

REFERENCE IS MADE TO MAPS TITLED:

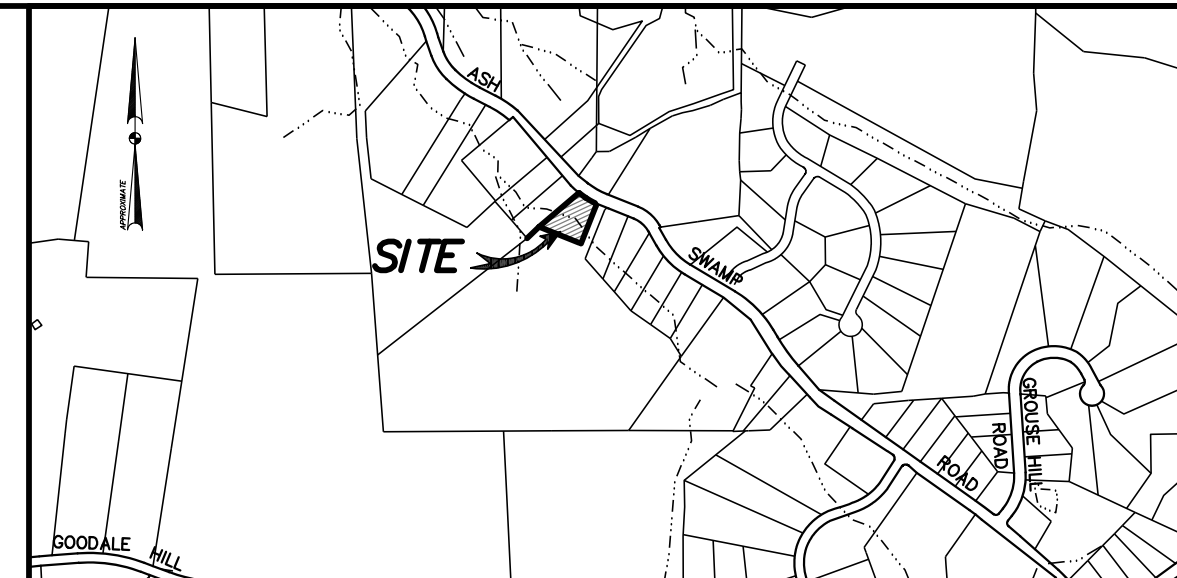
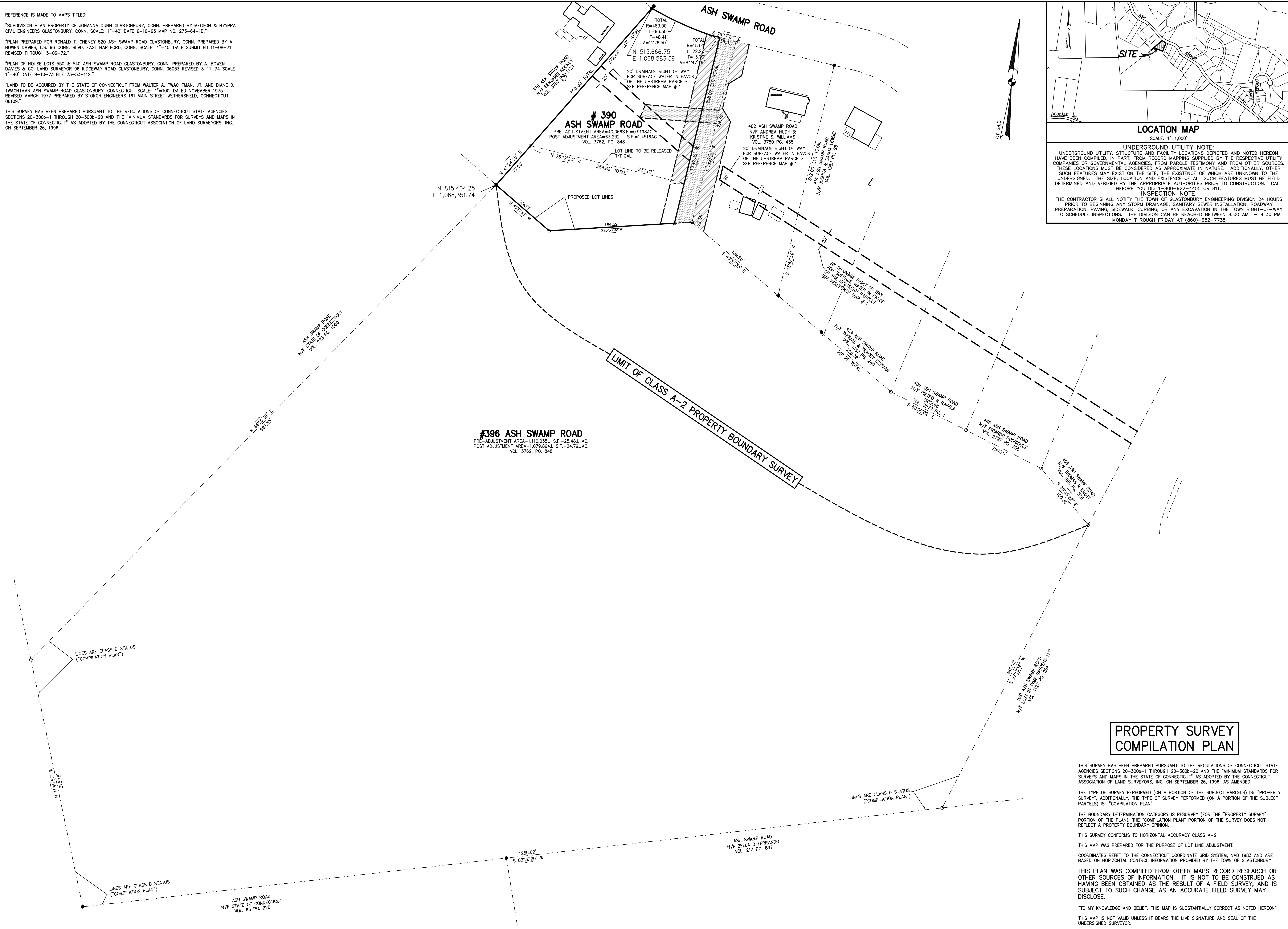
"SUBDIVISION PLAN PROPERTY OF JOHANNA DUNN GLASTONBURY, CONN. PREPARED BY MEGSON & HYPPEA CIVIL ENGINEERS GLASTONBURY, CONN. SCALE: 1"=40' DATE 6-16-65 MAP NO. 273-64-1B."

"PLAN PREPARED FOR RONALD T. CHENEY 520 ASH SWAMP ROAD GLASTONBURY, CONN. PREPARED BY A. BOWEN DAVES, L.S. 96 CONN. BLVD. EAST HARTFORD, CONN. SCALE: 1"=40' DATE SUBMITTED 11-08-71 REVISED THROUGH 3-06-72."

"PLAN OF HOUSE LOTS 550 & 540 ASH SWAMP ROAD GLASTONBURY, CONN. PREPARED BY A. BOWEN DAVES & CO. LAND SURVEYOR 96 RIDGEWAY ROAD GLASTONBURY, CONN. 06033 REVISED 3-11-74 SCALE 1"=40' DATE 9-10-73 FILE 73-53-112."

"LAND TO BE ACQUIRED BY THE STATE OF CONNECTICUT FROM WALTER A. TWACHTMAN, JR. AND DIANE D. TWACHTMAN ASH SWAMP ROAD GLASTONBURY, CONNECTICUT SCALE: 1"=100' DATED NOVEMBER 1975 REVISED MARCH 1977 PREPARED BY STORCH ENGINEERS 161 MAIN STREET WETHERSFIELD, CONNECTICUT 06109."

"THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE 'MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT' AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996."



**LOCATION MAP**  
SCALE: 1"=1,000'

**UNDERGROUND UTILITY NOTE:**  
UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROLE TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO THE UNDERSIGNED. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455 OR 811.

**INSPECTION NOTE:**  
THE CONTRACTOR SHALL NOTIFY THE TOWN OF GLASTONBURY ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, SANITARY SEWER INSTALLATION, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, OR ANY EXCAVATION IN THE TOWN RIGHT-OF-WAY TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:00 AM - 4:30 PM MONDAY THROUGH FRIDAY AT (860)-652-7735

**DUTTON ASSOCIATES, LLC**  
LAND SURVEYORS AND CIVIL ENGINEERS  
67 EASTERN BOULEVARD  
GLASTONBURY, CONNECTICUT 06033  
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JAMES W. DUTTON, L.S. #70074

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**PROPERTY SURVEY - COMPILATION PLAN**  
**PLAN OF LOT LINE ADJUSTMENT**  
**390 & 396 ASH SWAMP ROAD**  
PREPARED FOR  
**ZK BUILDERS**  
GLASTONBURY, CONNECTICUT

**PROPERTY SURVEY  
COMPILATION PLAN**

THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996, AS AMENDED.

THE TYPE OF SURVEY PERFORMED (ON A PORTION OF THE SUBJECT PARCELS) IS "PROPERTY SURVEY". ADDITIONALLY, THE TYPE OF SURVEY PERFORMED (ON A PORTION OF THE SUBJECT PARCELS) IS: "COMPILATION PLAN".

THE BOUNDARY DETERMINATION CATEGORY IS RESURVEY (FOR THE "PROPERTY SURVEY" PORTION OF THE PLAN). THE "COMPILATION PLAN" PORTION OF THE SURVEY DOES NOT REFLECT A PROPERTY BOUNDARY OPINION.

THIS SURVEY CONFORMS TO HORIZONTAL ACCURACY CLASS A-2.

THIS MAP WAS PREPARED FOR THE PURPOSE OF LOT LINE ADJUSTMENT.

COORDINATES REFER TO THE CONNECTICUT COORDINATE GRID SYSTEM, NAD 1983 AND ARE BASED ON HORIZONTAL CONTROL INFORMATION PROVIDED BY THE TOWN OF GLASTONBURY.

THIS PLAN WAS COMPILED FROM OTHER MAPS RECORD RESEARCH OR OTHER SOURCES OF INFORMATION. IT IS NOT TO BE CONSTRUED AS HAVING BEEN OBTAINED AS THE RESULT OF A FIELD SURVEY, AND IS SUBJECT TO SUCH CHANGE AS AN ACCURATE FIELD SURVEY MAY DISCLOSE.

"TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON"  
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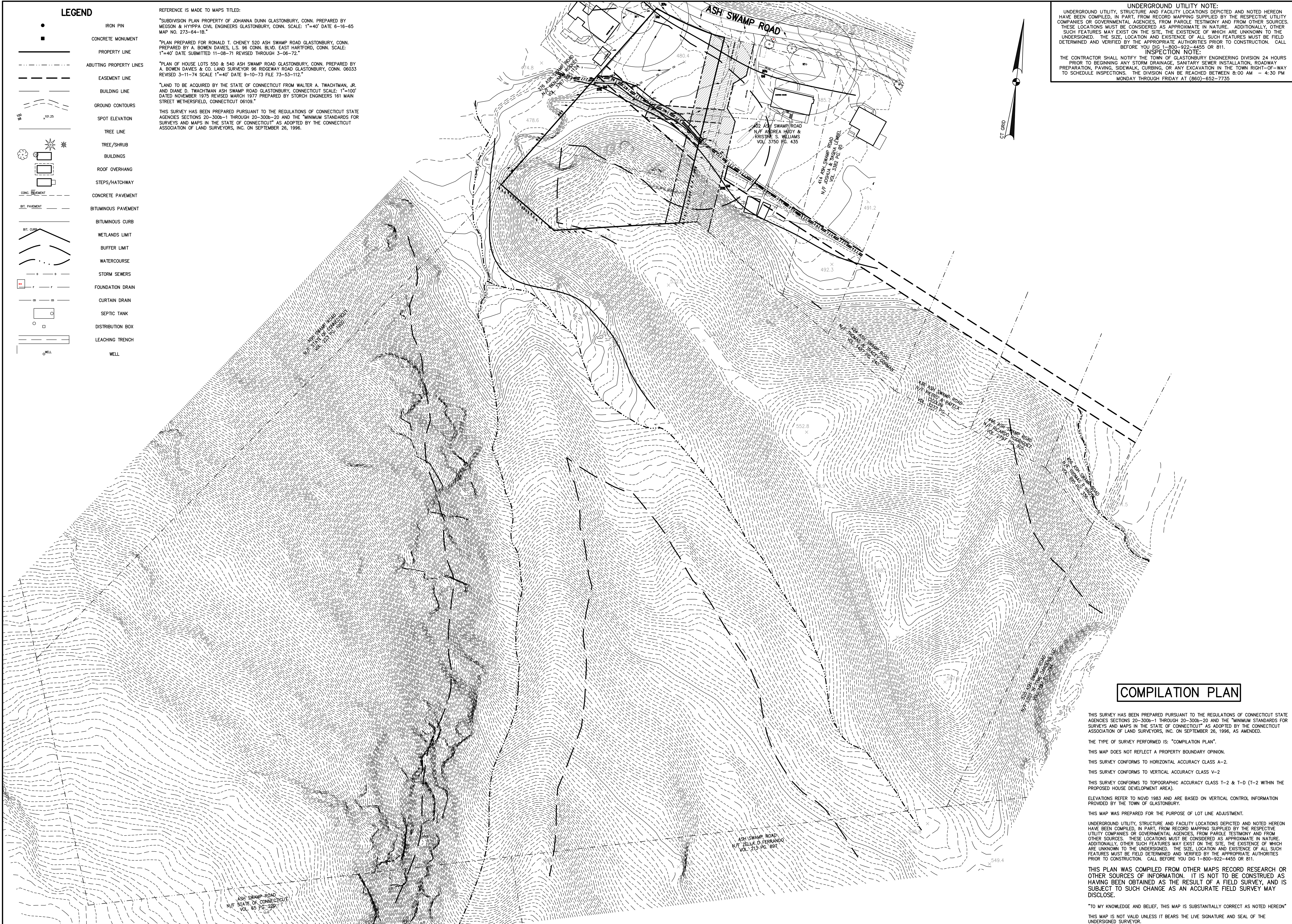
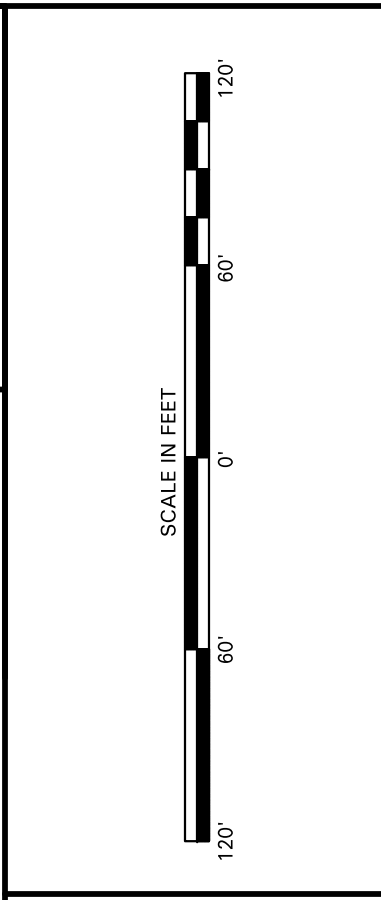
REVISIONS:	
04/01/2024 - UPDATE	
DATE: 03/14/2024	
SCALE: 1" = 60'	
SHEET 1 of 7	
<b>A-22-323-LLA1</b>	
FILE: 22-323.DWG	

**LEGEND**

- IRON PIN
- CONCRETE MONUMENT
- PROPERTY LINE
- ABUTTING PROPERTY LINES
- EASEMENT LINE
- BUILDING LINE
- GROUND CONTOURS
- SPOT ELEVATION
- TREE LINE
- TREE/SHRUB
- BUILDINGS
- ROOF OVERHANG
- STEPS/HATCHWAY
- CONCRETE PAVEMENT
- BITUMINOUS PAVEMENT
- BIT. CURB
- WETLANDS LIMIT
- BUFFER LIMIT
- WATERCOURSE
- STORM SEWERS
- FOUNDATION DRAIN
- CURTAIN DRAIN
- SEPTIC TANK
- DISTRIBUTION BOX
- LEACHING TRENCH
- WELL

REFERENCE IS MADE TO MAPS TITLED:  
 "SUBDIVISION PLAN PROPERTY OF JOHANNA DUNN GLASTONBURY, CONN. PREPARED BY MESSON & HYMPA CIVIL ENGINEERS GLASTONBURY, CONN. SCALE: 1"=40' DATE 6-16-65 MAP NO. 273-64-1B."  
 "PLAN PREPARED FOR RONALD T. CHENEY 500 ASH SWAMP ROAD GLASTONBURY, CONN. PREPARED BY A. BOWEN DAVIES, L.S. 96 CONN. BLVD. EAST HARTFORD, CONN. SCALE: 1"=40' DATE SUBMITTED 11-08-71 REVISED THROUGH 3-06-72."  
 "PLAN OF HOUSE LOTS 550 & 540 ASH SWAMP ROAD GLASTONBURY, CONN. PREPARED BY A. BOWEN DAVIES & CO. LAND SURVEYOR 96 RIDGEWAY ROAD GLASTONBURY, CONN. 06033 REVISED 3-11-74 SCALE 1"=40' DATE 9-10-73 FILE 73-53-112."  
 "LAND TO BE ACQUIRED BY THE STATE OF CONNECTICUT FROM WALTER A. TWACHTMAN, JR. AND DIANE D. TWACHTMAN ASH SWAMP ROAD GLASTONBURY, CONNECTICUT SCALE: 1"=100' DATED NOVEMBER 1975 REVISED MARCH 1977 PREPARED BY STORCH ENGINEERS 161 MAIN STREET WETHERSFIELD, CONNECTICUT 06109."  
 THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.

**UNDERGROUND UTILITY NOTE:**  
 UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROLE TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO THE UNDERSIGNED. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455 OR 811.  
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**COMPILATION PLAN**

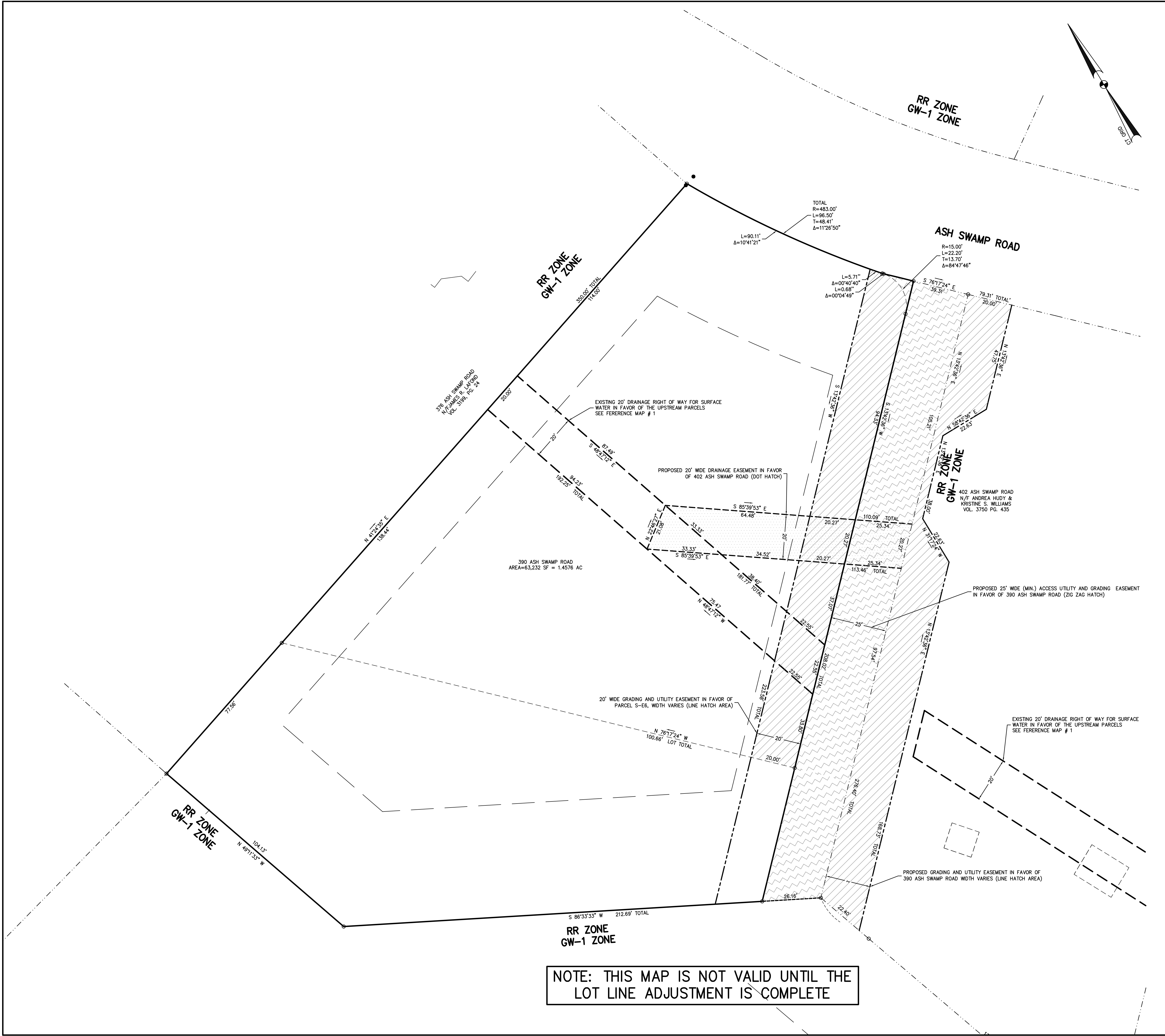
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 THE TYPE OF SURVEY PERFORMED IS: "COMPILATION PLAN".  
 THIS MAP DOES NOT REFLECT A PROPERTY BOUNDARY OPINION.  
 THIS SURVEY CONFORMS TO HORIZONTAL ACCURACY CLASS A-2.  
 THIS SURVEY CONFORMS TO VERTICAL ACCURACY CLASS V-2  
 THIS SURVEY CONFORMS TO TOPOGRAPHIC ACCURACY CLASS T-2 & T-D (T-2 WITHIN THE PROPOSED HOUSE DEVELOPMENT AREA).  
 ELEVATIONS REFER TO NVD 1983 AND ARE BASED ON VERTICAL CONTROL INFORMATION PROVIDED BY THE TOWN OF GLASTONBURY.  
 THIS MAP WAS PREPARED FOR THE PURPOSE OF LOT LINE ADJUSTMENT.  
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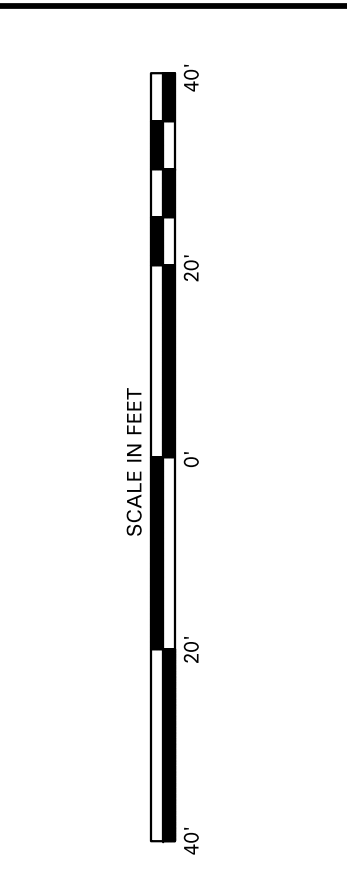
**COMPILATION PLAN  
 PLAN OF LOT LINE ADJUSTMENT  
 390 & 396 ASH SWAMP ROAD**  
 PREPARED FOR  
**ZK BUILDERS**  
 GLASTONBURY, CONNECTICUT

REVISIONS:	
	04/01/2024 - UPDATE
DATE:	03/14/2024
SCALE:	1" = 60'
	SHEET 2 of 7
<b>A-22-323-LLA2</b>	
FILE: 22-323.DWG	



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**ZONING LOCATION SURVEY  
PLOT PLAN  
390 ASH SWAMP ROAD**  
PREPARED FOR  
**ZK BUILDERS**  
GLASTONBURY, CONNECTICUT

**REVISIONS:**

04/01/2024	- UPDATE
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DATE: 03/14/2024  
SCALE: 1" = 20'  
SHEET 3 of 7  
**A-22-323-S1**  
FILE: 22-323.DWG

**NOTE: THIS MAP IS NOT VALID UNTIL THE LOT LINE ADJUSTMENT IS COMPLETE**

REFERENCE IS MADE TO MAPS TITLED:

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THE TYPE OF SURVEY PERFORMED IS A ZONING LOCATION SURVEY.

THE BOUNDARY DETERMINATION CATEGORY IS RESURVEY.

THIS SURVEY CONFORMS TO HORIZONTAL ACCURACY CLASS A-2.

THIS MAP WAS PREPARED FOR THE PURPOSE OF LOT DEVELOPMENT.

WETLAND LIMITS DELINEATED IN THE FIELD BY IAN COLE, CERTIFIED SOILS SCIENTIST AND WERE FIELD LOCATED BY DUTTON ASSOCIATES.

"TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON"

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### STORM SEWER MAINTENANCE PLAN

THE RAIN GARDEN AND PIPING SYSTEMS (EXCEPT FOR THE FOUNDATION DRAIN FROM 402 ASH SWAMP ROAD) ARE PRIVATE AND ARE TO BE MAINTAINED BY THE HOMEOWNER.

PROPER MAINTENANCE OF THE RAIN GARDEN IS CRITICAL TO ITS PROPER FUNCTION. FOLLOWING ARE SUGGESTED MINIMUM MAINTENANCE ITEMS FOR THE RAIN GARDEN.

#### SPRING MAINTENANCE

FOLLOWING THE LAST SNOWFALL IN THE SPRING, THE FOLLOWING TASKS SHALL BE COMPLETED:

- 1) THE DRIVEWAY SHALL BE SWEEPED CLEANED OF ALL ACCUMULATED SAND AND DEBRIS.
- 2) INSPECT THE ROOF DRAIN DRAINAGE SYSTEM & GUTTERS, CLEAN DEBRIS FROM GUTTERS AND INSPECT THE VISIBLE ELEMENTS OF THE SYSTEM FOR DAMAGE AND REPAIR AS NECESSARY.
- 3) INSPECT THE RAIN GARDEN, REMOVE DEBRIS AND FRESHEN THE MULCH AS REQUIRED. BE SURE TO USE AGED HARDWOOD MULCH.

#### FALL MAINTENANCE

FOLLOWING THE LEAF DROP IN THE FALL, THE FOLLOWING TASKS SHALL BE COMPLETED:

- 1) REMOVE ALL ACCUMULATED LEAVES AND DEBRIS FROM THE SITE.
- 2) INSPECT THE ROOF DRAIN DRAINAGE SYSTEM & GUTTERS, CLEAN DEBRIS FROM GUTTERS AND INSPECT THE VISIBLE ELEMENTS OF THE SYSTEM FOR DAMAGE AND REPAIR AS NECESSARY.
- 3) INSPECT THE RAIN GARDEN, REMOVE DEBRIS AND FRESHEN THE MULCH AS REQUIRED. BE SURE TO USE AGED HARDWOOD MULCH.

### ROOF DRAIN SYSTEM NOTES:

A 4" PVC ROOF DRAIN SYSTEM SHALL BE CONSTRUCTED TO CONNECT DOWN SPOUTS AS INDICATED ON THE PLAN AND DIRECTED TO THE RAIN GARDEN.

THE DOWN SPOUT LOCATED AT THE SOUTHEAST CORNER OF THE HOUSE SHALL DISCHARGE ON THE GROUND.

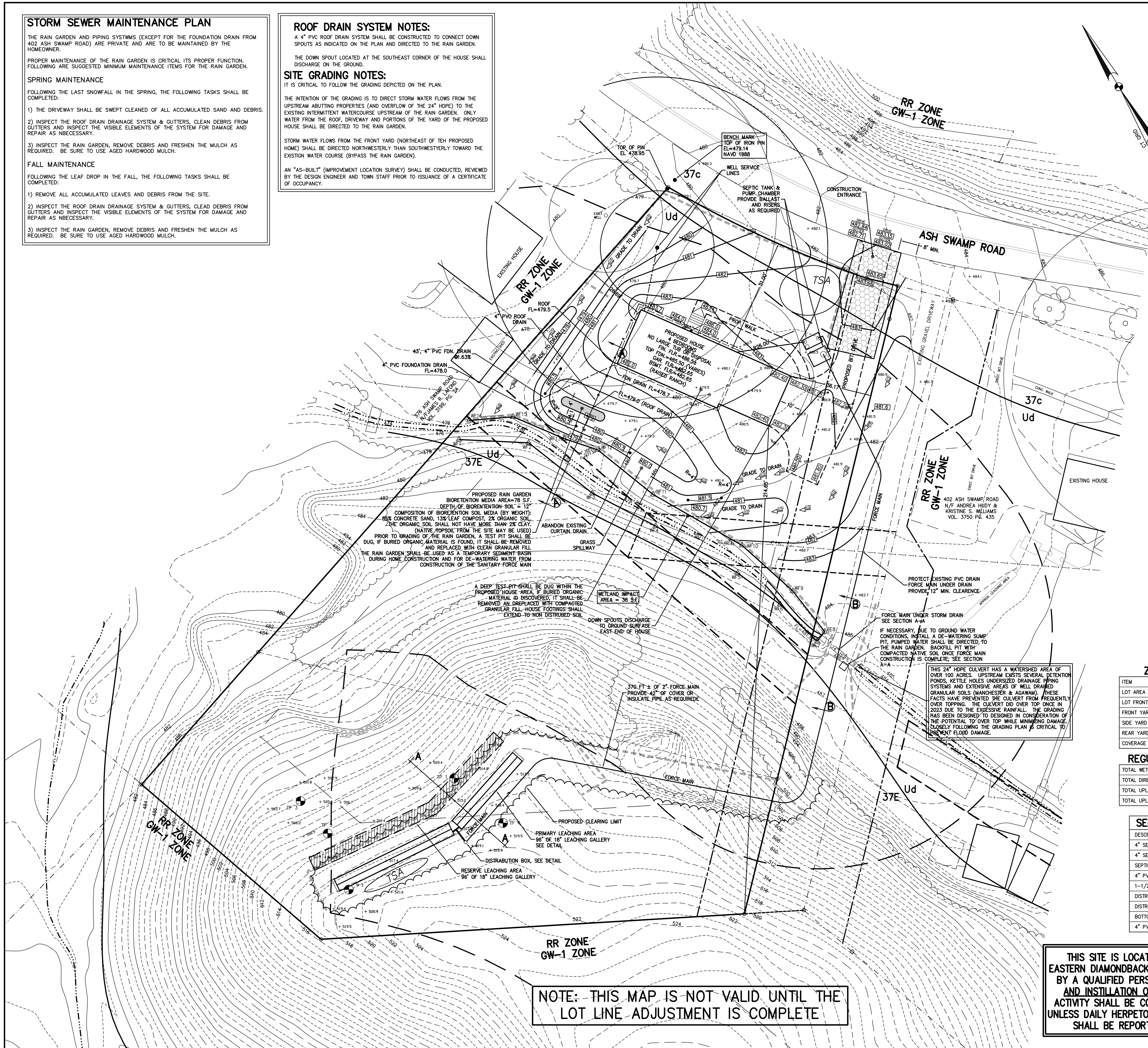
### SITE GRADING NOTES:

IT IS CRITICAL TO FOLLOW THE GRADING DEPICTED ON THE PLAN.

THE INTENTION OF THE GRADING IS TO DIRECT STORM WATER FLOWS FROM THE UPSTREAM ADJUTING PROPERTIES (AND OVERFLOW OF THE 24" HDPE) TO THE EXISTING INTERMITTENT WATERCOURSE UPSTREAM OF THE RAIN GARDEN. ONLY WATER FROM THE ROOF, DRIVEWAY AND PORTIONS OF THE YARD OF THE PROPOSED HOUSE SHALL BE DIRECTED TO THE RAIN GARDEN.

STORM WATER FLOWS FROM THE FRONT YARD (NORTHEAST OF THE PROPOSED HOME) SHALL BE DIRECTED NORTHWESTERLY THAN SOUTHWESTERLY TOWARD THE EXISTING WATER COURSE (BYPASS THE RAIN GARDEN).

AN "AS-BUILT" (IMPROVEMENT LOCATION SURVEY) SHALL BE CONDUCTED, REVIEWED BY THE DESIGN ENGINEER AND TOWN STAFF PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.



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TOWN OF GLASTONBURY MS-4 PERMIT INFORMATION		
	TOTAL IMPERVIOUS AREA	DIRECTLY CONNECTED IMPERVIOUS AREA
PRE-DEVELOPMENT	0.0000 ACRES	0.0000 ACRES
POST-DEVELOPMENT	0.0862 ACRES	0.0000 ACRES
NET CHANGE	0.0872 ACRES	0.0000 ACRES

EXISTING	LEGEND	PROPOSED
●	IRON PIN	○
■	CONCRETE MONUMENT	□
---	PROPERTY LINE	---
---	ABUTTING PROPERTY LINES	---
---	EASEMENT LINE	---
---	BUILDING LINE	---
---	GROUND CONTOURS	222
○	SPOT ELEVATION	222.2
---	TREE LINE	---
⊛	TREE/SHRUB	⊛
⊛	SIGN	⊛
⊛	LIGHT POLE	⊛
⊛	BUILDINGS	⊛
⊛	ROOF OVERHANG	⊛
⊛	STEPS/HATCHWAY	⊛
---	CONCRETE PAVEMENT	---
---	BITUMINOUS PAVEMENT	---
---	BITUMINOUS CURB	BCLC
---	WETLANDS LIMIT	---
---	BUFFER LIMIT	---
---	WATERCOURSE	---
---	STORM SEWERS	---
---	FOUNDATION DRAIN	---
---	UTILITIES (ELEC, TEL, TV)	---
⊛	SEPTIC TANK	⊛
⊛	DISTRIBUTION BOX	⊛
---	LEACHING TRENCH	---
---	TEST PIT LOCATION	---
⊛	WELL	⊛
---	SEDIMENT BARRIER	---
---	CONSTRUCTION ENTRANCE	---
---	SOIL STOCKPILE	---

#### ZONING TABLE RR ZONE

ITEM	REQUIRED/ALLOWED	PROPOSED
LOT AREA	40,000 S.F.	63,232 S.F.
LOT FRONTAGE	125 FT.	128.08 FT.
FRONT YARD	50 FT.	51.00 FT.
SIDE YARD	25 FT.	36.17/ 26.69 FT.
REAR YARD	50 FT.	214.65 FT.
COVERAGE	10% (6,323 S.F.)	1,824 S.F. (2.88%)

#### REGULATED AREAS & IMPACTS

TOTAL WETLAND AREA	2,060 S.F.
TOTAL DIRECT WETLAND IMPACT AREA	38 S.F.
TOTAL UPLAND REVIEW AREA	46,075 S.F.
TOTAL UPLAND REVIEW AREA IMPACT	19,627 S.F.

#### SEPTIC SYSTEM ELEVATIONS

DESCRIPTION	INVERT ELEVATION
4" SEWER AT HOUSE	478.8
4" SEWER AT SEPTIC TANK	478.0
SEPTIC TANK OUTLET	477.75
4" PVC PUMP STATION INLET	477.6
1-1/2" FORCE MAIN AT PUMP	474.5
DISTRIBUTION BOX FORCE MAIN	515.1
DISTRIBUTION BOX 4" PVC OUTLET	645.05
BOTTOM OF GALLERY	513.0
4" PVC GALLERY INLET	513.92

#### ABBREVIATIONS

CONC.	CONCRETE
BIT.	BITUMINOUS
WLK.	WALK
VOL.	VOLUME
PG.	PAGE
N/F	NOW OR FORMERLY
BCLC	BITUMINOUS CONCRETE LIP CURB
GC	GRANITE CURB
T.F.	TOP OF FRAME
T.G.	TOP OF GRATE
INV.	INVERT
F.L.	FLOW LINE
SMH	SANITARY MANHOLE
C.B.	CATCH BASIN
A.K.A.	ALSO KNOWN AS
F.Y.	FRONT YARD
S.Y.	SIDE YARD
R.Y.	REAR YARD
RET.	RETAINING
EXIST.	EXISTING
HYD.	HYDRANT
W.G.	WATER GATE
SNET	SOUTHERN NEW ENGLAND TELEPHONE
CL&P	CONNECTICUT LIGHT & POWER
WL	WETLANDS
TOP FND.	TOP FOUNDATION ELEVATION
BSMT. FLR.	BASEMENT FLOOR ELEVATION
GAR. FLR.	GARAGE FLOOR ELEVATION
PLA	PRIMARY LEACHING AREA
RLA	RESERVE LEACHING AREA

#### LEGEND TO SOIL TYPES

37c MANCHESTER GRAVELLY SANDY LOAM 3-15%  
 37e MANCHESTER GRAVELLY SANDY LOAM 15-45%  
 Ud UDORTHETA, SMOOTHES

**THIS SITE IS LOCATED WITHIN THE HOME RANGE OF THE ENDANGERED EASTERN DIAMONDBACK RATTLESNAKE. A HERPETOLOGICAL SWEEP OF THE SITE BY A QUALIFIED PERSON SHALL BE CONDUCTED PRIOR TO LAND CLEARING AND INSTALLATION OF THE SEDIMENT BARRIERS. GROUND DISTURBANCE ACTIVITY SHALL BE CONDUCTED ONLY BETWEEN NOVEMBER 1 AND MARCH 31 UNLESS DAILY HERPETOLOGICAL SWEEPS ARE CONDUCTED. SIGHTING OF SNAKES SHALL BE REPORTED TO THE OFFICE OF COMMUNITY DEVELOPMENT**

**NOTE: THIS MAP IS NOT VALID UNTIL THE LOT LINE ADJUSTMENT IS COMPLETE**

**DUTTON ASSOCIATES, LLC**  
 LAND SURVEYORS AND CIVIL ENGINEERS  
 67 EASTERN BOULEVARD  
 GLASTONBURY, CONNECTICUT 06033  
 TEL: 860-633-8401 FAX: 860-633-8851  
 EMAIL: INFO@DUTTONASSOCIATESLLC.COM

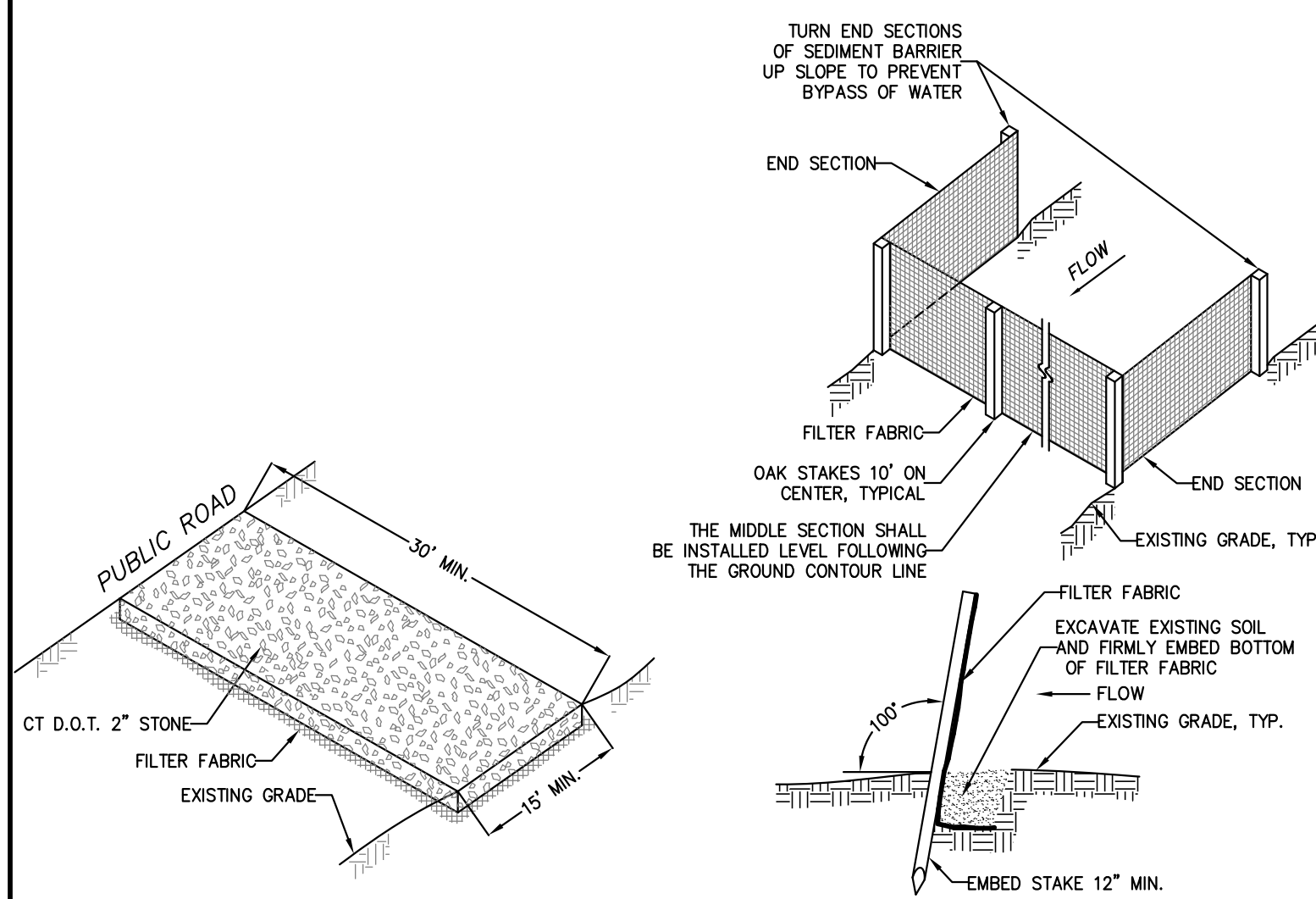
MARK A. REYNOLDS, P.E. #19789

**ZONING LOCATION SURVEY PLOT PLAN**  
**390 ASH SWAMP ROAD**  
 PREPARED FOR  
**ZK BUILDERS**  
 GLASTONBURY, CONNECTICUT

REVISIONS:  
 04/01/2024 - UPDATE

DATE: 03/14/2024  
 SCALE: 1" = 20'  
 SHEET 5 of 7  
**A-22-323-P**  
 FILE: 22-323.DWG

DEVELOPER:  
**ZK BUILDERS**  
 ZIGGY KACPERSKI  
 590 WETHERSFIELD ROAD  
 BERLIN, CT 06037  
 860-539-2727  
 ZKBUILDERS@GMAIL.COM



**NOTES:**  
THE PROPOSED GRADING AND UTILITY ELEVATIONS DEPICTED AND NOTED HEREON ARE BASED ON THE REFERENCED MAP (CERTIFIED ACCURACY A-2 & T-2). IF DISCREPANCIES WITH REGARD TO EXISTING ELEVATIONS OR LOCATIONS (TOPOGRAPHY) ARE FOUND DURING CONSTRUCTION, THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED SO ADJUSTMENTS TO THE DESIGN CAN BE MADE.

THE PROPOSED TOP OF FOUNDATION (TOP FDN.), BASEMENT FLOOR (BSMT. FLR.), GARAGE FLOOR (GAR. FLR.) AND GRADING SHOWN ON THIS PLAN SHALL BE REVIEWED IN THE FIELD BY THE OWNER, BUILDER AND ARCHITECT PRIOR TO CONSTRUCTION TO INSURE CONFORMANCE TO THE ARCHITECTURAL PLANS AND CONCEPTS. ANY ADJUSTMENTS TO THE PROPOSED ELEVATIONS OR GRADING SHALL BE REVIEWED WITH THE ENGINEER AND THE HEALTH DEPARTMENT TO INSURE PROPER FUNCTION OF THE SEPTIC SYSTEM AND DRAINAGE.

PRIOR TO ANY EXCAVATION OR GRADING ON THE SITE, THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES BY CONTACTING THE CONNECTICUT UNDERGROUND UTILITY PROTECTION PLAN FOR UTILITY MARK-OUT (TEL: 1-800-922-4455)

PRIOR TO THE START OF CONSTRUCTION, STRIPPING OR GRADING, SEDIMENT BARRIERS SHOWN ON THIS PLAN SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS AND DETAILS OUTLINED IN THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, LATEST EDITION. THE BARRIERS SHALL REMAIN IN PLACE AND BE PROPERLY MAINTAINED UNTIL ALL UPSTREAM AREAS ARE STABILIZED TO THE SATISFACTION OF THE ENVIRONMENTAL PLANNER.

AT THE REQUEST OF THE ENVIRONMENTAL PLANNER, ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED TO ADDRESS FIELD CONDITIONS.

ALL DISTURBED AREAS WHICH ARE TO BE STABILIZED WITH VEGETATIVE COVER SHALL BE TOPSOILED, FERTILIZED, SEEDED AND MULCHED IN ACCORDANCE WITH THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, LATEST EDITION.

ALL UNDERGROUND UTILITY (ELECTRIC, TELEPHONE, CATV, ETC.) INSTALLATION SHALL PROVIDE FOR EFFECTIVE EROSION AND SEDIMENTATION CONTROL TO THEIR POINT OF CONNECTION.

INSPECTION BY THE TOWN STAFF IS REQUIRED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY. THIS INSPECTION EVALUATES COMPLIANCE TO THE APPROVED PLOT PLAN AND THE PERMANENT STABILIZATION REQUIREMENT. THE BUILDER SHALL NOTIFY THE TOWN UPON COMPLETION OF PERMANENT STABILIZATION.

A CERTIFICATE OF OCCUPANCY SHALL NOT BE ISSUED PRIOR TO ADEQUATE SITE STABILIZATION AS DETERMINED BY TOWN STAFF.

ALL DRIVEWAY SHOULDERS SHOULD BE STABILIZED IMMEDIATELY UPON COMPLETION OF ROUGH GRADING. THE DRIVEWAY ROADBED SHOULD BE STABILIZED WITH COMPACTED GRAVEL OR AGGREGATE AS SOON AS POSSIBLE.

TOPSOIL AND/OR EXCAVATED SUBSOIL SHOULD BE STOCKPILED WITHIN THE AREA OF DISTURBANCE IF NOT USED FOR ON SITE REGRADING. EACH STOCKPILE SHALL BE RINGED WITH SEDIMENT BARRIERS AND STABILIZED AS DIRECTED BY THE ENVIRONMENTAL PLANNER.

LUMBER AND BUILDING MATERIAL STOCKPILES, VEHICLE PARKING AND MOVEMENT SHALL BE CONFINED TO THE AREA OF DISTURBANCE. THE BUILDER SHALL PROVIDE A DUMPSTER FOR STORAGE AND/OR DISPOSAL OF ALL CONSTRUCTION WASTE.

THE CONTRACTOR SHALL VERIFY THE FOUNDATION DIMENSIONS AND IMMEDIATELY RESOLVE ANY CONFLICTS WITH THE ENGINEER.

**SEPTIC SYSTEM NOTES:**  
THE LOCATION AND ELEVATION OF THE LEACHING TRENCHES SHALL NOT BE ADJUSTED WITHOUT FIRST CONSULTING THE HEALTH DEPARTMENT AND THE ENGINEER.

THE SEPTIC SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE STATE OF CONNECTICUT PUBLIC HEALTH CODE.

A LICENSED SEPTIC INSTALLER MUST OBTAIN A "PERMIT TO CONSTRUCT" FROM THE LOCAL HEALTH DEPARTMENT BEFORE BEGINNING CONSTRUCTION OF THE SEPTIC SYSTEM.

THE LEACHING AREA SHALL BE STAKED FOR CONSTRUCTION BY A LICENSED LAND SURVEYOR. A BENCH MARK SHALL BE PROVIDED NEAR THE SEPTIC SYSTEM FOR HEALTH DEPARTMENT AND INSTALLER USE.

THE CONTRACTOR SHALL COORDINATE INSPECTIONS WITH THE LOCAL HEALTH DEPARTMENT A 24 HOUR MINIMUM NOTICE FOR INSPECTIONS. THE FOLLOWING INSPECTIONS ARE REQUIRED:  
A. SYSTEM & WELL STAKING, BENCH MARK.  
B. LEACHING SYSTEM STRIP INSPECTION.  
C. FINAL SYSTEM AND AS DIRECTED OR REQUIRED BY THE HEALTH DEPARTMENT.

AN "AS-BUILT" SURVEY OF THE COMPLETED SEPTIC SYSTEM PREPARED BY A LICENSED LAND SURVEYOR (A-2 & V-2 ACCURACY STANDARDS) WITH "TIES" TO THE EXISTING STRUCTURE TO FACILITATE RECOVERY SHALL BE PROVIDED TO THE HEALTH DEPARTMENT AND OWNER FOLLOWING COMPLETION OF THE SEPTIC SYSTEM. THE SURVEYOR SHALL BE CONTACTED TO CONDUCT THE SURVEY PRIOR TO BACKFILLING THE SEPTIC SYSTEM.

IF SEPTIC TANK RISERS ARE INSTALLED, THE ORIGINAL SEPTIC TANK COVERS SHALL REMAIN IN PLACE. AT GRADE RISER COVERS SHALL WEIGH 59 POUNDS, MINIMUM AND/OR BE PROVIDED WITH AN ALTERNATE SAFETY DEVICE TO PREVENT INDIVIDUALS FROM FALLING INTO THE SEPTIC TANK. BELOW GRADE COVERS SHALL CONTAIN ENOUGH METAL TO BE DETECTED BY A METAL DETECTOR.

PIPING FROM THE FOUNDATION WALL TO THE SEPTIC TANK SHALL BE 4" MINIMUM IN DIAMETER AND COMPLY WITH TABLE NO. 2 OF THE CONNECTICUT PUBLIC HEALTH CODE TECHNICAL STANDARDS. THE PIPE SHALL BE INSTALLED AT A MINIMUM PITCH OF 1/4 IN/FT.

PIPING FROM THE SEPTIC TANK TO THE DISTRIBUTION BOX, BETWEEN DISTRIBUTION BOXES AND PERFORATED DISTRIBUTION PIPE SHALL BE 4" IN DIAMETER AND COMPLY WITH TABLE NO. 5 OF THE CONNECTICUT PUBLIC HEALTH CODE TECHNICAL STANDARDS.

ALL CHANGES IN PIPE DIRECTION OR GRADE SHALL BE MADE WITH PROPER FITTINGS.

THE SEPTIC TANK INSPECTION OPENINGS SHALL BE PROVIDED WITH RISERS IF GREATER THAN 12" BELOW GRADE.

THE LEACHING AREA SHALL BE "ROPED OFF" OR OTHERWISE PROTECTED FROM DISTURBANCE AND TRAFFIC UNTIL CONSTRUCTION OF THE LEACHING AREA IS STARTED.

**SELECT FILL**  
IT IS THE RESPONSIBILITY OF THE SEPTIC INSTALLER TO PROVIDE AND INSTALL SELECT FILL MATERIAL IN CONFORMANCE WITH THE FOLLOWING:

THE SEPTIC INSTALLER SHALL PROVIDE A SIEVE ANALYSIS TO THE LOCAL HEALTH DEPARTMENT OR ENGINEER FOR APPROVAL, IF REQUESTED.

SELECT FILL PLACED WITHIN AND ADJACENT TO LEACHING SYSTEM AREAS SHALL BE COMPRISED OF CLEAN SAND, OR SAND AND GRAVEL, FREE FROM ORGANIC MATTER AND FOREIGN SUBSTANCES. THE SELECT FILL SHALL MEET THE FOLLOWING REQUIREMENTS UNLESS OTHERWISE APPROVED BY A PROFESSIONAL ENGINEER FOR USE WITHIN THE LEACHING AREA.

TOPSOIL AND ORGANIC MATTER WITHIN THE LEACHING AREA SHALL BE STRIPPED PRIOR TO PLACEMENT OF THE SELECT FILL MATERIAL. EXCAVATION EQUIPMENT IS NOT PERMITTED IN THE LEACHING AREA UNTIL THE SELECT FILL MATERIAL HAS BEEN PLACED AND COMPACTED.

THE SELECT FILL MATERIAL SHALL BE PLACED IN LIFTS NOT TO EXCEED 12 INCHES IN DEPTH AND SHALL BE COMPACTED TO 90% OF OPTIMUM DENSITY.

AT THE DIRECTION OF THE LOCAL HEALTH DEPARTMENT OR ENGINEER, A PERCOLATION TEST MAY BE REQUIRED IN THE COMPACTED SELECT FILL MATERIAL TO CONFIRM PROPER PLACEMENT.

THE SELECT FILL SHALL NOT CONTAIN ANY MATERIAL LARGER THAN THREE (3) INCH SIZE. UP TO 45% OF THE DRY WEIGHT OF THE REPRESENTATIVE SAMPLE MAY BE RETAINED ON THE #4 SIEVE (THIS IS THE GRAVEL PORTION OF THE SAMPLE). THE MATERIAL THAT PASSES THE #4 SIEVE IS THAN REWEIGHED AND THE SIEVE ANALYSIS STARTED. THE REMAINING SAMPLE SHALL MEET THE FOLLOWING CRITERIA:

SIEVE SIZE	PERCENT PASSING	
	WET SIEVE	DRY SIEVE
#4	100	100
#10	70 - 80	70 - 100
#40	10 - 50*	10 - 75
#100	0 - 20	0 - 5
#200	0 - 5	0 - 2.5

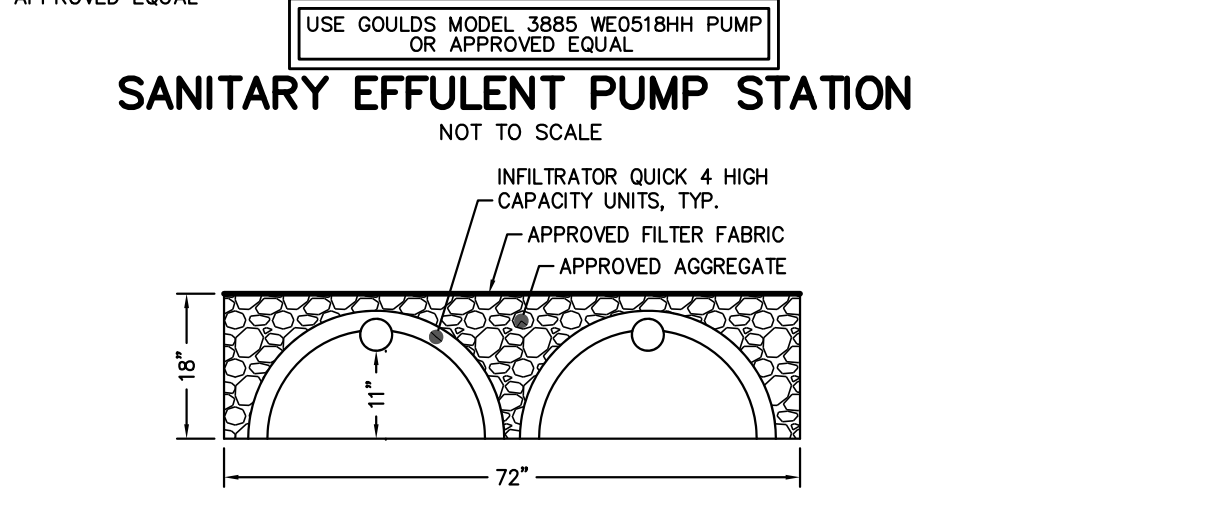
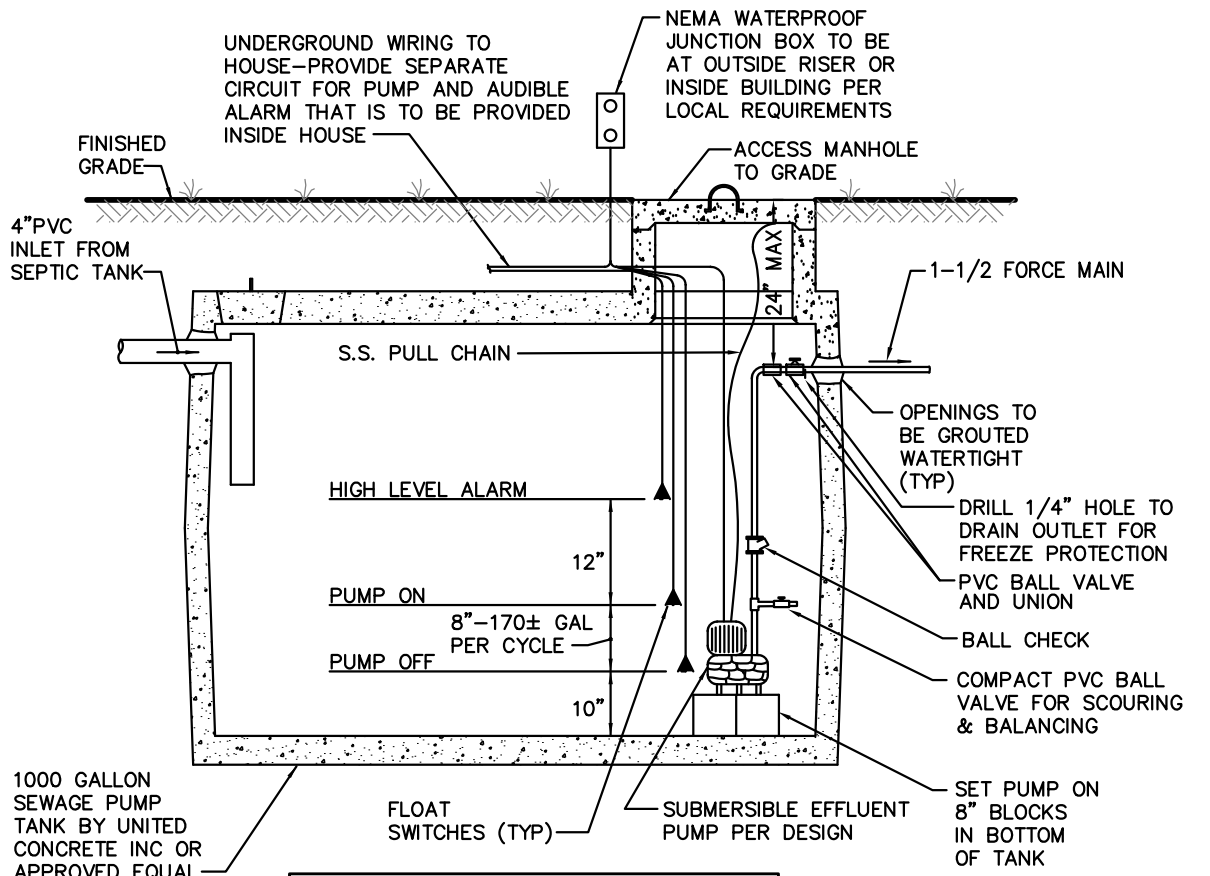
\*PERCENT PASSING THE #40 SIEVE CAN BE INCREASED TO NO GREATER THAN 75% IF THE PERCENT PASSING THE #100 SIEVE DOES NOT EXCEED 10% AND THE #200 SIEVE DOES NOT EXCEED 5%.

**SEPTIC SYSTEM DESIGN**  
THE SEPTIC SYSTEM DESIGN IS BASED ON A PERCOLATION RATE OF LESS THAN 10.1 MIN/IN AND A 4 BEDROOM HOUSE, THE REQUIRED EFFECTIVE LEACHING AREA IS 577.5 SQ.FT.

THE LEACHING SYSTEM SHALL CONSIST OF ONE, 96 FT LONG ROW OF 18" LEACHING GALLERY, PROVIDING 595.2 SQ. FT. EFFECTIVE LEACHING AREA.

ELEVATIONS OF THE LEACHING SYSTEM SHALL BE ADJUSTED IN THE FIELD SO THAT THE BOTTOM OF THE LEACHING SYSTEM IS NOT MORE THAN 4.5 FT BELOW EXISTING GRADE.

**MLSS ANALYSIS:**  
MLSS NOT CONSIDERED DUE TO LACK OF A RESTRICTIVE LAYER



Form #2 Technical Standards for Subsurface Sewage Disposal Systems

**SITE INVESTIGATION FOR A SUBSURFACE SEWAGE DISPOSAL SYSTEM**  
Application/Permit #: \_\_\_\_\_

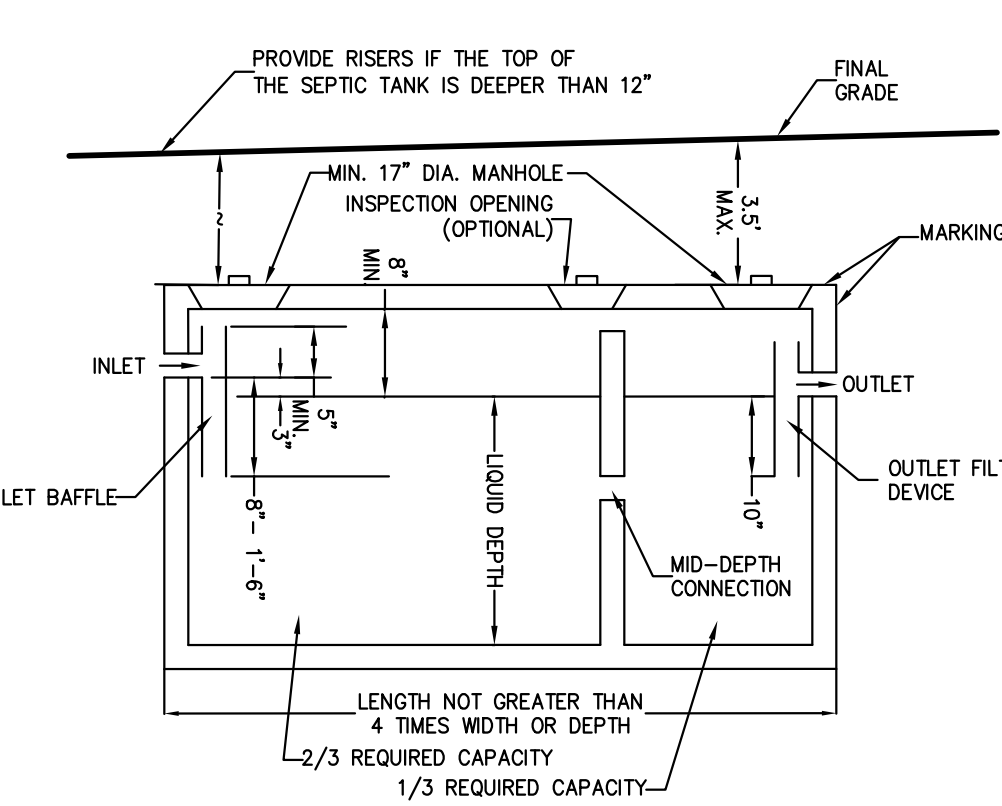
Property Owner ZK Builders Location 390 Ash Swamp Road

**DEEP TEST PIT DATA/SOIL DESCRIPTIONS**  
(Record all Test Pits)

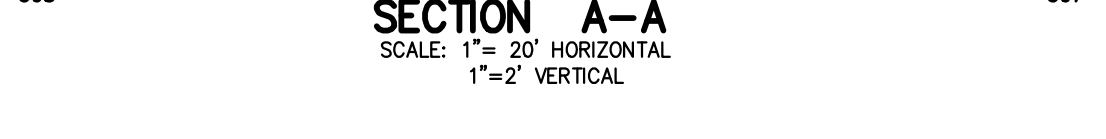
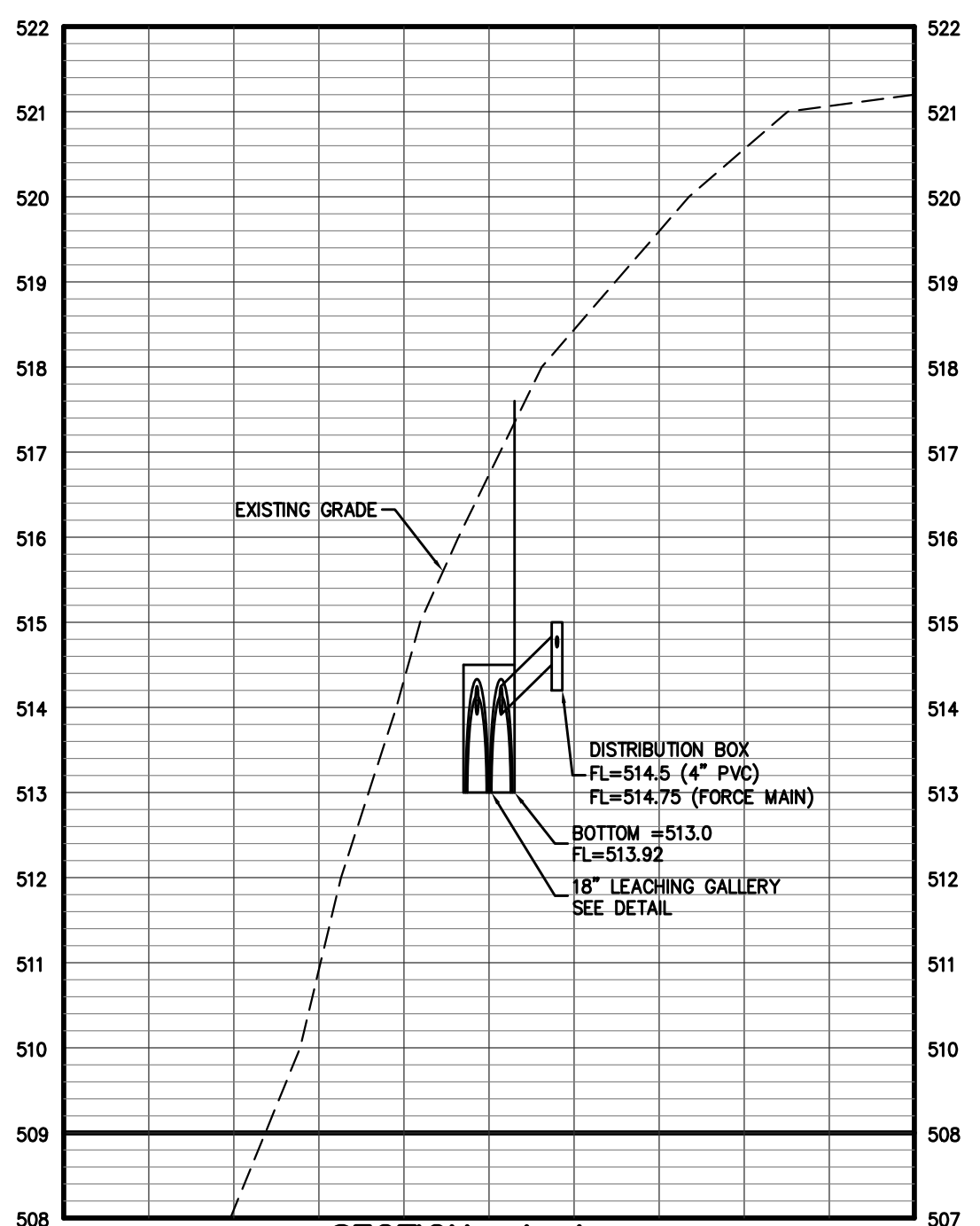
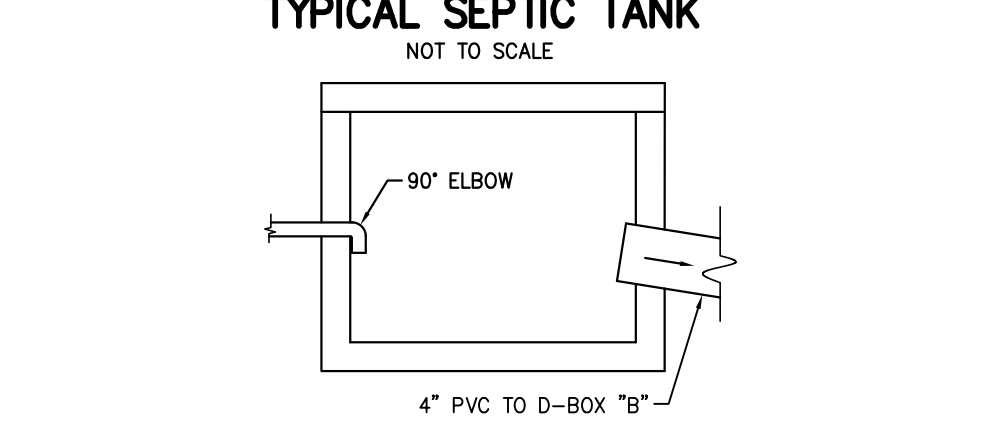
TEST PIT: 3	TEST PIT: 5	TEST PIT: 2	TEST PIT: 4
0.0' - 0.3' top soil	0.0' - 0.3' top soil	0.0' - 0.2' top soil	0.0' - 0.3' top soil
0.3' - 2.5' light brown fine sandy loam	0.3' - 2.8' light brown fine sandy loam	0.3' - 1.0' gravelly light brown sandy loam	0.3' - 2.0' light brown fine sandy loam
2.5' - 5.0' brown fine sand, lenses of gravel	2.8' - 7.5' dark brown sand, coarse sand	1.0' - 5.0' lenses of brown fine sand & gravelly coarse sand	2.0' - 3.0' coarse dark brown sand, gravel, cobbles, few boulders
5.0' - 8.0' slightly compact brown sand		5.0' - 8.0' dark brown fine sand	3.0' - 5.0' compact dark brown sand, gravel
			5.0' - 7.5' brown fine sand
Mottles:	Mottles:	Mottles:	Mottles:
GW:	GW:	GW:	GW:
Ledge:	Ledge:	Ledge:	Ledge:
Roots: 4.0'	Roots: 3.5'	Roots: 6.0'	Roots: 4.5'
Restrictive:	Restrictive:	Restrictive:	Restrictive:

**PERCOLATION TEST DATA**  
PERC TESTS BY THE TOWN OF GLASTONBURY 02/21/2023

PERC: upper	PERC: lower		
DEPTH: 29 1/2"	DEPTH: 27 1/2"		
PRESOAK:	PRESOAK:		
TIME	READING	TIME	READING
1056	14"	1102	12 1/2"
1100	16 3/4"	1106	14"
1104	19 1/2"	1110	15 1/2"
1108	21"	1114	17"
1112	22 1/4"	1118	18 1/2"
1116	24 1/4"	1122	19 1/2"
1120	25 1/2"	1126	20 1/2"
		1130	21 1/4"
		1134	22"
		1138	22 1/2"
		1142	23 1/4"
		1146	23 3/4"
PERC RATE: 3.2 min/inch	PERC RATE: 6.4 min/inch		



CONCRETE SEPTIC TANKS SHALL CONFORM TO SECTION V. "SEPTIC TANKS" OF THE "CONNECTICUT PUBLIC HEALTH CODE REGULATIONS AND TECHNICAL STANDARDS FOR SUBSURFACE SEWAGE DISPOSAL SYSTEMS", REVISED THROUGH JANUARY 1, 2018



**FORCE MAIN / CULVERT CROSSING NOTES:**  
THE FORCE MAIN CROSSING OF THE 24" HDPE SHALL BE DONE AT A TIME OF DRY WEATHER.

CONSTRUCTION DATES SHALL BE APPROVED BY THE DESIGN ENGINEER, ENVIRONMENTAL PLANNER, TOWN OF GLASTONBURY ENGINEERING AND HEALTH DEPARTMENTS. APPLICABLE EROSION AND SEDIMENTATION CONTROL MEASURES AT THE RAIN GARDEN SHALL BE INSTALLED PRIOR TO CONSTRUCTION.

IF DE-WATERING IS REQUIRED, THE WATER SHALL BE DIRECTED TO THE RAIN GARDEN.

SEDIMENT BARRIERS AND OTHER EROSION & SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND SHALL BE INSPECTED BY THE DESIGN ENGINEER AND ENVIRONMENTAL PLANNER PRIOR TO CONSTRUCTION.

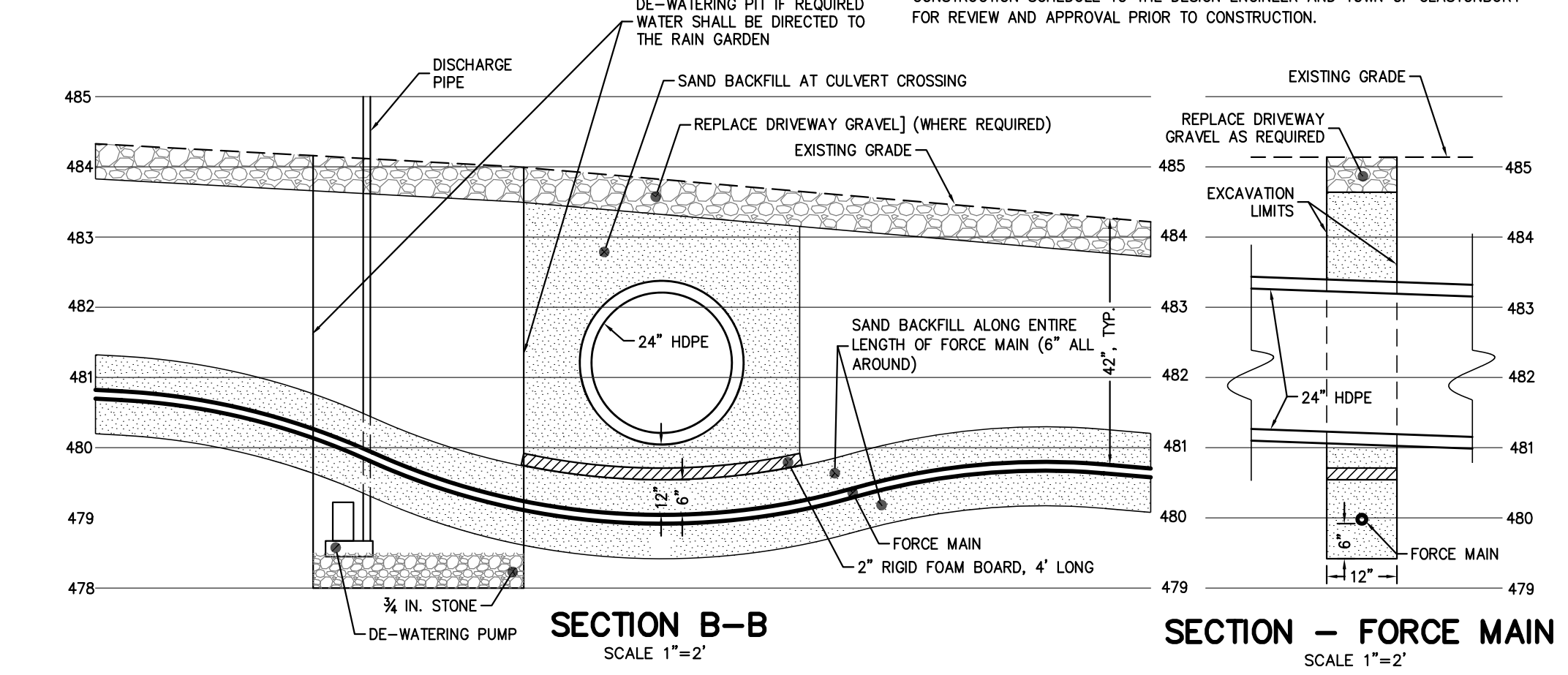
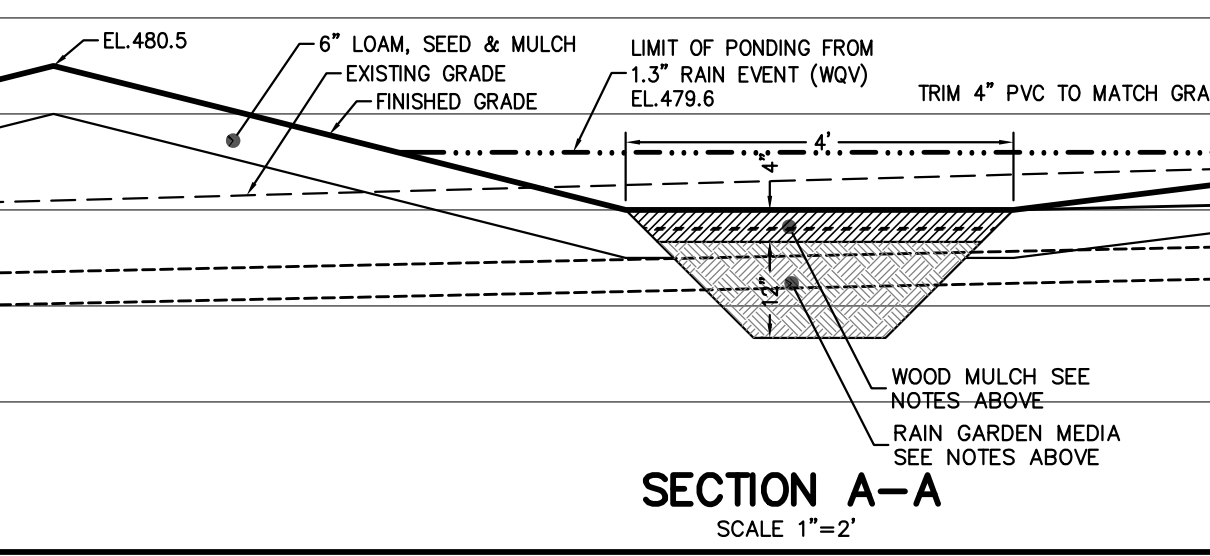
ALL REQUIRED MATERIALS (PIPE, STONE, SAND, PUMP, ETC.) SHALL BE ON SITE PRIOR TO THE START OF CONSTRUCTION.

RAPID CONSTRUCTION OF THE CROSSING IS KEY TO MITIGATION OF EROSION AND SEDIMENTATION CONTROL ISSUES. THE CONTRACTOR SHALL SUBMIT A CONSTRUCTION SCHEDULE TO THE DESIGN ENGINEER AND TOWN OF GLASTONBURY FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.

**RAIN GARDEN NOTES:**  
PLANTING SOIL SHALL CONSIST OF 35%-60% SAND, 30%-55% SILT, 10%-25% CLAY, USDA SOIL TYPES LOAMY SAND, SANDY LOAM OR LOAM.

MULCH WITHIN THE RAIN GARDEN AREA SHALL BE PLACED AT A UNIFORM THICKNESS OF 4" AND SHALL BE WELL AGED (6 TO 12 MONTHS) SHREDDED HARDWOOD MULCH. PINE MULCH AND WOOD CHIPS ARE NOT ACCEPTABLE MATERIALS AS THEY WILL FLOAT DURING STORM EVENTS AND CAUSE FAILURE OF THE "OUTLET" STRUCTURE AND UNDERDRAIN SYSTEMS.

SEE LANDSCAPE PLAN FOR RAIN GARDEN PLANTINGS



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EMAIL: JMO@DUTTONASSOCIATESLLC.COM

MARK A. REYNOLDS, P.E. #19789

**PLOT PLAN**  
**390 ASH SWAMP ROAD**  
PREPARED FOR  
**ZK BUILDERS**  
GLASTONBURY, CONNECTICUT

REVISIONS:  
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DATE: 03/14/2024  
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SHEET 6 of 7

**A-22-323-D**  
FILE: 22-323.DWG

