURBED UPLAND REVIEW	100' DISTURBED UPLAND REVIEW
GATESY PROPERTY	1	17,221	302	11,679	8,656
DAYBREAK PROPERTY	2	17,566	0	5,870	3,615
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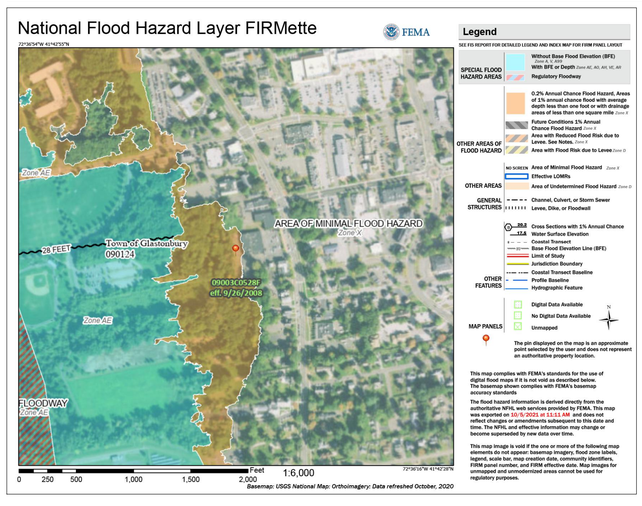
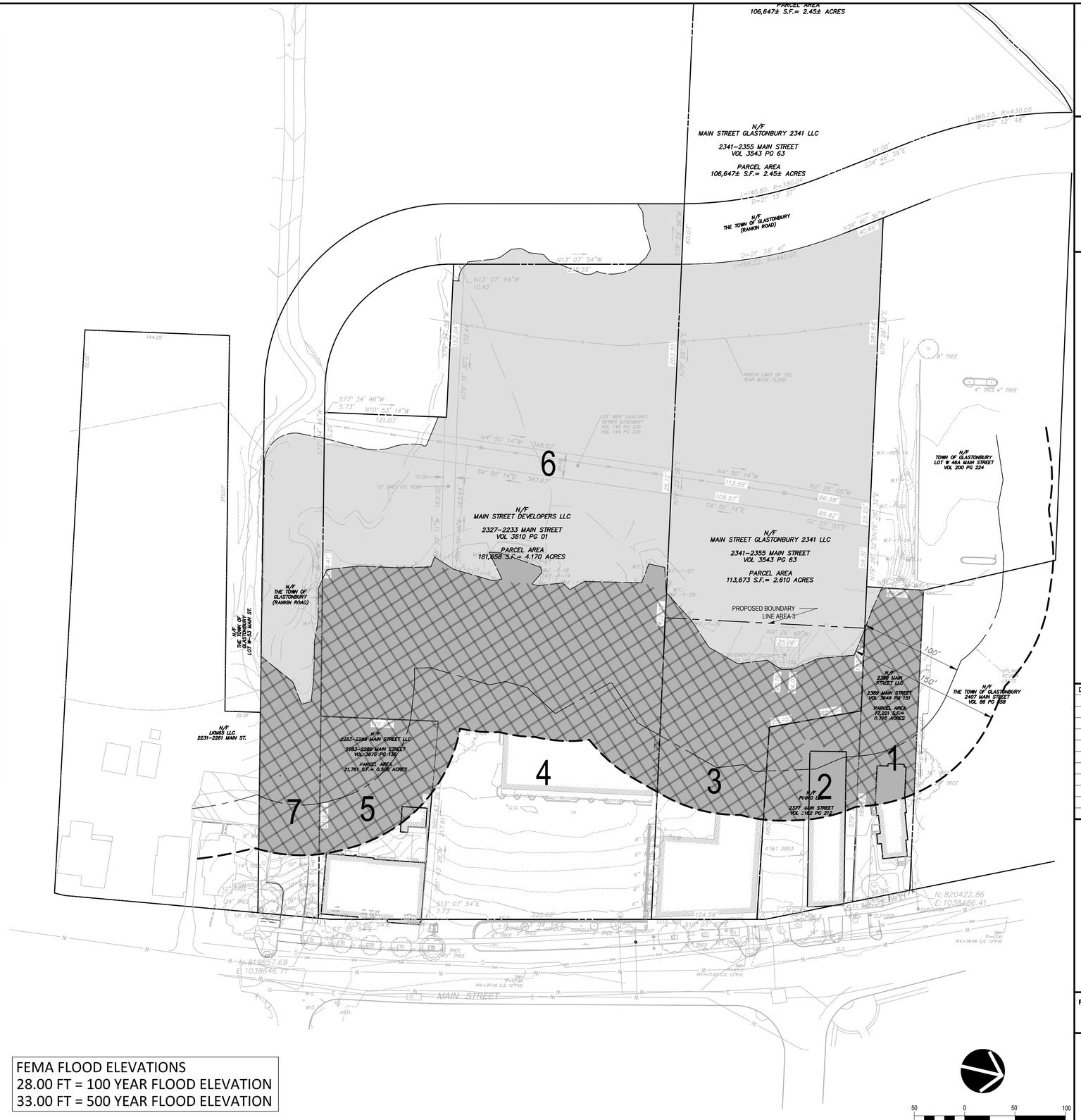
REAR EASEMENT AREAS	6	0	15,322	10,888	7,876
2341-2355 (BACK 40)		106,647	0	0	0
TOTAL SF	=	458,526	165,796	108,264	76,967
			$1 / 1,000 SF		$10 / 1,000 SF
FEES			**$165,79**		**$769.67**





FEMA FLOOD ELEVATIONS
28.00 FT = 100 YEAR FLOOD ELEVATION
33.00 FT = 500 YEAR FLOOD ELEVATION

Prepared by:
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Prepared for:
HB NITKIN
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230 Mason Street
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203-861-9000

MAIN STREET MIXED USE DEVELOPMENT

2277-2389 MAIN STREET
GLASTONBURY, CT

DATE:	REVISION:

STATE OF CONNECTICUT
WILLIAM G. WALKER
LICENSED
PROFESSIONAL ENGINEER

PROJECT NO.: 70607.00
SCALE: AS SHOWN
DATE: 07/26/2024
DRAWN BY: RCD, JHL
CHECKED BY: WGW

FEMA AND UPLAND REVIEW IMPACTS

DRAWING NO.:
WRL.0

PARCEL 1

Town of Glastonbury GIS Parcel Report

Report Generated 10/24/2023 10:28:47 AM

Owner of Record

Account Number: 41402283
Property Address: 2277-2289 MAIN ST

GIS ID: 41402283
Owner: 2283-2289 MAIN STREET LLC
Co-Owner: C/O HB NITKIN GROUP
Address: 230 MASON ST
City, State ZIP: GREENWICH, CT 06830-6943

Property highlighted in blue

Parcel Information

Map/Street/Lot	D6 / 4140 / W0049	**Property ID:**	12120
Developer Lot ID:		**Water:**	Public HDC
Parcel Acreage:	0.48	**Sewer:**	Sewer Tax Rec
Zoning Code:	TC	**Census:**	5203

Valuation Summary

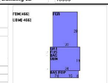
Item	Appraised Value	Assessed Value
Buildings	742800	519900
Land	412000	288400
Appurtenances	0	0
Total	**1154800**	**808300**

Owner of Record	Deed / Page	Sale Date	Sale Price
2283-2289 MAIN STREET LLC	3676/0136	2020-09-30	1300000
RCW PROPERTIES LLC	1766/0089	2003-03-11	0
WILLARD RICHARD C	1766/0085	2003-03-11	125000
WILLARD RICHARD C+	1766/0083	2003-03-11	125000
WILLARD RICHARD C ET AL	0917/0116	1994-12-30	0
WILLARD RICHARD C TRUSTEE	0646/0223	1991-12-31	0

Building Information

Building ID 13969

Year Constructed :	1900	**Number of Rooms :**	7
Building Type :	Residential	**Number of Bedrooms :**	03
Style :	Century+	**Number of Bathrooms :**	1
Occupancy :	Res on Comm	**Number of Half-Baths :**	1
Stories :	2	**Exterior Wall :**	Clapboards
Building Zone :	TC	**Interior Wall :**	Plaster
Roof Type :	Gable	**Interior Floor :**	Hardwood
Roof Material :	Asphalt Shingl	**Interior Floor #2 :**	No entry
Est. Gross S.F. :	2522	**Air Conditioning Type :**	Central
Est. Living S.F. :	854	**Heat Type :**	Hot Water
		Fuel Type :	Oil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1
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1
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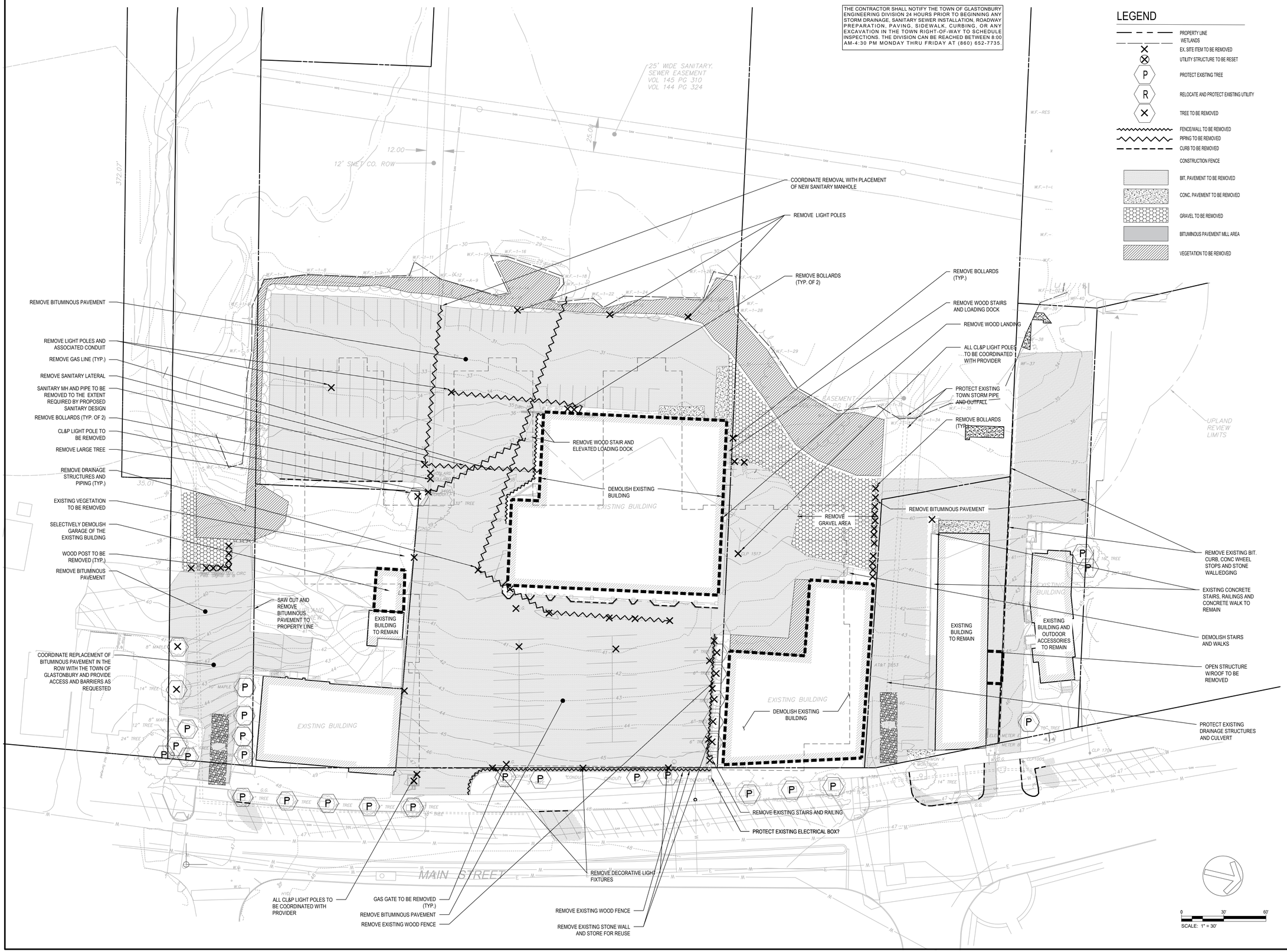
2

THE CONTRACTOR SHALL NOTIFY THE TOWN OF GLASTONBURY ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, SANITARY SEWER INSTALLATION, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, OR ANY EXCAVATION IN THE TOWN RIGHT-OF-WAY TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:00 AM-4:30 PM MONDAY THRU FRIDAY AT (860) 652-7735.

LEGEND

- PROPERTY LINE
- WETLANDS
- EX. SITE ITEM TO BE REMOVED
- UTILITY STRUCTURE TO BE RESET
- PROTECT EXISTING TREE
- RELOCATE AND PROTECT EXISTING UTILITY
- TREE TO BE REMOVED
- FENCE/WALL TO BE REMOVED
- PIPING TO BE REMOVED
- CURB TO BE REMOVED
- CONSTRUCTION FENCE
- BIT. PAVEMENT TO BE REMOVED
- CONC. PAVEMENT TO BE REMOVED
- GRAVEL TO BE REMOVED
- BITUMINOUS PAVEMENT MILL AREA
- VEGETATION TO BE REMOVED



Prepared by:

benesch

Alfred Benesch & Company
120 Hebron Avenue
Glastonbury, Connecticut 06033
860-633-8341

Prepared for:

HB NITKIN

HB Nitkin Group
230 Mason Street
Greenwich, Connecticut 06830
203-861-9000

MIXED USE DEVELOPMENT

2277-2389 MAIN STREET

GLASTONBURY, CT

DATE:	REVISION:

STATE OF CONNECTICUT · WILLIAM G. WALTER · LICENSED PROFESSIONAL ENGINEER

PROJECT NO.: 70607.00
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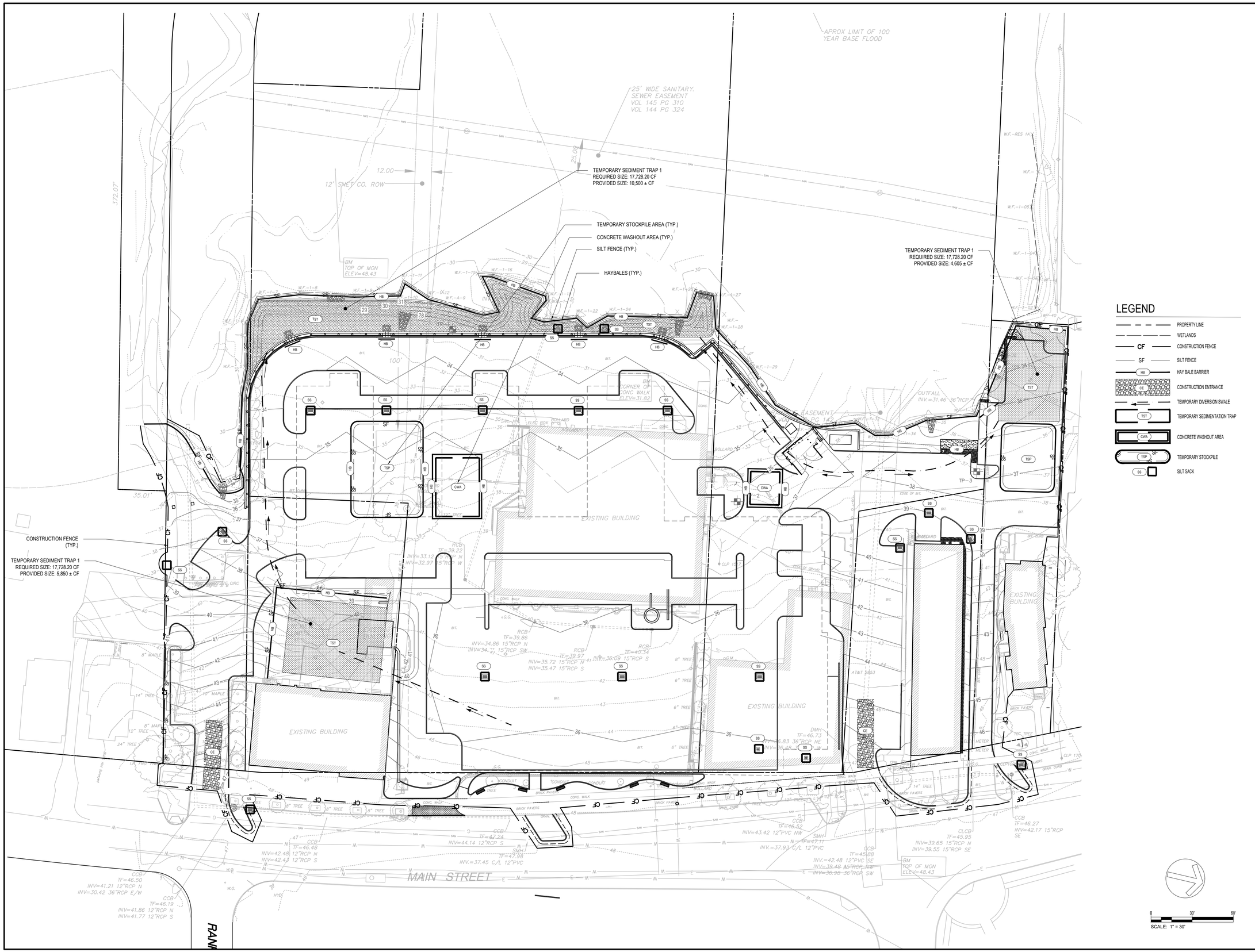
DEMOLITION & PREPARATION PLAN

DRAWING NO.:
C1.0



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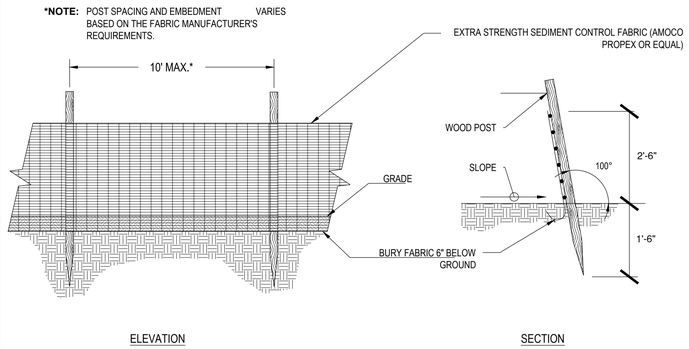
EROSION & SEDIMENTATION CONTROL PLAN

DRAWING NO.:
C1.1



SILT FENCE BARRIER (SF)

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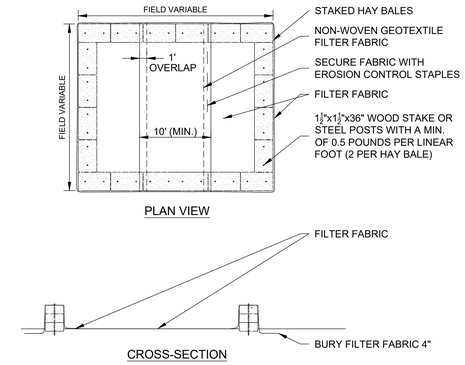
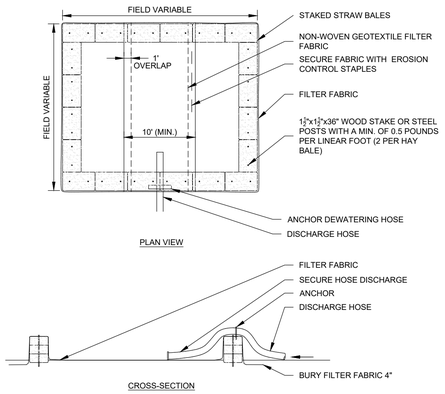


NOTES:

1. CONSTRUCT WASHOUT AREA LARGE ENOUGH TO ENSURE MATERIALS WILL BE CONTAINED WHERE WASTE CONCRETE CAN SOLIDIFY IN PLACE AND EXCESS WATER CAN SAFELY EVAPORATE.
2. WASHOUT AREA SHALL BE LARGE ENOUGH TO RETAIN ALL LIQUID AND WASTE CONCRETE MATERIALS FROM WASHOUT OPERATION.
3. WEEKLY INSPECTIONS OF WASHOUT AREAS SHALL BE CONDUCTED TO ASSESS THE HOLDING CAPACITY AND FUNCTIONALITY OF THE WASHOUT AREA.

TEMPORARY CONCRETE WASHOUT AREA (CWA)

N.T.S.

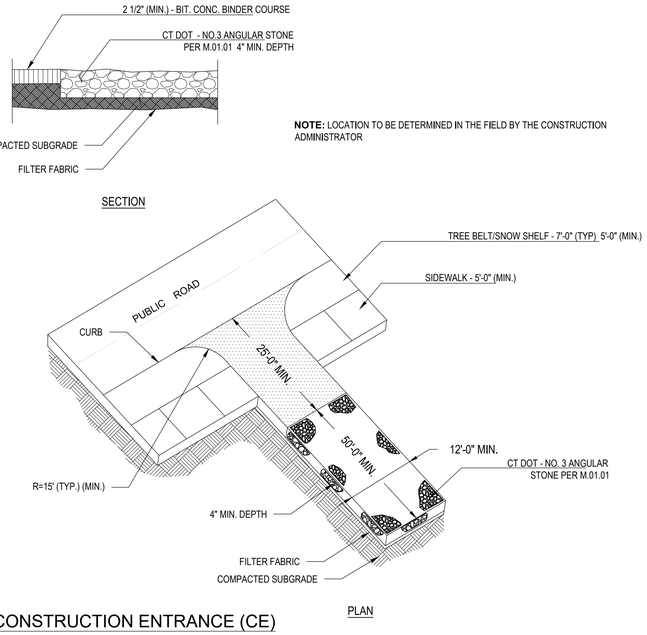


GENERAL NOTES

1. NUMBER OF BALES MAY VARY DEPENDING ON SITE CONDITIONS.
2. THE BASIN TO BE SIZED ACCORDING TO: CUBIC FEET OF STORAGE = PUMP DISCHARGE RATE(gpm) x 16.
3. SIZE SHOWN ON PLANS SHALL BE ADJUSTED AS REQUIRED FOR THE ACTUAL PUMPING RATE.

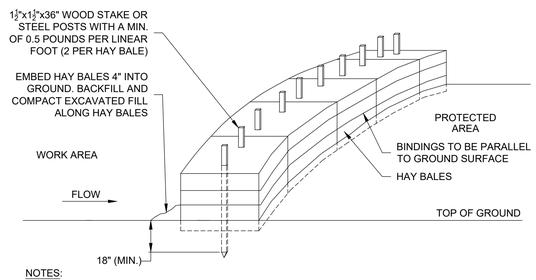
DEWATERING STRAW BALE BASIN

SCALE: NONE



CONSTRUCTION ENTRANCE (CE)

N.T.S.

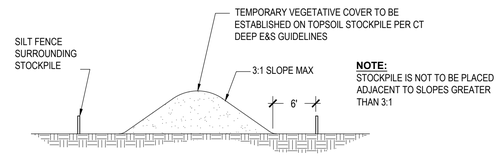


NOTES:

1. HAY BALES SHALL BE MADE OF HAY OR STRAW WITH 40 POUND MIN. WEIGHT AND 120 POUND MAX. WEIGHT HELD TOGETHER BY TWINE OR WIRE.
2. PLACE HAY BALES ON CONTOUR AND WING THE LAST HAY BALES UP SLOPE SO THAT THE TOP OF THE LAST SEVERAL HAY BALES ARE HIGHER THAN THE LINE OF HAY BALES.
3. DRIVE FIRST STAKE IN EACH BALE TOWARD THE PREVIOUSLY LAID BALE TO FORCE THEM TOGETHER.
4. PUT ONE HAY BALE PERPENDICULAR ALONG HAY BALE BARRIER EACH 100 FEET.

HAY BALE BARRIER (HB)

N.T.S.



TEMPORARY STOCKPILE (STK)

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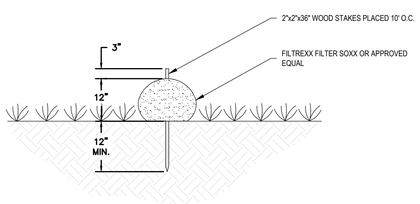

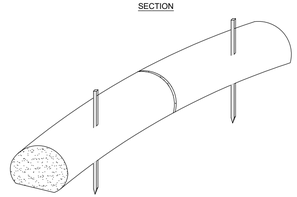

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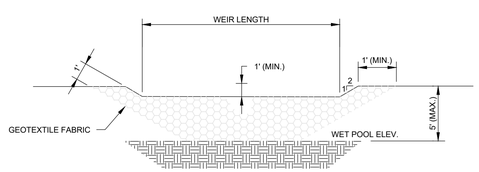
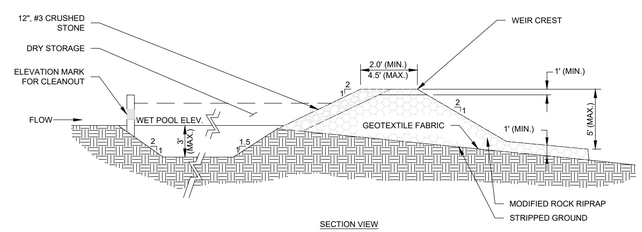


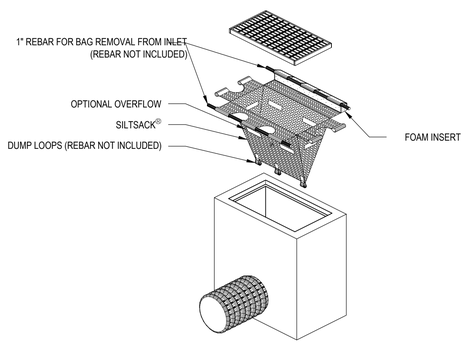
TEMPORARY SEDIMENT TRAP

SCALE: NONE



GENERAL NOTES

1. STABILIZE EARTHEN EMBANKMENT BY SEEDING OR PROVIDE STONE SLOPE PROTECTION IMMEDIATELY AFTER INSTALLATION.
2. NON-OVERFLOW PORTIONS AND ABUTMENTS OF TEMPORARY SEDIMENT TRAPS MAY BE CONSTRUCTED OF COMPACTED EARTHFILL.



'SILTSACK' SEDIMENT CONTROL DEVICE, TERRAFIX GEOSYNTHETICS INC. TORONTO, ONTARIO, CA WWW.TERRAFIXGEO.COM

SILT SACK DETAIL (SS)

N.T.S.

Prepared by:

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EROSION & SEDIMENTATION CONTROL DETAILS

DRAWING NO.:
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SITE PREPARATION NOTES:

1. CONTRACTOR SHALL NOTIFY "CALL BEFORE YOU DIG" (1-800-922-4455) AND VERIFY UTILITY MARK-OUT WITH THE OWNER PRIOR TO THE INITIATION OF ANY SITE DISTURBANCE.
2. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR VERIFICATION OF THE LOCATION AND NATURE OF ALL SUBSURFACE UTILITIES AT THE PROJECT WHICH MAY BE AFFECTED BY THE WORK. COORDINATE WITH RESPECTIVE UTILITY OWNERS AND PERFORM VERIFICATION OF TYPE, LOCATION, AND INVERTS AS REQUIRED.
3. PROTECT ALL IMPROVEMENTS NOT INCLUDED WITHIN THE LIMITS OF WORK. ANY IMPROVEMENT WHICH IS DAMAGED SHALL BE REPAIRED OR REPLACED IN-KIND TO THE OWNER'S SATISFACTION.
4. DURING DEMOLITION, PROTECT ALL ADJACENT CURBING, SIDEWALKS, RAMPS, ABOVE-GRADE AND BELOW-GRADE UTILITIES, DRAINAGE STRUCTURES, LIGHT BASES, AND OTHER IMPROVEMENTS POTENTIALLY AFFECTED BY THE WORK. CLEARLY DELINEATE THE LIMITS OF WORK AND MARK, BARRICADE, OR OTHERWISE IDENTIFY THOSE IMPROVEMENTS THAT ARE TO BE PROTECTED AND/OR AVOIDED. ANY IMPROVEMENT WHICH IS DAMAGED SHALL BE REPAIRED OR REPLACED IN-KIND TO THE OWNER'S SATISFACTION.
5. THE LOCATIONS OF EXISTING SITE FEATURES AS SHOWN HAVE BEEN OBTAINED FROM MAPS, SURVEYS, FIELD INSPECTIONS, AND OTHER AVAILABLE INFORMATION. THEY MUST BE CONSIDERED APPROXIMATE BOTH TO LOCATION, SIZE, AND AS-BUILT CONDITION AND ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL FIELD CONDITIONS.
6. THE DIMENSIONS SHOWN ON THE PLANS, INCLUDING THE INTENDED DIMENSIONS OF THE WORK, MAY VARY FROM ACTUAL EXISTING CONDITIONS IN THE FIELD. THE CONTRACTOR SHALL TAKE APPROPRIATE MEASUREMENTS TO VERIFY ALL DIMENSIONS SHOWN ON THE DRAWINGS AS WELL AS OTHER DIMENSIONS HE MAY DEEM APPROPRIATE TO FACILITATE THE COMPLETION OF THE WORK. NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THAT PORTION OF THE WORK.
7. IMPLEMENTING WORKER SAFETY AND/OR HEALTH PROTOCOLS THAT ADDRESS COMPLIANCE WITH RULES, LAWS, AND REGULATIONS PERTAINING TO CONSTRUCTION SAFETY AND/OR THE POTENTIAL AND/OR ACTUAL RISK OF EXPOSURE TO SITE-SPECIFIC PHYSICAL OR CHEMICAL HAZARDS IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
8. PRIOR TO THE TERMINATION, ABANDONMENT, OR REMOVAL OF ANY UTILITY, VERIFY THAT APPLICABLE NOTIFICATIONS HAVE BEEN MADE TO THE UTILITY OWNER/OPERATOR AND THAT THE UTILITY HAS BEEN PROPERLY TERMINATED, CAPPED, OR PLUGGED AS REQUIRED.
9. PROVIDE PAVEMENT SAWCUT AT THE EDGE OF EACH PAVEMENT REMOVAL AREA TO ESTABLISH A CLEAN EDGE WHERE NEW WORK WILL MEET EXISTING PAVEMENT. SAWCUT SHALL BE A MINIMUM OF 12 INCHES FROM EDGE OF PAVEMENT REMOVAL.
10. UNLESS OTHERWISE INDICATED, ALL DISTURBED AREAS SHALL BE RESTORED WITH SIX (6) INCHES OF LOAM, SEEDED, FERTILIZED, AND MULCHED. PROVIDE ADDITIONAL EROSION CONTROLS AS REQUIRED.
11. ALL SIDEWALK CLOSURES AND MEASURES FOR TEMPORARY PEDESTRIAN ACCESS, SIDEWALKS, CROSSINGS, AND BIKE LANES SHALL MEET THE APPROVAL OF THE TOWN OF GLASTONBURY.

EROSION AND SEDIMENTATION CONTROL NARRATIVE:

PER STATE OF CONNECTICUT
ALL APPLICABLE PRACTICES RECOMMENDED BY THE 2024 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL AS AMENDED.

DESCRIPTION

THE PROJECT CONSISTS OF REDEVELOPING AND IMPROVING THE COMMERCIAL PROPERTIES LOCATED AT 2283-2389 MAIN STREET. THE EXISTING SITE CONSISTS OF BUILDINGS, PARKING LOTS, ACCESS DRIVES, AND VEGETATION AREAS. THE PROPOSED REDEVELOPMENT CONSISTS OF PORTIONS OF BUILDING DEMOLITION TO REDUCE SIZE, NEW PARKING, STORM /UTILITY UPGRADES, AND LANDSCAPING ENHANCEMENTS.

DESIGN AND CRITERIA

NOTE: THE CONTRACTOR SHALL NAME ONE INDIVIDUAL AS HIS SEDIMENT AND EROSION CONTROL SUPERVISOR WHOSE PRIMARY RESPONSIBILITY WILL BE THE MAINTENANCE OF ALL ON-SITE EROSION CONTROL MEASURES. HE WILL KEEP A DAILY LOG OF HIS ACTIVITIES AND AN UPDATED SCHEDULE OF PROPOSED CONSTRUCTION ACTIVITIES. THE LOG WILL BE MADE AVAILABLE TO INSPECTORS.

A. GEOTEXTILE SILT FENCE (SF) - SHALL BE NON-WOVEN MATERIAL, MINIMUM 36" HIGH AND FASTENED TO WOOD STAKES. SILT FENCE SHALL BE INSTALLED WITH END RUNS TURNED UP GRADE AT 45 DEGREES FOR A DISTANCE OF 10 FEET.

B. TEMPORARY SEEDING (TS)

1. CONTRACTOR SHALL SCARIFY THE SOIL TO A DEPTH OF 2" BEFORE APPLYING FERTILIZER, LIMESTONE AND SEED.
2. SEED MAY BE APPLIED BY HAND OR MECHANICALLY. SEED APPLICATION SHALL BE UNIFORM. SEED RATE SHALL BE IN ACCORDANCE WITH THE 2024 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL AS AMENDED (INCREASE SEEDING RATES BY 10% WHEN HYDROSEEDING, LIMESTONE, FERTILIZER AND SEED MAY BE APPLIED IN SLURRY.)
3. CONTRACTOR SHALL MULCH AREA (MS) IMMEDIATELY FOLLOWING SEEDING. (NOTE: IN THE EVENT SEEDING OPERATIONS ARE NOT FEASIBLE DUE TO SEASONAL RESTRICTIONS OR EXTENDED INCLEMENT WEATHER PATTERNS, THE CONTRACTOR SHALL INSTALL AN EROSION CONTROL BLANKET OVER EXPOSED SOILS.)

C. PERMANENT SEEDING (PS)

1. CONTRACTOR SHALL APPLY TOPSOIL AND FINE GRADE ALL AREAS BEFORE THE APPLICATION OF PERMANENT SEED. APPLY LIMESTONE AND FERTILIZER AS NEEDED, IN ACCORDANCE WITH SOIL TESTS.
2. REMOVE ALL SURFACE STONES ½ INCH AND LARGER. REMOVE ALL OTHER DEBRIS AND RAKE SEED BED.
3. APPLY SEED WITHIN 7 DAYS AFTER ESTABLISHING FINAL GRADES. SEE PLANTING PLAN.

D. STRAW BALE BARRIER (HB) - SHALL BE MADE OF STRAW WITH 40 POUNDS MINIMUM WEIGHT AND 120 POUNDS MAXIMUM WEIGHT, HELD TOGETHER BY TWINE OR WIRE.

E. CONSTRUCTION ENTRANCE (CE) - SHALL BE AN ANGULAR STONE PAD, A MINIMUM OF 12' WIDE AND 50' LONG.

APPLICATION/GENERAL PROCEDURES

SOIL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED PRIOR TO ANY SITE DISTURBANCE, AND DEVELOPMENT WILL PROCEED ACCORDING TO A SPECIFIC CONSTRUCTION SEQUENCE. THE OBJECTIVE IS TO MAXIMIZE THE REDUCTION OF SEDIMENT-LADEN RUNOFF THROUGH IMPLEMENTATION OF CONVENTIONAL SOIL SEDIMENTATION AND EROSION CONTROL PRACTICES CURRENTLY RECOMMENDED BY THE 2024 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL

A. EARTHWORK WILL BE SCHEDULED FOR PERIODS WHEN SOIL SATURATION IS LOW AND SOIL LOSS HAZARD IS AT A MINIMUM.

B. SUSPEND EARTHWORK FOR MAJOR STORM EVENTS AND IMPLEMENT ADDITIONAL SEDIMENTATION AND EROSION CONTROL MEASURES AS NECESSARY.

C. THERE SHALL BE NO CUTS OR FILL LEFT EXPOSED FOR LONGER THAN 30 DAYS. THE ESTABLISHED PROCEDURE OF TEMPORARILY SEEDING AND/OR COVER WITH EROSION PROTECTION (MAT OR STRAW) SHALL BE FOLLOWED TO INSURE MINIMAL SOIL LOSS.

D. THE DISCHARGE OF UNTREATED STORMWATER TO ANY ADJACENT ROADWAYS, DRAINAGE INLETS, OR PROPERTIES IS NOT ALLOWED.

EROSION AND SEDIMENT CONTROL NOTES:

1. THIS PLAN IS FOR EROSION AND SEDIMENTATION (E&S) CONTROL ONLY. SEE OTHER PLANS FOR THE SCOPE OF CONSTRUCTION WORK.
2. THE MEASURES SPECIFIED HEREON ARE THE MINIMUM REQUIREMENTS FOR E&S CONTROL AND ARE SHOWN IN GENERAL SIZE AND LOCATION ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL E&S CONTROL MEASURES ARE CONFIGURED AND CONSTRUCTED IN A MANNER THAT WILL MINIMIZE EROSION OF SOILS AND PREVENT THE TRANSPORT OF SEDIMENTS AND OTHER POLLUTANTS TO ANY RESOURCE AREAS. ALL EROSION CONTROLS SHALL BE INSTALLED PRIOR TO ANY SITE WORK. CONTROLS SHOULD BE INSPECTED WEEKLY AND AFTER EACH RAINFALL. EXCAVATED MATERIAL SHOULD NOT BE DISPOSED OF IN THE WETLAND AREA. PROVIDE ADDITIONAL E&S MEASURES AS REQUIRED TO CONTROL EROSION AND SILTATION THROUGHOUT THE DURATION OF THE CONSTRUCTION AS CONDITIONS DICTATE AND/OR AS DIRECTED BY THE OWNER OR THE ENGINEER.
3. MONITOR AND INSPECT ALL E&S MEASURES IN AN ONGOING MANNER THROUGHOUT THE WORK AND TAKE CORRECTIVE MEASURES, AS REQUIRED, TO MINIMIZE EROSION OF SOILS AND PREVENT THE TRANSPORT OF SEDIMENTS AND OTHER POLLUTANTS TO ANY RESOURCE AREAS.
4. ANY EROSION AND SEDIMENTATION MEASURE IMPLEMENTED BEYOND THAT SHOWN HEREON SHALL CONFORM TO APPLICABLE SECTIONS OF THE STATE OF CONNECTICUT'S 2024 "CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL."
5. ANY STOCKPILED MATERIAL SHALL BE SUBJECT TO EROSION CONTROL MEASURES THAT INCLUDE A MINIMUM OF SILT FENCE OR HAY BALE BARRIER. COVER STOCKPILES IF SIGNIFICANT RAINFALL IS PREDICTED.
6. PROVIDE TEMPORARY SEEDING WITH MULCH ON ALL EXPOSED SOIL AREAS WHERE WORK WILL BE SUSPENDED FOR LONGER THAN 30 DAYS. APPLY SEED AND MULCH WITHIN THE FIRST 7 DAYS OF SUSPENDING WORK. WHEN SEEDING IS NOT POSSIBLE DUE TO SEASONAL WEATHER CONDITIONS OR OTHER FACTORS, PROVIDE TEMPORARY STRUCTURAL SOIL PROTECTION SUCH AS MULCH, WOODCHIPS, EROSION CONTROL MATTING, OR COMPOST.
7. ALL TEMPORARY SLOPES IN EXCESS OF 3 (HORIZONTAL) TO 1 (VERTICAL) SHALL BE STABILIZED WITH EROSION CONTROL MATTING OR APPROVED EQUIVALENT.
8. NO RUNOFF SHALL BE ALLOWED TO ENTER ANY STORMWATER SYSTEM OR EXIT THE SITE PRIOR TO TREATMENT FOR SEDIMENT REMOVAL.
9. THE CONTRACTOR SHALL MAINTAIN A CLEAN CONSTRUCTION SITE AND SHALL NOT ALLOW THE ACCUMULATION OF RUBBISH OR CONSTRUCTION DEBRIS. ALL TRASH SHALL BE CLEANED ON A DAILY BASIS AND THE SITE SHALL BE LEFT IN A NEAT CONDITION AT THE END OF EACH WORK DAY.
10. TAKE ALL NECESSARY PRECAUTIONS TO AVOID THE SPILLAGE OF FUEL OR OTHER POLLUTANTS AND ADHERE TO ALL APPLICABLE POLICIES AND REGULATIONS RELATED TO SPILL PREVENTION, CONTROL, AND RESPONSE.
11. FOR DUST CONTROL, PERIODICALLY MOISTEN EXPOSED SOIL SURFACES WITH WATER AND MAINTAIN ADEQUATE MOISTURE LEVELS.
12. SWEEP ADJACENT ROADWAYS IF MUD OR SOIL IS TRACKED ON TO THEM, OR AS DIRECTED BY THE ENGINEER.
13. ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE INSTALLED BY THE PERMITTEE AND INSPECTED BY THE TOWN ENGINEER AND/OR THE WETLANDS ENFORCEMENT OFFICER / DULY AUTHORIZED AGENT; ADDITIONAL OR SUPPLEMENTAL CONTROLS MAY BE REQUIRED. THE PERMITTEE SHALL MAINTAIN THE CONTROLS DURING AND AFTER CONSTRUCTION AND REMOVE THEM UPON SITE STABILIZATION OF THE AFFECTED AREA.
14. AN ANTI-TRACKING APRON SHALL BE INSTALLED AT THE SITE ACCESS DRIVE AT A LOCATION APPROVED BY THE TOWN ENGINEER, WITH 6 INCHED OF CRUSHED STONE (SIZED 1 $\frac{1}{2}$" TO 3") UNDERLAIN WITH CONSTRUCTION FRAME SPREAD TO THE TRAVELED WIDTH AND 40 FEET IN LENGTH OR WITH APRON MATS. THE APRON SHALL BE MAINTAINED AT ALL TIMES.
15. THE PERMITTEE AND THEIR CONTRACTOR SHALL MEET WITH AGENCY STAFF, INCLUDING BUT NOT LIMITED TO THE WETLANDS ENFORCEMENT OFFICER / DULY AUTHORIZED AGENT AND TOWN ENGINEER, TO REVIEW THE CONDITIONS OF THIS APPROVAL AND THE CONSTRUCTION PROGRAM TO BE UTILIZED TO IMPLEMENT THE APPROVED REGULATED ACTIVITY.
16. THE WETLANDS ENFORCEMENT OFFICER / DULY AUTHORIZED AGENT SHALL BE NOTIFIED IN WRITING FORTY-EIGHT (48) HOURS PRIOR TO THE START OF CONSTRUCTION.
17. DURING THE DURATION OF THIS APPROVAL, THE CHAIRMAN OF THE AGENCY OR THE WETLANDS ENFORCEMENT OFFICER / DULY AUTHORIZED AGENT SHALL HAVE PERMISSION TO ENTER UPON THE SUBJECT PROPERTY AT REASONABLE TIMES FOR THE PURPOSE OF VIEWING AND INSPECTING THE CONDUCT OF THE APPROVED REGULATED ACTIVITY.
18. NO WORK OTHER THAN MAINTENANCE OF SEDIMENT AND EROSION CONTROL SHALL BE PERFORMED DURING SIGNIFICANT RAINFALL OF ONE (1) INCH OR MORE WITHIN A TWENTY-FOUR (24) HOUR PERIOD. ALL WORK SHALL BE PERFORMED BETWEEN 8:00 AM AND 5:00 PM, MONDAY THROUGH FRIDAY. NO WORK MAY BE CONDUCTED ON LEGAL HOLIDAYS OR WEEKENDS WITHOUT THE EXPRESSED APPROVAL OF THE AGENCY.
19. UPON COMPLETION OF THE REGULATED ACTIVITY APPROVED HEREIN, THE PERMITTEE SHALL NOTIFY THE WETLANDS ENFORCEMENT OFFICER / DULY AUTHORIZED AGENT FOR A FINAL INSPECTION AND CONFIRMATION OF SATISFACTORY COMPLETION AND COMPLIANCE WITH THE APPROVED SITE PLANS AND ALL STANDARD AND SPECIAL SUPPLEMENTAL CONDITIONS, REQUIREMENTS AND MODIFICATIONS OF THIS APPROVAL.

SUGGESTED CONSTRUCTION SEQUENCE:

1. CONDUCT A PRE-CONSTRUCTION MEETING WITH THE OWNER, ENGINEER, AND TOWN STAFF PRIOR TO ANY CONSTRUCTION ACTIVITY.
2. INSTALL CONSTRUCTION ENTRANCE(S) AND PLACE CATCH BASIN FILTER INSERTS IN EXISTING CATCH BASINS.
3. INSTALL PERIMETER E&S CONTROLS AND REQUEST PRE-CONSTRUCTION INSPECTION FROM THE ENGINEER.
4. REMOVE EXISTING PAVING, CURBING, PORTIONS OF BUILDING(S) TO BE REMOVED AND OTHER IMPROVEMENTS.
5. PERFORM BULK EARTHWORK OPERATIONS.
6. BEGIN RENOVATION OF BUILDINGS.
7. CONSTRUCT UTILITIES.
8. BOX OUT PARKING LOT WITH IMPORTED BASE MATERIALS.
9. CONSTRUCT BOTTOM COURSE OF BITUMINOUS PAVEMENT.
10. CONSTRUCT LANDSCAPING AND OTHER SITE AMENITIES.
11. CONSTRUCT CURBING AND TOP COURSE OF BITUMINOUS PAVEMENT.
12. AT THE CONCLUSION OF CONSTRUCTION, COMPLETE THE INSTALLATION OF POST-CONSTRUCTION SITE STABILIZATION MEASURES AS SHOWN ON THE DRAWINGS.

TEMPORARY E&S MEASURES MAINTENANCE SCHEDULE

E&S MEASURE	MAINTENANCE MEASURES	SCHEDULE
FILTER INSERTS IN DRAINAGE SYSTEM	CLEAN CATCH BASIN GRATE, REMOVE SEDIMENT/DEBRIS FROM FILTER INSERTS	WEEKLY & WITHIN 24 HOURS AFTER STORM GENERATING A DISCHARGE
HAY BALES/ SILT FENCE BARRIER	REPAIR/REPLACE WHEN FAILURE OBSERVED, REMOVE SILT WHEN ACCUMULATION REACHES APPROX. HALF HEIGHT OF BARRIER	WEEKLY & WITHIN 24 HOURS AFTER STORM GENERATING A DISCHARGE
CONSTRUCTION ENTRANCE	SWEEP PAVED ROADWAY ADJACENT TO SITE ENTRANCE AS NECESSARY, REFRESH STONE AS NECESSARY, REMOVE SILTED GRAVEL	WEEKLY
MOISTEN EXPOSED SOILS	PERIODICALLY MOISTEN EXPOSED SOIL SURFACES WITH WATER ON UNPAVED TRAVELWAYS AND KEEP TRAVELWAYS DAMP	DAILY
TEMPORARY SEDIMENT TRAP	CHECK AND REPAIR STONE OUTLET, CLEAN WHEN HALF FULL OF SEDIMENT (DEWATER IF NECESSARY), RESTORE TRAP TO ORIGINAL DIMENSIONS	WEEKLY & WITHIN 24 HOURS AFTER STORM GENERATING A DISCHARGE

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Prepared for:
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HB Nitkin Group
230 Mason Street
Greenwich, Connecticut 06830
203-861-9000

MAIN STREET MIXED USE DEVELOPMENT

2277-2389 MAIN STREET
GLASTONBURY, CT

DATE:	REVISION:

STATE OF CONNECTICUT · WILLIAM G. WALKER · LICENSED PROFESSIONAL ENGINEER

PROJECT NO.: 70607.00
SCALE: NONE
DATE: 07/26/2024
DRAWN BY: RLC
CHECKED BY: WGW

SITE PREPARATION & EROSION CONTROL NOTES

DRAWING NO.:
C1.3

GENERAL SITE ABBREVIATIONS

BIT.	BITUMINOUS
CLF	CHAIN LINK FENCE
CLL	CONTRACT LIMIT LINE
CONC.	CONCRETE
N.I.C.	NOT IN CONTRACT

GENERAL SITE LEGEND

- PROPERTY LINE
- SAWCUT LINE
- CURB
- CATCH BASIN
- YARD DRAIN
- DRAIN INLET
- BOLLARD
- DECORATIVE LIGHT STANDARD
- SIGN
- SCREEN FENCE
- B — BITUMINOUS CONCRETE DRIVE PAVEMENT
- C1 — CONCRETE SIDEWALK ON AGGREGATE BASE
- C2 — CONCRETE SIDEWALK ON ROOF DECK
- P2 — STANDARD ROOF DECK PAVERS
- P3 — SPECIALTY ROOF DECK PAVERS
- P1 — BRICK PAVERS ON AGGREGATE BASE

NOTES:

1. CONTRACTOR SHALL NOTIFY "CALL BEFORE YOU DIG" (1-800-922-4455) AND VERIFY UTILITY MARK-OUT WITH THE OWNER PRIOR TO THE INITIATION OF ANY SITE DISTURBANCE.
2. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR VERIFICATION OF THE LOCATION AND NATURE OF ALL SUBSURFACE UTILITIES AT THE PROJECT WHICH MAY BE AFFECTED BY THE WORK. COORDINATE WITH RESPECTIVE UTILITY OWNERS AND PERFORM VERIFICATION OF TYPE, LOCATION, AND INVERTS AS REQUIRED.
3. THE LOCATIONS OF EXISTING SITE FEATURES AS SHOWN HAVE BEEN OBTAINED FROM MAPS, SURVEYS, FIELD INSPECTIONS, AND OTHER AVAILABLE INFORMATION. THEY MUST BE CONSIDERED APPROXIMATE BOTH TO LOCATION, SIZE, AND AS-BUILT CONDITION AND ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL FIELD CONDITIONS.
4. THIS DRAWING IS INTENDED TO DEPICT THE LOCATION, LAYOUT, AND MATERIALS OF CONSTRUCTION AND IS INTENDED TO BE USED IN CONJUNCTION WITH APPLICABLE SPECIFICATION SECTIONS.
5. IMPLEMENTING WORKER SAFETY AND/OR HEALTH PROTOCOLS THAT ADDRESS COMPLIANCE WITH RULES, LAWS, AND REGULATIONS PERTAINING TO CONSTRUCTION SAFETY AND/OR THE POTENTIAL AND/OR ACTUAL RISK OF EXPOSURE TO SITE-SPECIFIC PHYSICAL OR CHEMICAL HAZARDS IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
6. UNLESS OTHERWISE INDICATED, ALL DISTURBED AREAS SHALL BE RESTORED WITH SIX (6) INCHES OF LOAM, SEEDED, FERTILIZED, AND MULCHED. PROVIDE ADDITIONAL EROSION CONTROLS AS REQUIRED.
7. ALL SIDEWALKS WITHIN THE RIGHT-OF-WAY SHALL BE CONCRETE PER TOWN STANDARDS.
8. ALL CURBING IS CONCRETE UNLESS OTHERWISE INDICATED. WHERE CURBING ABUTS A CONCRETE SIDEWALK, IT SHALL BE MONOLITHIC PER APPLICABLE DETAILS.
9. THE CROSS-SLOPE OF ALL SIDEWALKS AND WALKWAYS SHALL BE LESS THAN 1:50 (2%) PER CONNECTICUT BUILDING CODE.
10. ACCESSIBLE ROUTES SHALL COMPLY WITH CONNECTICUT BUILDING CODE. LONGITUDINAL SLOPE SHALL BE LESS THAN 1 IN 20 (5%). CROSS SLOPE SHALL BE LESS THAN 1 IN 50 (2%). RAMPS SHALL COMPLY WITH CT BUILDING CODE, REF 2012 IBC SECTION 1010 AND ICC/ANSI A117.1 2009 CHAPTER 4, SECTION 405.
11. CONSTRUCTION AND CONTROL JOINTS: SIDEWALK REINFORCEMENT SHALL NOT CONTINUE THROUGH CONSTRUCTION JOINTS. AT CONTROL JOINTS CUT REINFORCEMENT WIRES.
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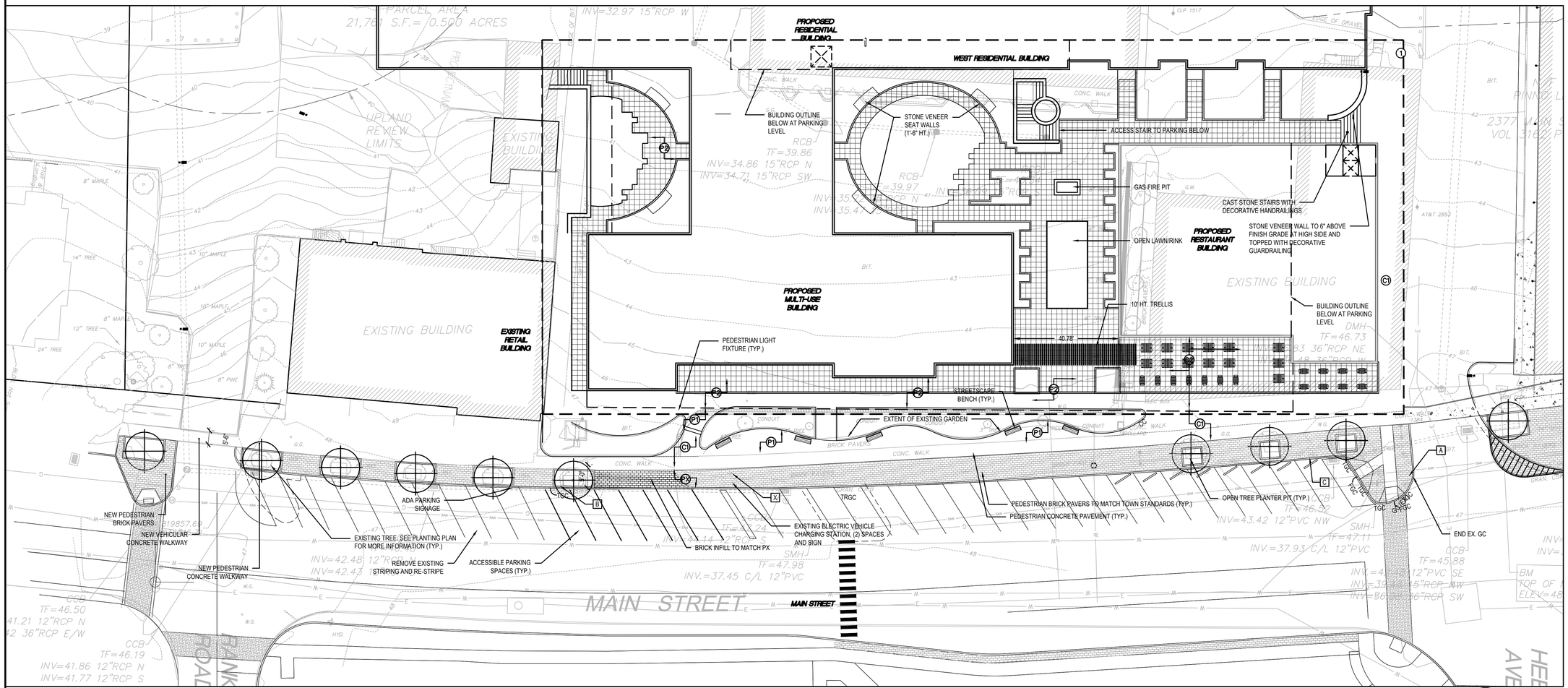
14. ALL NON-ACCESSIBLE PARKING SPACES ARE 9' X 18'. VERIFY OVERALL LAYOUT DIMENSIONS BASED ON THESE DIMENSIONS BASED ON THESE DIMENSIONS AND THE NUMBER OF SPACES INDICATED. FIELD-ADJUST OVERALL LAYOUT DIMENSIONS IN CONCERT WITH THE ENGINEER IF REQUIRED.



SNOW STORAGE PLAN
SNOW STORAGE WILL BE PROVIDED FOR IN THE BIO-FILTRATION AREA AND THE LANDSCAPED AREA TO THE WEST OF THE PARKING LOT. IN THE EVENT OF MULTIPLE SNOW EVENTS WHERE NO ROOM IS LEFT FOR ADDITIONAL SNOW STORAGE, SNOW SHALL BE REMOVED FROM THE SITE.

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MAIN STREET MIXED USE DEVELOPMENT

2277-2389 MAIN STREET

GLASTONBURY, CT

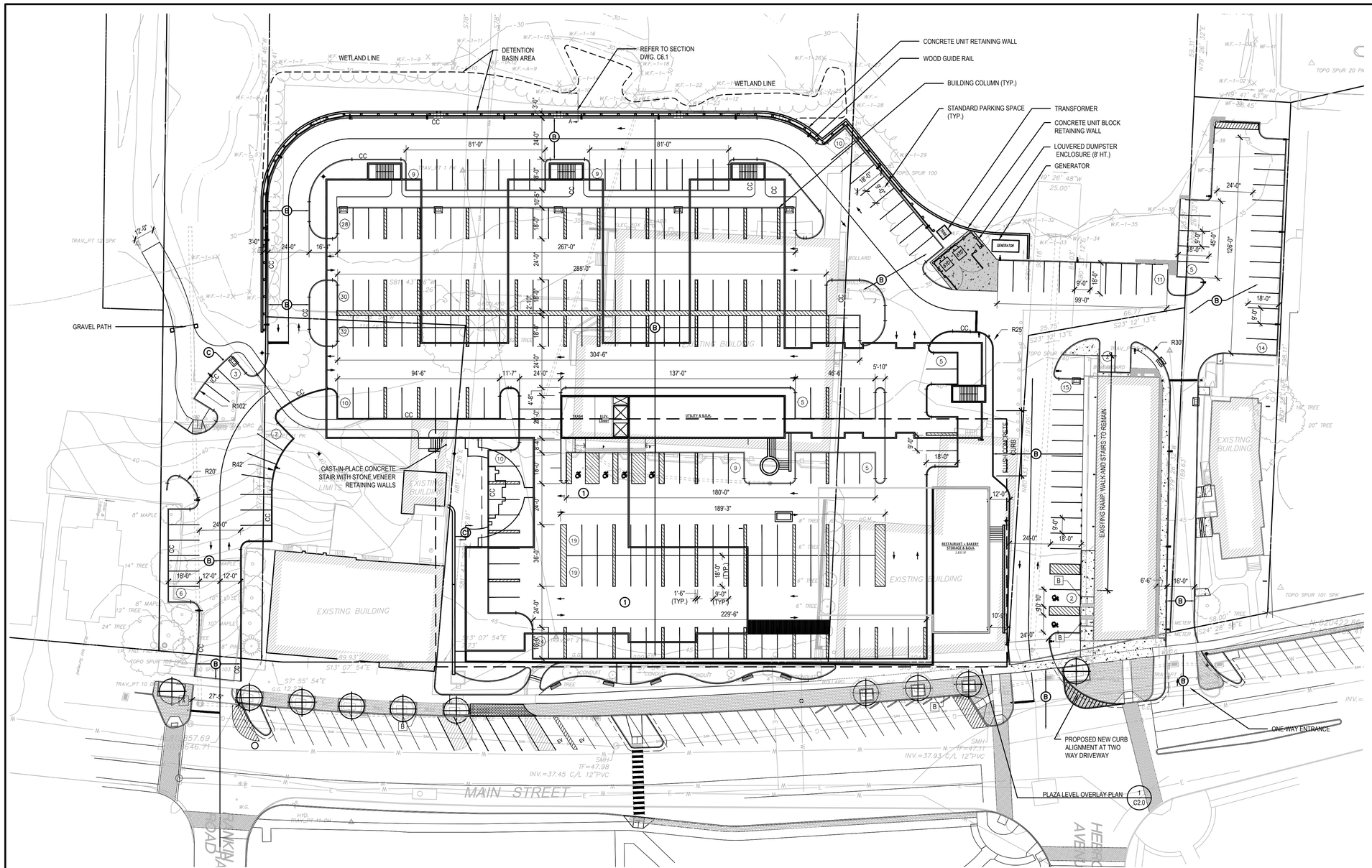
DATE:	REVISION:

STATE OF CONNECTICUT
WILLIAM G. WALTER
LICENSED PROFESSIONAL ENGINEER

PROJECT NO.: 70607.00
SCALE: AS NOTED
DATE: 07/26/2024
DRAWN BY: TRS, JHL
CHECKED BY: RCD

MATERIALS & LAYOUT (PLAZA LEVEL)

DRAWING NO.:
C2.0



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- CONCRETE SIDEWALK ON ROOF DECK
- STANDARD ROOF DECK PAVERS
- SPECIALTY ROOF DECK PAVERS
- BRICK PAVERS ON AGGREGATE BASE
- EXISTING BRICK PAVERS TO REMAIN / BE RESET
- SODDED LAWN WITH IRRIGATION

TRAFFIC SIGNAGE LEGEND

KEY	NAME	IMAGE	SIZE
A	STOP	STOP	18" X 18"
B	HC PARKING	VAN ACCESSIBLE PARKING FINE $500.00	12" X 18"
C	HC VAN PARKING	VAN ACCESSIBLE PARKING FINE $500.00 / VAN ACCESSIBLE	12" X 18" / 12" X 6"
D	NO PARKING: LOADING	NO PARKING: LOADING ZONE	12" X 18"

NOTES:

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ZONING TABLE

ZONE: TOWN CENTER ZONE (TC)		REQUIRED:	PROPOSED:
LOT AREA		40,000 S.F.	370,563 S.F.
	RETAIL	-	9,000 S.F.
	OFFICE	-	10,967 S.F.
	RESTAURANT	-	200 SEATS
LOT FRONTAGE		100 FT.	587 FT.
FRONT YARD SETBACK		20 FT.	20 FT.
SIDE YARD SETBACK		8 FT.	16.5 FT.
REAR YARD SETBACK		20 FT.	188 FT.
OPEN SPACE		15%	84%
MAXIMUM FAR		0.5	0.48
BUILDING HEIGHT		3 STORIES	3 STORIES
LOADING		2	2

SNOW STORAGE PLAN

SNOW STORAGE WILL BE PROVIDED FOR IN THE BIO-FILTRATION AREA AND THE LANDSCAPED AREA TO THE WEST OF THE PARKING LOT. IN THE EVENT OF MULTIPLE SNOW EVENTS WHERE NO ROOM IS LEFT FOR ADDITIONAL SNOW STORAGE, SNOW SHALL BE REMOVED FROM THE SITE.

PARKING DATA

PROPOSED PARKING: 266 SITE PARKING

ADDITIONAL/PUBLIC PARKING:

MAIN STREET PARKING	42 SPACES
RANKIN ROAD EXTENSION	+15 SPACES
	330 TOTAL

MINIMUM PARKING SPACE DIMENSIONS:

STANDARD SIZE:	9'X18'	306 STANDARD
COMPACT SIZE:	8'X16'	+ 24 COMPACT
		330 TOTAL

30 0 30 60

1" = 30'

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Prepared for:

HB NITKIN

HB Nitkin Group
230 Mason Street
Greenwich, Connecticut 06830
203-861-9000

MIXED USE DEVELOPMENT

2277-2389 MAIN STREET

GLASTONBURY, CT

DATE:	REVISION:

STATE OF CONNECTICUT · WILLIAM G. WALKER · LICENSED PROFESSIONAL ENGINEER

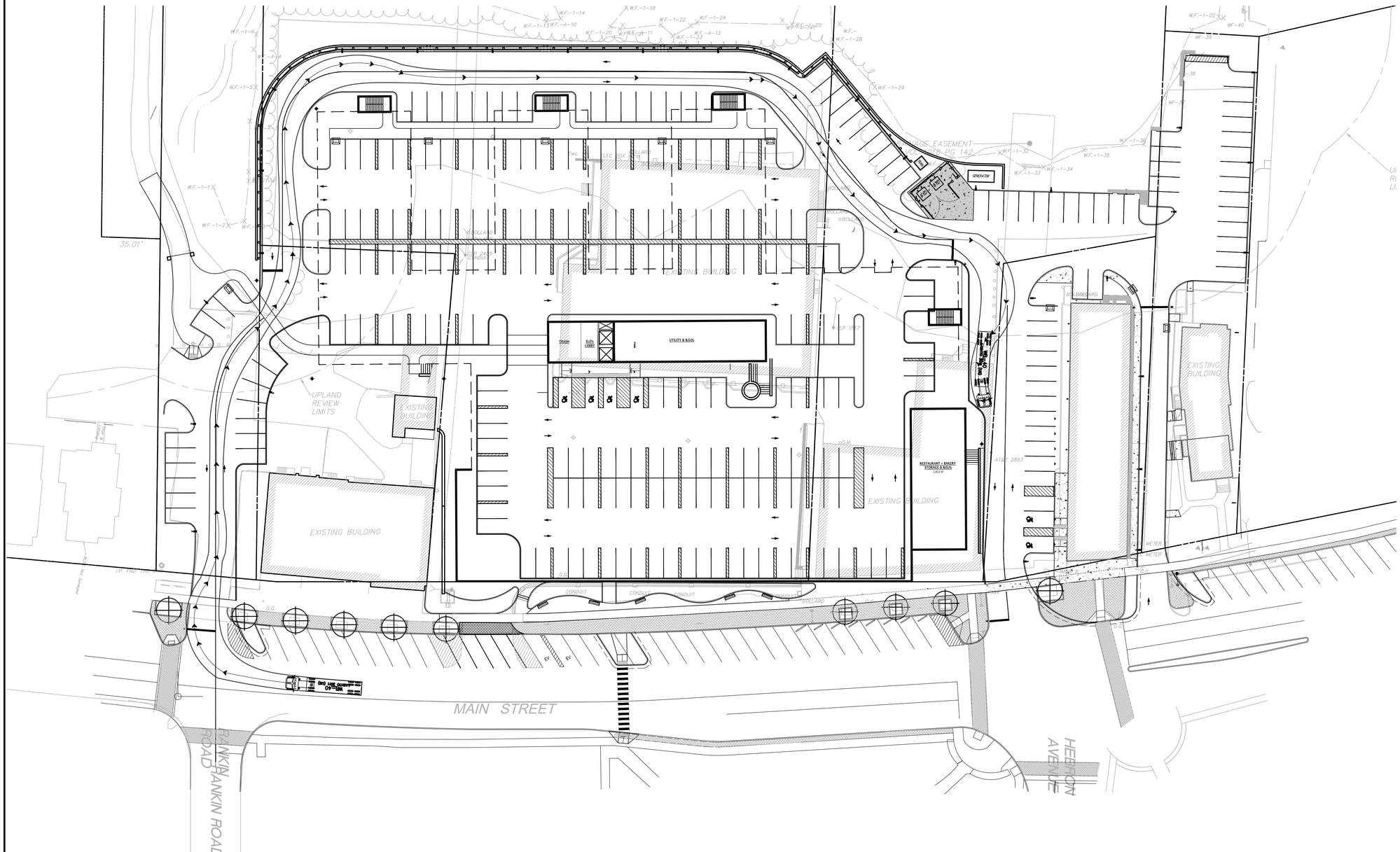
PROJECT NO.: 70607.00
SCALE: AS NOTED
DATE: 07/26/2024

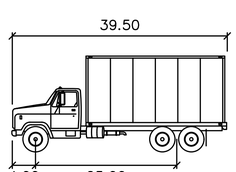
DRAWN BY: TRS, JHL
CHECKED BY: RCD

MATERIALS & LAYOUT (LOWER/GRADE LEVEL)

DRAWING NO.:

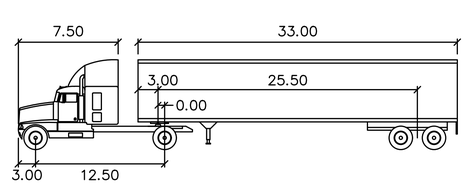
C2.1





SU–40

	feet
Width	: 8.00
Track	: 8.00
Lock to Lock Time	: 6.0
Steering Angle	: 31.8



WB–40

	feet		
Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.00	Steering Angle	: 20.3
Tractor Track	: 8.00	Articulating Angle	: 70.0
Trailer Track	: 8.00		

30 0 30 60
1" = 30'

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MIXED USE DEVELOPMENT

2277-2389 MAIN STREET

GLASTONBURY, CT

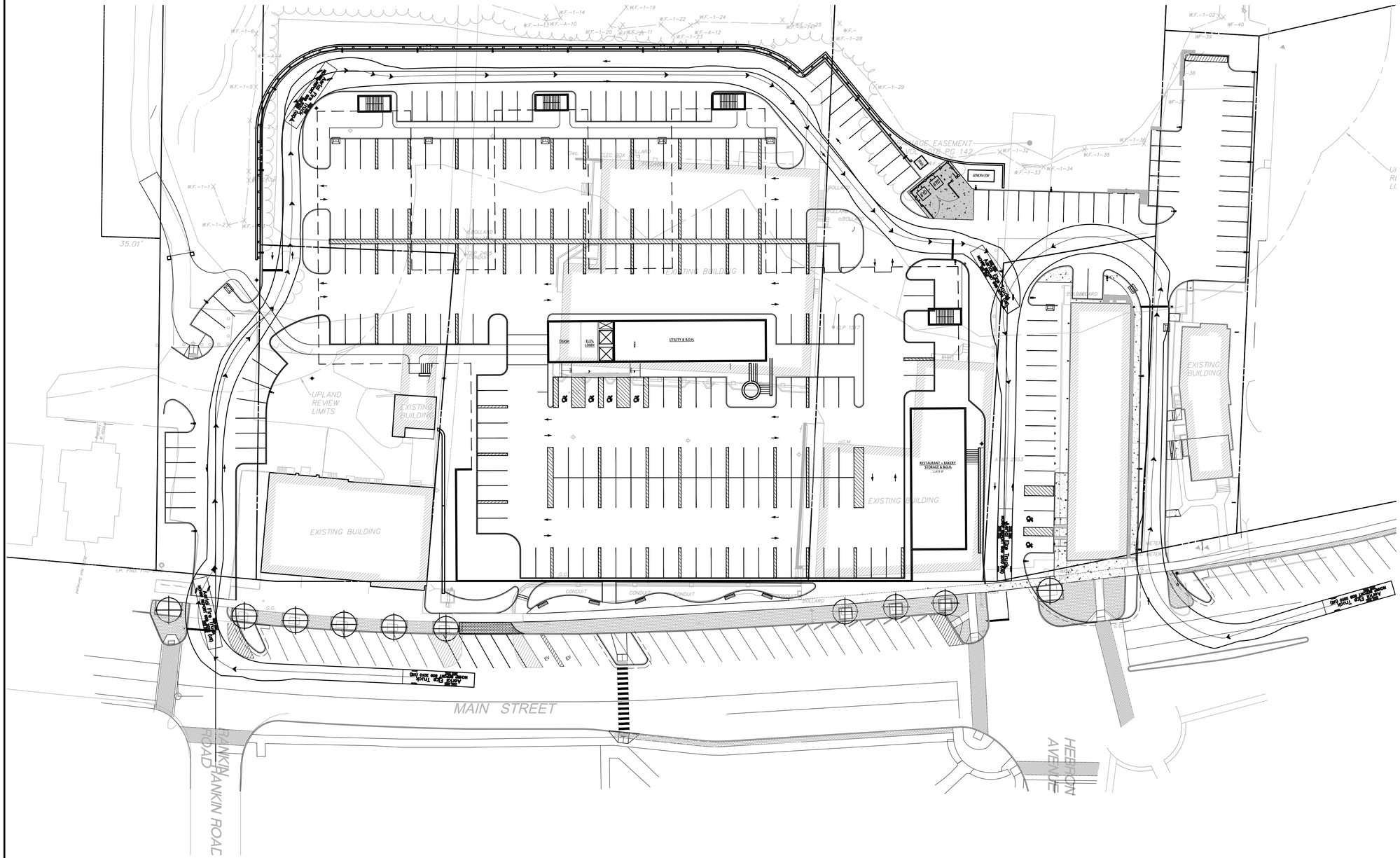
DATE:	REVISION:

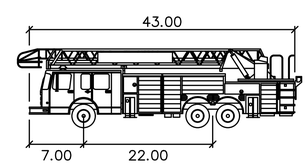
STATE OF CONNECTICUT
WILLIAM G. WALTER
LICENSED
PROFESSIONAL ENGINEER

PROJECT NO.: 70607.00
SCALE: AS NOTED
DATE: 07/26/2024
DRAWN BY: JHL
CHECKED BY: RCD

TURNING MOVEMENTS PLAN (DELIVERY TRUCK)

DRAWING NO.:
C2.2





Aerial Fire Truck

	feet
Width	: 8.50
Track	: 8.50
Lock to Lock Time	: 6.0
Steering Angle	: 33.3

30 0 30 60

1" = 30'

Prepared by:

benesch

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Glastonbury, Connecticut 06033
860-633-8341

Prepared for:

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MIXED USE DEVELOPMENT

2277-2389 MAIN STREET

GLASTONBURY, CT

DATE:	REVISION:

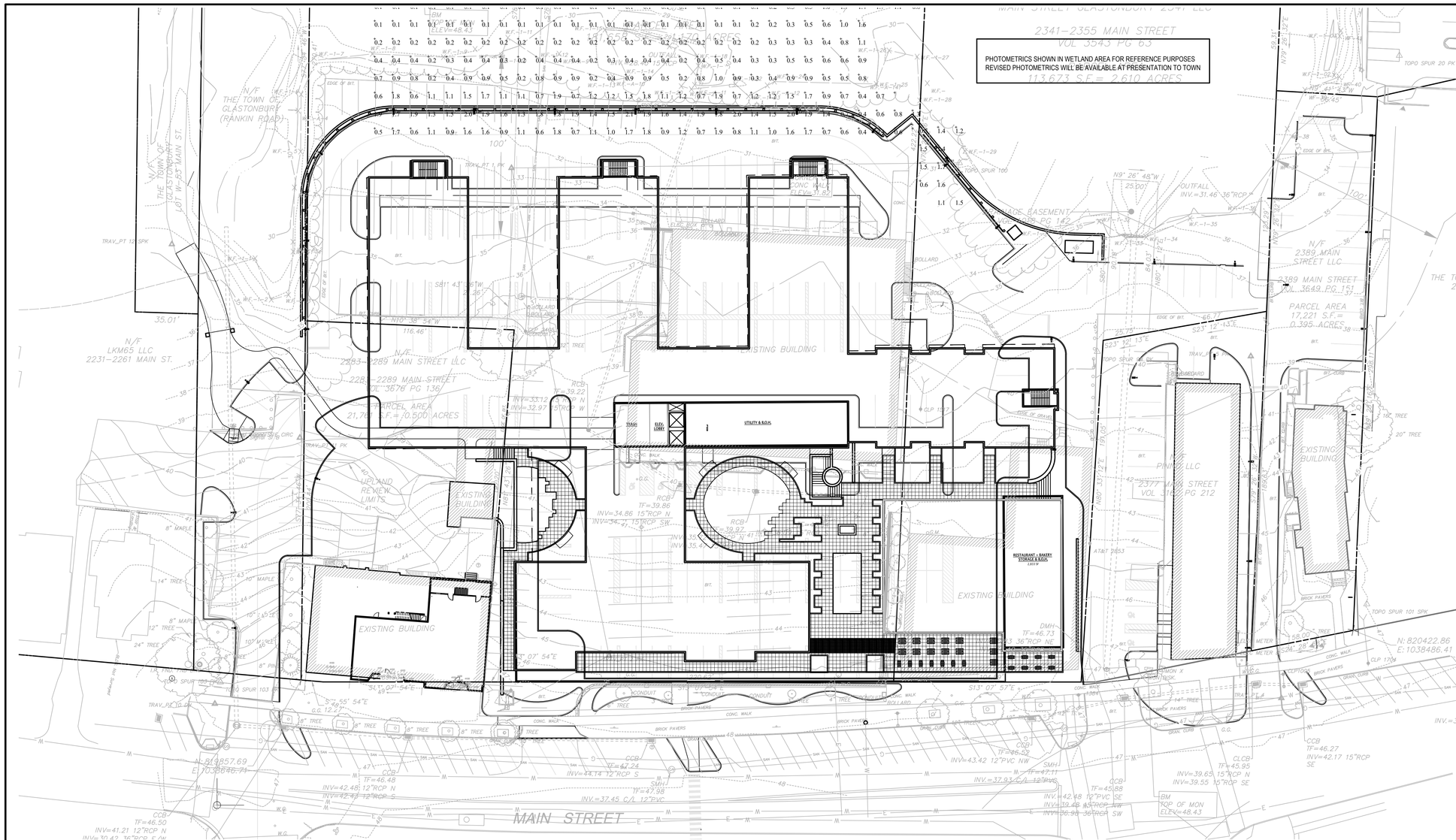
STATE OF CONNECTICUT · WILLIAM G. WALTER · LICENSED PROFESSIONAL ENGINEER

PROJECT NO.: 70607.00
SCALE: AS NOTED
DATE: 07/26/2024
DRAWN BY: JHL
CHECKED BY: RCD

TURNING MOVEMENTS PLAN (AERIAL FIRE TRUCK)

DRAWING NO.:

C2.3

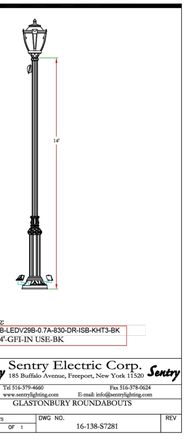


Project 21-72440 Residences at Hebron and Main / Glastonbury	Catalog Number: SSP-NB-MEL-EDV29-1-05A-830-DR-ISB-SPRS-BK / SAL-B-4B-14'-GFI-IN USE-BK	Type: SL
Submitted by: LIGHTING AFFILIATES LTD	Notes:	

Project 21-72440 Residences at Hebron and Main / Glastonbury	Catalog Number: SAB-2A V-30-ANG-12	Type: SL
Submitted by: LIGHTING AFFILIATES LTD	Notes:	

Project 21-72440 Residences at Hebron and Main / Glastonbury	Catalog Number: TWA-T3-16L-S3-30K-UNV-WM-F-FINISH	Type: SW
Submitted by: LIGHTING AFFILIATES LTD	Notes:	

Project 21-72440 Residences at Hebron and Main / Glastonbury	Catalog Number: EVO4 30/07 AR WD LD MVOLT GZ1	Type: SD
Submitted by: LIGHTING AFFILIATES LTD	Notes:	



Assembly Drawing:
Luminaire: SCP-NB-LEDV29B-0.7A-830-DR-ISB-KHT3-BK
Pole: SAL-B-4B-14'-GFI-IN USE-BK

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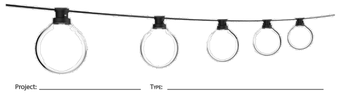
Tel 516-379-4660 Fax 516-378-0624
www.sentrylighting.com E-mail: info@sentrylighting.com

GLASTONBURY ROUNDABOUTS

DATE	04-29-2014			
DRAWN	M.S.	SCALE NTS	DWG NO.	REV
ENGINEER	S. KAY	SHEET 1 OF 1	16-138-S7281	

tivoli 12V | Litesphere™ ADAPT



Project: _____ Type: _____

Product Features

- 12V Low voltage system
- Socket and cord color available in black or white
- 5 standard spacing options and custom spacing available
- Proprietary Litesphere screw base adapter
- Silicone-coated helps with shatter resistant ADAPT glassware
- Built to withstand temperatures ranging from -40°C to 65 °C
- Fitted O-Ring
- IP65
- cULus listed
- 3 Year warranty

Dimensions

Tivoli, LLC reserves the right to modify this spec/fixture without prior notice.
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www.tivolilighting.com tel: 714-857-6101 fax: 714-437-2450

NLS LIGHTING — TRAC LINEAR ANGLED WALL MOUNT — TWA

LED WATTAGE CHART	
	3CL
175 milliamps	10w (750-850 Lumens)
350 milliamps	18w (1500-2670 Lumens)
500 milliamps	25w (2500-3500 Lumens)
750 milliamps	36w (3000-4400 Lumens)
1000 milliamps	50w (5000-6400 Lumens)

Form
- 2 Architectural Wall Sconces
- Elegant Rectilinear Extruded Aluminum Housing
- Corrosion Resistant Stainless Steel Fasteners Hardware
- Sleek, low profile housing
- Spec grade performance
- Engineered for optimum thermal management
- 8 Architectural finishes standard, RAL colors available

Function
- Micro Optics IES Distributions T2, T3, T4, T5
- Features Luxeon MX LEDs
- Features Advance 0-10V Dimming Drivers THD @ Max Load < 15% Power factor @ Max Load > 0.98
- 3000, 4000, or 5000 Kelvin
- 1G, 7G 64L LED Configuration
- 18-205 Watts (Single Head Wattage)
- cCRI 70
- Extruded Aluminum Heat Sink
- Driver Separate from Light Engine for Superior Thermal Management
- 5 mils Powder Coat

Reliability
- 30 Year Lighting Solution
- L70 450,000 Hours
- L90 160,000 Hours
- Silicone Micro Optics
- 5 Year Standard Warranty
- IP 65 Rated Fixture
- IP67 Optics
- UL Listed
- Reduces energy consumption and costs up to 65%

gotham® | E V O® — Multiple Layers of Light

Luminaire Type:
Catalog Number:

Buy American

General Illumination Round Downlight 4"

Feature Set
- Bounding Ray™ optical design
- Unitized optics mechanically attach the light source to the lower reflector for complete optical alignment
- 42° cutoff to source and source image
- Fully serviceable and upgradable lensed LED light engine
- 70% lumen maintenance at 60,000 hours
- 2.5 SDCM; 85 CRI typical, 90+ CRI optional
- Fixtures are wet location, covered ceiling
- Available with 10%, dimming, 1%, dimming, or dim to dark
- Even distribution with feathered edges provides seen illumination on horizontal and vertical surfaces
- ENERGY STAR® certified product

Distribution

Superior Performance

Nominal Watts	250	500	750	1000	1500	2000	2500	3000	3500
Delivered Lumens	375	575	808	1001	1537	1994	2500	2310	3022
Efficacy	3.1	7.2	7.9	8.8	11.7	19.5	25.7	31.7	38.4
Lumens per Watt	87.4	79.6	102.3	115.8	131.5	102.2	108.4	95.7	94.1

Coordinated Apertures | Multiple Layers of Light

General Illumination Layer | EVO High Center Beam Layer | Vectis EVO + Vectis — Multiple Layers of Light

Core	Downlight	Adjustable	Low Wattage	Medium Wattage	Cylinder	Pendant	Small	Hyperbolic
Healthcare	MRI	Surgical Suite	Patient Room					
Special Applications	Generic	Food Service	Commercial	Classic Room	Shower	Steam Room		

EVO4
page 1 of 8

GOTHAM ARCHITECTURAL DOWNLIGHTING | 2400 Lemon Road Conyers, GA 30012 | P 888-705-5599 (7239) | gothamlighting.com
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30 0 30 60
1" = 30'

Prepared by:
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Prepared for:
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HB Nitkin Group
230 Mason Street
Greenwich, Connecticut 06830
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MAIN STREET MIXED USED DEVELOPMENT

2277-2389 MAIN STREET
GLASTONBURY, CT

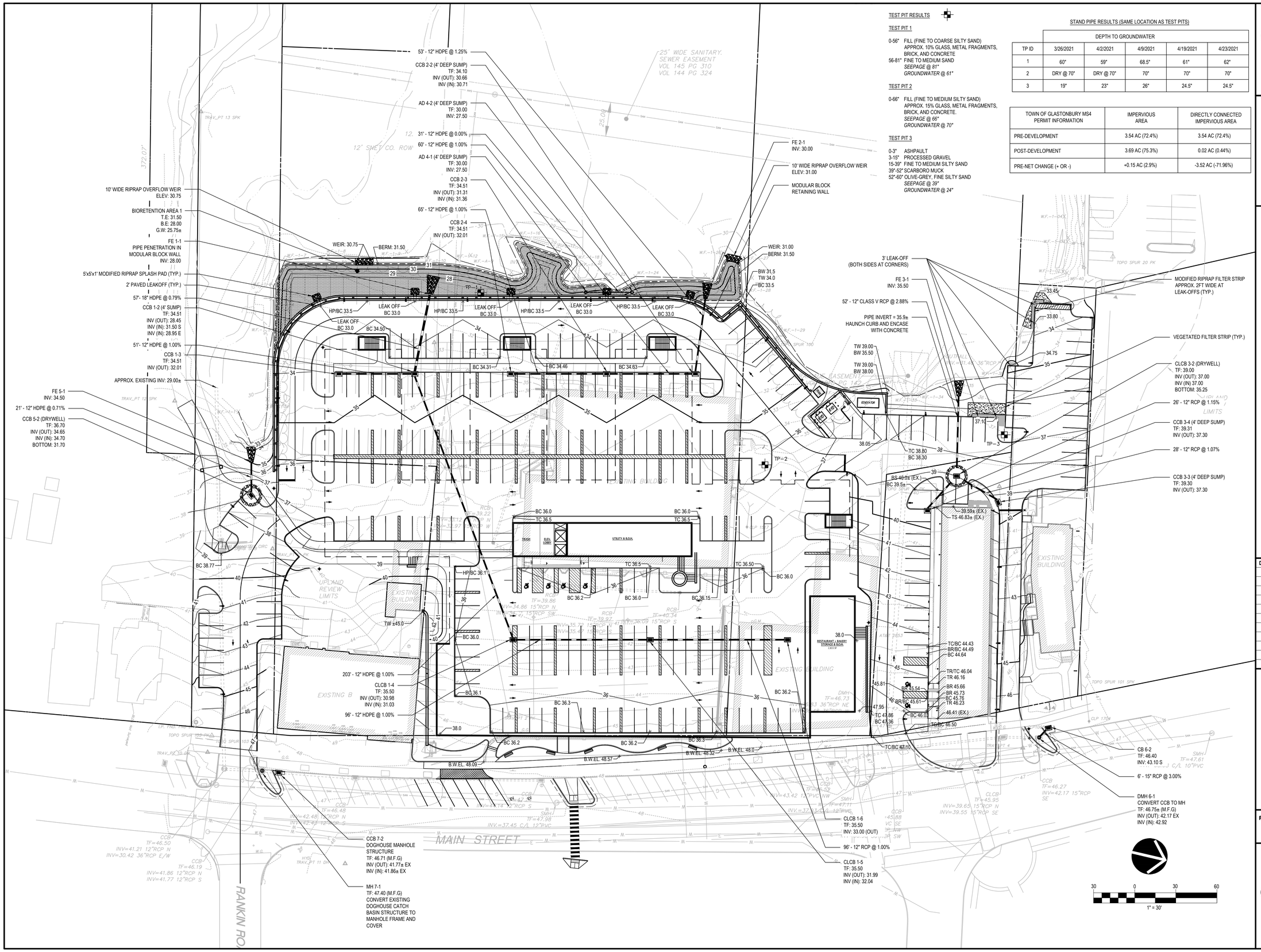
DATE:	REVISION:

STATE OF CONNECTICUT — WILLIAM G. WALKER — LICENSED PROFESSIONAL ENGINEER

PROJECT NO.: 70607.00
SCALE: AS NOTED
DATE: 07/26/2024
DRAWN BY: JHL
CHECKED BY: RCD

SITE LIGHTING AND PHOTOMETRICS PLAN

DRAWING NO.:
C-2.4



TEST PIT RESULTS

TEST PIT 1

0-56" FILL (FINE TO COARSE SILTY SAND)
APPROX. 10% GLASS, METAL FRAGMENTS, BRICK, AND CONCRETE
56-81" FINE TO MEDIUM SAND
SEEPAGE @ 81"
GROUNDWATER @ 61"

TEST PIT 2

0-66" FILL (FINE TO MEDIUM SILTY SAND)
APPROX. 15% GLASS, METAL FRAGMENTS, BRICK, AND CONCRETE.
SEEPAGE @ 66"
GROUNDWATER @ 70"

TEST PIT 3

0-3" ASHPAULT
3-15" PROCESSED GRAVEL
15-39" FINE TO MEDIUM SILTY SAND
39"-52" SCARBORO MUCK
52"-60" OLIVE-GREY, FINE SILTY SAND
SEEPAGE @ 39"
GROUNDWATER @ 24"

STAND PIPE RESULTS (SAME LOCATION AS TEST PITS)

	DEPTH TO GROUNDWATER				
TP ID	3/26/2021	4/2/2021	4/9/2021	4/19/2021	4/23/2021
1	60"	59"	68.5"	61"	62"
2	DRY @ 70"	DRY @ 70"	70"	70"	70"
3	19"	23"	26"	24.5"	24.5"

TOWN OF GLASTONBURY MS4 PERMIT INFORMATION	IMPERVIOUS AREA	DIRECTLY CONNECTED IMPERVIOUS AREA
PRE-DEVELOPMENT	3.54 AC (72.4%)	3.54 AC (72.4%)
POST-DEVELOPMENT	3.69 AC (75.3%)	0.02 AC (0.44%)
PRE-NET CHANGE (+ OR -)	+0.15 AC (2.9%)	-3.52 AC (-71.96%)

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MIXED USE DEVELOPMENT

2277-2389 MAIN STREET

GLASTONBURY, CT

DATE:	REVISION:

STATE OF CONNECTICUT
WILLIAM G. WALTER
LICENSED
PROFESSIONAL ENGINEER

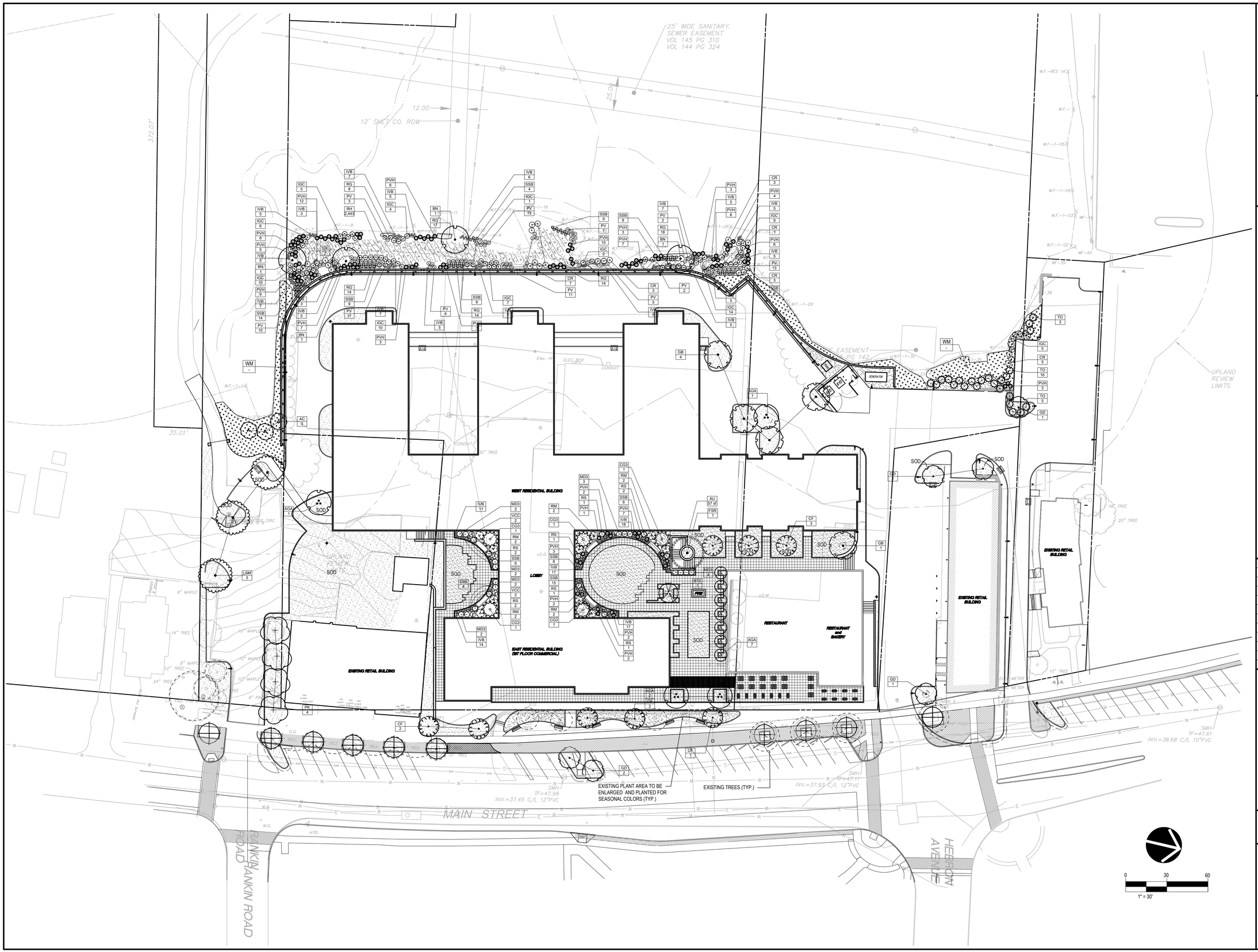
PROJECT NO.: 70607.00
SCALE: AS NOTED
DATE: 07/26/2024

DRAWN BY: GSL
CHECKED BY: WGW

GRADING & DRAINAGE PLAN (LOWER/GRADE LEVEL)

DRAWING NO.:

C3.0



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MAIN STREET MIXED USE DEVELOPMENT

2277-2389 MAIN STREET

GLASTONBURY, CT

DATE:	REVISION:

STATE OF CONNECTICUT
WILLIAM G. WALTER
LICENSED
PROFESSIONAL ENGINEER

PROJECT NO.: 70607.00
SCALE: AS NOTED
DATE: 07/28/2024

DRAWN BY: DEP
CHECKED BY: RCD

PLANTING PLAN

DRAWING NO.:

C4.0

1. THE LANDSCAPE PLAN AND DETAIL SHEET ARE FOR LANDSCAPING INFORMATION ONLY. REFER TO OTHER PLANS AND DETAILS FOR ALL OTHER INFORMATION. THE TERM "OWNER" SHALL REFER TO ANY INDIVIDUAL DULY AUTHORIZED TO ACT ON THE OWNER'S BEHALF.

2. EXERCISE CARE WHEN DIGGING IN AREAS OF POTENTIAL CONFLICT WITH UNDERGROUND OR OVERHEAD UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DUE TO CONTRACTOR'S NEGLIGENCE AND SHALL REPLACE OR REPAIR ANY DAMAGE AT CONTRACTOR'S EXPENSE. PRIOR TO DIGGING AND INSTALLATION OF PLANT MATERIAL, THE CONTRACTOR SHALL CONTACT "DIG SAFE" 72 HOURS BEFORE COMMENCEMENT OF WORK AT "811" AND VERIFY ALL UTILITY SYSTEM LOCATIONS.

3. THE LOCATIONS FOR PLANT MATERIAL ARE APPROXIMATE AND ARE SUBJECT TO FIELD ADJUSTMENT DUE TO UTILITY LOCATIONS AND SITE CONDITIONS. THE CONTRACTOR SHALL ACCURATELY STAKE OUT THE LOCATIONS FOR ALL PLANTS FOR THE REVIEW, ADJUSTMENT, AND APPROVAL BY OWNER OR LANDSCAPE ARCHITECT PRIOR TO PLANTING.

4. THE CONTRACTOR SHALL GUARANTEE THAT ALL PLANTS SHALL BE HEALTHY AND FREE OF DISEASE FOR A PERIOD OF ONE YEAR OR JUNE 1ST OF THE YEAR FOLLOWING INSTALLATION, WHICHEVER IS LONGER, AFTER SUBSTANTIAL COMPLETION AND ACCEPTANCE BY OWNER OR LANDSCAPE ARCHITECT. CONTRACTOR SHALL REPLACE ANY DEAD OR UNHEALTHY PLANTS AT CONTRACTOR'S EXPENSE. PLANT MATERIAL REPLACEMENTS SHALL BE GUARANTEED FOR ONE FULL YEAR FROM DATE OF REPLACEMENT. REPLACEMENT PLANTS SHALL BE THE SAME AS SPECIFIED FOR THE ORIGINAL PLANTING. REPLACEMENTS SHALL BE MADE AS MANY TIMES AS NECESSARY TO ENSURE HEALTHY PLANTS. FINAL ACCEPTANCE SHALL BE MADE IF ALL PLANTS MEET THE GUARANTEE REQUIREMENTS INCLUDING MAINTENANCE. MAINTENANCE RESPONSIBILITIES INCLUDE CULTIVATING, SPRAYING, WEEDING, WATERING, TIGHTENING GUYS, PRUNING, FERTILIZING, MULCHING, AND ANY OTHER OPERATIONS NECESSARY TO MAINTAIN PLANT VIABILITY. MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER PLANTING AND CONTINUE UNTIL THE END OF THE GUARANTEE PERIOD.

5. NO PLANT SHALL BE PLACED IN THE GROUND BEFORE ROUGH GRADING HAS BEEN COMPLETED AND APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT. STAKING THE LOCATION OF ALL TREES AND SHRUBS SHALL BE COMPLETED PRIOR TO PLANTING FOR APPROVAL BY THE OWNER OR LANDSCAPE ARCHITECT.

6. FINAL GRADES SHALL BLEND SMOOTHLY WITH EXISTING GRADES, AND TOP AND BOTTOM OF SLOPES SHALL BE ROUNDED.

7. ALL TREE AND SHRUB MASSINGS SHALL BE MULCHED TO A DEPTH OF 3", MULCH SHALL BE UNCOLORED TRIPLE-SHREDDED HARDWOOD BARK MULCH, AGED AT LEAST 6 MONTHS.

8. IF TREE STAKING IS PROPOSED, TREE STAKING MUST BE COMPLETED THE SAME DAY AS THE TREE IS INSTALLED. ALL TREES SHALL BE STAKED OR GUYED PER DETAIL.

9. LANDSCAPE PLANTING AREAS MUST BE FREE DRAINING. PAVEMENT, COMPACTED SUBGRADE, DEAD OR DYING PLANT MATERIAL, BLASTED ROCK, STONES GREATER THAN 1" IN DIAMETER, AND ANY OTHER MATERIAL HARMFUL TO PLANT GROWTH AND DEVELOPMENT SHALL BE REMOVED FROM AREAS TO BE LANDSCAPED AS REQUIRED BY PLANTING DETAILS OR SPECIFICATIONS. PLANTING AREAS SHALL BE SCARIFIED TO A DEPTH OF 3" OR AS NOTED ON THE PLANTING DETAILS. SCARIFIED SOIL DEPTH SHALL NOT COUNT TOWARDS THE SOIL DEPTH MEASUREMENT.

10. PLANTING AMENDMENTS:
APPLY FERTILIZER AND OTHER AMENDMENTS AS RECOMMENDED FOR EACH PLANTING AREA BY SOIL ANALYSIS. APPLY AMENDMENTS IN A MANNER CONSISTENT WITH MANUFACTURER'S RECOMMENDATIONS.

11. PLANT REQUIREMENTS: ALL PLANTS SHALL CONFORM IN SIZE AND GRADE TO THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1 (LATEST EDITION). ALL PLANTS SHALL MEET THE ADDITIONAL REQUIREMENTS SET FORTH BELOW AND IN WRITTEN SPECIFICATIONS AS APPLICABLE. ALL TREES AND SHRUBS SHALL HAVE BEEN GROWN AT A COMMERCIAL NURSERY WITHIN 200 MILES OF THE PROJECT SITE UNLESS OTHERWISE APPROVED BY OWNER OR LANDSCAPE ARCHITECT. THEY SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY. THEY SHALL BE HEALTHY, SYMMETRICAL, EVENLY AND DENSELY BRANCHED, AND DENSELY FOLIATED WHEN IN LEAF. THEY SHALL BE FREE OF BARK INJURY, DISEASE, AND INSECT PESTS. ALL TREES SHALL HAVE A STRAIGHT TRUNK WITH A SINGLE MAIN LEADER UNLESS OTHERWISE CHARACTERISTIC OF THE SPECIES OR VARIETY. THE OWNER OR LANDSCAPE ARCHITECT WILL ALLOW SUBSTITUTIONS ONLY UPON WRITTEN APPROVAL. SIZES SHALL CONFORM TO THE MEASUREMENT SPECIFIED ON THE DRAWINGS. PLANTS LARGER THAN SPECIFIED MAY BE USED IF APPROVED, BUT THE USE OF SUCH PLANTS SHALL NOT INCREASE THE CONTRACT PRICE. ALL OVERSTORY TREES PLANTED ALONG PARKING AREAS, SIDEWALKS AND PEDESTRIAN ACCESSES SHALL NOT BRANCH BELOW 7' FEET IF THE TREE CALIPER IS 3" INCHES OR GREATER. CERTIFICATES OF COMPLIANCE WITH SPECIFICATIONS ARE REQUIRED FOR ALL PLANTS.

12. PLANTING SEASONS (UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT)

	SPRING
FALL	
EVERGREEN TREES AND SHRUBS SEPTEMBER 1 TO OCTOBER 15	APRIL 1 TO JUNE 15
DECIDUOUS TREES AND SHRUBS SEPTEMBER 15 TO NOVEMBER 15	APRIL 1 TO JUNE 15
GROUNDCOVERS SEPTEMBER 1 TO OCTOBER 15	APRIL 1 TO JUNE 15
PERENNIALS SEPTEMBER 1 TO OCTOBER 15	MAY 15 TO JUNE 15
BULBS SEPTEMBER 15 TO NOVEMBER 15	N/A
SEED MIXES	PER MANUFACTURERS RECOMMENDATIONS OR AS LISTED IN SEED MIX NOTES

13. SEEDING MIXTURES: REFER TO SEED MIX NOTES. SEEDED AREA SHALL BE ACCEPTED WHEN SEED AREA ACHIEVES 90% COVERAGE.

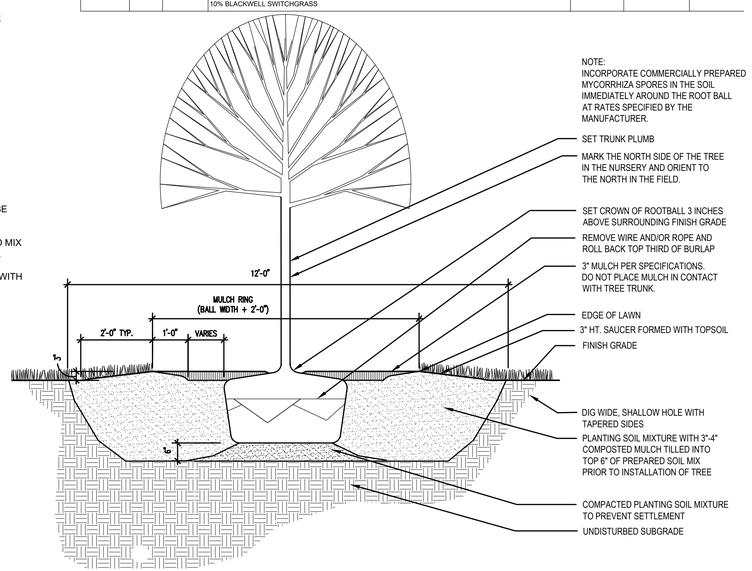
14. UNLESS OTHERWISE NOTED IN DRAWING SET, NEW TREELINES AND SEED MIX HATCHING SHALL EQUAL CLEARING AND GRUBBING LIMIT FOR CONSTRUCTION.

15. ALL DISTURBED AREAS NOT OTHERWISE DEVELOPED SHALL BE SEEDED WITH THE LAWN SEED MIX, OR MULCHED TO MATCH THE ADJACENT PLANT BEDS.

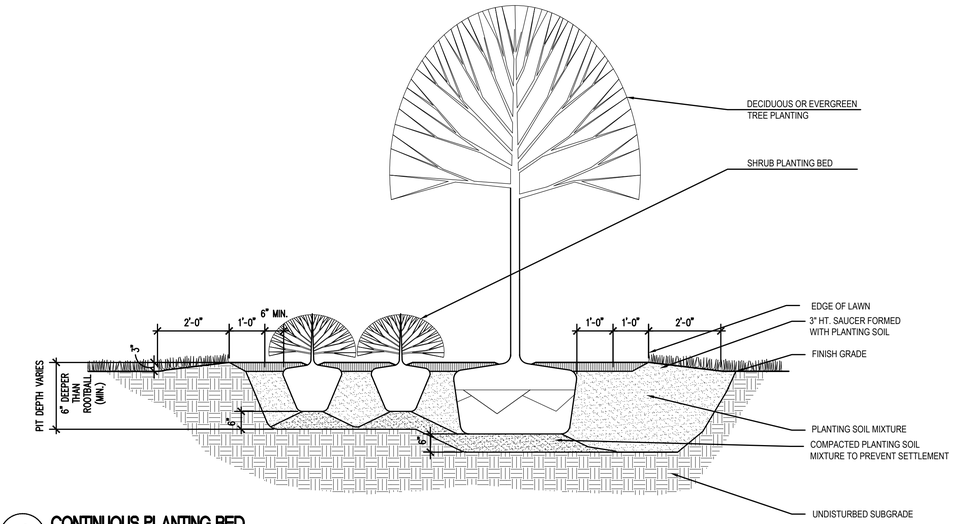
16. THE CONTRACTOR IS RESPONSIBLE FOR DESIGNING AND INSTALLING AN IRRIGATION SYSTEM THAT WILL SUPPORT ALL VEGETATION ON-SITE.

PLANT SCHEDULE

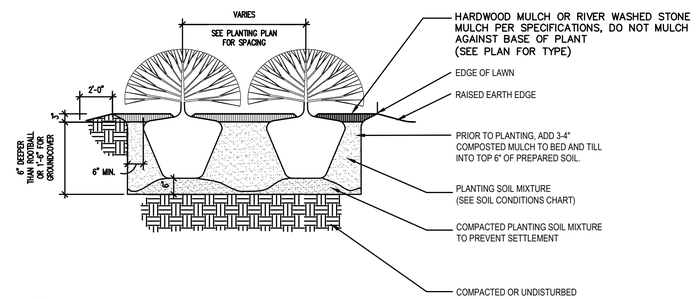
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
TREES						
	BN	4	BETULA NIGRA `HERITAGE` / RIVER BIRCH `HERITAGE`	B & B	MULTI-TRUNK	8-10` HT.
	CF	8	CORNUS FLORIDA / FLOWERING DOGWOOD	15 GAL		
	GB	5	GINKGO BILOBA / GINKGO	B & B	3-3.5" CAL.	
	TO	24	THUJA OCCIDENTALIS / AMERICAN ARBORVITAE	15 GAL		
DECIDUOUS TREES						
	BT2	1	BETULA PENDULA 'TROSTS DWARF' / TROST'S DWARF EUROPEAN WHITE BIRCH	B & B	2-2.5" CAL.	8-10` HT.
	FSR	1	FAGUS SYLVATICA `RIVERSII` / RIVERS PURPLE BEECH	B & B	4-4.5" CAL.	12-14` HT.
	GD	6	GLEDITSIA TRIACANTHOS `DRAVES` / HONEY LOCUST	B & B	2.5-3" CAL.	14-16` HT.
	LSM	3	LIQUIDAMBAR STYRACIFLUA `MORAINE` / MORAINE SWEET GUM	B & B	6-7" CAL.	12-14` HT.
EVERGREEN TREES						
	CG3	5	CHAMAECYPARIS NOOTKATENSIS 'GLAUCA PENDULA' / BLUE WEEPING NOOTKA CYPRESS	15 GAL	CONIFER	6 - 8` HT.
ORNAMENTAL TREES						
	AC	3	AMELANCHIER CANADENSIS / SHADBLOW SERVICEBERRY MULTITRUNK	B & B	MULTI-TRUNK	8-10` HT.
	AGA	11	AMELANCHIER X GRANDIFLORA `AUTUMN BRILLIANCE` / `AUTUMN BRILLIANCE` SERVICEBERRY	B & B	MULTI-TRUNK	12-14` HT.
	PK	4	PRUNUS SERRULATA `KWANZAN` / FLOWERING CHERRY	B & B	4-4.5" CAL.	12-14` HT.
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	HEIGHT	SPREAD
SHRUBS						
	CR	27	CORNUS SERICEA / RED TWIG DOGWOOD	5 GAL		
	PV	87	PANICUM VIRGATUM / SWITCH GRASS	5 GAL		
	RM	10	RHODODENDRON MAXIMUM / ROSEBAY RHODODENDRON	5 GAL		
ANNUALS/PERENNIALS						
	IVB	176	IRIS VERSICOLOR / BLUE FLAG	#1 CONT.	12-15" HT.	12-15" SPR.
GRASSES						
	PVH	114	PANICUM VIRGATUM `HEAVY METAL` / BLUE SWITCH GRASS	#3 CONT.	2-3` HT.	15-18" SPR.
	SSB	101	SCHIZACHYRIUM SCOPARIUM `THE BLUES` / THE BLUES LITTLE BLUESTEM	#1 CONT.	18-24" HT.	12-15" SPR.
DECIDUOUS SHRUBS						
	RS	10	RHODODENDRON SCHLIPPENBACHII / ROYAL AZALEA	#5 CONT.	30-36" HT.	24-30" SPR.
	VCC	4	VIBURNUM CARLESII `COMPACTUM` / KOREAN SPICE VIBURNUM	#5 CONT.	24-30" HT.	24-30" SPR.
EVERGREEN SHRUBS						
	IGC	73	ILEX GLABRA `COMPACTA` / COMPACT INKBERRY	#5 CONT.	30-36" HT.	30-36" SPR.
	MD3	15	MICROBIOTA DECUSSATA / SIBERIAN CARPET CYPRESS	#3 CONT.	12-15" HT.	24-30" SPR.
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT	HEIGHT	SPREAD
GROUND COVERS						
	AU	57 SF	ARCTOSTAPHYLOS UVA-URSI / KINNIKINNICK	#1 CONT.	6-8" HT.	9-12" SPR.
	RG	85	RUDBECKIA FULGIDA `GOLDSTRUM` / CONEFLOWER	#1 CONT.	12-24" HT.	9-12" SPR.
	RH	2,645 SF	RUDBECKIA HIRTA / BLACK-EYED SUSAN	3 LB/ACRE		
	WM	TBD	HART'S COMMON WETLAND MIXTURE 25% KENTUCKY 31 TALL FESCUE 20% PERENNIAL RYEGRASS VNS 15% VIRGINIA WILD RYE 15% SMOOTH BROMEGRASS 15% RED TOP 10% BLACKWELL SWITCHGRASS			



1 DECIDUOUS TREE PLANTING
1/2" = 1'-0"



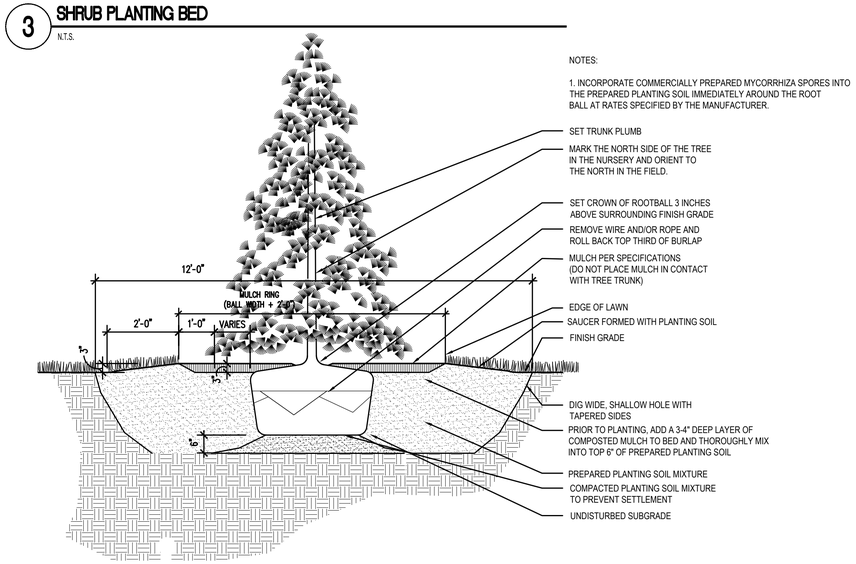
4 CONTINUOUS PLANTING BED
NOT TO SCALE



NOTES:

1. FOR CONTAINER GROWN SHRUBS, GENTLY PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL; THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF CONTAINER.
2. FOR B&B SHRUBS, FOLD BURLAP FROM TOP OF ROOT BALL DOWN TO GROUND.
3. INCORPORATE COMMERCIALLY PREPARED MYCORRHIZA SPORES IN THE SOIL IMMEDIATELY AROUND THE ROOT BALL AT RATES SPECIFIED BY THE MANUFACTURER.
4. CONFIRM THAT WATER DRAINS OUT OF THE SOIL DURING THE DESIGN PHASE, DESIGN ALTERNATIVE DRAINAGE SYSTEMS, AS REQUIRED.

3 SHRUB PLANTING BED
N.T.S.



2 EVERGREEN TREE PLANTING
NOT TO SCALE

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MAIN STREET MIXED USE DEVELOPMENT

2277-2389 MAIN STREET

GLASTONBURY, CT

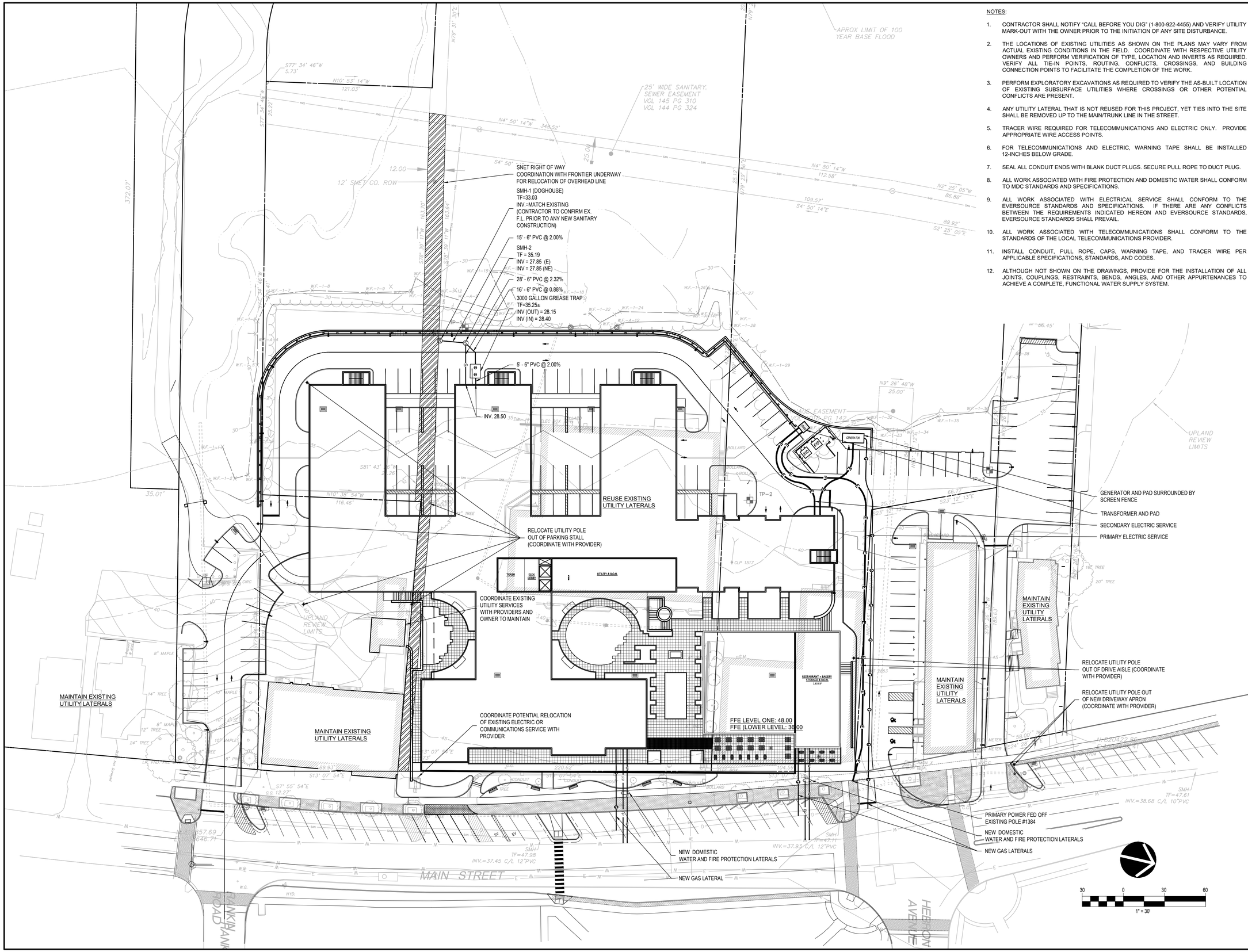
DATE:	REVISION:

STATE OF CONNECTICUT
WILLIAM G. WALTER
LICENSED
PROFESSIONAL ENGINEER

PROJECT NO.: 70607.00
SCALE: AS NOTED
DATE: 07/26/2024
DRAWN BY: DEP
CHECKED BY: RCD

PLANTING DETAILS

DRAWING NO.:
C4.1



NOTES:

1. CONTRACTOR SHALL NOTIFY "CALL BEFORE YOU DIG" (1-800-922-4455) AND VERIFY UTILITY MARK-OUT WITH THE OWNER PRIOR TO THE INITIATION OF ANY SITE DISTURBANCE.
2. THE LOCATIONS OF EXISTING UTILITIES AS SHOWN ON THE PLANS MAY VARY FROM ACTUAL EXISTING CONDITIONS IN THE FIELD. COORDINATE WITH RESPECTIVE UTILITY OWNERS AND PERFORM VERIFICATION OF TYPE, LOCATION AND INVERTS AS REQUIRED. VERIFY ALL TIE-IN POINTS, ROUTING, CONFLICTS, CROSSINGS, AND BUILDING CONNECTION POINTS TO FACILITATE THE COMPLETION OF THE WORK.
3. PERFORM EXPLORATORY EXCAVATIONS AS REQUIRED TO VERIFY THE AS-BUILT LOCATION OF EXISTING SUBSURFACE UTILITIES WHERE CROSSINGS OR OTHER POTENTIAL CONFLICTS ARE PRESENT.
4. ANY UTILITY LATERAL THAT IS NOT REUSED FOR THIS PROJECT, YET TIES INTO THE SITE SHALL BE REMOVED UP TO THE MAIN/TRUNK LINE IN THE STREET.
5. TRACER WIRE REQUIRED FOR TELECOMMUNICATIONS AND ELECTRIC ONLY. PROVIDE APPROPRIATE WIRE ACCESS POINTS.
6. FOR TELECOMMUNICATIONS AND ELECTRIC, WARNING TAPE SHALL BE INSTALLED 12-INCHES BELOW GRADE.
7. SEAL ALL CONDUIT ENDS WITH BLANK DUCT PLUGS. SECURE PULL ROPE TO DUCT PLUG.
8. ALL WORK ASSOCIATED WITH FIRE PROTECTION AND DOMESTIC WATER SHALL CONFORM TO MDC STANDARDS AND SPECIFICATIONS.
9. ALL WORK ASSOCIATED WITH ELECTRICAL SERVICE SHALL CONFORM TO THE EVERSOURCE STANDARDS AND SPECIFICATIONS. IF THERE ARE ANY CONFLICTS BETWEEN THE REQUIREMENTS INDICATED HEREON AND EVERSOURCE STANDARDS, EVERSOURCE STANDARDS SHALL PREVAIL.
10. ALL WORK ASSOCIATED WITH TELECOMMUNICATIONS SHALL CONFORM TO THE STANDARDS OF THE LOCAL TELECOMMUNICATIONS PROVIDER.
11. INSTALL CONDUIT, PULL ROPE, CAPS, WARNING TAPE, AND TRACER WIRE PER APPLICABLE SPECIFICATIONS, STANDARDS, AND CODES.
12. ALTHOUGH NOT SHOWN ON THE DRAWINGS, PROVIDE FOR THE INSTALLATION OF ALL JOINTS, COUPLINGS, RESTRAINTS, BENDS, ANGLES, AND OTHER APPURTENANCES TO ACHIEVE A COMPLETE, FUNCTIONAL WATER SUPPLY SYSTEM.

Prepared by:

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Prepared for:

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MIXED USE DEVELOPMENT

2277-2389 MAIN STREET

GLASTONBURY, CT

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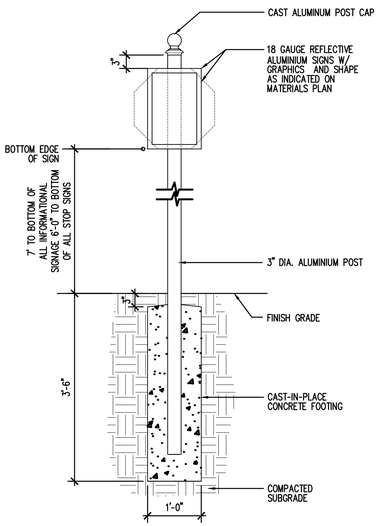
WILLIAM G. WALTER
LICENSED
PROFESSIONAL ENGINEER

PROJECT NO.: 70607.00
SCALE: 1" = 30'
DATE: 07/26/2024

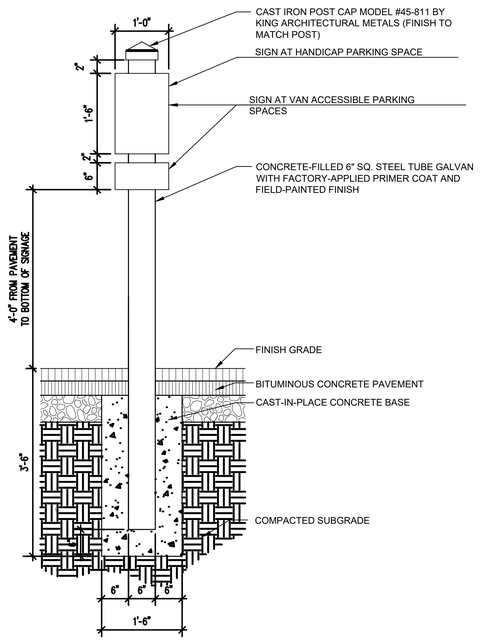
DRAWN BY: GSL
CHECKED BY: WGW

SITE UTILITIES PLAN

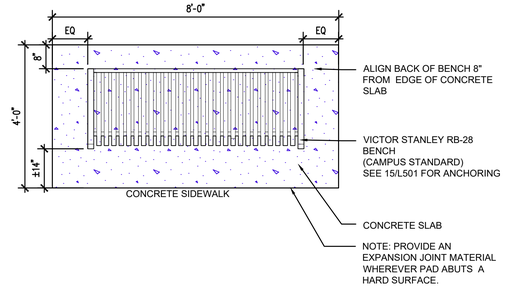
DRAWING NO.:
C-5.0



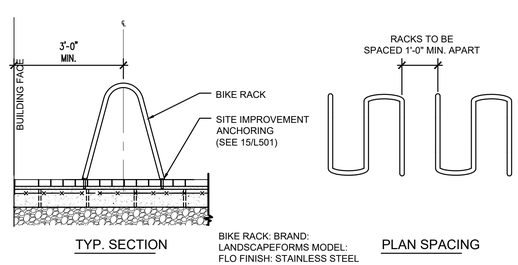
TRAFFIC CONTROL SIGN



HANDICAP SIGNAGE BOLLARD



BENCH ON CONCRETE

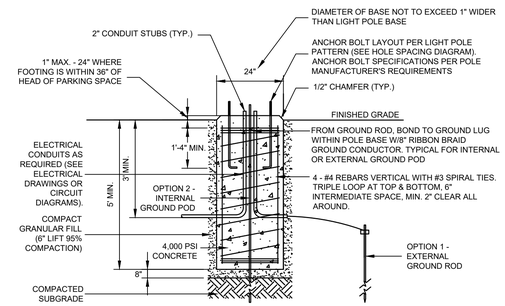


TYP. SECTION

BIKE RACK: BRAND: LANDSCAPEFORMS MODEL: FLO FINISH: STAINLESS STEEL

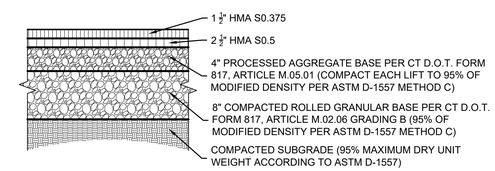
PLAN SPACING

BIKE RACKS



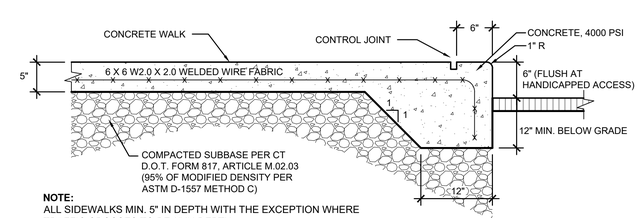
LIGHT POLE BASE

SCALE: NONE



BITUMINOUS CONCRETE PAVEMENT

SCALE: NONE



NOTE:
ALL SIDEWALKS MIN. 5" IN DEPTH WITH THE EXCEPTION WHERE TRAFFIC CROSSES TO BE 6" IN DEPTH.
CONTRACTOR TO COMPLY WITH ALL A.D.A.REQUIREMENTS

INTEGRAL CONCRETE CURB AND WALK

SCALE: NONE

Prepared by:

benesch

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860-633-8341

Prepared for:

HB NITKIN

HB Nitkin Group
230 Mason Street
Greenwich, Connecticut 06830
203-861-9000

MIXED USE DEVELOPMENT

2277-2389 MAIN STREET

GLASTONBURY, CT

DATE:	REVISION:

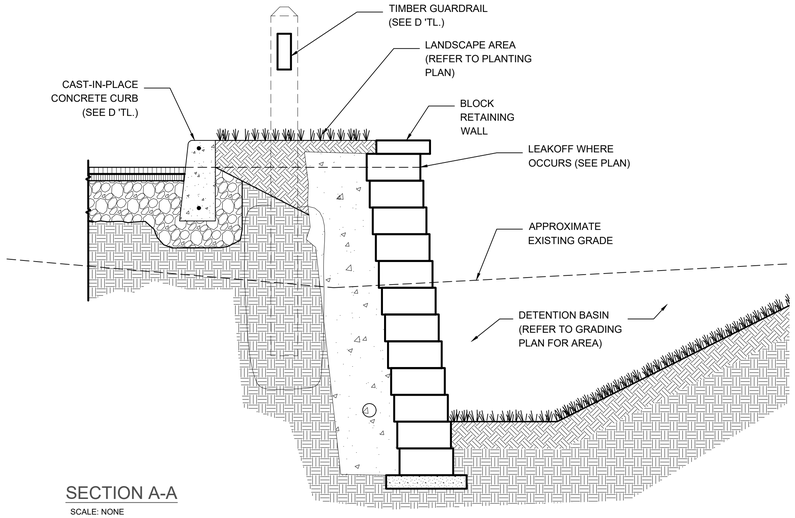
PROJECT NO.: 70607.00
SCALE: AS NOTED
DATE: 07/26/2024

DRAWN BY: CSL
CHECKED BY: WGW

SITE DETAILS

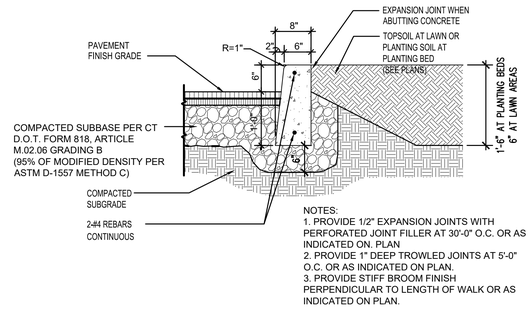
DRAWING NO.:

C6.0



SECTION A-A

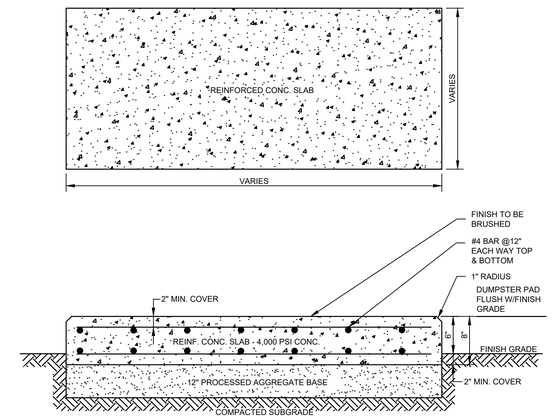
SCALE: NONE



NOTES:
1. PROVIDE 1/2" EXPANSION JOINTS WITH PERFORATED JOINT FILLER AT 30'-0" O.C. OR AS INDICATED ON. PLAN
2. PROVIDE 1" DEEP TROWLED JOINTS AT 5'-0" O.C. OR AS INDICATED ON PLAN.
3. PROVIDE STIFF BROOM FINISH PERPENDICULAR TO LENGTH OF WALK OR AS INDICATED ON PLAN.

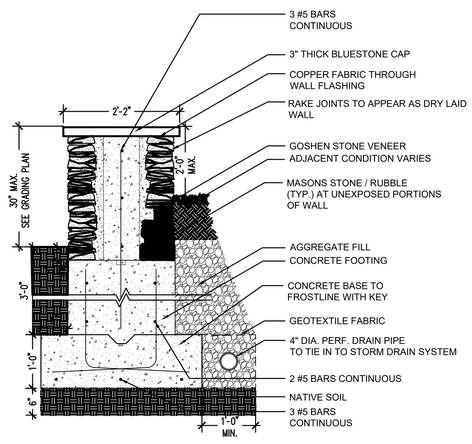
CAST-IN-PLACE CONCRETE CURB (CC)

SCALE: NONE



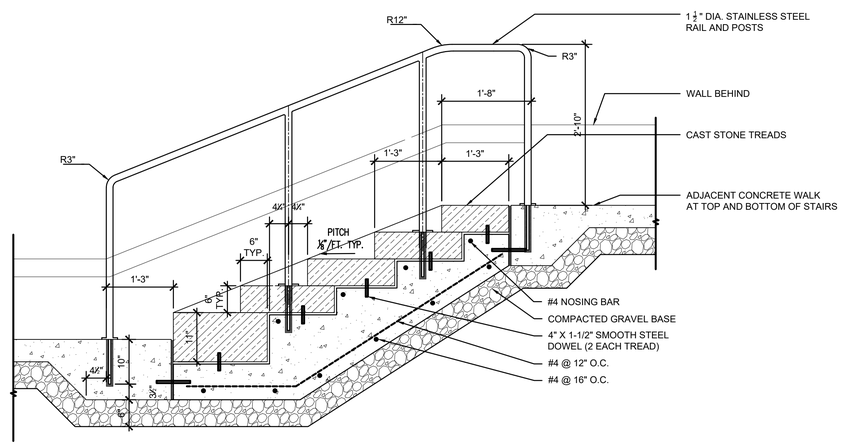
REINFORCED CONCRETE PAD

SCALE: NONE
PVT-107-CT



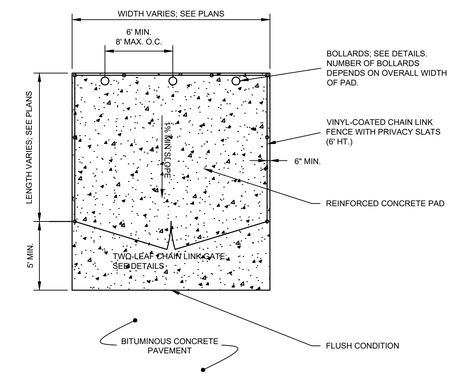
STONE VENEER SEAT WALL

SCALE: NONE



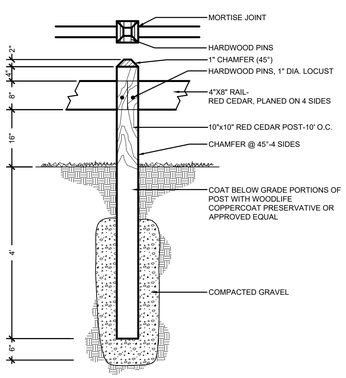
CAST STONE STAIR AND STAINLESS STEEL HANDRAIL

SCALE: NONE



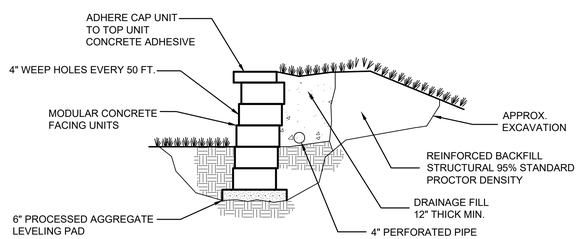
DUMPSTER PAD

SCALE: NONE
PVT-106-CT



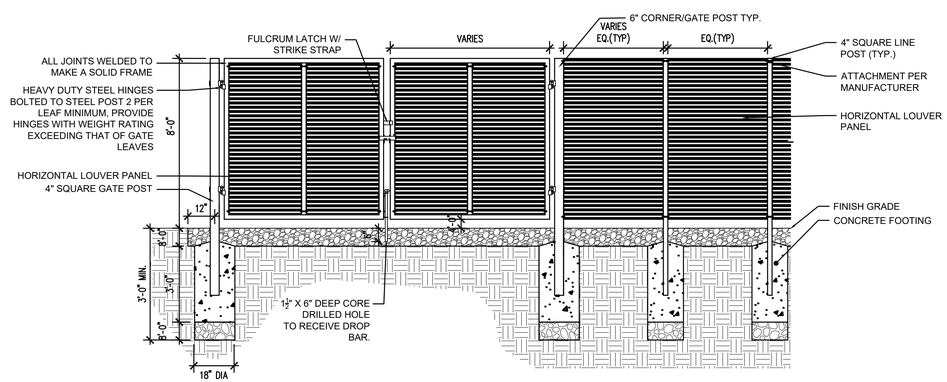
TIMBER GUARDRAIL

SCALE: NONE



MODULAR BLOCK RETAINING WALL

SCALE: NONE



LOUVERED SCREEN FENCE AND GATES

SCALE: NONE

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MAIN STREET MIXED USE DEVELOPMENT

2277-2389 MAIN STREET GLASTONBURY, CT

DATE:	REVISION:

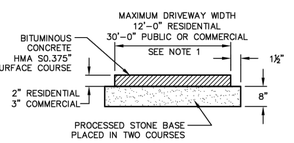
PROJECT NO.: 70607.00
SCALE: AS NOTED
DATE: 07/26/2024
DRAWN BY: GSL
CHECKED BY: WGW

SITE DETAILS

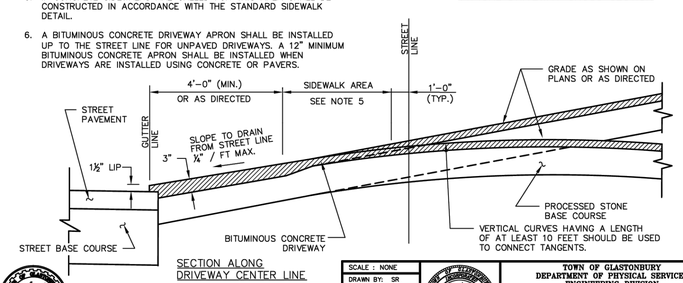
DRAWING NO.:
C6.1

NOTES:

1. PRIVATE RESIDENTIAL DRIVEWAYS SHALL NOT EXCEED 12 FEET IN WIDTH AND PUBLIC OR COMMERCIAL DRIVEWAYS SHALL NOT EXCEED 30 FEET IN WIDTH UNLESS PRIOR APPROVAL IS GIVEN BY THE TOWN MANAGER. MAXIMUM CURB CUT DIMENSION MAY EXCEED THIS BY UP TO 6 FEET TO ALLOW FOR A 3 FOOT RADIUS AT THE INTERSECTION WITH THE PUBLIC STREET.
2. DRIVEWAYS SHALL NOT BE CONSTRUCTED WITHIN 20 FEET OF AN INTERSECTION OR 4 FEET OF A CROSS WALK.
3. NO TWO DRIVEWAYS SHALL BE CONSTRUCTED CLOSER THAN 8 FEET APART WHEN MEASURED AT THE GUTTER LINE OF THE STREET.
4. WHERE DRIVEWAYS CROSS EXISTING ROADSIDE DITCHES OR WATERCOURSES, CULVERTS SHALL BE INSTALLED PER SECTION 17-159 OF THE TOWN ORDINANCE.
5. IF CONCRETE SIDEWALKS ARE CALLED FOR THIS AREA SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SIDEWALK DETAIL.
6. A BITUMINOUS CONCRETE DRIVEWAY APRON SHALL BE INSTALLED UP TO THE STREET LINE FOR UNPAVED DRIVEWAYS. A 12" MINIMUM BITUMINOUS CONCRETE APRON SHALL BE INSTALLED WHEN DRIVEWAYS ARE INSTALLED USING CONCRETE OR PAVERS.



TYPICAL DRIVEWAY CROSS SECTION

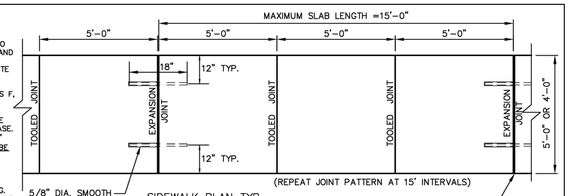


SECTION ALONG DRIVEWAY CENTER LINE

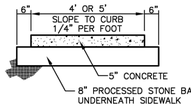
SCALE : NONE	TOWN OF GLASTONBURY DEPARTMENT OF PHYSICAL SERVICES ENGINEERING DIVISION
DRAWN BY: SR	BITUMINOUS CONCRETE DRIVEWAY
CHECKED BY: SMB	
APPROVED BY: DAP	
LAST REVISED: 3/28/2017	PLATE NO. 8

NOTES:

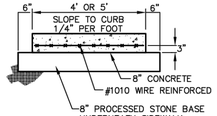
1. PROCESSED STONE BASE SHALL BE CRUSHED TRAP ROCK CONFORMING TO ARTICLE M.05.01 OF THE FORM 817 AND TOWN SPECIFICATIONS. GRAVEL OR RECLAIMED MISCELLANEOUS AGGREGATE SHALL NOT BE USED.
2. CONCRETE SHALL BE CONNDOT CLASS F, (4400 PSI, 28 DAY STRENGTH).
3. FORMS ARE TO BE SET TRUE TO LINE AND GRADE ON WELL COMPACTED BASE. FORMS SHALL BE 5" STEEL OR 2"X6" LUMBER. 2"X4" LUMBER SHALL NOT BE USED AND SHALL BE CAUSE FOR IMMEDIATE REJECTION OF SIDEWALK.
4. CONCRETE SHALL BE STRUCK OFF (SCREEDED) PRIOR TO BULL FLOATING. PROPER FINISHING PROCEDURES WILL BE FOLLOWED INCLUDING JOINTING, EDGING, AND BROOMING. A FINE BRISTLE BROOM SHOULD BE USED. ALL EDGING TOOL IMPRINTS SHOULD BE STEEL TROWELED PRIOR TO BROOMING.
5. "REPEL 100" CURING COMPOUND / SEALER SHALL BE APPLIED TO ALL CONCRETE SIDEWALK PER TOWN SPECIFICATIONS.
6. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT SURFACE FROM DAMAGE.
7. WALKS SHALL BE BACKFILLED AS SOON AS FORMS ARE REMOVED.
8. SIDEWALK SLABS SHOULD NOT EXCEED 5' IN WIDTH. IF SIDEWALK SLABS GREATER THAN 5' IN WIDTH ARE TO BE CONSTRUCTED, A LONGITUDINAL EXPANSION JOINT SHALL BE CONSTRUCTED TO FORM ACCEPTABLE SLABS.
9. INSERT 18" LONG SMOOTH METAL DOWELS AT ALL EXPANSION JOINTS, AT SIDEWALK RAMPS, AND AT THE LAST SLAB POURED AT THE END OF THE WORKING DAY. DOWELS SHALL ALSO BE INSTALLED BETWEEN NEW AND EXISTING CONCRETE SLABS.
10. EXPANSION JOINT SHALL BE 1/2" ASPHALT IMPREGNATED CELLULAR FIBER AND OF A DIMENSION EQUAL TO THE FULL SLAB DEPTH.



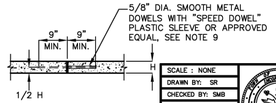
SIDEWALK PLAN TYP.



STANDARD SIDEWALK SECTION

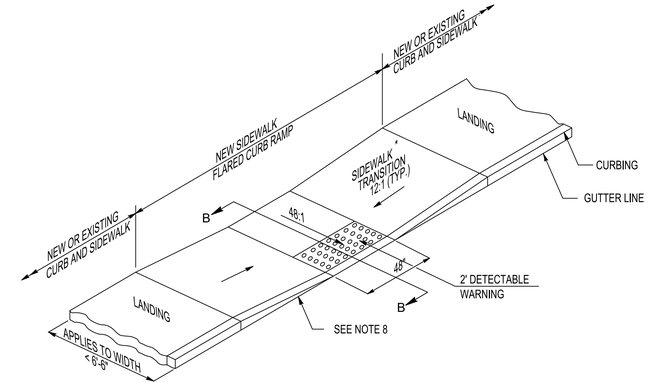


FOR INDUSTRIAL & COMMERCIAL AREAS ONLY DRIVEWAY SECTION



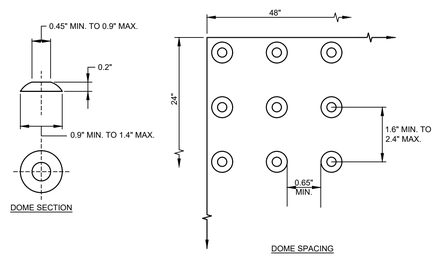
DOWEL DETAIL

SCALE : NONE	TOWN OF GLASTONBURY DEPARTMENT OF PHYSICAL SERVICES ENGINEERING DIVISION
DRAWN BY: SR	CONCRETE SIDEWALKS
CHECKED BY: SMB	
APPROVED BY: DAP	
LAST REVISED: 9/1/2016	PLATE NO. 6



PARALLEL SIDEWALK RAMP (CONNDOT TYPE 1)

SCALE: NONE



DETECTABLE WARNING

SCALE: NONE

HC-108-CT

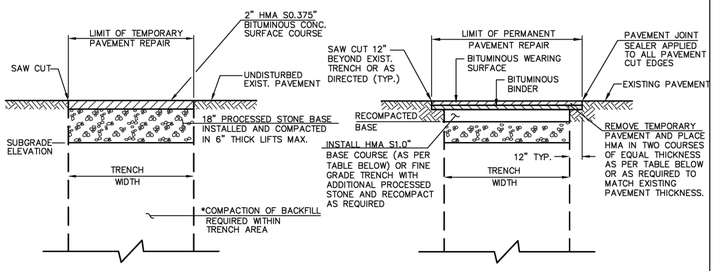
NOTES:

1. MAXIMUM SLOPES OF ADJOINING GUTTERS AND ROAD SURFACES IMMEDIATELY ADJACENT TO THE SIDEWALK RAMP OR ACCESSIBLE ROUTE SHOULD NOT EXCEED 20:1.
2. CARE SHALL BE TAKEN TO ASSURE UNIFORM GRADE ON THE RAMP, FREE OF SAGS AND ABRUPT GRADE CHANGES.
3. ALL RAMPS SHALL BE CONSTRUCTED OF CONCRETE.
4. SIDEWALK RAMPS SHALL HAVE A COARSE BROOM FINISH TRANSVERSE TO THE SLOPE OF THE RAMP. THE SURFACE ALONG ACCESSIBLE ROUTES SHALL BE STABLE, FIRM AND SLIP RESISTANT IN COMPLIANCE WITH ADA ACCESSIBILITY GUIDELINES SECTION 4.5.
5. EXPANSION JOINTS IN CONCRETE SHALL MATCH THOSE IN ADJACENT SIDEWALKS BUT IN NO CASE SHALL THE SPACING BETWEEN EXPANSION JOINTS EXCEED 12' UNLESS OTHERWISE NOTED.
6. CURBING WITHIN THE LIMITS OF THE NEW SIDEWALK RAMP SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE REQUIREMENTS OF CONNDOT SPECIFICATIONS FORM 818 SECTIONS 8.11 AND 8.13.
7. HANDICAP RAMPS CONFORMING WITH CONNECTICUT GENERAL STATUTES, SEC. 7-118a, SHALL BE INCORPORATED IN ALL PROPOSED SIDEWALKS AT ALL STREET INTERSECTIONS, AND AT ALL OTHER LOCATIONS WHERE THE GRADE OF A DRIVEWAY OR OTHER FACILITY TAKES PRECEDENCE OVER THE GRADE OF THE PROPOSED SIDEWALK.
8. TRANSITION TO FULL HEIGHT CURB. INSTALL STONE CURBING IF ADJACENT CURBING IS STONE. INSTALL CONCRETE CURBING IF ADJACENT CURBING IS CONCRETE OR BITUMINOUS.
9. INSTALL THE EDGE OF THE DETECTABLE WARNING STRIP 6 INCHES FROM THE EDGE OF ROAD.
10. TO PERMIT WHEELCHAIR WHEELS TO ROLL BETWEEN DOMES OF THE DETECTABLE WARNING STRIPS, ALIGN DOMES ON A SQUARE GRID. IN THE DIRECTION OF PEDESTRIAN TRAVEL.

SIDEWALK RAMP NOTES

SCALE: NONE

HC-109-CT



TEMPORARY PAVEMENT REPAIR DETAIL

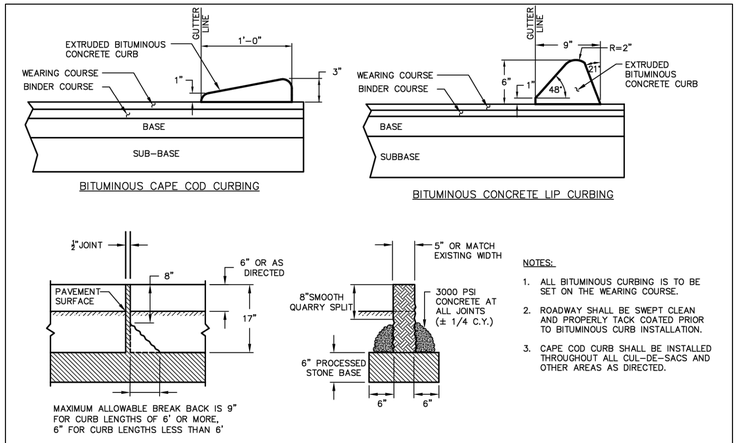
PERMANENT PAVEMENT REPAIR DETAIL

NOTES:

1. PROCESS STONE BASE SHALL BE CRUSHED TRAP ROCK CONFORMING TO ARTICLE M.05.01 OF THE FORM 817 AND TOWN SPECIFICATIONS. GRAVEL OR RECLAIMED MISCELLANEOUS AGGREGATE SHALL NOT BE USED.
2. PERMANENT TRENCH REPAIRS FOR STREETS WITH CONCRETE PAVEMENT OR CONCRETE BASE MAY CONSIST OF 2" HMA S0.5", 6" HMA S1.0", AND 10" GRAVEL SUBBASE AT THE DISCRETION OF THE TOWN ENGINEER.
3. AT THE REQUEST OF THE TOWN ENGINEER THE CONTRACTOR SHALL VERIFY AND SUBMIT PROPER TESTING RESULTS THAT COMPACTION MEETS WITH TOWN'S STANDARDS FOR A 95% COMPACTED DENSITY.

	LOCAL OR COLLECTOR	ARTERIAL (> 3000 ADT)
HMA S0.375"	1.5"	N/A
HMA S0.5"	2"	3" (IN TWO LIFTS)
HMA S1.0"	N/A	6" (IN TWO LIFTS)

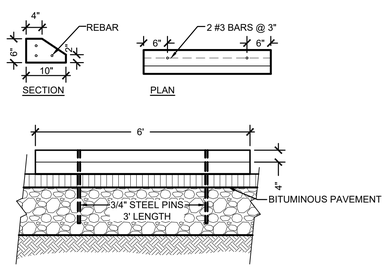
SCALE : NONE	TOWN OF GLASTONBURY DEPARTMENT OF PHYSICAL SERVICES ENGINEERING DIVISION
DRAWN BY: SR	TEMPORARY AND PERMANENT PAVEMENT REPAIRS
CHECKED BY: SMB	
APPROVED BY: DAP	
LAST REVISED: 3/28/2017	PLATE NO. 3



NOTES:

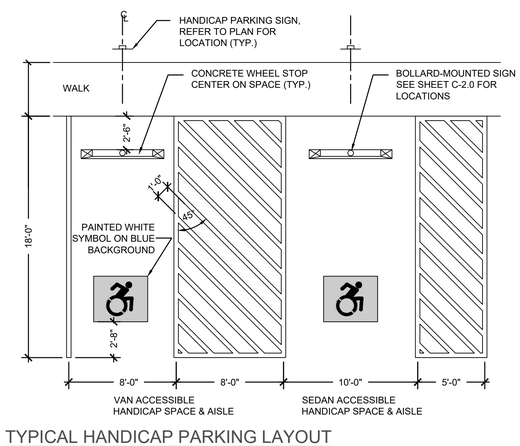
1. ALL BITUMINOUS CURBING IS TO BE SET ON THE WEARING COURSE.
2. ROADWAY SHALL BE SWEPT CLEAN AND PROPERLY TACK COATED PRIOR TO BITUMINOUS CURB INSTALLATION.
3. CAPE COD CURB SHALL BE INSTALLED THROUGHOUT ALL CUL-DE-SACS AND OTHER AREAS AS DIRECTED.

SCALE : NONE	TOWN OF GLASTONBURY DEPARTMENT OF PHYSICAL SERVICES ENGINEERING DIVISION
DRAWN BY: SR	TYPICAL CURBING DETAILS
CHECKED BY: SMB	
APPROVED BY: DAP	
LAST REVISED: 3/28/2017	PLATE NO. 5



WHEELSTOP

SCALE: NONE



TYPICAL HANDICAP PARKING LAYOUT

SCALE: NONE

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Prepared for:

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MAIN STREET MIXED USE DEVELOPMENT

GLASTONBURY, CT

2277-2389 MAIN STREET

DATE:	REVISION:

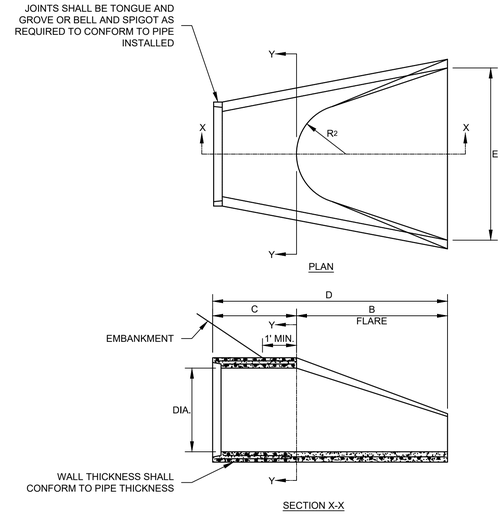
STATE OF CONNECTICUT · WILLIAM G. WALKER · LICENSED PROFESSIONAL ENGINEER

PROJECT NO.: 70607.00
SCALE: AS NOTED
DATE: 07/26/2024
DRAWN BY: GSL
CHECKED BY: WGW

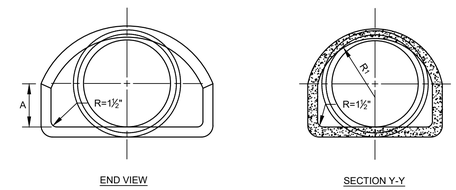
SITE DETAILS

DRAWING NO.:

C6.2

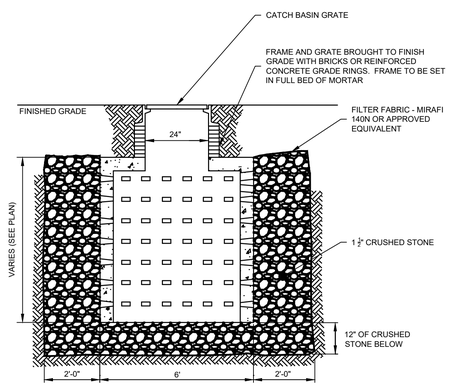


DIMENSIONS FOR REINFORCED CONCRETE CULVERT END									FLARE REINFORCEMENT ONE LAYER ONLY IN CENTER OF WALL	
DIA.	A	B	C	D	E	F	R_1	R_2	MIN. AREA OF LONG. STEEL SQ. IN. PER FT.	MIN. AREA OF TRANS. STEEL SQ. IN. PER FT.
12"	4"	2'-0"	4'-0⅜"	6'-0⅜"	2'-0"	1'-7 15/16"	10¼"	9"	0.048	0.048
15"	6"	2'-3"	3'-10"	6'-1"	2'-6"	2'-0 7/16"	1'-0½"	11"	0.054	0.054
18"	9"	2'-3"	3'-10"	6'-1"	3'-0"	2'-5"	1'-3½"	1'-0"	0.060	0.060
21"	9"	2'-11"	3'-2"	6'-1"	3'-6"	2'-7½"	1'-4"	1'-1"	0.066	0.066
24"	9½"	3'-7½"	2'-6"	6'-1½"	4'-0"	2'-9 3/16"	1'-4 13/16"	1'-2"	0.072	0.072
30"	1'-0"	4'-6"	1'-7¾"	6'-1¾"	5'-0"	3'-1"	1'-6½"	1'-3"	0.084	0.084
36"	1'-3"	5'-3"	2'-10¾"	8'-1¾"	6'-0"	3'-11 13/16"	2'-0 5/16"	1'-8"	0.096	0.096
42"	1'-9"	5'-3"	2'-11"	8'-2"	6'-6"	4'-5⅞"	2'-3½"	1'-10"	0.108	0.108
48"	2'-0"	6'-0"	2'-2"	8'-2"	7'-0"	4'-8½"	2'-4½"	1'-10"	0.120	0.120
54"	2'-3"	5'-5"	2'-11"	8'-4"	7'-6"	5'-5½"	2'-9⅞"	2'-0"	0.132	0.132
60"	2'-9"	5'-0"	3'-3"	8'-3"	8'-0"	6'-0½"	3'-0 1/16"	2'-0"	0.144	0.144



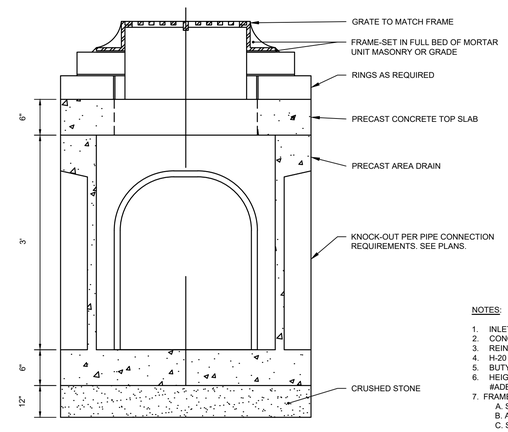
REINFORCED CONCRETE CULVERT END

SCALE: NONE



DRY WELL

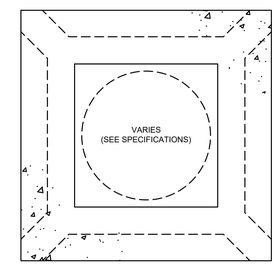
SCALE: NONE



ELEVATION

CONCRETE AREA DRAIN

SCALE: NONE

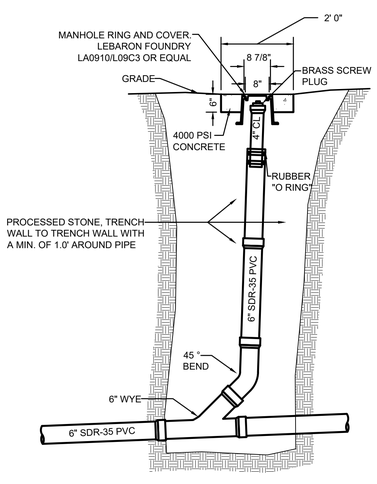


PLAN VIEW (TOP SLAB)

NOTES:

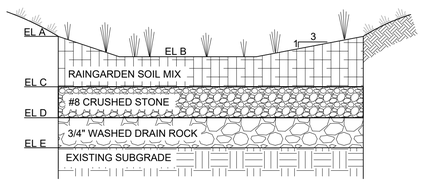
1. INLET SHALL BE 30"x30" CONCRETE AREA DRAIN, AS MANUFACTURED BY ARROW CONCRETE, OR ENGINEER APPROVED EQUAL.
2. CONCRETE STRENGTH SHALL BE 4,000 PSI AT 28 DAYS.
3. REINFORCING STEEL - ASTM 615 AND A82 OR A185 SPECIFICATIONS.
4. H-20 DESIGN LOADING PER AASHTO HS-20-44.
5. BUTYL RUBBER JOINT SEALANT - ASTM C990-91.
6. HEIGHT OF DRAIN BOX SHALL BE 3' (MODEL #ADBKO3) UNLESS DEPTH OF INVERT PIPE OUT REQUIRES THE USE OF 4' DRAIN BOX (MODEL #ADBKO4).
7. FRAME AND GRATE PAIR SHALL BE ONE OF THE FOLLOWING:
   A. STANDARD GRATE SHALL BE NEENAH INLET FRAME/GRATE R-2570 OR ENGINEER APPROVED EQUAL.
   B. ADA STANDARD GRATE SHALL BE NEENAH INLET FRAME/GRATE R-2569 OR ENGINEER APPROVED EQUAL.
   C. STANDARD BEEHIVE GRATE SHALL BE NEENAH INLET FRAME/BEEHIVE GRATE R-2564 OR ENGINEER APPROVED EQUAL.

- SEE DRAWINGS FOR SPECIFIC LOCATIONS OF TYPE SELECTED.



CLEANOUT TO GRADE

SCALE: NONE



DETENTION BASIN ID	EL A	EL B	EL C	EL D	EL E
1	31.5	28.0	27.5	27.0	26.5

NOTES

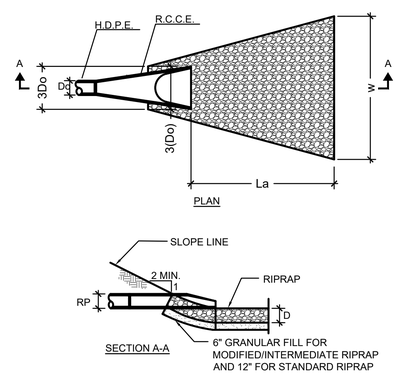
1. RAIN GARDEN SOIL MIX SHALL CONSIST OF 50% MASONRY SAND, 30% PLANTING SOIL, AND 20% COMPOST MATERIAL BY VOLUME. PLANTING SOIL SHALL BE AS SPECIFIED BY THE LANDSCAPE NOTES.
2. INSTALL SOIL IN A MANNER THAT ENSURES ADEQUATE INFILTRATION. PL ACE IN TWO EQUAL LIFTS.
3. LIFTS SHOULD NOT BE COMPACTED, BUT RATHER PLACED IN A MANNER TO REDUCE EXCESSIVE EROSION OR SETTLEMENT. LIFTS MAY BE LIGHTLY WATERED TO ENCOURAGE NATURAL COMPACTION OR, IF NECESSARY, ROLLED WITH WATER -FILLED LANDSCAPE ROLLER. SLIGHTLY OVERFILL THE FACILITY ABOVE PROPOSED FINISHED GRADE TO ACCOMMODATE NATURAL SETTLEMENT.
4. INSPECTION BY A LICENSED SOIL EVALUATOR OR PROFESSIONAL ENGINEER IS REQUIRED DURING GRADING AND CONSTRUCTION OF THE SYSTEM TO ENSURE SUITABLE SOILS CONSISTENT WITH THE DESIGN.

BIORETENTION AREA

SCALE: NONE

OUTLET	Do (ft)	La (ft)	W (ft)	D50 (in)
1	1.5	12	9.3	12
2	1	10	7	12
3	1	10	7	12
3	1	10	7	12

*D50 = MEDIAN STONE DIAMETER
12" = MODIFIED RIPRAP



DISCHARGE

(CFS)	12	15	18	24	30
0-5	10	10			
6	12	11			
7		13	12		
8		14	13	12	
9			14	13	
10			15	13	
11			16	14	
12				14	
14				16	14
16				17	15
18				18	16
20					17
22					18

SP = MAX. INSIDE PIPE SPAN (NON-CIRC. SECT.)
= INSIDE PIPE DIAMETER (CIRC. SECT.)

RP = MAX. INSIDE PIPE RISE (NON-CIRC. SECT.)
= INSIDE PIPE DIAMETER (CIRC. SECT.)

LA = LENGTH OF RIPRAP APRON MEASURED FROM THE END
= INSIDE PIPE DIAMETER (CIRC. SECT.)

D = 300 MM (12") MODIFIED RIPRAP
= 450 MM (18") INTERMEDIATE RIPRAP
= 900 MM (36") STANDARD RIPRAP

	X	W1	W2
TYPE A RIPRAP APRON	3	35P	35P+0.7LA
TYPE B RIPRAP APRON	5	35P	35P+0.4LA

RIP RAP OUTLET PROTECTION

SCALE: NONE

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HB Nitkin Group
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Greenwich, Connecticut 06830
203-861-9000

MAIN STREET MIXED USE DEVELOPMENT

GLASTONBURY, CT

2277-2389 MAIN STREET

DATE:	REVISION:

STATE OF CONNECTICUT
WILLIAM G. WALTER
LICENSED
PROFESSIONAL ENGINEER

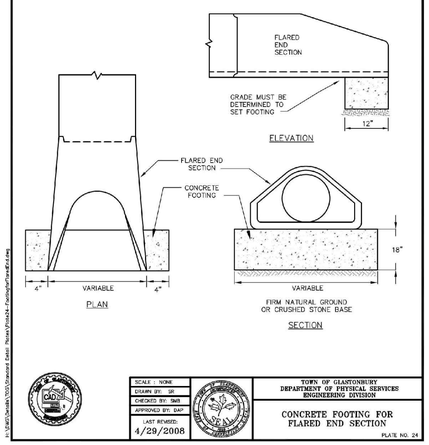
PROJECT NO.: 70607.00
SCALE: AS NOTED
DATE: 07/26/2024
DRAWN BY: GSL
CHECKED BY: WGW

SITE DETAILS

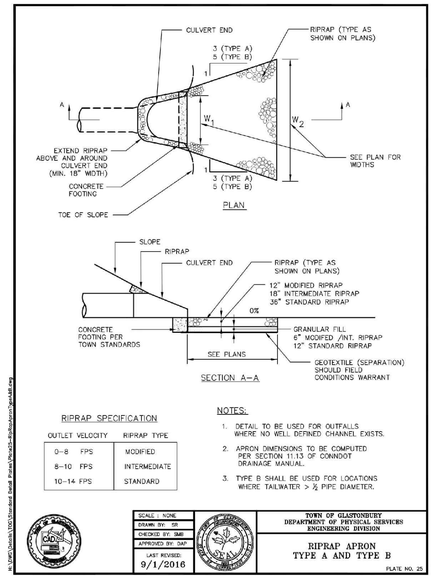
DRAWING NO.:
C6.3

NOTES:

1. FOOTING BASE MAY BE CONSTRUCTED OF POURED IN PLACE CONCRETE OR PRECAST C.B. BLOCKS SET LEVEL WITH FULL MORTARED JOINTS.
2. THE FOOTING SHALL BE USED ON BOTH INLET AND OUTLET SECTIONS, THE PRIME FUNCTION IS TO PREVENT EROSION AND SETTLEMENT.



SCALE : NONE	TOWN OF GLASTONBURY DEPARTMENT OF PHYSICAL SERVICES ENGINEERING DIVISION
DRAWN BY: SR	
CHECKED BY: SMB	CONCRETE FOOTING FOR FLARED END SECTION
APPROVED BY: DAP	
LAST REVISED: 4/29/2008	PLATE NO. 24



RIPRAP SPECIFICATION

OUTLET VELOCITY	RIPRAP TYPE
0–8 FPS	MODIFIED
8–10 FPS	INTERMEDIATE
10–14 FPS	STANDARD

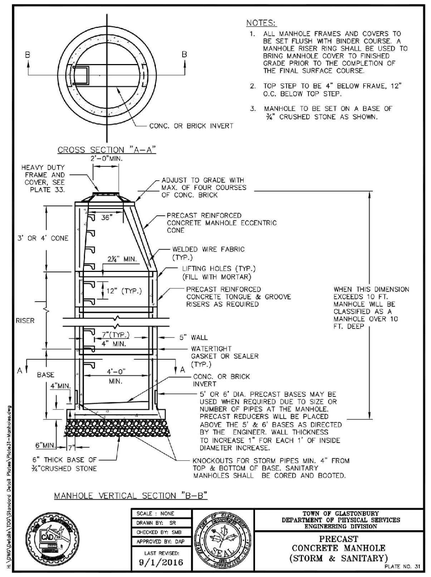
NOTES:

1. DETAIL TO BE USED FOR OUTFALLS WHERE NO WELL DEFINED CHANNEL EXISTS.
2. APRON DIMENSIONS TO BE COMPUTED PER SECTION 11.13 OF CONNDOT DRAINAGE MANUAL.
3. TYPE B SHALL BE USED FOR LOCATIONS WHERE TAILWATER > ½ PIPE DIAMETER.

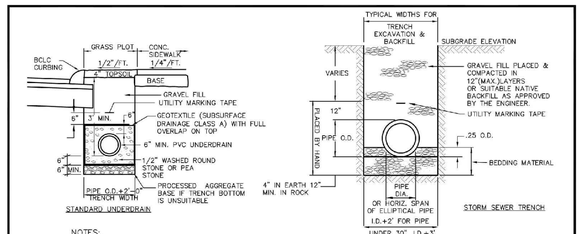
SCALE : NONE	TOWN OF GLASTONBURY DEPARTMENT OF PHYSICAL SERVICES ENGINEERING DIVISION
DRAWN BY: SR	
CHECKED BY: SMB	RIPRAP APRON TYPE A AND TYPE B
APPROVED BY: DAP	
LAST REVISED: 9/1/2016	PLATE NO. 25

NOTES:

1. ALL MANHOLE FRAMES AND COVERS TO BE SET FLUSH WITH BINDER COURSE. A MANHOLE RISER RING SHALL BE USED TO BRING MANHOLE COVER TO FINISHED GRADE PRIOR TO THE COMPLETION OF THE FINAL SURFACE COURSE.
2. TOP STEP TO BE 4" BELOW FRAME, 12" O.C. BELOW TOP STEP.
3. MANHOLE TO BE SET ON A BASE OF ¾" CRUSHED STONE AS SHOWN.



SCALE : NONE	TOWN OF GLASTONBURY DEPARTMENT OF PHYSICAL SERVICES ENGINEERING DIVISION
DRAWN BY: SR	
CHECKED BY: SMB	PRECAST CONCRETE MANHOLE (STORM & SANITARY)
APPROVED BY: DAP	
LAST REVISED: 9/1/2016	PLATE NO. 31



NOTES:

1. PERFORATIONS TO BE PLACED UP OR DOWN AS SPECIFIED BY THE ENGINEER
2. HOLES ARE TO BE 1/2" DIA. OR 5/8" DIA.
3. PIPE SHALL BE MIN. 6" DIA.
4. SLOTTED REINFORCED CONC. PIPE (SRCP) CAN BE USED AS A COMBINED STORM AND UNDERDRAIN SYSTEM.
5. ALL UNDERDRAIN TO BE OUTLETTED DIRECTLY INTO A CATCH BASIN.THE TOP OF THE UNDERDRAIN PIPE IS TO MATCH THE TOP OF THE OUTLET PIPE.
6. INCLUDE CLEANOUTS AT SPACING NOT TO EXCEED 150 FEET.

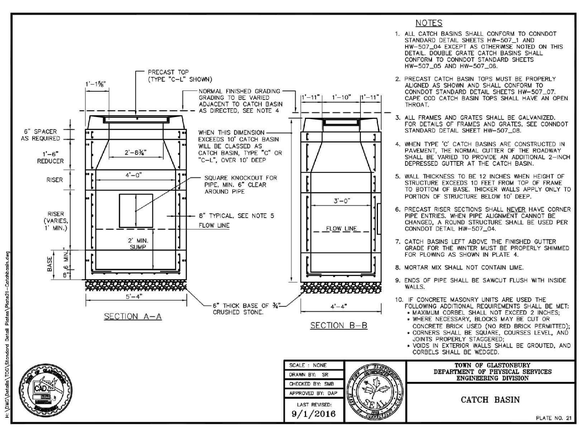
NOTES:

1. ALL STORM DRAIN INSTALLED WITHIN TOWN RIGHT–OF–WAY SHALL BE CONCRETE PIPE. ALL CONCRETE PIPE SHALL BE MINIMUM CLASS IV UNLESS OTHERWISE SPECIFIED.
2. USE WATERTIGHT RUBBER GASKETS IN ALL PIPE JOINTS.
3. PIPE BEDDING MATERIALS SHALL BE SAND OR SANDY SOIL, ALL OF WHICH PASSES 3/8" SIEVE AND <10% PASSING NO. 200 SIEVE.
4. WHEN GROUND WATER IS ENCOUNTERED, 3/4" STONE SHALL BE SUBSTITUTED FOR PIPE BEDDING, AND BACKFILLED TO 12" ABOVE THE TOP OF PIPE.

SCALE : NONE	TOWN OF GLASTONBURY DEPARTMENT OF PHYSICAL SERVICES ENGINEERING DIVISION
DRAWN BY: SR	
CHECKED BY: SMB	TRENCH FOR STORM DRAIN AND UNDER DRAIN
APPROVED BY: DAP	
LAST REVISED: 9/1/2016	PLATE NO. 20

NOTES

1. ALL CATCH BASINS SHALL CONFORM TO CONNDOT STANDARD DETAIL SHEETS HW–507_1 AND HW–507_04 EXCEPT AS OTHERWISE NOTED ON THIS DETAIL. DOUBLE GRATE CATCH BASINS SHALL CONFORM TO CONNDOT STANDARD SHEETS HW–507_05 AND HW–507_06.
2. PRECAST CATCH BASIN TOPS MUST BE PROPERLY ALIGNED AS SHOWN AND SHALL CONFORM TO CONNDOT STANDARD DETAIL SHEETS HW–507_07. CAPE COD CATCH BASIN TOPS SHALL HAVE AN OPEN THROAT.
3. ALL FRAMES AND GRATES SHALL BE GALVANIZED. FOR DETAILS OF FRAMES AND GRATES, SEE CONNDOT STANDARD DETAIL SHEET HW–507_08.
4. WHEN TYPE 'C' CATCH BASINS ARE CONSTRUCTED IN PAVEMENT, THE NORMAL GUTTER OF THE ROADWAY SHALL BE VARIED TO PROVIDE AN ADDITIONAL 2–INCH DEPRESSED GUTTER AT THE CATCH BASIN.
5. WALL THICKNESS TO BE 12 INCHES WHEN HEIGHT OF STRUCTURE EXCEEDS 10 FEET FROM TOP OF FRAME TO BOTTOM OF BASE. THICKER WALLS APPLY ONLY TO PORTION OF STRUCTURE BELOW 10' DEEP.
6. PRECAST RISER SECTIONS SHALL NEVER HAVE CORNER PIPE ENTRIES. WHEN PIPE ALIGNMENT CANNOT BE CHANGED, A ROUND STRUCTURE SHALL BE USED PER CONNDOT DETAIL HW–507_04.
7. CATCH BASINS LEFT ABOVE THE FINISHED GUTTER GRADE FOR THE WINTER MUST BE PROPERLY SHIMMED FOR PLOWING AS SHOWN IN PLATE 4.
8. MORTAR MIX SHALL NOT CONTAIN LIME.
9. ENDS OF PIPE SHALL BE SAWCUT FLUSH WITH INSIDE WALLS.
10. IF CONCRETE MASONRY UNITS ARE USED THE FOLLOWING ADDITIONAL REQUIREMENTS SHALL BE MET:
    - MAXIMUM CORBEL SHALL NOT EXCEED 2 INCHES;
    - WHERE NECESSARY, BLOCKS MAY BE CUT OR CONCRETE BRICK USED (NO RED BRICK PERMITTED);
    - CORNERS SHALL BE SQUARE, COURSES LEVEL, AND JOINTS PROPERLY STAGGERED;
    - VOIDS IN EXTERIOR WALLS SHALL BE GROUTED, AND CORBELS SHALL BE WEDGED.



SCALE : NONE	TOWN OF GLASTONBURY DEPARTMENT OF PHYSICAL SERVICES ENGINEERING DIVISION
DRAWN BY: SR	
CHECKED BY: SMB	CATCH BASIN
APPROVED BY: DAP	
LAST REVISED: 9/1/2016	PLATE NO. 21

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MAIN STREET MIXED USE DEVELOPMENT

2277-2389 MAIN STREET

GLASTONBURY, CT

DATE:	REVISION:

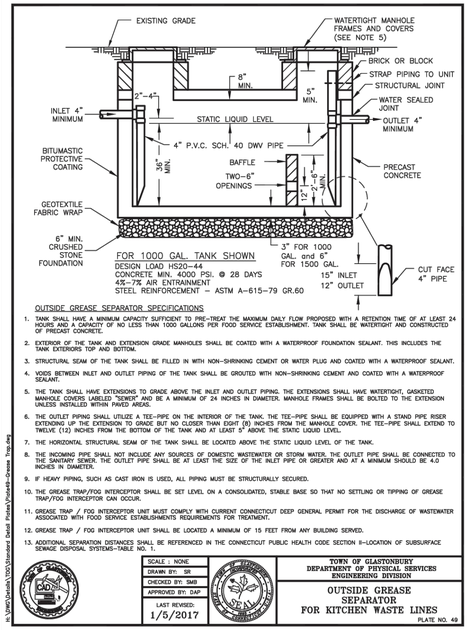
STATE OF CONNECTICUT · WILLIAM G. WALTER · LICENSED PROFESSIONAL ENGINEER

PROJECT NO.: 70607.00
SCALE: AS NOTED
DATE: 07/26/2024
DRAWN BY: GSL
CHECKED BY: WGW

SITE DETAILS

DRAWING NO.:

C6.4



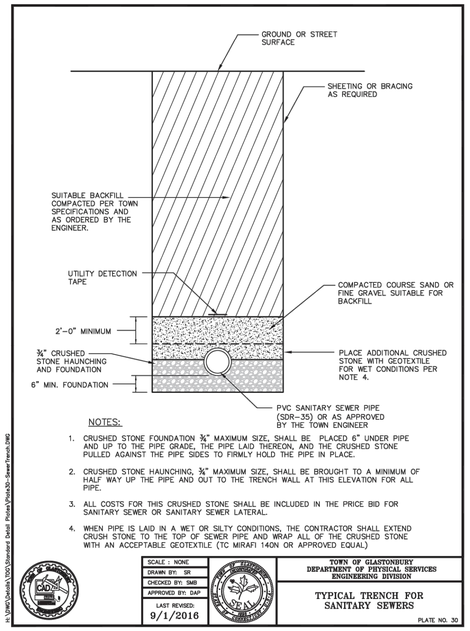
FOR 1000 GAL. TANK SHOWN

DESIGN LOAD HS20-44
CONCRETE MIN. 4000 PSI. @ 28 DAYS
4%-7% AIR ENTRAINMENT
STEEL REINFORCEMENT – ASTM A-615-79 GR.60

OUTSIDE GREASE SEPARATOR SPECIFICATIONS

1. TANK SHALL HAVE A MINIMUM CAPACITY SUFFICIENT TO PRE-TREAT THE MAXIMUM DAILY FLOW PROPOSED WITH A RETENTION TIME OF AT LEAST 24 HOURS AND A CAPACITY OF NO LESS THAN 1000 GALLONS PER FOOD SERVICE ESTABLISHMENT. TANK SHALL BE WATERTIGHT AND CONSTRUCTED OF PRECAST CONCRETE.
2. EXTERIOR OF THE TANK AND EXTENSION GRADE MANHOLES SHALL BE COATED WITH A WATERPROOF FOUNDATION SEALANT. THIS INCLUDES THE TANK EXTERIORS TOP AND BOTTOM.
3. STRUCTURAL SEAM OF THE TANK SHALL BE FILLED IN WITH NON-SHRINKING CEMENT OR WATER PLUG AND COATED WITH A WATERPROOF SEALANT.
4. VOIDS BETWEEN INLET AND OUTLET PIPING OF THE TANK SHALL BE GROUTED WITH NON-SHRINKING CEMENT AND COATED WITH A WATERPROOF SEALANT.
5. THE TANK SHALL HAVE EXTENSIONS TO GRADE ABOVE THE INLET AND OUTLET PIPING. THE EXTENSIONS SHALL HAVE WATERTIGHT, GASKETED MANHOLE COVERS LABELED "SEWER" AND BE A MINIMUM OF 24 INCHES IN DIAMETER. MANHOLE FRAMES SHALL BE BOLTED TO THE EXTENSION UNLESS INSTALLED WITHIN PAVED AREAS.
6. THE OUTLET PIPING SHALL UTILIZE A TEE-PIPE ON THE INTERIOR OF THE TANK. THE TEE-PIPE SHALL BE EQUIPPED WITH A STAND PIPE RISER EXTENDING UP THE EXTENSION TO GRADE BUT NO CLOSER THAN EIGHT (8) INCHES FROM THE MANHOLE COVER. THE TEE-PIPE SHALL EXTEND TO TWELVE (12) INCHES FROM THE BOTTOM OF THE TANK AND AT LEAST 3" ABOVE THE STATIC LIQUID LEVEL.
7. THE HORIZONTAL STRUCTURAL SEAM OF THE TANK SHALL BE LOCATED ABOVE THE STATIC LIQUID LEVEL OF THE TANK.
8. THE INCOMING PIPE SHALL NOT INCLUDE ANY SOURCES OF DOMESTIC WASTEWATER OR STORM WATER. THE OUTLET PIPE SHALL BE CONNECTED TO THE SANITARY SEWER. THE OUTLET PIPE SHALL BE AT LEAST THE SIZE OF THE INLET PIPE OR GREATER AND AT A MINIMUM SHOULD BE 4.0 INCHES IN DIAMETER.
9. IF HEAVY PIPING, SUCH AS CAST IRON IS USED, ALL PIPING MUST BE STRUCTURALLY SECURED.
10. THE GREASE TRAP/FOG INTERCEPTOR SHALL BE SET LEVEL ON A CONSOLIDATED, STABLE BASE SO THAT NO SETTLING OR TIPPING OF GREASE TRAP/FOG INTERCEPTOR CAN OCCUR.
11. GREASE TRAP / FOG INTERCEPTOR UNIT MUST COMPLY WITH CURRENT CONNECTICUT DEEP GENERAL PERMIT FOR THE DISCHARGE OF WASTEWATER ASSOCIATED WITH FOOD SERVICE ESTABLISHMENTS REQUIREMENTS FOR TREATMENT.
12. GREASE TRAP / FOG INTERCEPTOR UNIT SHALL BE LOCATED A MINIMUM OF 15 FEET FROM ANY BUILDING SERVED.
13. ADDITIONAL SEPARATION DISTANCES SHALL BE REFERENCED IN THE CONNECTICUT PUBLIC HEALTH CODE SECTION 8–LOCATION OF SUBSURFACE SEWAGE DISPOSAL SYSTEMS–TABLE NO. 1.

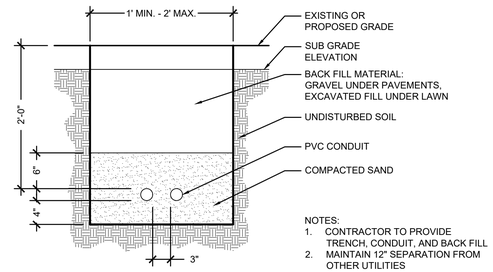
SCALE : NONE	TOWN OF GLASTONBURY DEPARTMENT OF PHYSICAL SERVICES ENGINEERING DIVISION
DRAWN BY: SR	OUTSIDE GREASE SEPARATOR FOR KITCHEN WASTE LINES
CHECKED BY: SMB	
APPROVED BY: DAP	
LAST REVISED: 1/5/2017	PLATE NO. 49



NOTES:

1. CRUSHED STONE FOUNDATION ¾" MAXIMUM SIZE, SHALL BE PLACED 6" UNDER PIPE AND UP TO THE PIPE GRADE, THE PIPE LAID THEREON, AND THE CRUSHED STONE PULLED AGAINST THE PIPE SIDES TO FIRMLY HOLD THE PIPE IN PLACE.
2. CRUSHED STONE HAUNCHING, ¾" MAXIMUM SIZE, SHALL BE BROUGHT TO A MINIMUM OF HALF WAY UP THE PIPE AND OUT TO THE TRENCH WALL AT THIS ELEVATION FOR ALL PIPE.
3. ALL COSTS FOR THIS CRUSHED STONE SHALL BE INCLUDED IN THE PRICE BID FOR SANITARY SEWER OR SANITARY SEWER LATERAL.
4. WHEN PIPE IS LAID IN A WET OR SILTY CONDITIONS, THE CONTRACTOR SHALL EXTEND CRUSH STONE TO THE TOP OF SEWER PIPE AND WRAP ALL OF THE CRUSHED STONE WITH AN ACCEPTABLE GEOTEXTILE (TC MIRAFI 140N OR APPROVED EQUAL)

SCALE : NONE	TOWN OF GLASTONBURY DEPARTMENT OF PHYSICAL SERVICES ENGINEERING DIVISION
DRAWN BY: SR	TYPICAL TRENCH FOR SANITARY SEWERS
CHECKED BY: SMB	
APPROVED BY: DAP	
LAST REVISED: 9/1/2016	PLATE NO. 30

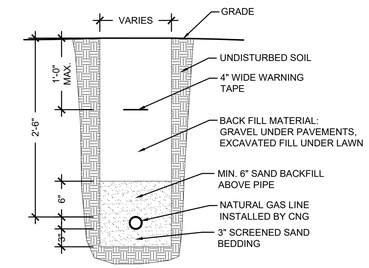


NOTES:

1. CONTRACTOR TO PROVIDE TRENCH, CONDUIT, AND BACK FILL
2. MAINTAIN 12" SEPARATION FROM OTHER UTILITIES

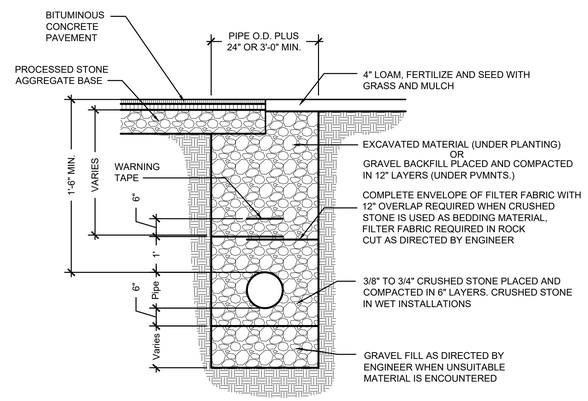
ELECTRICAL CONDUIT TRENCH

SCALE: NONE



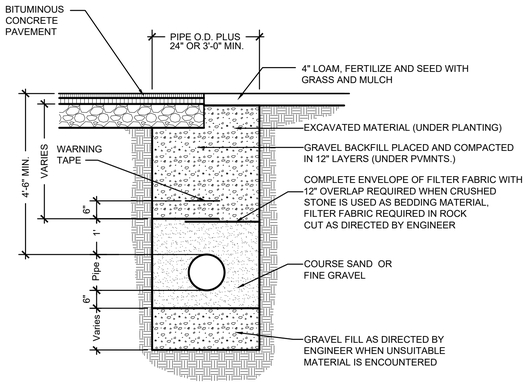
NATURAL GAS TRENCH

SCALE: NONE



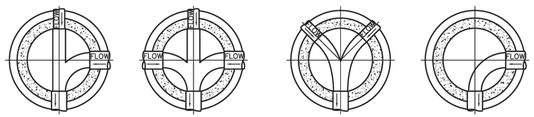
SANITARY TRENCH

SCALE: NONE



WATER TRENCH

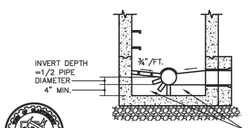
SCALE: NONE



HORIZONTAL SECTIONS OF MANHOLE BASE

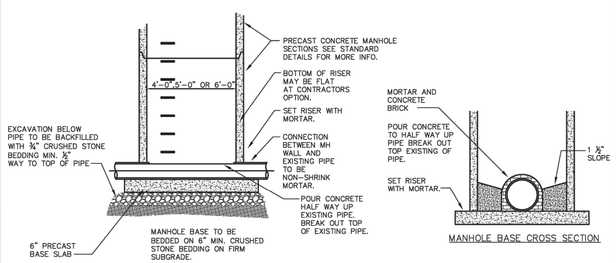
NOTES:

1. THE SURFACE OF THE WATER TABLE SHALL BE CONSTRUCTED OF APPROVED SEWER BRICKS LAID FLAT AND RUNNING PARALLEL TO THE CHANNEL – WITH A MINIMUM CROSS SLOPE OF ¾"/L.F.
2. THE BRICKS THAT FORM THE CHANNEL SHALL BE LAID WITH THE SIDE OF THE BRICKS EXPOSED IN THE CHANNEL.
3. THE TOP COURSE OF BRICKS FORMING THE CHANNEL SHALL BE LAID PERPENDICULAR TO THE CHANNEL.
4. THERE SHALL BE A SMOOTH TRANSITION FROM INLET TO OUTLET.
5. PRECAST INVERTS ARE NOT ACCEPTABLE.



VERTICAL – SECTION THRU MANHOLE

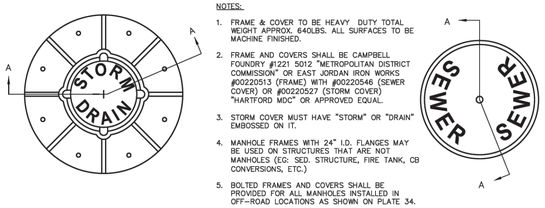
SCALE : NONE	TOWN OF GLASTONBURY DEPARTMENT OF PHYSICAL SERVICES ENGINEERING DIVISION
DRAWN BY: SR	MANHOLE INVERTS (STORM AND SANITARY)
CHECKED BY: SMB	
APPROVED BY: DAP	
LAST REVISED: 9/1/2016	PLATE NO. 35



MANHOLE BASE LONGITUDINAL SECTION

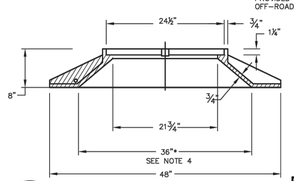
MANHOLE BASE CROSS SECTION

SCALE : NONE	TOWN OF GLASTONBURY DEPARTMENT OF PHYSICAL SERVICES ENGINEERING DIVISION
DRAWN BY: SR	PRECAST MANHOLE OVER EXISTING PIPE
CHECKED BY: SMB	
APPROVED BY: DAP	
LAST REVISED: 4/29/2008	PLATE NO. 32

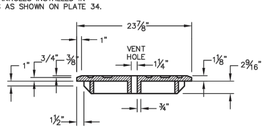


NOTES:

1. FRAME & COVER TO BE HEAVY DUTY TOTAL WEIGHT APPROX. 640LBS. ALL SURFACES TO BE MACHINE FINISHED.
2. FRAME AND COVERS SHALL BE CAMPBELL FOUNDRY #1221 5012 "METROPOLITAN DISTRICT COMMISSION" OR EAST JORDAN IRON WORKS #00220513 (FRAME) WITH #00220546 (SEWER COVER) OR #00220527 (STORM COVER) "HARTFORD MDC" OR APPROVED EQUAL.
3. STORM COVER MUST HAVE "STORM" OR "DRAIN" EMBOSSED ON IT.
4. MANHOLE FRAMES WITH 24" I.D. FLANGES MAY BE USED ON STRUCTURES THAT ARE NOT MANHOLES (EG: SED. STRUCTURE, FIRE TANK, CB CONVERSIONS, ETC.)
5. BOLTED FRAMES AND COVERS SHALL BE PROVIDED FOR ALL MANHOLES INSTALLED IN OFF-ROAD LOCATIONS AS SHOWN ON PLATE 34.

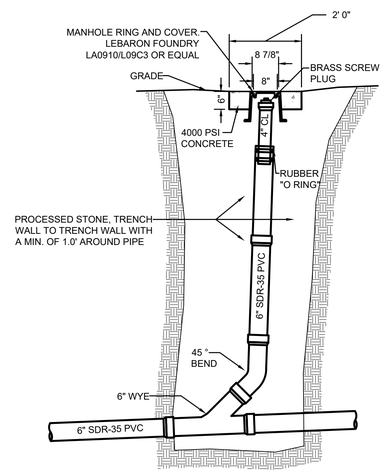


FRAME SECTION A–A



COVER SECTION A–A

SCALE : NONE	TOWN OF GLASTONBURY DEPARTMENT OF PHYSICAL SERVICES ENGINEERING DIVISION
DRAWN BY: SR	MANHOLE FRAME AND COVER
CHECKED BY: SMB	
APPROVED BY: DAP	
LAST REVISED: 9/1/2016	PLATE NO. 33



CLEANOUT TO GRADE

SCALE: NONE

Prepared by:

benesch

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Prepared for:

HB NITKIN

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203-861-9000

MIXED USE DEVELOPMENT MAIN STREET

2277-2389 MAIN STREET GLASTONBURY, CT

DATE:	REVISION:

STATE OF CONNECTICUT WILLIAM G. WALTER LICENSED PROFESSIONAL ENGINEER

PROJECT NO.: 70607.00
SCALE: AS NOTED
DATE: 07/26/2024
DRAWN BY: GSL
CHECKED BY: WGW

SITE DETAILS

DRAWING NO.:

C6.5