MAJOR AMENDMENT TO SOMERSET SQUARE P.A.D.

330 Naubuc Avenue Glastonbury, Connecticut

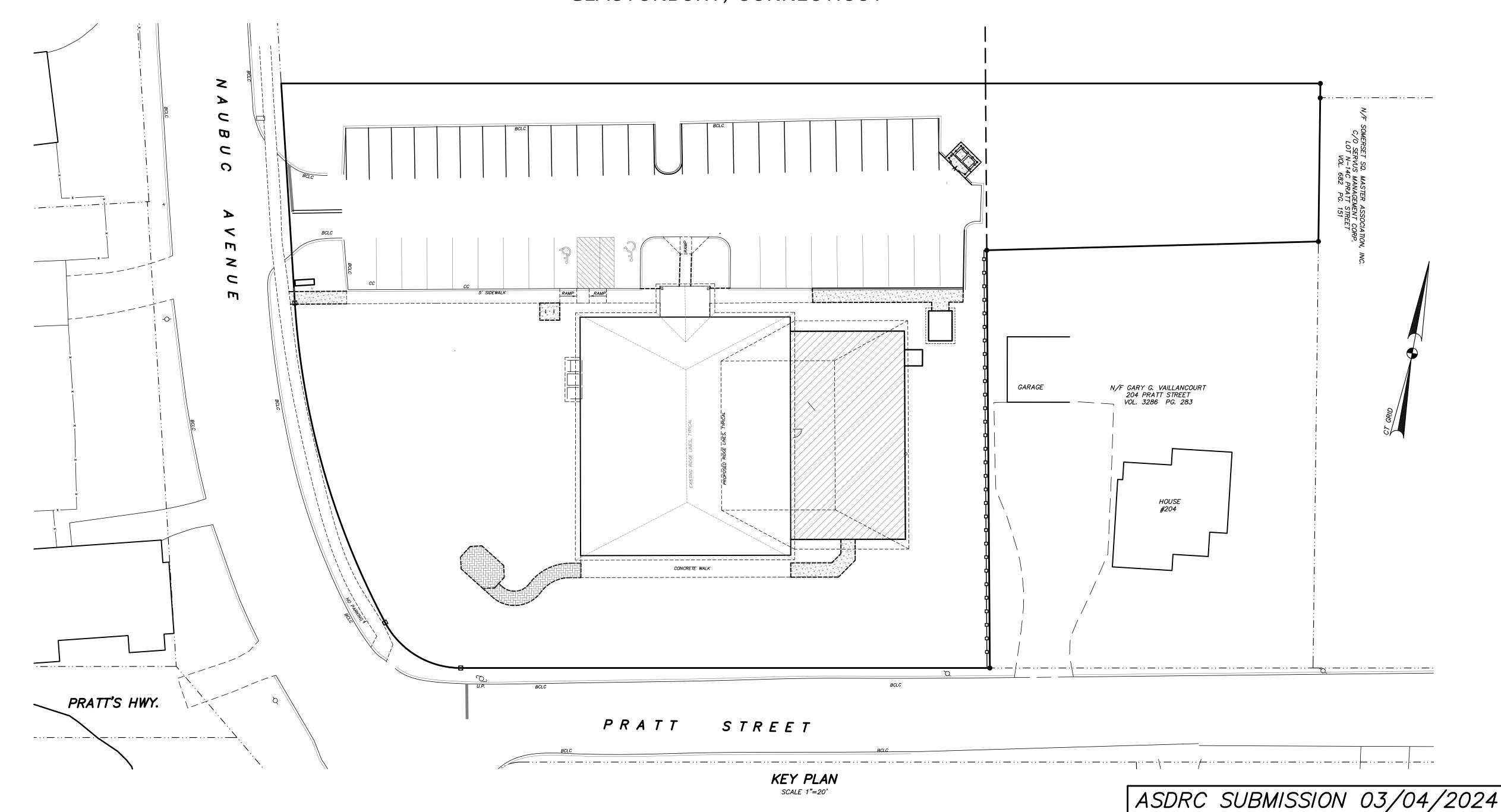
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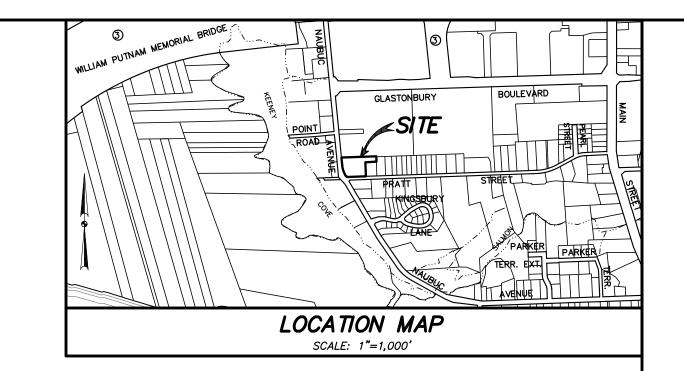
DAMATO REALTY GROUP LLC

PREPARED BY

DUTTON ASSOCIATES, LLC

67 EASTERN BOULEVARD
GLASTONBURY, CONNECTICUT





505ND TO DIAM OUESTO

•	IRON PIN	0
•	CONCRETE MONUMENT	٥
	PROPERTY LINE	
-·· - ··-	ABUTTING PROPERTY LINES	
	EASEMENT LINE	
	BUILDING LINE	
100	GROUND CONTOURS	
× ^{101.25}	SPOT ELEVATION	222.2
TITITITITITI	TREE LINE	_IIIIIIII
	TREE/SHRUB	₩ 🛠 🌣
٩	SIGN	•
*	LIGHT POLE	*
	BUILDINGS	
	ROOF OVERHANG	
	STEPS/HATCHWAY	
CONC. PAVEMENT	CONCRETE PAVEMENT	
BIT. PAVEMENT	BITUMINOUS PAVEMENT	
BIT. CURB	BITUMINOUS CURB	BCLC
CB	STORM SEWERS	D D
FD FD	FOUNDATION DRAIN	FD FD
$lue{m{\Phi}}^{TP}$	TEST PIT LOCATION	
EXISTING O ^{WELL}	WELL	● WELL
	SEDIMENT BARRIER	

ABBREVIATIONS

BIT.	BITUMINOUS
WLK.	WALK
VOL.	VOLUME
PG.	PAGE
N/F	NOW OR FORMERLY
BCLC	BITUMINOUS CONCRETE LIP CURE
GC	GRANITE CURB
T.F.	TOP OF FRAME
T.G.	TOP OF GRATE
INV.	INVERT
F.L.	FLOW LINE
SMH	SANITARY MANHOLE
C.B.	CATCH BASIN
A.K.A.	ALSO KNOWN AS
F. Y.	FRONT YARD
S. Y.	SIDE YARD
R. Y.	REAR YARD
RET.	RETAINING
EXIST.	EXISTING
HYD.	HYDRANT
W. G.	WATER GATE
<i>HELCO</i>	HARTFORD ELECTRIC LIGHT COMP
CL&P	CONNECTICUT LIGHT & POWER
WL	WETLANDS
TOP FND.	RESERVE LEACHING AREA
BSMT. FLR.	BASEMENT FLOOR ELEVATION
GAR FIR	CARACE FLOOR FLEVATION

PRIMARY LEACHING AREA RESERVE LEACHING AREA

AMENDMENT TO SOMERSET S 330 NAUBUC AVER PREPARED FOR DAMATO REALTY GROU
--

JAMES W. DUTTON, L.S. #70074

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		TABLE OF CONTENTS	
	<u>PLAN NUMBER</u>	<u>DESCRIPTION</u>	SHEET NUMBER
	A-23-346-T	TITLE SHEET	1 OF 9
	A-23-346-EC	PROPERTY & TOPOGRAPHIC SURVEY, DEMO PLAN	2 OF 9
	A-23-346-S	SITE DEVELOPMENT PLAN	3 OF 9
	A-23-346-L1-L2	LIGHTING	4 & 5 OF 9
_	A-23-346-D1-D3	DETAILS	6-8 OF 9
<u>'</u>	A-23-346-APP	APPROVALS	9 OF 9

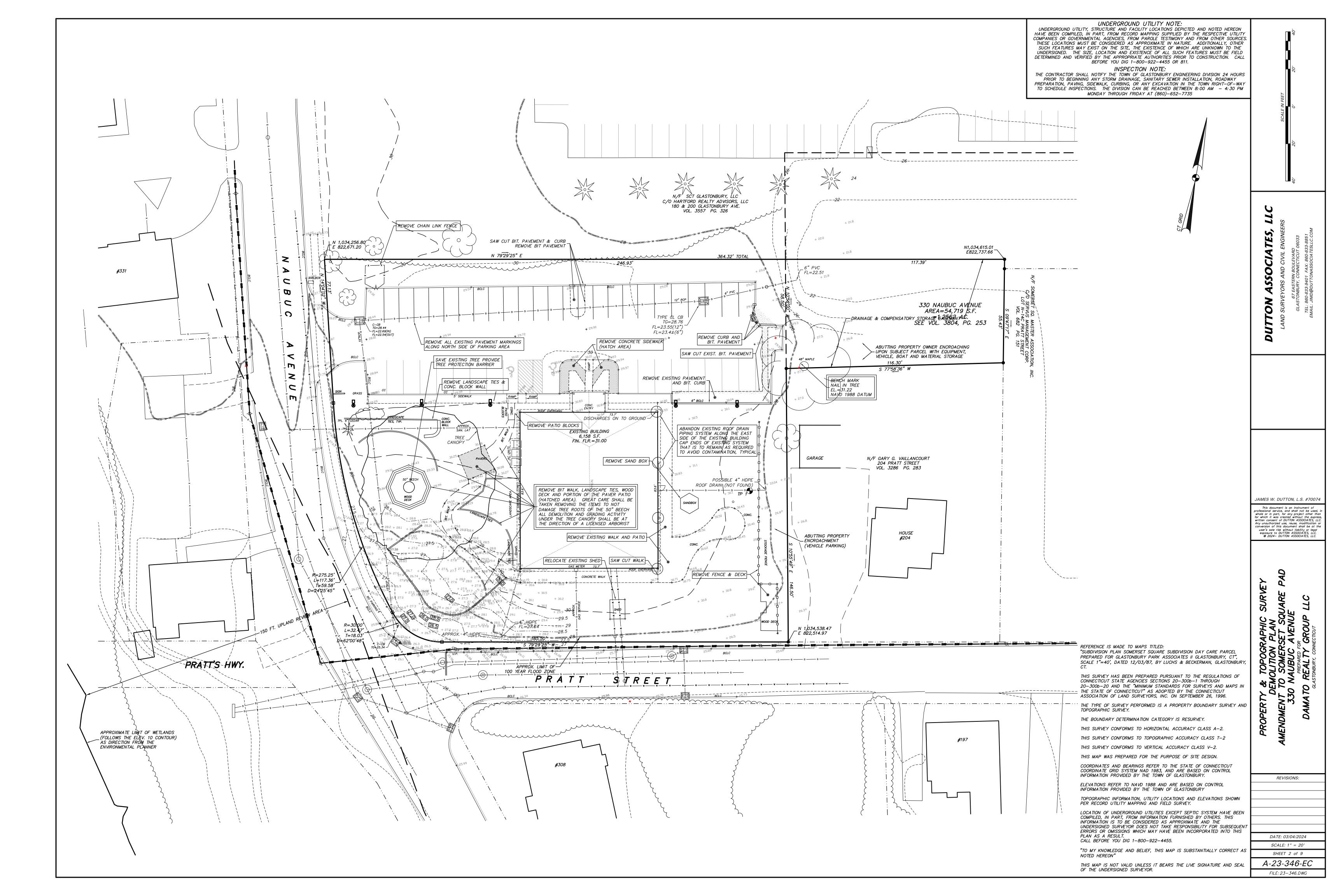
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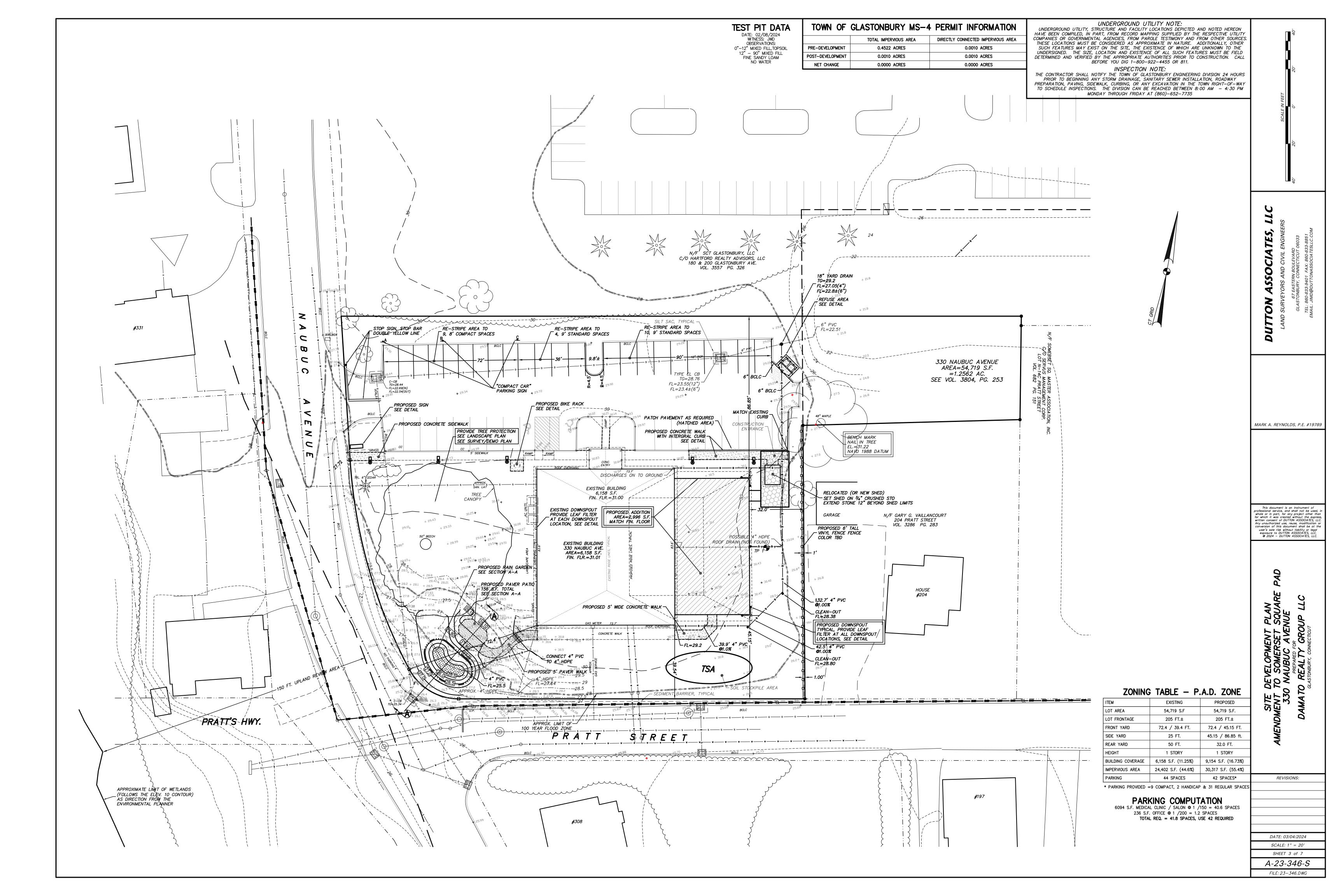
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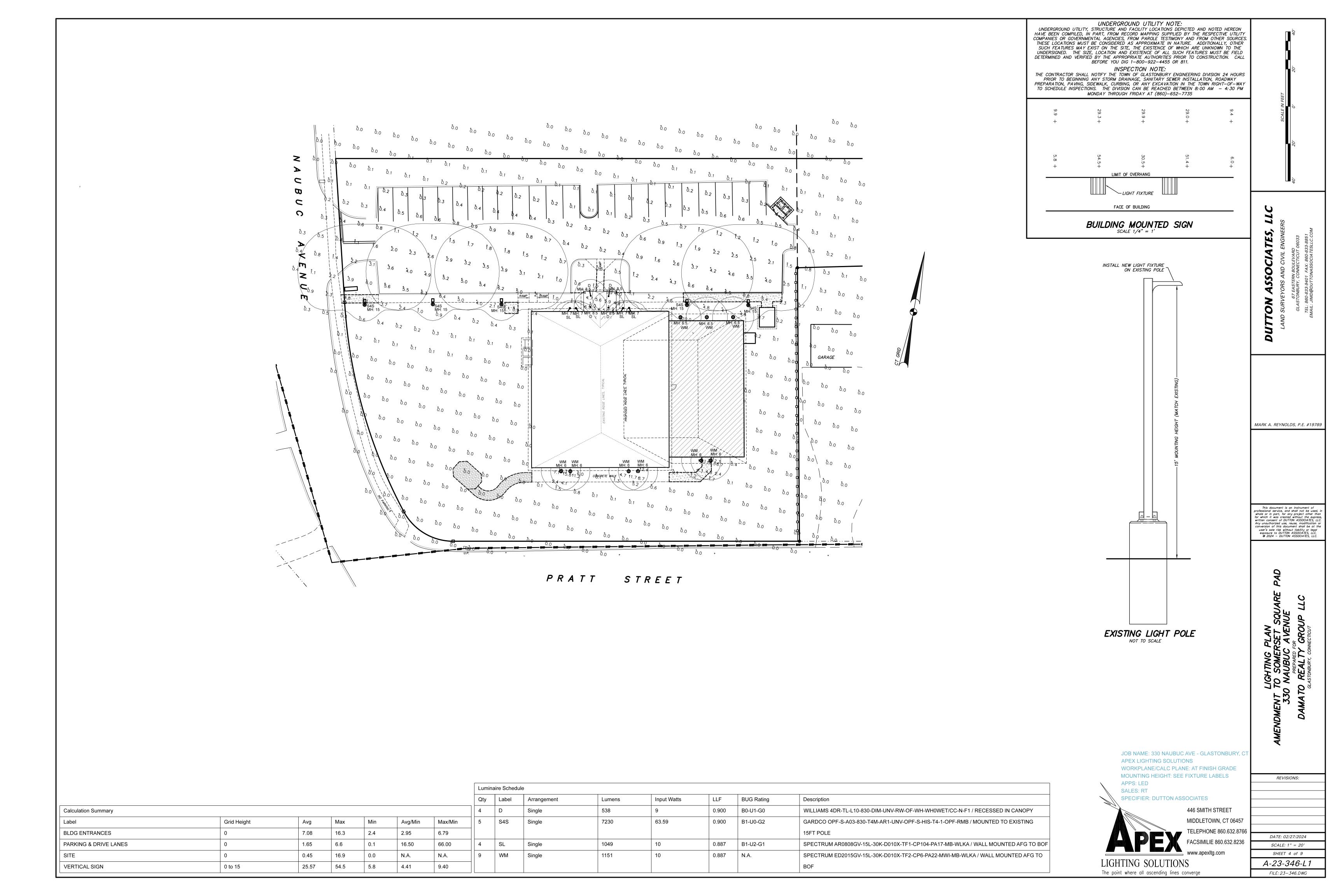
SHEET 1 of 9

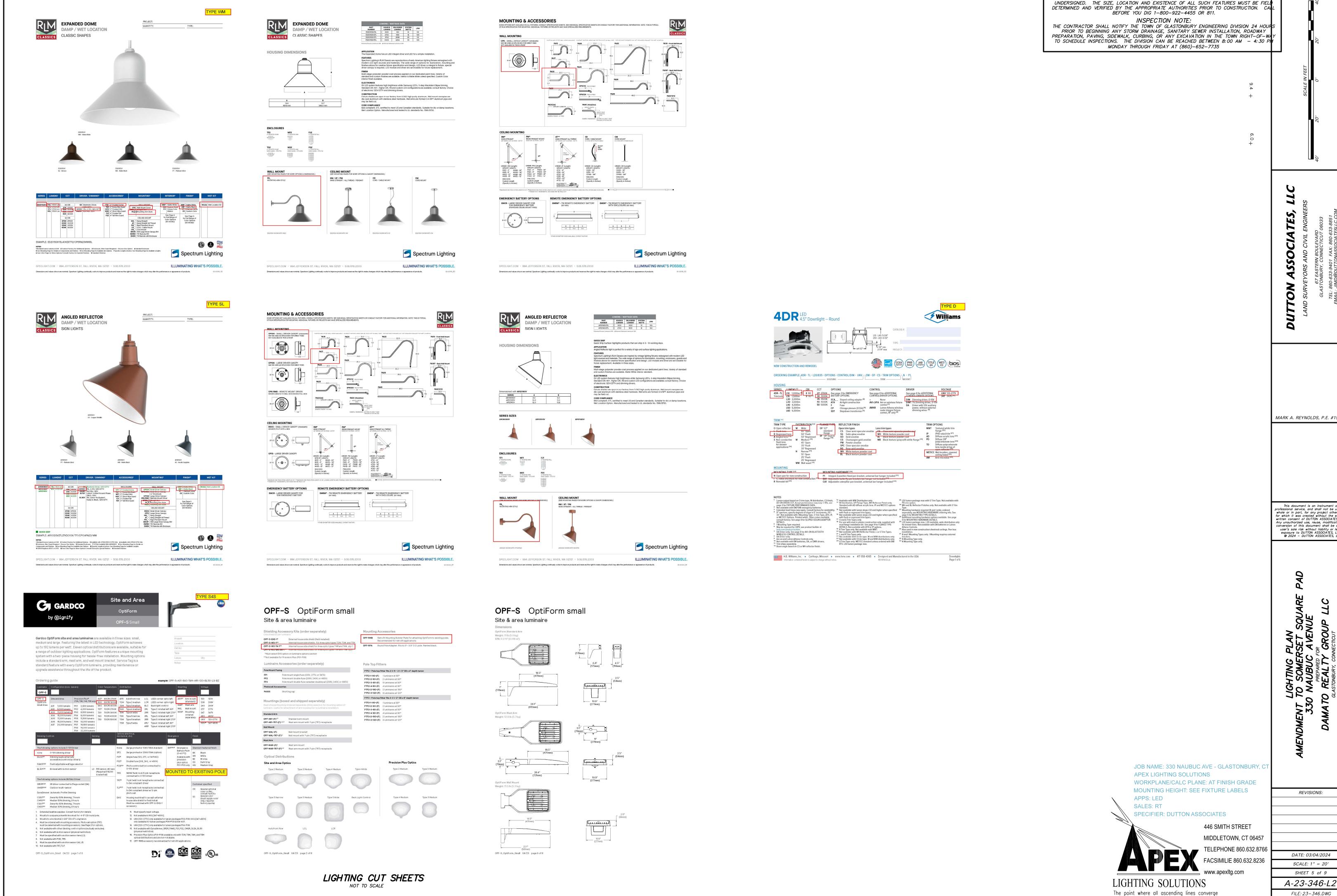
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UNDERGROUND UTILITY NOTE: UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHE SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO

MARK A. REYNOLDS, P.E. #19789

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A-23-346-L2

PERMANENT VEGETATIVE COVER:

THE PURPOSE OF PERMANENT VEGETATIVE COVER IS TO STABILIZE EXPOSED SOIL, REDUCE DAMAGE FROM WIND & WATER EROSION AND ENHANCE THE ENVIRONMENT.

TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED ON ALL SOIL STOCKPILE AREAS WHICH WILL BE IN PLACE FOR MORE THAN 21 DAYS BETWEEN AUGUST 1 AND JUNE 15. PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED AS SOON AS POSSIBLE ON AREAS WHERE

PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED BETWEEN THE PRIME SEEDING DATES OF APRIL 15 THROUGH JUNE 15 AND AUGUST 15 THROUGH SEPTEMBER 15.

IF TEMPORARY VEGETATIVE COVER CANNOT BE ESTABLISHED BETWEEN THE PRIME SEEDING DATES. THE AREA SHALL BE STABILIZED TO THE EXTENT POSSIBLE WITH TEMPORARY MULCH UNTIL THE NEXT PRIME SEEDING

REFER TO THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL FOR ADDITIONAL

SITE PREPARATION:

CONSTRUCTION HAS BEEN COMPLETED.

1. APPLICABLE EROSION AND SEDIMENTATION CONTROLS (SEDIMENT BARRIERS, ETC.) SHALL BE INSTALLED PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.

2. REMOVE LOOSE ROCK AND LARGE STONES, DEBRIS, TRASH, STUMPS AND OTHER NOXIOUS MATERIALS.

3. UNLESS HYDROSEEDED, APPLY LIME PER SOIL TEST OR AT THE RATE OF 135 LB PER 1000 S.F. 4. UNLESS HYDROSEEDED, APPLY FERTILIZER PER SOIL TEST OR AT THE RATE OF 7.5 LB PER 1000 S.F. OF 10-10-10 FERTILIZER AND 7 LB PER 1000 S.F. OF 38-0-0 OF SLOW RELEASE NITROGEN FOR TOPDRESSING. 5. UNLESS HYDROSEEDED, LIME AND FERTILIZER SHALL BE WORKED INTO SOIL TO A DEPTH OF 4".

WHEN HYDROSEEDING, THE SOIL SHALL BE TILLED AS DESCRIBED BELOW. LIME AND FERTILIZER MAY BE APPLIED SIMULTANEOUSLY WITH THE SEED.

6. TILLAGE SHALL RESULT IN A UNIFORM CONTOUR, FREE FROM DEPRESSIONS AND WATER POCKETS.

1. SELECT AN APPROPRIATE SEED MIXTURE FROM THE LIST BELOW. ALTERNATE SEED MIXES SHALL BE APPROVED BY THE ENVIRONMENTAL PLANNER. APPLY PROPER INOCULANT WHEN USING LEGUME SEED. 2. SEED SHALL BE APPLIED UNIFORMLY BY BROADCASTING, DRILLING OR HYDRAULIC APPLICATION. 3. UNLESS HYDROSEEDED OR "CULTIPACKER" TYPE SEEDER IS USED, COVER THE SEEDS WITH NOT MORE THAN 1/4 INCH OF SOIL. THE SEEDBED SHALL BE FIRMED FOLLOWING SEEDING WITH A ROLLER OR LIGHT

4. UNLESS HYDROSEEDED, APPLY MULCH AS REQUIRED IMMEDIATELY AFTER SEEDING.

5. SEEDING SHALL OCCUR BETWEEN APRIL 15 TO JUNE 15 AND / OR AUGUST 15 TO SEPTEMBER 15.

6. WHEN HYDROSEEDING, SEEDING RATES SHALL BE INCREASED BY 10 % (400% FOR LEGUMES). FIBER MULCH SHALL BE USED WHEN HYDROSEEDING EXCEPT FOR CRITICAL AREAS WHICH SHALL BE MULCHED WITH STRAW MULCH.

RECOMMENDED SEED MIXES:

CREEPING RED FESCUE - 1.10 LB/1000 S.F. PERENNIAL RYEGRASS - 0.10 LB/1000 S.F.

SUNNY / PARTIALLY SUNNY SITE: KENTUCKY BLUEGRASS - 0.50 LB/1000 S.F CREEPING RED FESCUE - 0.50 LB/1000 S.F. PERENNIAL RYEGRASS - 0.10 LB/1000 S.F.

CREEPING RED FESCUE - 1.00 LB/1000 S.F. TALL FESCUE - 0.50 LB/1000 S.F.

MULCHING:

THE PURPOSE OF MULCHING IS TO PROTECT THE SOIL, CONTROL RUNOFF AND PROMOTE PLANT GROWTH. ALL AREAS WHICH HAVE BEEN TEMPORARILY OR PERMANENTLY SEEDED SHALL BE MULCHED IMMEDIATELY

MULCH SHALL BE USED ON ALL DISTURBED AREAS FOR PROTECTION FROM EROSION WHICH WILL BE EXPOSED FOR MORE THAN 21 DAYS AND CANNOT BE SEEDED WITHIN THE PRIME SEEDING DATES.

THE MATERIALS USED FOR MULCHING SHALL BE STRAW OR HAY FREE FROM COARSE MATTER AND WEEDS. WHEN HYDROSEEDING, MULCH SHALL BE APPLIED SIMULTANEOUSLY WITH THE SEED. MULCH MATERIAL AND APPLICATION RATE SHALL BE AS RECOMMENDED BY THE MANUFACTURER.

MULCH SHALL BE APPLIED UNIFORMLY BY HAND OR BLOWER AT A RATE OF 90 LB/1000 S.F.

CRITICAL AREAS (SLOPES OVER 3 HORIZ. TO 1 VERT.) AND/OR AREAS IDENTIFIED ON THE PLAN SHALL BE MULCHED WITH HAY OR STRAW MULCH.

ANCHORING: 1. IF REQUIRED, MULCH SHALL BE ANCHORED IMMEDIATELY FOLLOWING APPLICATION.

2. STRAW AND HAY MULCH ON SLOPES IN EXCESS OF 5% SLOPE AND/OR AREAS AS DIRECTED BY THE ENVIRONMENTAL PLANNER SLOPE BE ANCHORED IN ACCORDANCE WITH CHAPTER 7 OF THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, LATEST EDITION.

TOPSOILING:

MATERIALS:

TOPSOIL SHALL BE FRIABLE AND LOAMY (LOAM, SANDY LOAM OR SILT LOAM) AND SHALL BE FREE OF DEBRIS, TRASH, STUMPS, ROCKS, ROOTS AND NOXIOUS WEEDS. IT SHALL GIVE EVIDENCE OF BEING ABLE TO SUPPORT HEALTHY VEGETATION AND CONTAIN NO SUBSTANCE THAT IS POTENTIALLY TOXIC TO PLANT

ALL TOPSOIL SHALL BE TESTED BY A RECOGNIZED LABORATORY AND SHALL MEET THE FOLLOWING REQUIREMENTS: ORGANIC MATTER: NOT LESS THAN 1.5% BY WEIGHT.

Ph RANGE: 6.0-7.5 (IF LESS THAN 6.0, LIME SHALL BE APPLIED AS REQUIRED). SOLUBLE SALTS: SHALL NOT EXCEED 500 ppm.

APPLICATION:

APPLICABLE EROSION AND SEDIMENTATION CONTROLS (SEDIMENT BARRIERS, ETC.) SHALL BE IN PLACE AND IN GOOD CONDITION PRIOR TO PLACING TOPSOIL.

TOPSOIL SHALL NOT BE APPLIED WHILE IN A FROZEN OR MUDDY CONDITION.

TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED TO A MINIMUM COMPACTED DEPTH OF 4". SURFACE IRREGULARITIES SHALL BE CORRECTED AT TIME OF PLACEMENT TO AVOID DEPRESSIONS AND WATER POCKETS. TOPSOIL SHALL BE COMPACTED ONLY ENOUGH TO ENSURE GOOD CONTACT WITH THE UNDERLYING SOIL AND TO OBTAIN A UNIFORM SEEDBED. OVER COMPACTING SHALL BE AVOIDED.

TRENCH DE-WATERING:

THE PURPOSE OF TRENCH DE-WATERING IS TO PERMIT THE INSTALLATION OF UNDERGROUND UTILITY STRUCTURES AND SERVICES IN A STABLE ENVIRONMENT. THE EROSION & SEDIMENTATION CONCERN IS THE OUTFLOW FROM THE DE-WATERING OPERATION.

CONTROL METHOD:

IF A SMALL AMOUNT OF WATER IS ENCOUNTERED. THE OUTFLOW SHALL BE PLACED SUCH THAT THE WATER IS ENCOURAGED TO DISPERSE OVER UNDISTURBED EXISTING VEGETATION, UPSTREAM OF A SEDIMENT BARRIER. IF LARGE AMOUNTS OF DE-WATERING IS REQUIRED, THE PUMP OUTLET SHALL BE DIRECTED INTO A 6" DIAMETER PERFORATED PIPE 50 FEET LONG (MIN.), LAID LEVEL ON EXISTING GRADE, WHERE THE WATER WILL FLOW ONTO UNDISTURBED EXISTING VEGETATION ÚPSTREAM OF A SEDIMENT BARRIER.

TEMPORARY VEGETATIVE COVER:

THE PURPOSE OF TEMPORARY VEGETATIVE COVER IS TO STABILIZE EXPOSED SOIL AND REDUCE WIND AND TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED ON ALL SOIL STOCKPILE AREAS WHICH WILL BE IN PLACE FOR MORE THAN 21 DAYS BETWEEN AUGUST 1 AND JUNE 15

TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED ON AREAS WHERE CONSTRUCTION HAS BEEN COMPLETED AND PERMANENT STABILIZATION WILL NOT TAKE PLACE WITHIN 21 DAYS BETWEEN AUGUST 1 AND

IN ALL CASES, PERMANENT STABILIZATION SHALL BE COMPLETED WITHIN 12 MONTHS.

IF TEMPORARY VEGETATIVE COVER CANNOT BE ESTABLISHED BETWEEN THE PRIME SEEDING DATES INDICATED BELOW, THE AREA SHALL BE STABILIZED TO THE EXTENT POSSIBLE WITH TEMPORARY MULCH. REFER TO THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, LATEST ADDITION, FOR ADDITIONAL INFORMATION.

SITE PREPARATION: 1. APPLICABLE EROSION AND SEDIMENTATION CONTROLS (SEDIMENT BARRIERS, ETC.) SHALL BE INSTALLED PRIOR TO ESTABLISHMENT OF TEMPORARY VEGETATIVE COVER.

2. REMOVE LOOSE ROCK AND LARGE STONES, DEBRIS, TRASH, STUMPS AND OTHER NOXIOUS MATERIALS.

3. APPLY LIME PER SOIL TEST OR AT THE RATE OF 50 LB PER 1000 S.F. 4. APPLY FERTILIZER PER SOIL TEST OR AT THE RATE OF 7 LB PER 1000 S.F. OF 10-10-10 FERTILIZER.

5. UNLESS HYDROSEEDED, LIME AND FERTILIZER SHALL BE WORKED INTO SOIL TO A DEPTH OF 4". 6. TILLAGE SHALL RESULT IN A UNIFORM CONTOUR, FREE FROM DEPRESSIONS AND WATER POCKETS

1. APPLY ANNUAL RYEGRASS (OR APPROVED EQUAL) AT A RATE OF 1 LB PER 1000 S.F.

2. SEED SHALL BE APPLIED UNIFORMLY BY BROADCASTING, DRILLING OR HYDRAULIC APPLICATION.

3. UNLESS HYDROSEEDED, SEEDS SHALL BE COVERED WITH NOT MORE THAN 1/4 INCH OF SOIL. 4. APPLY MULCH AS REQUIRED IMMEDIATELY AFTER SEEDING.

5. SEEDING SHALL OCCUR BETWEEN APRIL 1 TO JUNE 15 AND / OR AUGUST 1 TO OCTOBER 1.

GENERAL E & S NOTES:

ALL EROSION AND SEDIMENTATION CONTROL METHODS SHALL BE IN ACCORDANCE WITH THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENTATION CONTROL, LATEST EDITION UNLESS SPECIFICALLY NOTED OTHERWISE ON THESE PLANS.

EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED WITHIN THE PROPER SEQUENCE DURING CONSTRUCTION (I.E. SEDIMENT BARRIERS INSTALLED DOWNSLOPE OF AREAS TO BE DISTURBED PRIOR

ALL DISTURBED AREAS SHALL BE COVERED WITH A MINIMUM OF 4 INCHES OF TOPSOIL, SEEDED AND MULCHED IMMEDIATELY UPON COMPLETION OF FINAL GRADING.

ALL SOIL STOCKPILE AREAS SHALL BE ENCIRCLED WITH SEDIMENT BARRIERS. TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED ON ANY STOCKPILE AREA WHICH IS TO REMAIN MORE THAN 21 DAYS. THE CONTRACTOR SHALL KEEP A SUPPLY OF EROSION AND SEDIMENTATION CONTROL TOOLS AND SUPPLIES ON SITE (SEDIMENT BARRIER, STONE, SHOVELS, ETC.).

THE CONTRACTOR SHALL INSPECT THE EROSION AND SEDIMENTATION CONTROLS WEEKLY AND PRIOR TO A PREDICTED RAIN EVENT. THE EROSION AND SEDIMENTATION CONTROLS SHALL BE REPAIRED OR MAINTAINED

THE CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED TO PREVENT WIND EROSION. THE METHOD USED SHALL BE APPROVED BU THE ENVIRONMENTAL PLANNER. EROSION AND SEDIMENTATION CONTROL MEASURES ARE SUBJECT TO REVIEW AND APPROVAL BY THE TOWNS

ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED AS DIRECTED BY THE TOWNS ENVIRONMENTAL PLANNER TO ADDRESS FIELD CONDITIONS.

SEE THE ATTACHED EROSION CONTROL NARRATIVE, CONSTRUCTION SEQUENCE, CONSTRUCTION SCHEDULE FOR ADDITIONAL INFORMATION.

CONSTRUCTION NOTES:

UNDERGROUND UTILITY STRUCTURE FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING AND INFORMATION PROVIDED BY OTHERS. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES AND STRUCTURES MAY EXIST IN THE AREA, THE EXISTENCE OF WHICH IS UNKNOWN TO DUTTON ASSOCIATES, LLC. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION.

PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES AT CROSSING AND CONNECTION POINTS. ANY CONFLICT OR DISCREPANCY WITH THE PLANS SHALL BE REPORTED TO THE ENGINEER SO THAT ADJUSTMENTS TO THE DESIGN CAN BE MADE.

PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL REQUEST AN UNDERGROUND UTILITY MARK OUT BY CALLING THE CONNECTICUT UNDERGROUND UTILITY PROTECTION PLAN (PHONE 1-800-922-4455).

THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS AND ARRANGE FOR ALL NECESSARY INSPECTIONS FOR THE WORK TO BE PERFORMED.

THE CONTRACTOR IS RESPONSIBLE FOR PAYMENT OF ALL PERMIT AND/OR INSPECTION FEES.

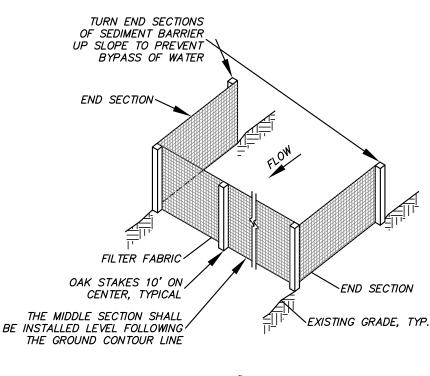
THE CONDITIONS OF APPROVAL ARE A PART OF THIS PLAN, THE CONTRACTOR SHALL CONFORM TO ALL APPLICABLE CONDITIONS.

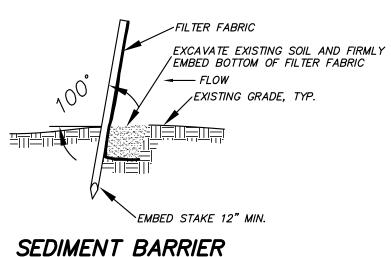
CONSTRUCTION WASTE AND/OR DEBRIS SHALL BE DISPOSED OF ONLY AT APPROVED LOCATIONS AND IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL LAWS AND/OR REGULATIONS.

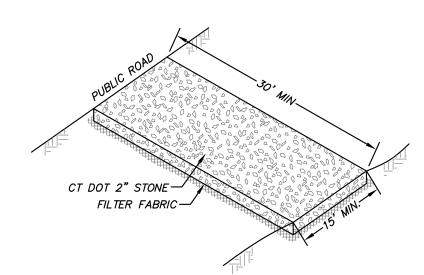
CONSTRUCTION METHODS AND MATERIALS SHALL BE IN ACCORDANCE WITH; THE NOTES AND DETAILS ON THESE PLANS, IF NOT ON SAID PLAN THE TOWN OR CITY STANDARD DETAILS AND SPECIFICATIONS SHALL APPLY, AND IF NOT INCLUDED IN ABOVE, THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES AND INCIDENTAL CONSTRUCTION, LATEST EDITION, FORM 814A AS APPLICABLE.

THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING STRUCTURES, SERVICES AND/OR PROPERTY CAUSED BY HIM DURING CONSTRUCTION. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER OF THE DAMAGED PROPERTY AT THE CONTRACTORS EXPENSE.

PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL COORDINATE CONSTRUCTION WITH OUTSIDE UTILITY COMPANIES PROVIDING SERVICE TO THE SITE. CONFLICTS WITH SUCH UTILITIES SHALL BE REPORTED TO THE ENGINEER SO THAT ADJUSTMENTS TO THE DESIGN CAN BE MADE.



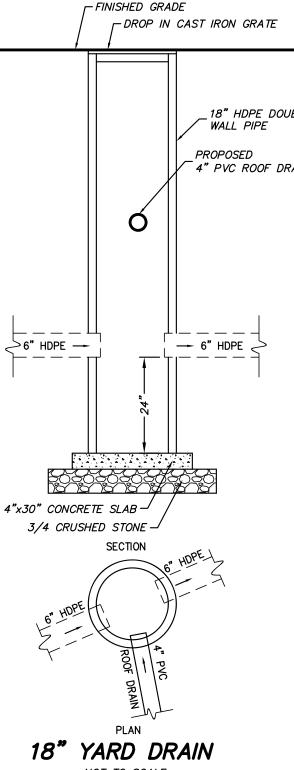




NOT TO SCALE

CONSTRUCTION ENTRANCE

NOT TO SCALE



STORM SEWER MAINTENANCE PLAN PROPER MAINTENANCE OF THE STORM SEWER SYSTEM IS CRITICAL TO THE PROPER FUNCTION OF THE DRAINAGE SYSTEM AND WATER QUALITY TREATMENT ELEMENTS PROPOSED FOR THE PROJECT. THE SYSTEM SHALL BE N\MAINTAINED AS DESCRIBED

SPRING MAINTENANCE

FOLLOWING THE LAST SNOWFALL IN THE SPRING, THE FOLLOWING TASKS SHALL BE

1) ALL PARKING AREAS SHALL BE SWEPT CLEAN OF ALL ACCUMULATED SAND AND 2) INSPECT THE ROOF DRAIN DRAINAGE SYSTEM & GUTTERS, CLEAD DEBRIS FROM SUTTERS AND INSPECT THE VISIBLE ELEMENTS OF THE SYSTEM FOR DAMAGE AND REPAIR AS NBECESSARY. 3) INSPECT THE RAIN GARDEN, REMOVE DEBRIS AND FRESHEN THE MULCH AS REQUIRED. BE SURE TO USE AGED HARDWOOD MULCH.

FALL MAINTENANCE

FOLLOWING THE LEAF DROP IN THE FALL, THE FOLLOWING TASKS SHALL BE

1) REMOVE ALL ACCUMULATED LEAVES AND DEBRIS FROM THE SITE. 2) INSPECT THE ROOF DRAIN DRAINAGE SYSTEM & GUTTERS. CLEAD DEBRIS FROM GUTTERS AND INSPECT THE VISIBLE ELEMENTS OF THE SYSTEM FOR DAMAGE AND REPAIR AS NBECESSARY. 3) INSPECT THE RAIN GARDEN, REMOVE DEBRIS AND FRESHEN THE MULCH AS REQUIRED. BE SURE TO USE AGED HARDWOOD MULCH.

SUGGESTED CONSTRUCTION SEQUENCE

1) INSTALL BASIC EROSION AND SEDIMENTATION CONTROLS. INSPECT AND MAINTAIN E & S CONTROLS WEEKLY AND/OR PRIOR TO A RAIN EVENT.

2) SAW CUT PAVEMENT WHERE REQUIRED.

3) COMPLETE DEMOLITION OF SITE ITEMS TO BE REMOVED (SEE DEMO PLAN) GREAT CARD SHALL BE USED UNDER THE CANOPY OF THE BEECH TREE. ALL WORK UNDER THE CANOPY OF THE BEECH TREE SHALL BE IN CONFORMANCE TO THE LETTER FROM SULLIVAN TREE SERVICE, JODY KRETZMER, LICENSED ARBORIST. #XXX, SEE REPORT ON THE DETAIL PLANS

4) EXCAVATE FOR AND CONSTRUCT ADDITION FOUNDATION, BEGIN ADDITION CONSTRUCTION.

5) INSTALL ROOF DRAIN PIPING SYSTEM..

6) COMPLETE SITE GRADING (RAIN GARDEN)).

7) INSTALL DUMPSTER PAD, CONCRETE WALKS, PAVER PATIO & WALK AND BIKE RACK PAD AND MONUMENT SIGN.

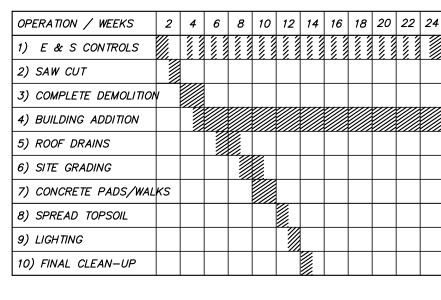
8) INSTALL BITUMINIOUS PAVEMENT PATCHES AND CURB AS REQUIRED

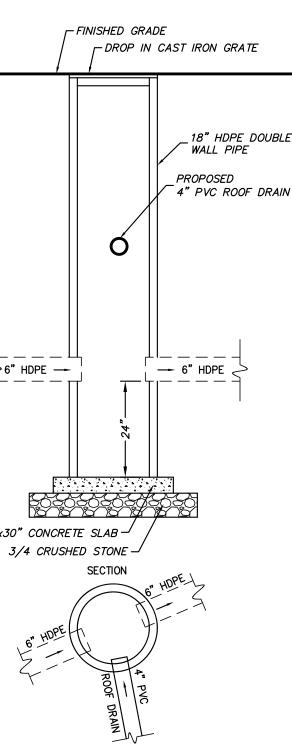
8) SPREAD TOPSOIL AND INSTALL LANDSCAPPING.

9) REPLACE PARKING LOT LIGHT FIXTURES.

10) CONDUCT FINAL SITE CLEAN-UP AND REMOVE SEDIMENT BARRIERS AND SILT

SUGGESTED CONSTRUCTION SCHEDULE





CATCH BASIN MODIFICATIONS

ENHANCE WATER QUALITY

18"RCP OUTLET

THE ABOVE DETAIL IS FROM THE PREVIOUSLY APPROVED PLANS AND IS SHOWN FOR INFORMATION ONLY

EXISTING

FL=22.54

THE PURPOSE OF THE 15" 90° ELBOW IS

TO FORCE THE "FIRST FLUSH" RUNOFF TO BE DIVERTED TO THE EASTERLY THROUGH

THE EXISTING 12" RCP AND DISCHARGE IN

THE EXISTING FLOOD STORAGE BASIN TO

└12" RCP INLE

UNDERGROUND UTILITY NOTE:

UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON

COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROLE TESTIMONY AND FROM OTHER SOURCES.

THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER

SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO THE

UNDERSIGNED. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL

BEFORE YOU DIG 1-800-922-4455 OR 811.

THE CONTRACTOR SHALL NOTIFY THE TOWN OF GLASTONBURY ENGINEERING DIVISION 24 HOURS

PREPARATION, PAVING, SIDEWALK, CURBING, OR ANY EXCAVATION IN THE TOWN RIGHT-OF-WAY TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:00 AM - 4:30 PM

MONDAY THROUGH FRIDAY AT (860)-652-7735

CATCH BASIN

15" I.D. HANCOR 90° ELBOW

18" RCP OUTLET PIPE).

WATER TO DRAIN

INVERT OF 18" RCP

OUTLET EL. 22.54

– *EL.=24.54*

TRIM TOP TO ELEVATION 22.54

TRIM O.D. OF ELBOW AND/OR I.D.

OF THE 18" RCP AS REQUIRED

(24" ABOVE THE EXISTING INVERT OF

TO ALLOW INSTALLATION OF THE ELBOW.

DRILL 4, 1/2" DIA HOLES IN THE BOTTOM

OF THE ELBOW TO ALLOW "BACKED UP"

PRIOR TO BEGINNING ANY STORM DRAINAGE, SANITARY SEWER INSTALLATION, ROADWAY

INSPECTION NOTE:

HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY



DOWN SPOUT LEAF FILTER MANUFACTURED BY: PREFFERRED PLASTICS 800 E. BRIDGE STREET PLAINWELL, MI. 49080 1-269-680-3620 WWW.PEREFERREDPLASTICS.COM DISTRIBUTED BY LEAFFILTER GUTTER PROTECTION 104 SEBETHE DRIVE, SUITE 100 CROMWELL. CT 06416 1-800-290-6106 WWW.LEAFFILTER.COM DOWNSPOUT LEAF FILTER

NOT TO SCALE

12" MIN. PATIO BLOCK _ (FOR FUTURE RECOVERY) FINISHED GRADE ←PVC CAP TO OUTLE ELEVATION VIEW LFROM DOWN SPOUTS -ROOF DRAIN CLEAN-OUT ACCESS TO OUTLET PLAN VIEW

> CLEAN-OUT NOT TO SCALE

0 0

MARK A. REYNOLDS, P.E. #19785

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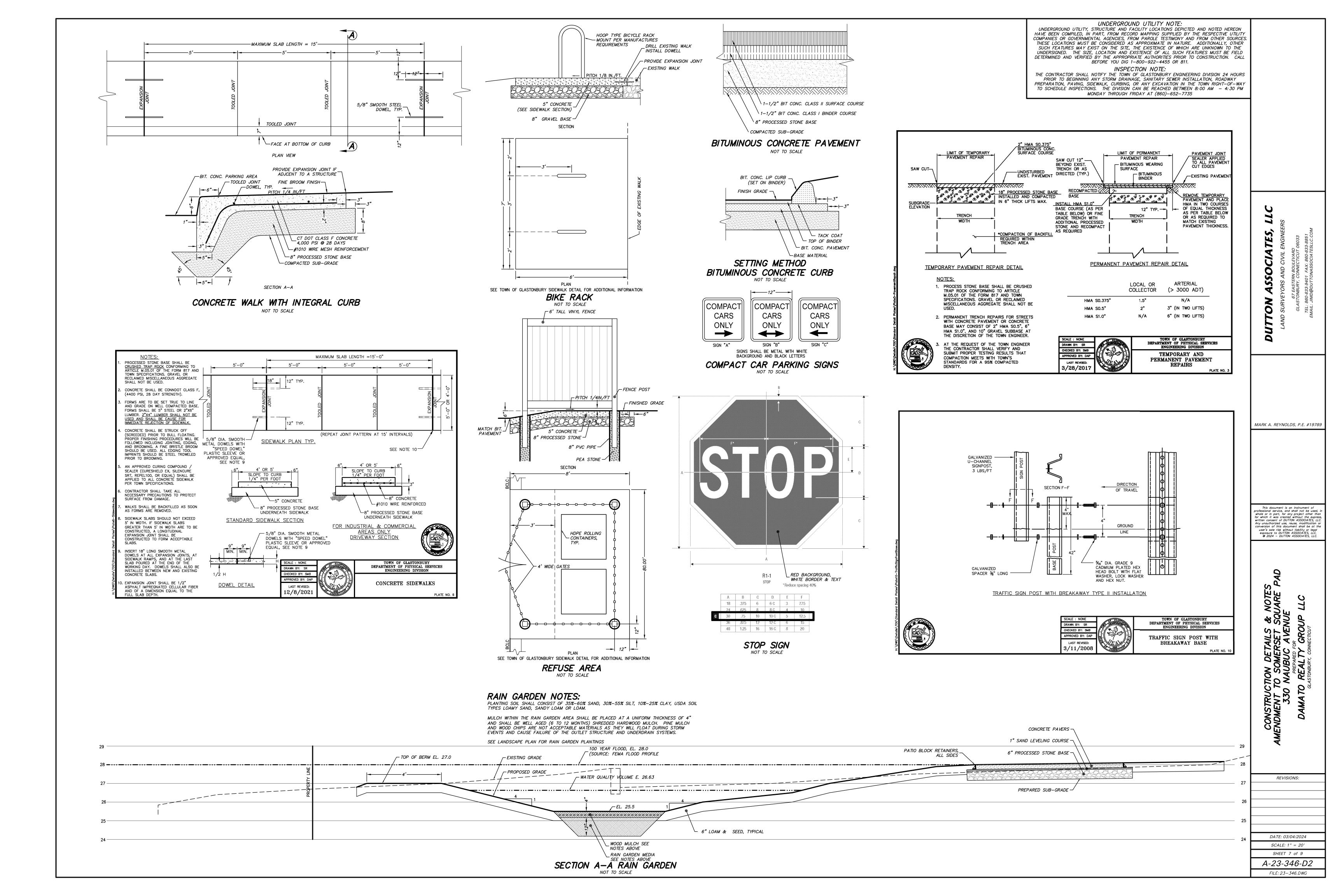
2024 – DUTTON ASSOCIATES, LLC.

REVISIONS:

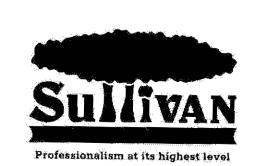
DATE: 03/04/2024 SCALE: 1" = 20' SHEET 6 of 9

A-23-346-D1

FILE: 23-346.DWG



INSPECTION NOTE: THE CONTRACTOR SHALL NOTIFY THE TOWN OF GLASTONBURY ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, SANITARY SEWER INSTALLATION, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, OR ANY EXCAVATION IN THE TOWN RIGHT-OF-WAY TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:00 AM — 4:30 PM MONDAY THROUGH FRIDAY AT (860)-652-7735



February 17, 2024

Mary Damato 330 Naubuc Avenue Glastonbury, Ct., 06033 Email: maryanndamato@gmail.com

Mrs./Ms. Damato,

Through Jim Dutton you asked me to inspect and forward you a written report of my professional opinion as to the condition of a large "Copper Beech tree" in the front/side yard of your property at 330 Naubuc Avenue in Glastonbury. You had sent me site plans and a landscape plan for future renovations of the property. This included, but was not limited to, the removal of landscape ties, and composite decking surrounding the tree, and the need to install plantings along the existing walkway at about the dripline of the tree and in the surrounding area. With all considered, you asked for my recommendations and professional opinion of the existing condition of the tree and the environmental impact to the tree once these renovations have been accomplished.

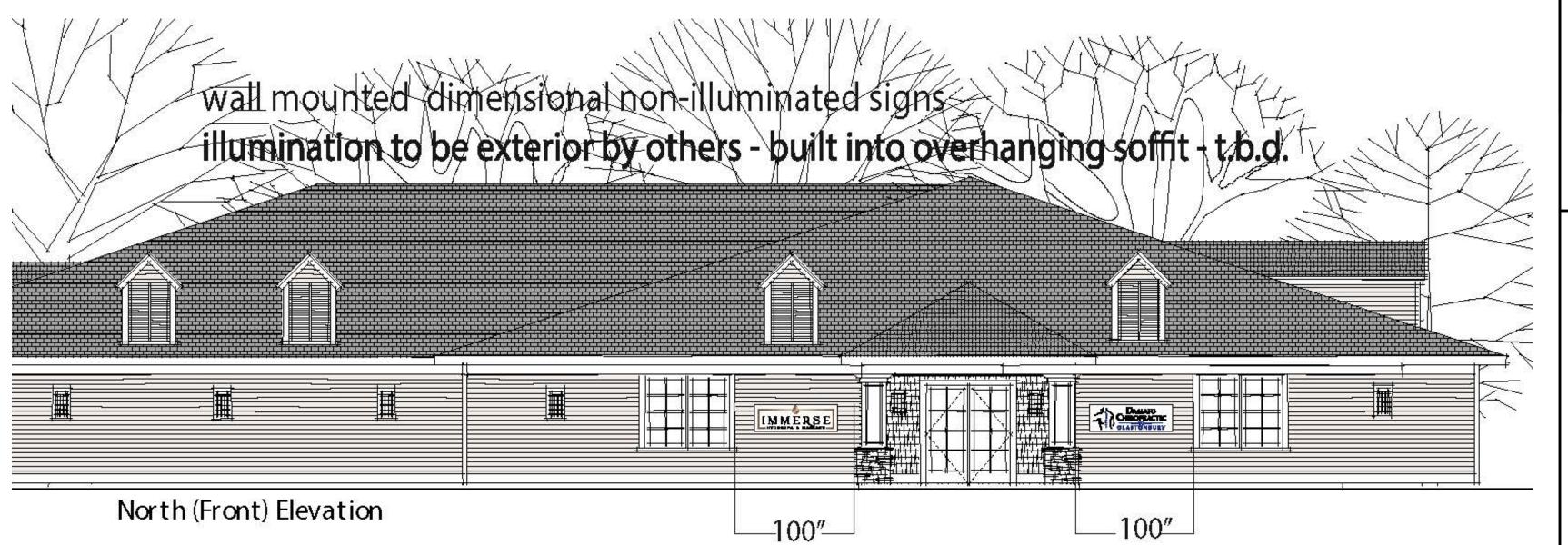
On or about February 5, 2024, I visited the site and offer you the following recommendations and my opinion.

- 1) In my professional opinion, the tree appears to be in good health. The tree has very little deadwood in it, and very few crossing branches. There is little to no trunk/bark damage, and the buds appear to be full and healthy. It is/was difficult to determine the condition of the roots as there is a decking surrounding the tree, and equally it is/was difficult to determine if the tree has "BLD" (Beech Leaf Disease). There is evidence of BLD based on some leaves that I found on the ground that appeared to be curled which suggests but is not determined factually of the BLD presence. I would consider this tree as a "specimen" tree. In my professional opinion this tree is in good health.
- 2) As to the renovations to the surrounding area and the environmental impact to this tree, my recommendations are as follows:
- a. Carefully remove the composite decking material from the base of the Beech tree paying particular attention to not marring or hitting the trunk of the tree. I would recommend that the composite decking be removed by
- hand and in small pieces and that no heavy equipment be used. b. Pull embedded R+R ties/Landscape ties throughout the area. Machinery may be used but attention should be given to the dripline roots. Air spading may be needed, but that would not be known until the ties are actually removed to determine the impact of their removal. "Clean cut" any damaged roots and "layer" mycorrhizae fungi to promote growth and
- c. When installing the new plantings at the dripline of the tree and specifically in front of the existing entrance sidewalk, attention should be given to any damage to roots. Like above (b.), damaged roots should be clean cut and mycorrhizae fungi should be layered to promote growth and
- d. Because of the potential of "BLD" (Nematode infestation) I would recommend the suggested application of a nematocide, (product: Luna Experience). May, June, July, and September/ October, to maintain the overall health of the tree.
- e. My final recommendation would be to lightly prune and major deadwood the tree to maintain overall health of the tree and the safety of the
- 3) I would therefore conclude that in my professional opinion the tree is in good health. By following the recommendations above, it is my professional opinion that there would be little to no environmental impact to the tree or surrounding

Very truly yours, Jody S. Kuch Jody S. Kretzmer CT Arborist S-5554

2400 Hebron Avenue, Glastonbury, Connecticut 06033

(860) 659-8733 - Office / (860) 748-5700 - Cell





both signs: 23.75" h x 72"w 11.88sf each renovated bldg frontage=103ft wide



SIGN FACE= 4'X6' or 24sf -----

19"h x 64"w----

17.5"h x 64"w -

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IMMERSE

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DAMATO

CHIROPRACTIC

GLASTONBURY

OLOW. IMMERSE/DAMATO CHIROPRACTIC OCCURR. gw APPROVAL:

PAGE3

	CLIENT:	IMMERSE/DAMATO CHIROPRACTIC
	PROJECT NAME:	330 NAUBUC AVE LOCATION
,	LOCATION:	GLASTONBURY CT
	DATE REVISED	1-23-24

Decorative top cap to be fabricated

stud mounted into cabinet face

Address number to be .5" white acrylic

deep fabricated aluminum size: 4'x6' = 24sf

Sign cabinet painted dark gray color t.b.d.

with internally illuminated (low voltage LED)

occupant panels made of lexan with translucent

aluminum painted white

Sign is double sided. Main ID cabinet to be 18 in.

1.5" Blue stone cap

24" x 81" (tentative measurement)

6" Concrete 3000psi Brick Pad

Masonry base - Exact stone material TBD

CONTACT: MARY/NICK

860,781-7 100

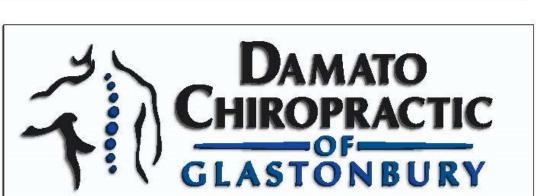
many@dccglastonbeny.com

vinyl copy.

DESIGNER:	gw	AF
SALES:	Darin S	X
PAGE 1		DATE

CONTACT: PPROVAL: MARY / NICK 860.781-7100 mary@dccglastonbury.com





IMMERSE





both signs: 23.75" h x 72"w 11.88sf each

wall mounted substrates with pin mounted dimensional letters/logo illumination to be exterior by others - built into overhanging soffit - t.b.d.

HARTFORD	© 2007-2023 HARTFORD SIGN & DESIGN	CLENT.	IMMERSE/DAMATO CHIROPRACTIC	DESCREE GIVI	APPROVAL:	CONTACT:
SIGNANESIGN	These images are the Property of Hariford Sign & Design .	PROJECT NUME	x. 330 NAUBUC AVE LOCATION	suus. Darin S	X	MARY / NICK 860.781-7100
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325 Gouernor Siree I, East Harrhord , CTD6105* 590 250.1524	Briblidden . Rights may be purchased for a minimum the o (\$500).	OWE	REV1-23-24	FAGE3	DAIL	many garages and ny man

UTTON

MARK A. REYNOLDS, P.E. #19785

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DATE: 03/04/2024 SCALE: 1" = 20' SHEET 8 of 9

A-23-346-D3 FILE: 23-346.DWG

UNDERGROUND UTILITY NOTE:

UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROLE TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO THE UNDERSIGNED. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1—800—922—4455 OR 811. INSPECTION NOTE:

THE CONTRACTOR SHALL NOTIFY THE TOWN OF GLASTONBURY ENGINEERING DIVISION 24 HOURS
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PREPARATION, PAVING, SIDEWALK, CURBING, OR ANY EXCAVATION IN THE TOWN RIGHT—OF—WAY
TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:00 AM — 4:30 PM
MONDAY THROUGH FRIDAY AT (860)—652—7735 DUTTON ASSOCIATES, I
LAND SURVEYORS AND CIVIL ENGINEERS
67 EASTERN BOULEVARD
GLASTONBURY, CONNECTICUT 06033
TEL: 860-633-9401 FAX: 860-633-8851
EMAIL: JIMD@DUTTONASSOCIATESLLC.COM MARK A. REYNOLDS, P.E. #19789 This document is an instrument of professional service, and shall not be used, in whole or in part, for any project other than for which it was created without the express, written consent of DUTTON ASSOCIATES, LLC. Any unauthorized use, reuse, modification or conversion of this document shall be at the user's sole risk without liability or legal exposure to DUTTON ASSOCIATES, LLC. @ 2013 - DUTTON ASSOCIATES, LLC. REVISIONS: DATE: 03/04/2024 AS NOTED SHEET 9 of 9 A-23-346-APP FILE: 23-346.DWG