

TEST PIT DATA

DATE: 02/08/2024
 WITNESS: JMD
 OBSERVATIONS:
 0" - 12" MIXED FILL TOPSOIL
 12" - 90" MIXED FILL
 FINE SANDY LOAM
 NO WATER

TOWN OF GLASTONBURY MS-4 PERMIT INFORMATION

	TOTAL IMPERVIOUS AREA	DIRECTLY CONNECTED IMPERVIOUS AREA
PRE-DEVELOPMENT	0.4522 ACRES	0.0010 ACRES
POST-DEVELOPMENT	0.0010 ACRES	0.0010 ACRES
NET CHANGE	0.0000 ACRES	0.0000 ACRES

UNDERGROUND UTILITY NOTE:
 UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROLE TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO THE UNDERSIGNED. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455 OR 811.

INSPECTION NOTE:
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DUTTON ASSOCIATES, LLC
 LAND SURVEYORS AND CIVIL ENGINEERS
 67 EASTERN BOULEVARD
 GLASTONBURY, CONNECTICUT 06033
 TEL: 860-633-9401 FAX: 860-633-8951
 EMAIL: JMD@DUTTONASSOCIATESLLC.COM

MARK A. REYNOLDS, P.E. #19789

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SITE DEVELOPMENT PLAN
AMENDMENT TO SOMERSET SQUARE PAD
330 NAUBUC AVENUE
 PREPARED FOR:
DAMATO REALTY GROUP LLC
 GLASTONBURY, CONNECTICUT

ZONING TABLE - P.A.D. ZONE

ITEM	EXISTING	PROPOSED
LOT AREA	54,719 S.F.	54,719 S.F.
LOT FRONTAGE	205 FT.±	205 FT.±
FRONT YARD	72.4 / 39.4 FT.	72.4 / 45.15 FT.
SIDE YARD	25 FT.	45.15 / 86.85 FT.
REAR YARD	50 FT.	32.0 FT.
HEIGHT	1 STORY	1 STORY
BUILDING COVERAGE	6,158 S.F. (11.25%)	9,154 S.F. (16.73%)
IMPERVIOUS AREA	24,402 S.F. (44.6%)	30,317 S.F. (55.4%)
PARKING	44 SPACES	42 SPACES*

* PARKING PROVIDED = 9 COMPACT, 2 HANDICAP & 31 REGULAR SPACES

PARKING COMPUTATION

6094 S.F. MEDICAL CLINIC / SALON @ 1/150 = 40.6 SPACES
 236 S.F. OFFICE @ 1/200 = 1.2 SPACES
 TOTAL REQ. = 41.8 SPACES, USE 42 REQUIRED

REVISIONS:

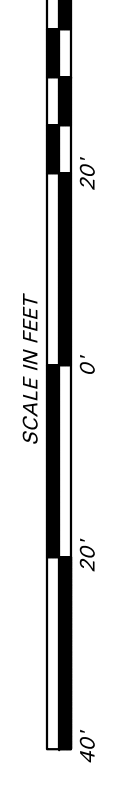
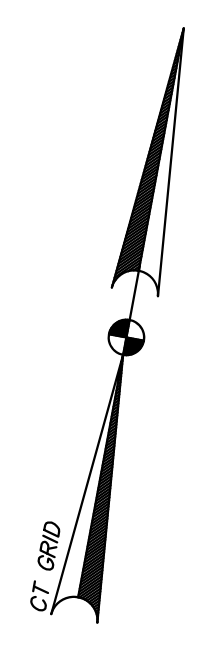
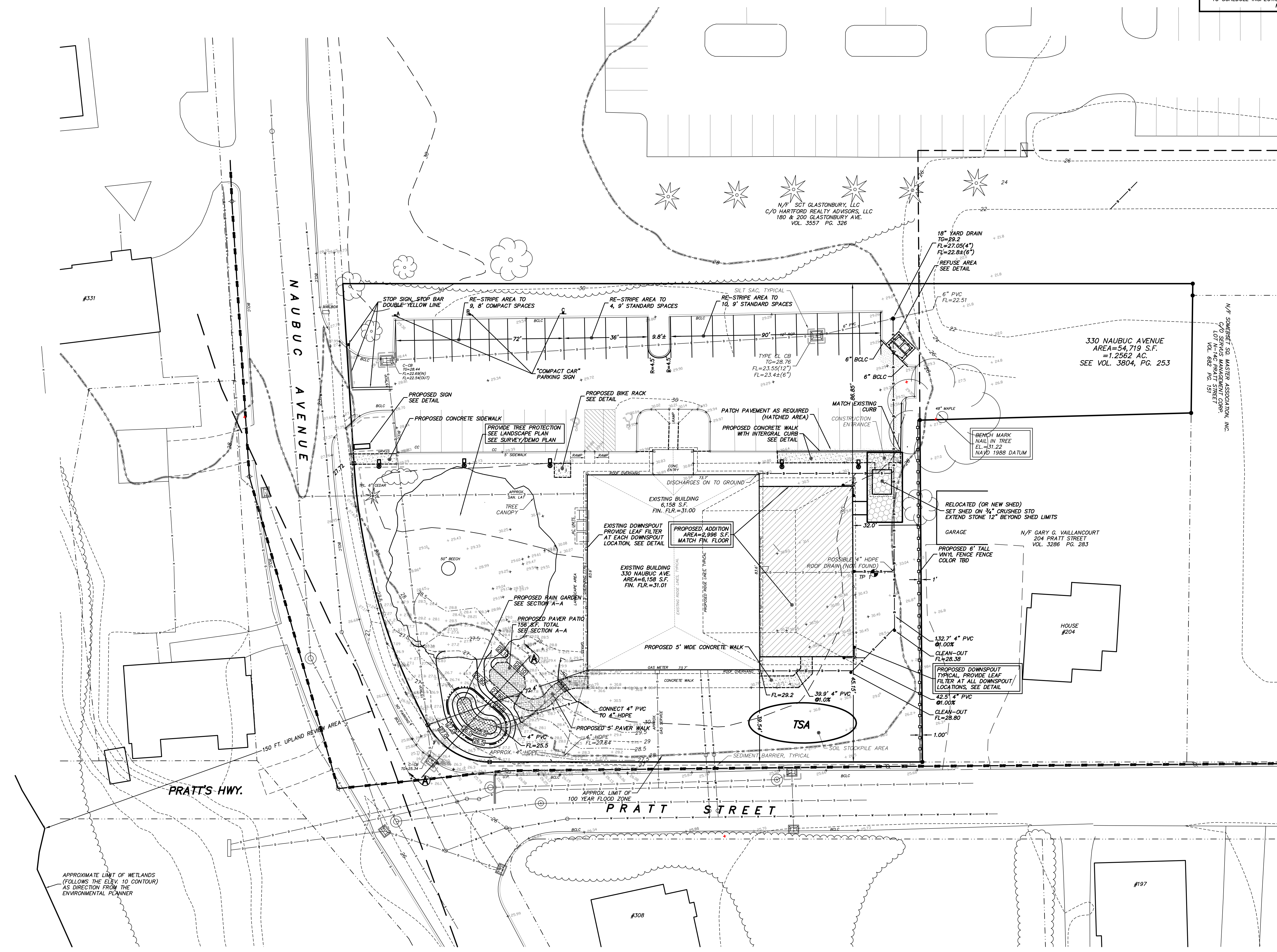
DATE: 03/04/2024

SCALE: 1" = 20'

SHEET 3 of 7

A-23-346-S

FILE: 23-346.DWG



APPROXIMATE LIMIT OF WETLANDS (FOLLOWS THE ELEV. 10 CONTOUR) AS DIRECTION FROM THE ENVIRONMENTAL PLANNER

PRATT'S HWY.

NAUBUC AVENUE

PRATT STREET

330 NAUBUC AVENUE
 AREA=54,719 S.F.
 =1.2562 AC.
 SEE VOL. 3804, PG. 253

N/F SET GLASTONBURY, LLC
 C/O HARTFORD REALTY ADVISORS, LLC
 180 & 200 GLASTONBURY AVE.
 VOL. 3557 PG. 326

N/F GARY G. VAILLANCOURT
 204 PRATT STREET
 VOL. 5286 PG. 283

N/F SOMMERSET SOIL MASTER ASSOCIATION, INC.
 C/O SERVICES MANAGEMENT CORP.
 100 LOT NO. 652 RD. 151

TSA

HOUSE #204

#308

#197

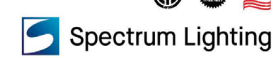
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EXPANDED DOME DAMP / WET LOCATION CLASSIC SHAPES

TYPE VM

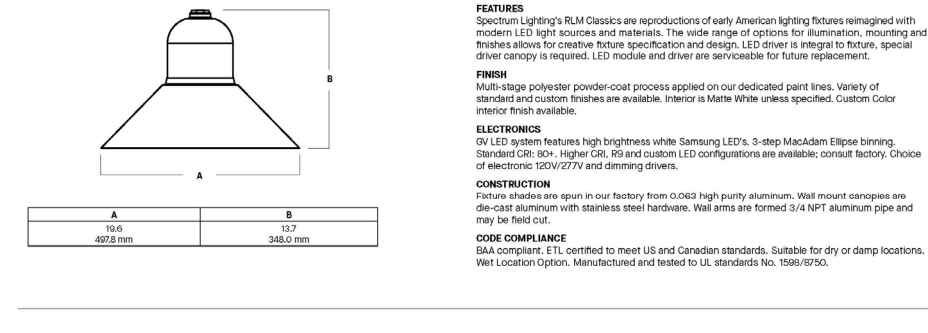


FINISH	LUMENS	WATT	SHOCK DAMPING	ACCESSORIES	MOUNTING	WARRANTY	FINISH	WET LOC.
White	1000	10W	Yes	None	Wall Mount	5 Years	White	Yes
White	1000	10W	Yes	None	Ceiling Mount	5 Years	White	Yes
White	1000	10W	Yes	None	Emergency Battery	5 Years	White	Yes

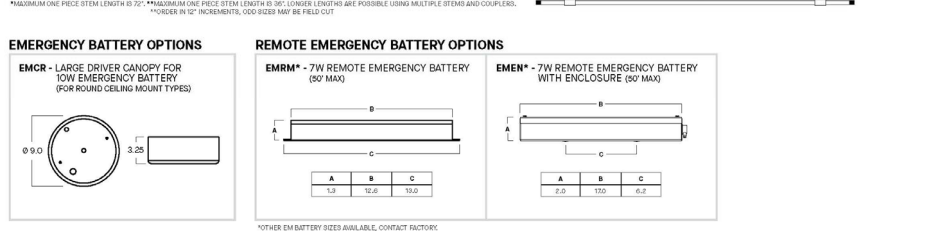
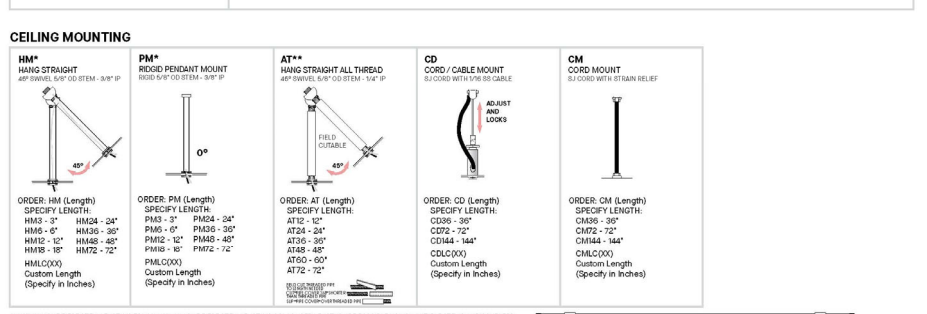
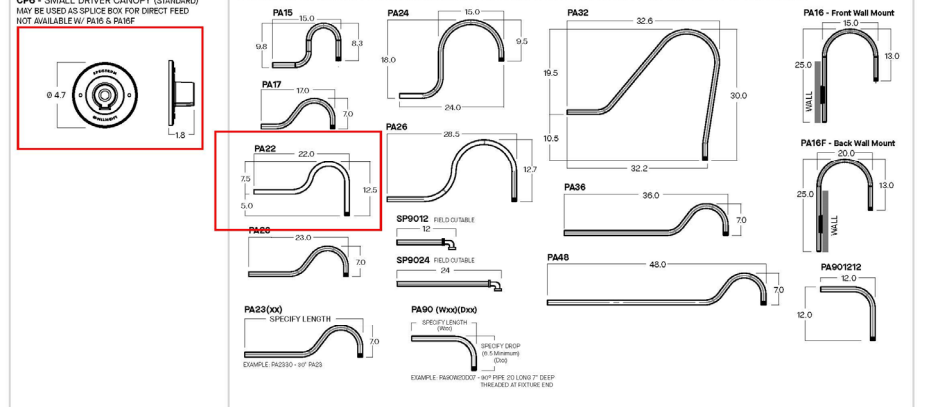


EXPANDED DOME DAMP / WET LOCATION CLASSIC SHAPES

HOUSING DIMENSIONS

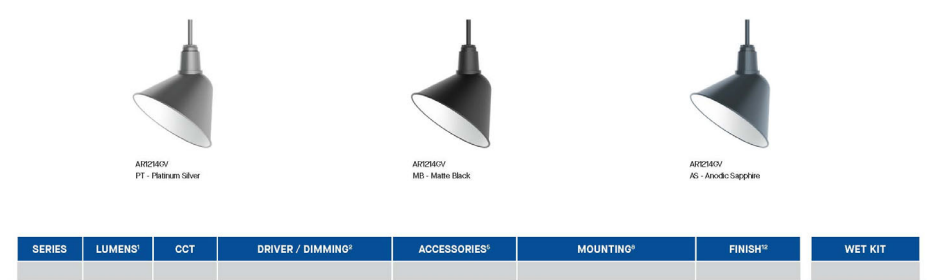


MOUNTING & ACCESSORIES

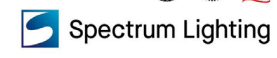


ANGLED REFLECTOR DAMP / WET LOCATION SIGN LIGHTS

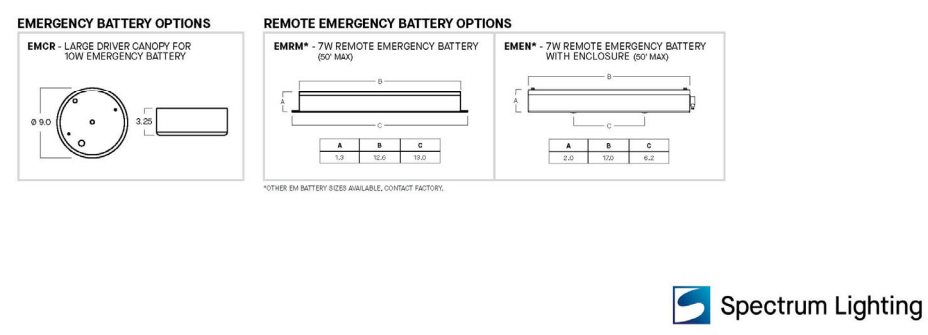
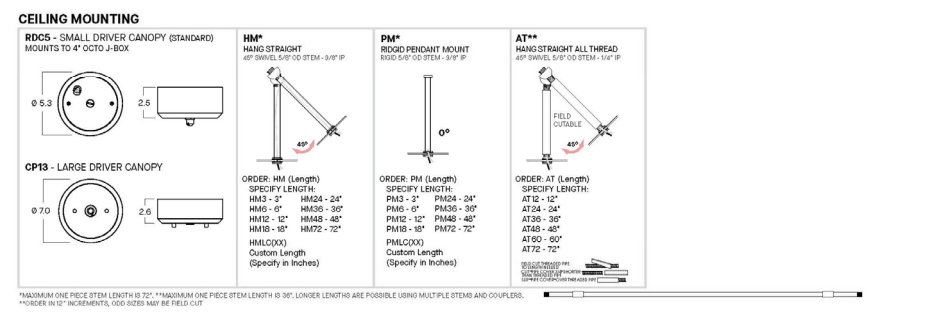
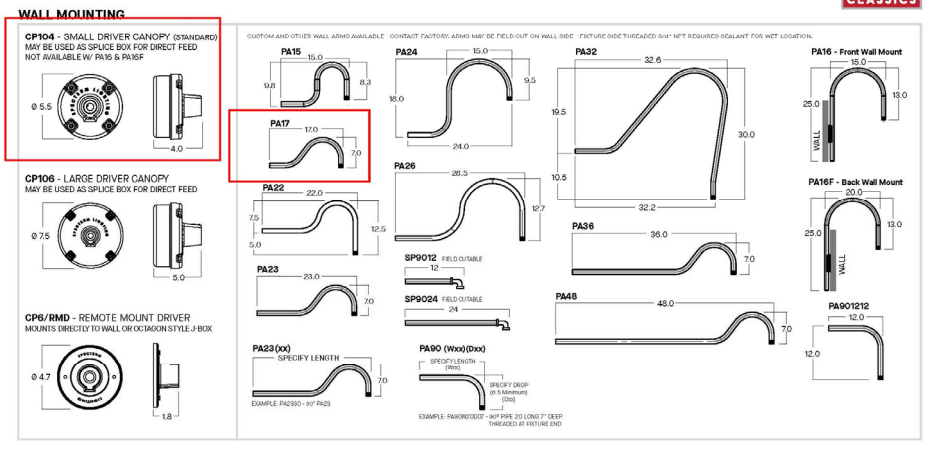
TYPE SL



FINISH	LUMENS	WATT	SHOCK DAMPING	ACCESSORIES	MOUNTING	WARRANTY	FINISH	WET LOC.
White	1000	10W	Yes	None	Wall Mount	5 Years	White	Yes
White	1000	10W	Yes	None	Ceiling Mount	5 Years	White	Yes
White	1000	10W	Yes	None	Emergency Battery	5 Years	White	Yes

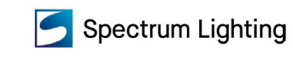
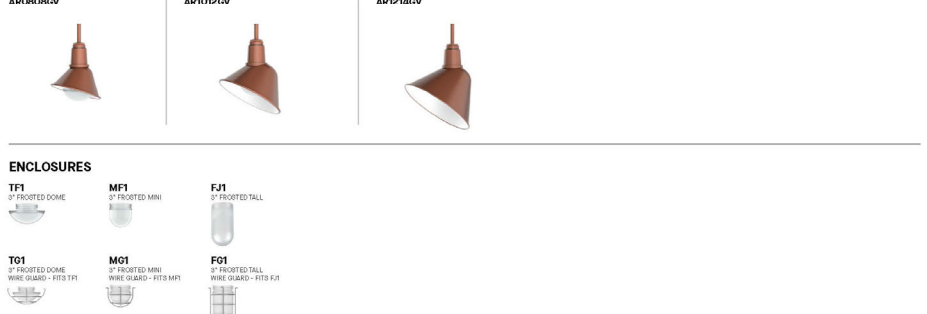
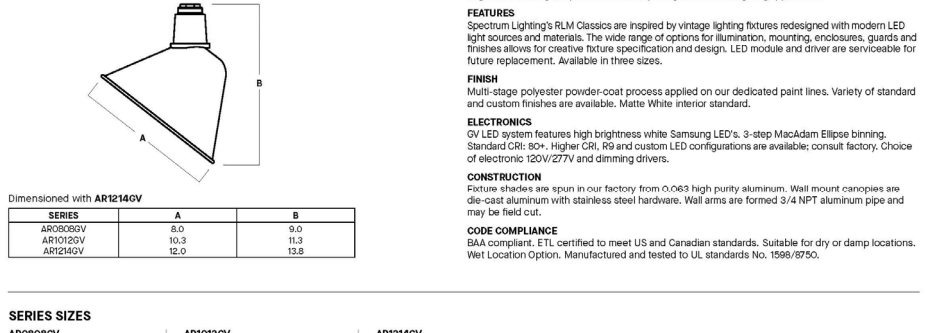


MOUNTING & ACCESSORIES

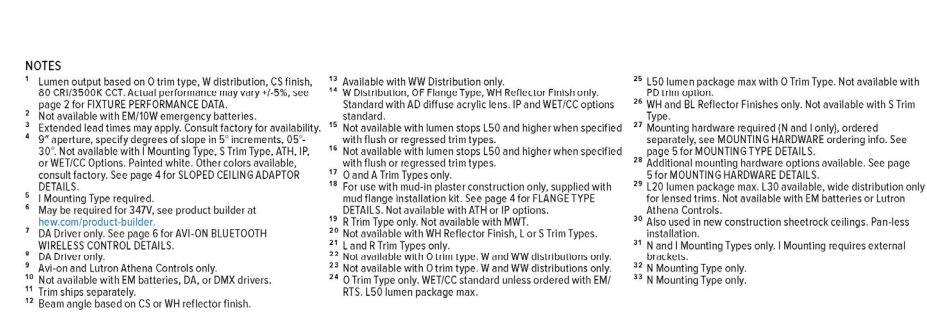
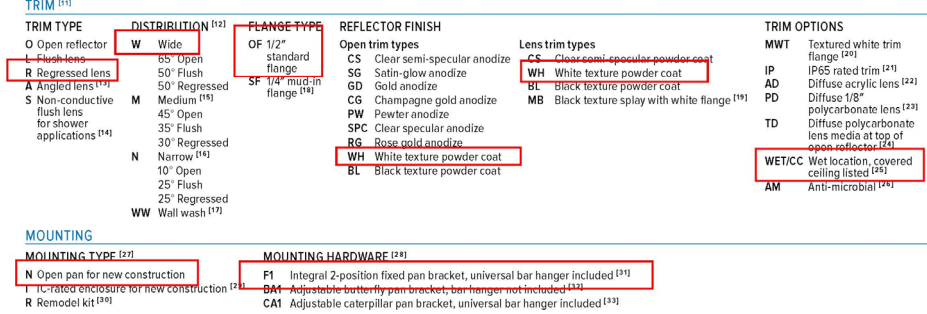
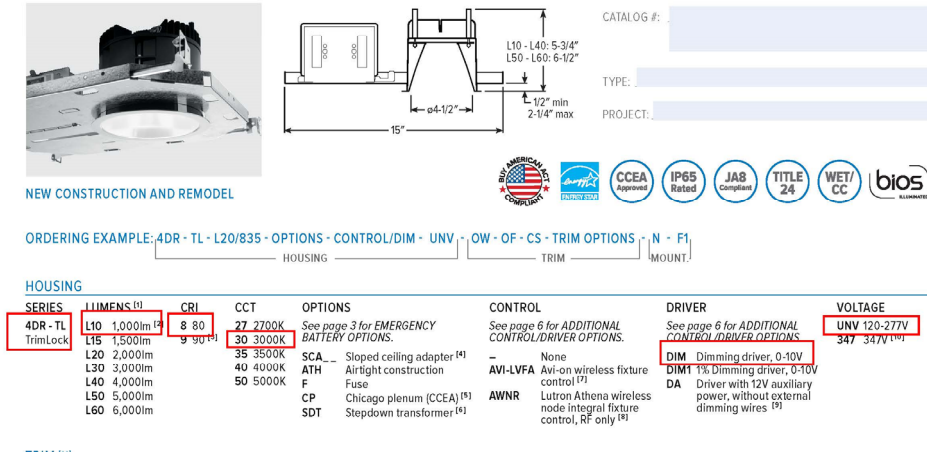


ANGLED REFLECTOR DAMP / WET LOCATION SIGN LIGHTS

HOUSING DIMENSIONS



4DR LED 4.5" Downlight - Round



GARDCO OptiForm

TYPE S4S



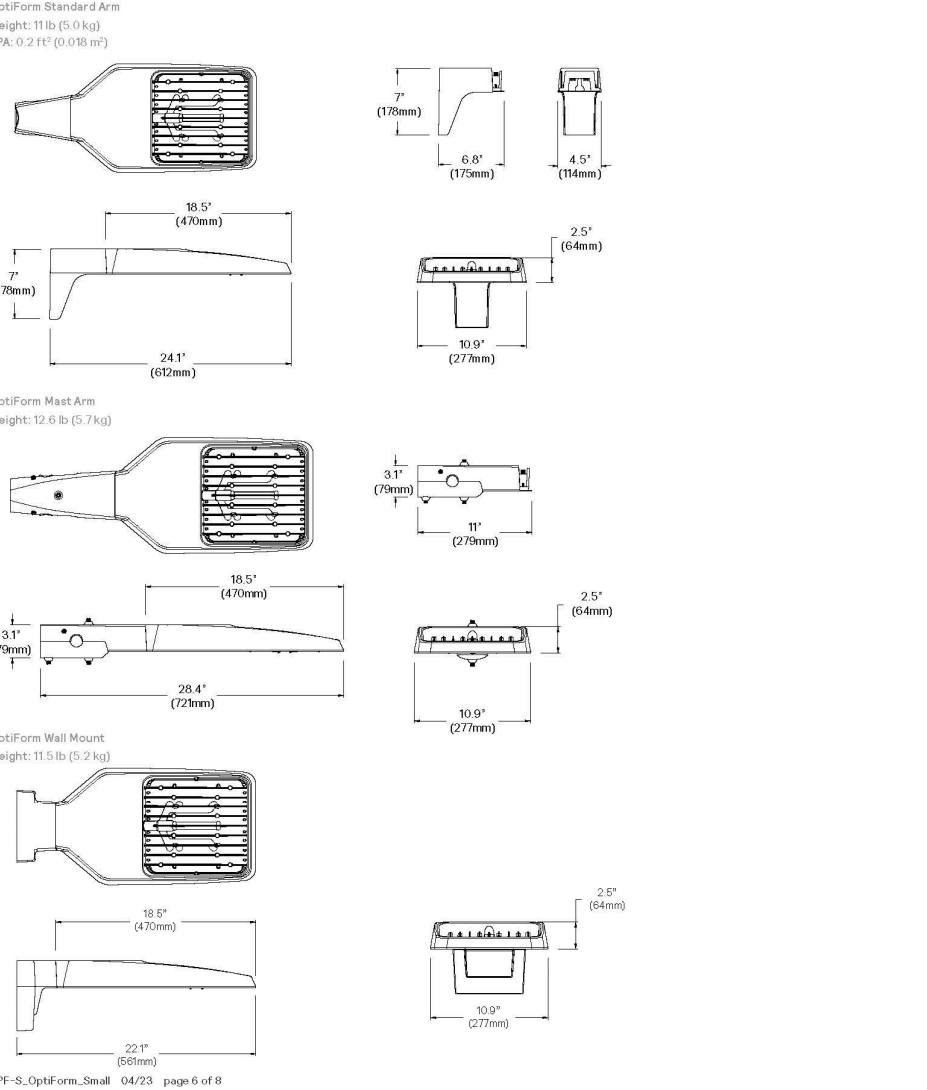
FINISH	LUMENS	WATT	SHOCK DAMPING	ACCESSORIES	MOUNTING	WARRANTY	FINISH	WET LOC.
White	1000	10W	Yes	None	Wall Mount	5 Years	White	Yes
White	1000	10W	Yes	None	Ceiling Mount	5 Years	White	Yes
White	1000	10W	Yes	None	Emergency Battery	5 Years	White	Yes



OFF-S OptiForm small Site & area luminaire

FINISH	LUMENS	WATT	SHOCK DAMPING	ACCESSORIES	MOUNTING	WARRANTY	FINISH	WET LOC.
White	1000	10W	Yes	None	Wall Mount	5 Years	White	Yes
White	1000	10W	Yes	None	Ceiling Mount	5 Years	White	Yes
White	1000	10W	Yes	None	Emergency Battery	5 Years	White	Yes

OFF-S OptiForm small Site & area luminaire



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LIGHTING PLAN
AMENDMENT TO SOMERSET SQUARE PAD
330 NAUBUC AVENUE
DAMATO REALTY GROUP LLC
GLASTONBURY, CONNECTICUT

JOB NAME: 330 NAUBUC AVE - GLASTONBURY, CT
APEX LIGHTING SOLUTIONS
WORKPLANE/CALC PLANE: AT FINISH GRADE
MOUNTING HEIGHT: SEE FIXTURE LABELS
APPS: LED
SALES: RT
SPECIFIER: DUTTON ASSOCIATES

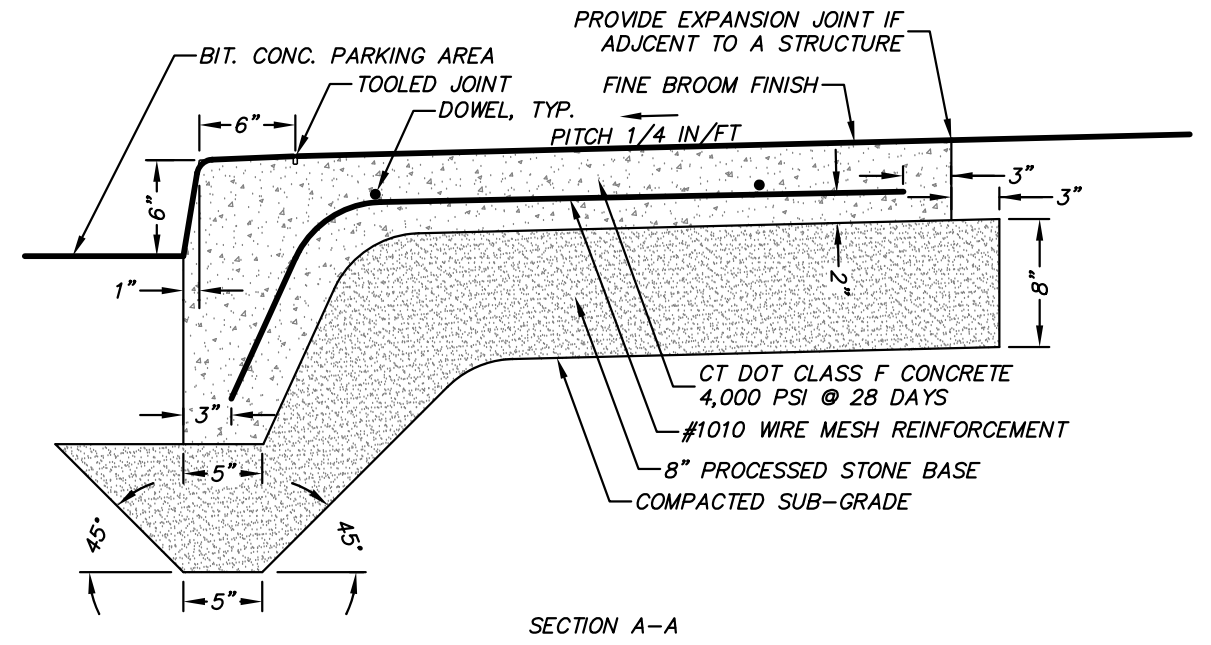
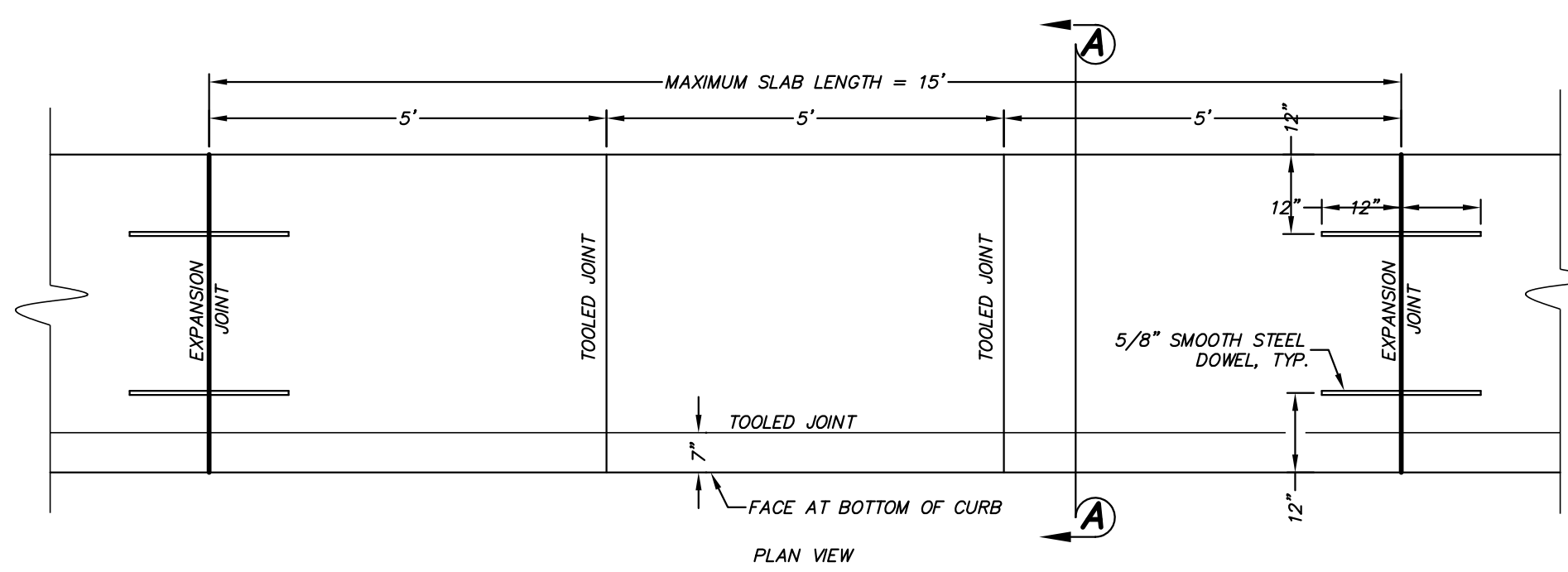
448 SMITH STREET
MIDDLETOWN, CT 06457
TELEPHONE 860.632.8786
FACSIMILE 860.632.8236
www.apexlight.com

APEX
LIGHTING SOLUTIONS
The point where all ascending lines converge

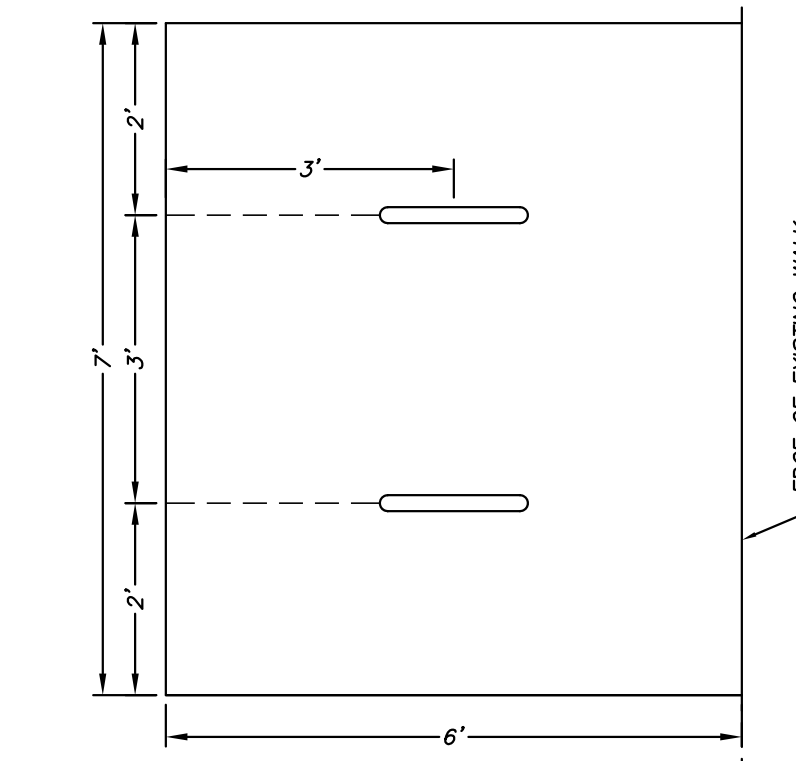
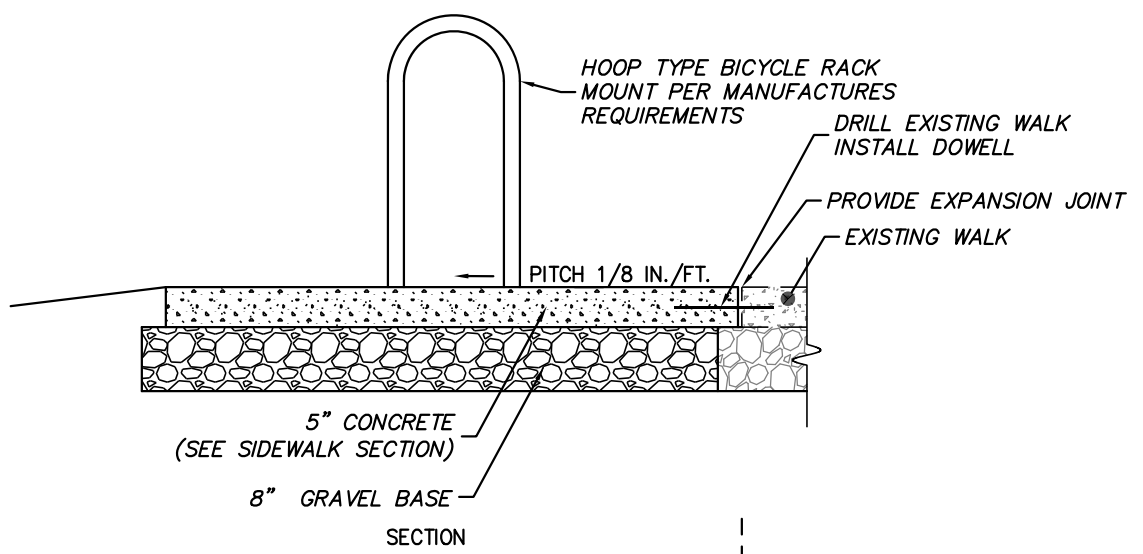
REVISIONS:
DATE: 03/04/2024
SCALE: 1" = 20'
SHEET 5 of 9
A-23-346-L2
FILE: 23-346.DWG

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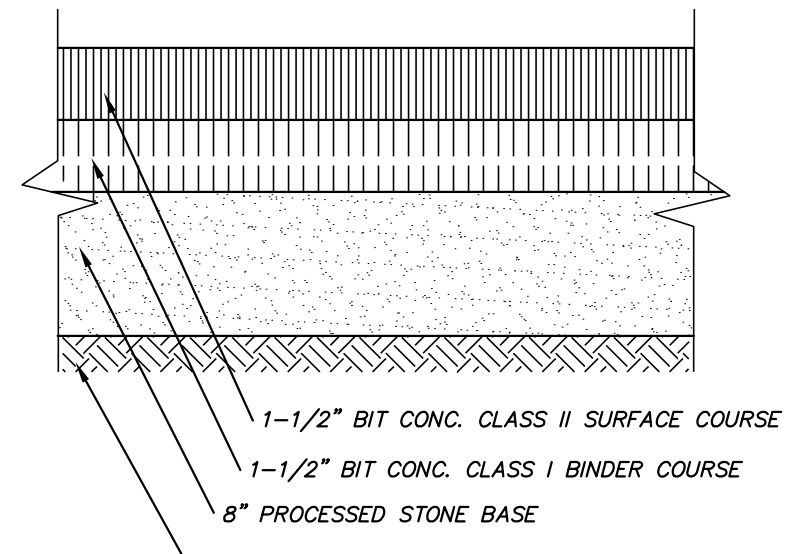
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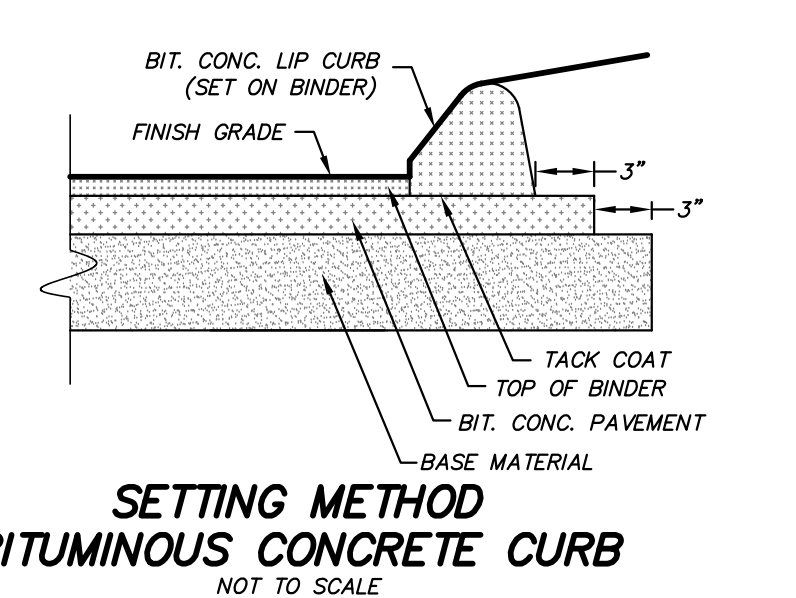
CONCRETE WALK WITH INTEGRAL CURB
 NOT TO SCALE



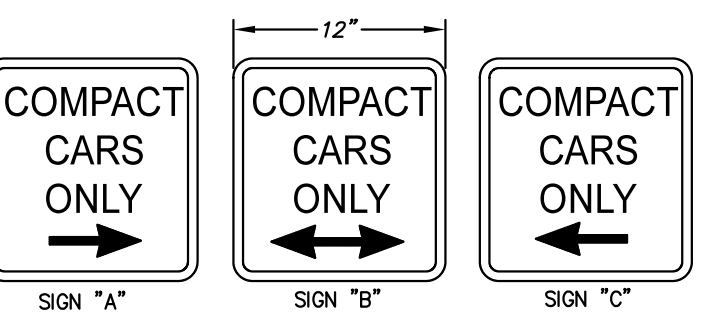
BIKE RACK
 NOT TO SCALE



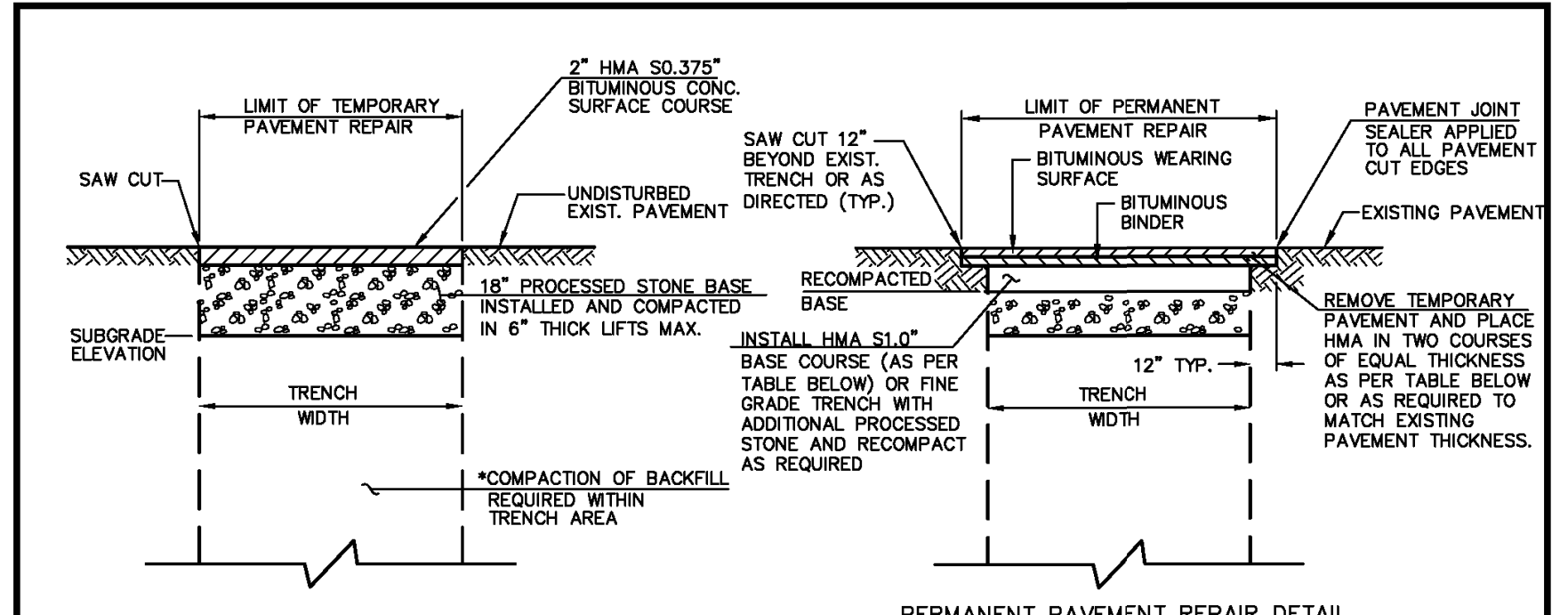
BITUMINOUS CONCRETE PAVEMENT
 NOT TO SCALE



SETTING METHOD BITUMINOUS CONCRETE CURB
 NOT TO SCALE



COMPACT CAR PARKING SIGNS
 NOT TO SCALE



NOTES:

- PROCESS STONE BASE SHALL BE CRUSHED TRAP ROCK CONFORMING TO ARTICLE M.05.01 OF THE FORM B17 AND TOWN SPECIFICATIONS. GRAVEL OR RECLAIMED MISCELLANEOUS AGGREGATE SHALL NOT BE USED.
- PERMANENT TRENCH REPAIRS FOR STREETS WITH CONCRETE PAVEMENT OR CONCRETE BASE MAY CONSIST OF 2" HMA S0.5", 6" HMA S1.0", AND 10" GRAVEL SUBBASE AT THE DISCRETION OF THE TOWN ENGINEER.
- AT THE REQUEST OF THE TOWN ENGINEER THE CONTRACTOR SHALL VERIFY AND SUBMIT PROPER TESTING RESULTS THAT COMPACTION MEETS WITH TOWN'S STANDARDS FOR A 95% COMPACTION DENSITY.

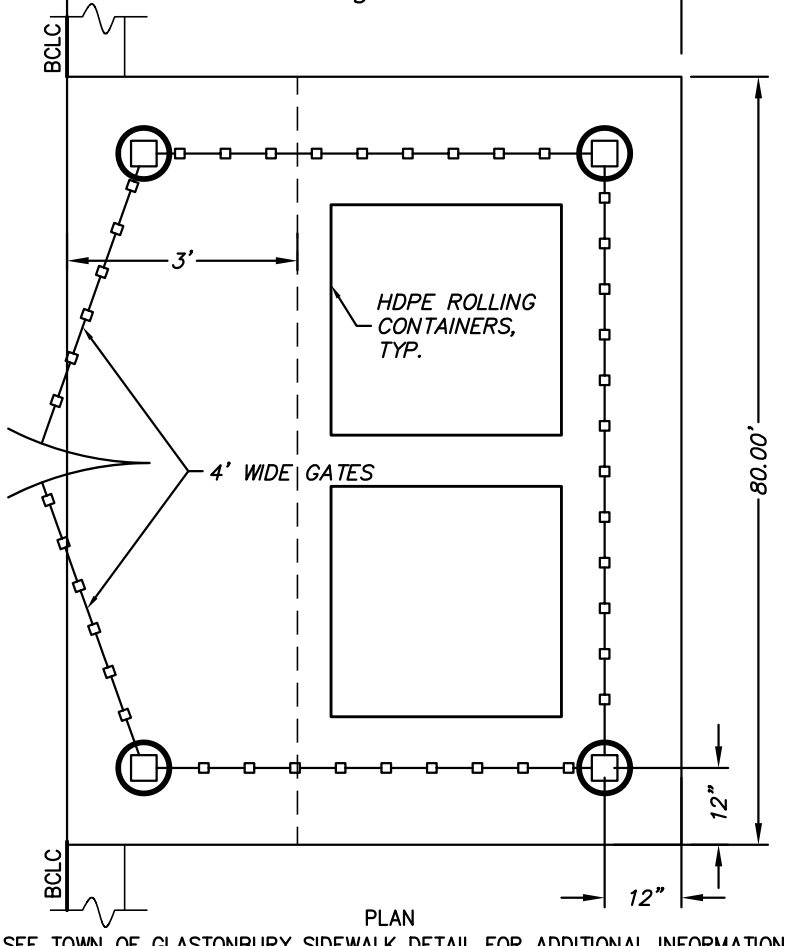
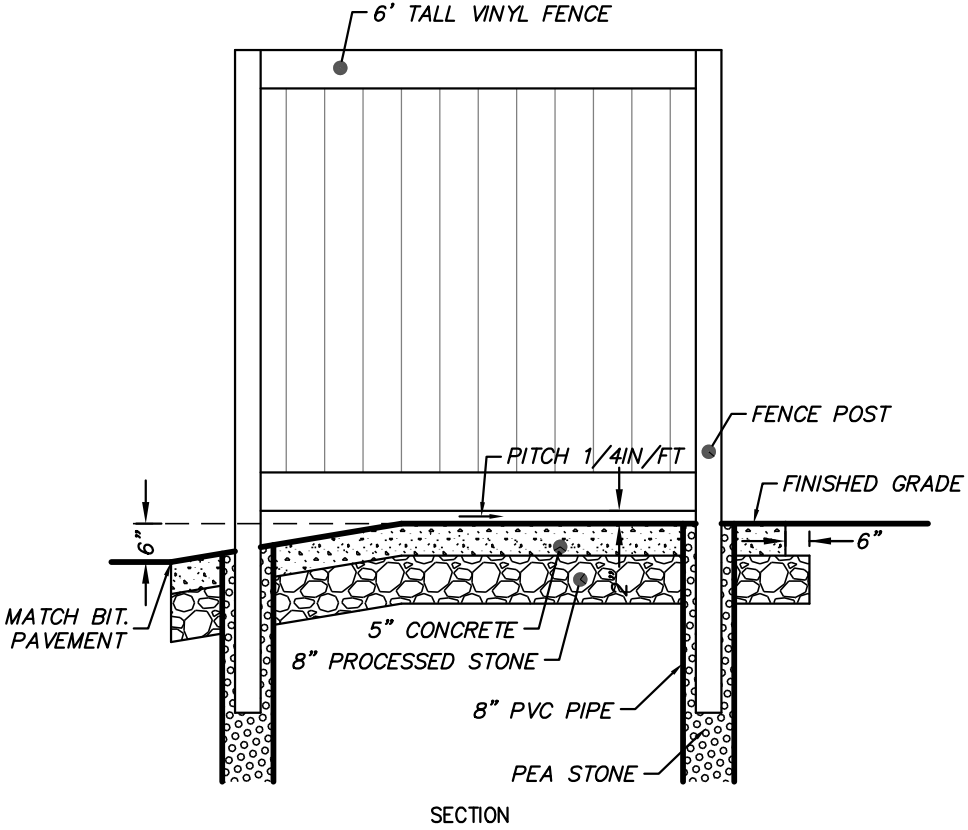
	LOCAL OR COLLECTOR	ARTERIAL (> 3000 ADT)
HMA S0.375"	1.5"	N/A
HMA S0.5"	2"	3" (IN TWO LIFTS)
HMA S1.0"	N/A	6" (IN TWO LIFTS)

TOWN OF GLASTONBURY DEPARTMENT OF PHYSICAL SERVICES ENGINEERING DIVISION
TEMPORARY AND PERMANENT PAVEMENT REPAIRS
 SCALE: NONE
 DRAWN BY: SR
 CHECKED BY: SBE
 APPROVED BY: DAP
 LAST REVISION: 3/28/2017
 PLATE NO. 3

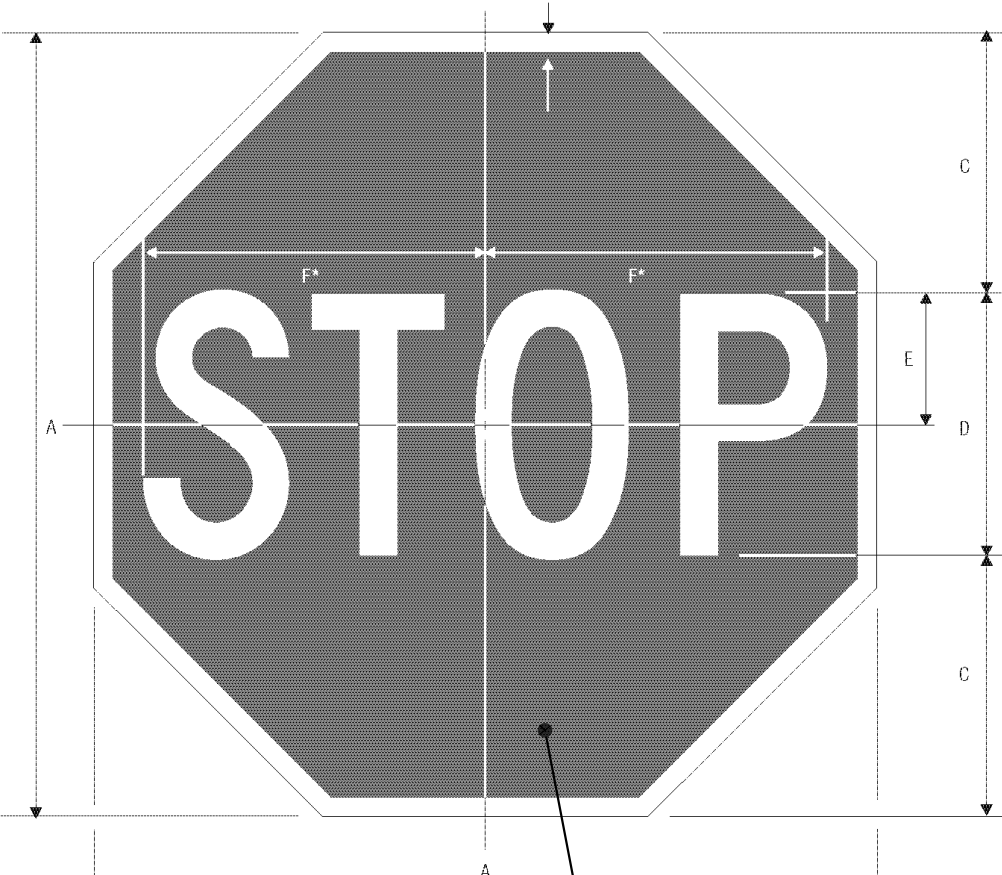
NOTES:

- PROCESSED STONE BASE SHALL BE CRUSHED TRAP ROCK CONFORMING TO ARTICLE M.05.01 OF THE FORM B17 AND TOWN SPECIFICATIONS. GRAVEL OR RECLAIMED MISCELLANEOUS AGGREGATE SHALL NOT BE USED.
- CONCRETE SHALL BE CONDOT CLASS F, (4400 PSI, 28 DAY STRENGTH).
- FORMS ARE TO BE SET TRUE TO LINE AND GRADE ON WELL COMPACTED BASE. FORMS SHALL BE 5" STEEL OR 2"x6" LUMBER. 2"x4" LUMBER SHALL NOT BE USED AND SHALL BE LOOSE FOR IMMEDIATE REJECTION OF SIDEWALK.
- CONCRETE SHALL BE STRUCK OFF (SCREED) PRIOR TO BULL FLOATING. PROPER FINISHING PROCEDURES WILL BE FOLLOWED INCLUDING JOINTING, EDGING, AND BROOMING. A FINE BRISTLE BROOM SHOULD BE USED. ALL EDGING TOOL IMPRINTS SHOULD BE STEEL TROWELED PRIOR TO BROOMING.
- AN APPROVED CURING COMPOUND / SEALER (CURE-SHELD EX. SILENCURE SRT, REPLETO, OR EQUAL) SHALL BE APPLIED TO ALL CONCRETE SIDEWALK PER TOWN SPECIFICATIONS.
- CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT SURFACE FROM DAMAGE.
- WALKS SHALL BE BACKFILLED AS SOON AS FORMS ARE REMOVED.
- SIDEWALK SLABS SHOULD NOT EXCEED 5' IN WIDTH. IF SIDEWALK SLABS GREATER THAN 5' IN WIDTH ARE TO BE CONSTRUCTED, A LONGITUDINAL EXPANSION JOINT SHALL BE CONSTRUCTED TO FORM ACCEPTABLE SLABS.
- INSERT 18" LONG SMOOTH METAL DOWELS AT ALL EXPANSION JOINTS, AT SIDEWALK RAMPS, AND AT THE LAST SLAB POURED AT THE END OF THE WORKING DAY. DOWELS SHALL ALSO BE INSTALLED BETWEEN NEW AND EXISTING CONCRETE SLABS.
- EXPANSION JOINT SHALL BE 1/2" ASPHALT IMPREGNATED CELLULAR FIBER AND OF A DIMENSION EQUAL TO THE FULL SLAB DEPTH.

TOWN OF GLASTONBURY DEPARTMENT OF PHYSICAL SERVICES ENGINEERING DIVISION
CONCRETE SIDEWALKS
 SCALE: NONE
 DRAWN BY: SR
 CHECKED BY: SBE
 APPROVED BY: DAP
 LAST REVISION: 12/8/2021
 PLATE NO. 6

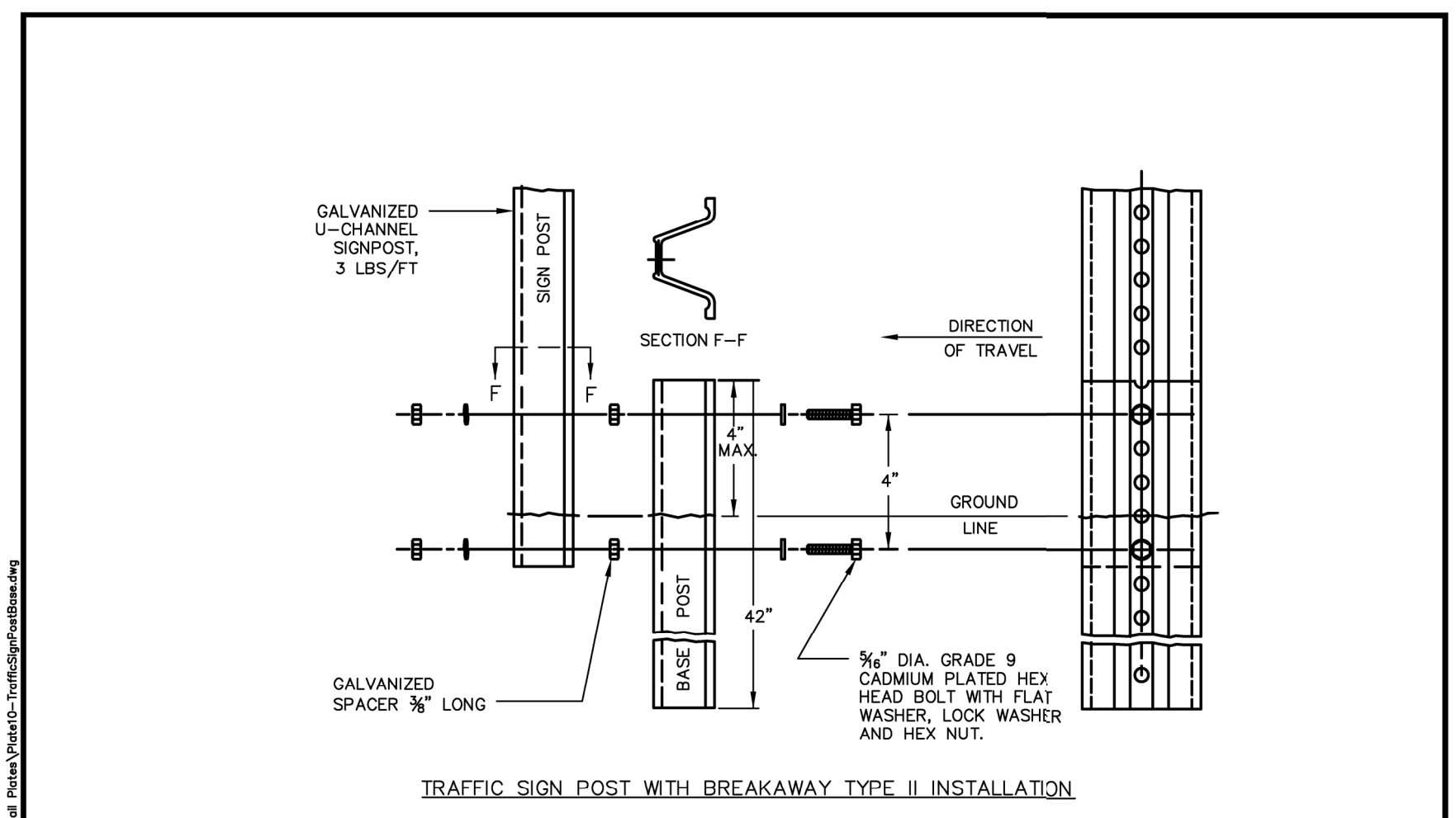


REFUSE AREA
 NOT TO SCALE



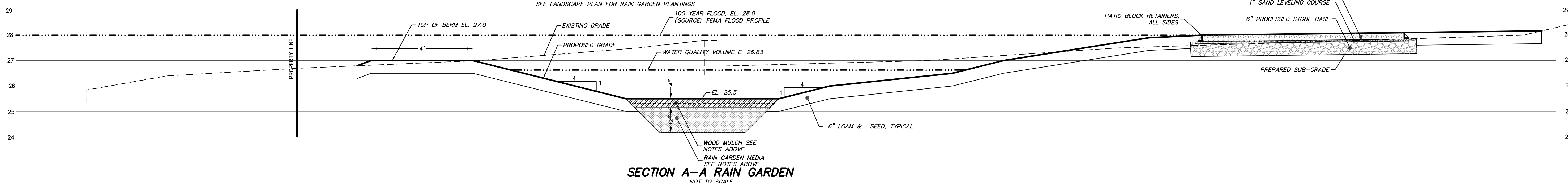
A	B	C	D	E	F
18	.375	6	6 C	3	7.75
24	.500	6	6 C	4	8
30	.625	6	6 C	5	12.5
36	.750	12	12 C	6	15
48	1.25	16	16 C	8	20

STOP SIGN
 NOT TO SCALE



TOWN OF GLASTONBURY DEPARTMENT OF PHYSICAL SERVICES ENGINEERING DIVISION
TRAFFIC SIGN POST WITH BREAKAWAY BASE
 SCALE: NONE
 DRAWN BY: SR
 CHECKED BY: SBE
 APPROVED BY: DAP
 LAST REVISION: 3/11/2008
 PLATE NO. 10

RAIN GARDEN NOTES:
 PLANTING SOIL SHALL CONSIST OF 35%-60% SAND, 30%-55% SILT, 10%-25% CLAY, USDA SOIL TYPES LOAMY SAND, SANDY LOAM OR LOAM.
 MULCH WITHIN THE RAIN GARDEN AREA SHALL BE PLACED AT A UNIFORM THICKNESS OF 4" AND SHALL BE WELL AGED (6 TO 12 MONTHS) SHREDDED HARDWOOD MULCH. PINE MULCH AND WOOD CHIPS ARE NOT ACCEPTABLE MATERIALS AS THEY WILL FLOAT DURING STORM EVENTS AND CAUSE FAILURE OF THE OUTLET STRUCTURE AND UNDERDRAIN SYSTEMS.



SECTION A-A RAIN GARDEN
 NOT TO SCALE

DUTTON ASSOCIATES, LLC
 LAND SURVEYORS AND CIVIL ENGINEERS
 67 EASTERN BOULEVARD
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 EMAIL: INFO@DUTTONASSOCIATESLLC.COM

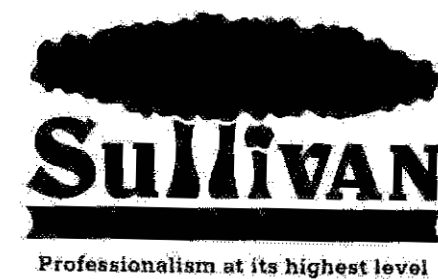
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AMENDMENT TO SOMERSET SQUARE PAD
330 NAUBUC AVENUE
 PREPARED FOR
DAMATO REALTY GROUP LLC
 GLASTONBURY, CONNECTICUT

REVISIONS:

DATE:	03/04/2024
SCALE:	1" = 20'
SHEET:	7 of 9
FILE:	A-23-346-D2
	FILE: 23-346.DWG



February 17, 2024

Mary Damato
330 Naubuc Avenue
Glastonbury, Ct., 06033
Email: maryanddamato@gmail.com

Mrs./Ms. Damato,

Through Jim Dutton you asked me to inspect and forward you a written report of my professional opinion as to the condition of a large "Copper Beech tree" in the front/side yard of your property at 330 Naubuc Avenue in Glastonbury. You had sent me site plans and a landscape plan for future renovations of the property. This included, but was not limited to, the removal of landscape ties, and composite decking surrounding the tree, and the need to install plantings along the existing walkway at about the dripline of the tree and in the surrounding area. With all considered, you asked for my recommendations and professional opinion of the existing condition of the tree and the environmental impact to the tree once these renovations have been accomplished.

On or about February 5, 2024, I visited the site and offer you the following recommendations and my opinion.

- In my professional opinion, the tree appears to be in good health. The tree has very little deadwood in it, and very few crossing branches. There is little to no trunk/bark damage, and the buds appear to be full and healthy. It is/was difficult to determine the condition of the roots as there is a decking surrounding the tree, and equally it is/was difficult to determine if the tree has "BLD" (Beech Leaf Disease). There is evidence of BLD based on some leaves that I found on the ground that appeared to be curled which suggests but is not determined factually of the BLD presence. I would consider this tree as a "specimen" tree. In my professional opinion this tree is in good health.
- As to the renovations to the surrounding area and the environmental impact to this tree, my recommendations are as follows:

- Carefully remove the composite decking material from the base of the Beech tree paying particular attention to not marring or hitting the trunk of the tree. I would recommend that the composite decking be removed by hand and in small pieces and that no heavy equipment be used.
 - Pull embedded R-R ties/Landscape ties throughout the area. Machinery may be used but attention should be given to the dripline roots. Air spading may be needed, but that would not be known until the ties are actually removed to determine the impact of their removal. "Clean cut" any damaged roots and "layer" mycorrhizae fungi to promote growth and health.
 - When installing the new plantings at the dripline of the tree and specifically in front of the existing entrance sidewalk, attention should be given to any damage to roots. Like above (b.), damaged roots should be clean cut and mycorrhizae fungi should be layered to promote growth and health.
 - Because of the potential of "BLD" (Nematode infestation) I would recommend the suggested application of a nematocide, (product: Luna Experience). May, June, July, and September/ October, to maintain the overall health of the tree.
 - My final recommendation would be to lightly prune and major deadwood the tree to maintain overall health of the tree and the safety of the surrounding area.
- 3) I would therefore conclude that in my professional opinion the tree is in good health. By following the recommendations above, it is my professional opinion that there would be little to no environmental impact to the tree or surrounding area.

Very truly yours,
Jody S. Kretzmer
Jody S. Kretzmer
CT Arborist S-5554

2400 Hebron Avenue, Glastonbury, Connecticut 06033
(860) 659-8733 - Office / (860) 748-5700 - Cell

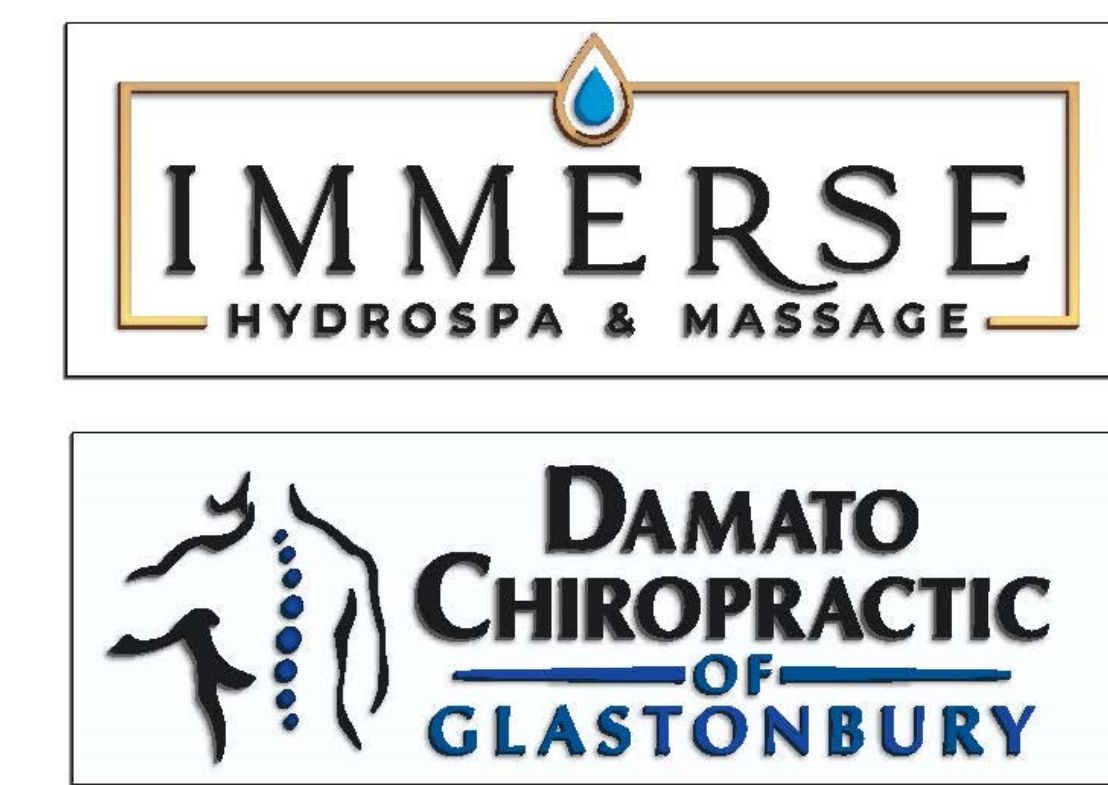
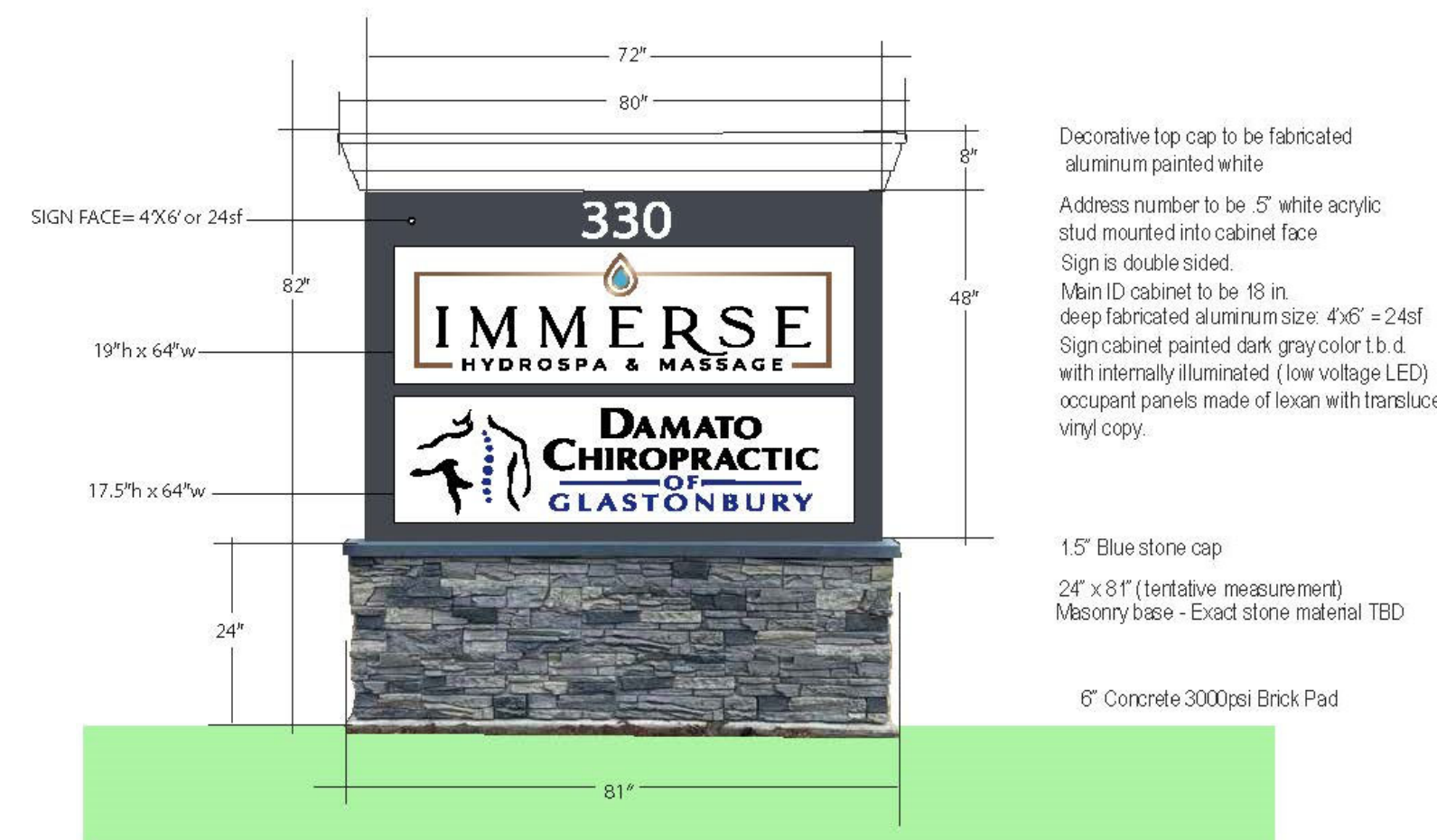


North (Front) Elevation



both signs: 23.75" h x 72" w 11.88sf each
renovated bldg frontage=103ft wide

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examples: dimensional signs

both signs: 23.75" h x 72" w 11.88sf each
wall mounted substrates with pin mounted dimensional letters/logo
illumination to be exterior by others - built into overhanging soffit - t.b.d.

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UNDERGROUND UTILITY NOTE:
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INSPECTION NOTE:
THE CONTRACTOR SHALL NOTIFY THE TOWN OF GLASTONBURY ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, SANITARY SEWER INSTALLATION, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, OR ANY EXCAVATION IN THE TOWN RIGHT-OF-WAY TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:00 AM - 4:30 PM MONDAY THROUGH FRIDAY AT (860)-652-7735

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CONSTRUCTION DETAILS & NOTES
AMENDMENT TO SOMERSET SQUARE PAD
330 NAUBUC AVENUE
DESIGNED FOR
DAMATO REALTY GROUP LLC
GLASTONBURY, CONNECTICUT

REVISIONS:

DATE: 03/04/2024
SCALE: 1" = 20'
SHEET 8 of 9
A-23-346-D3
FILE: 23-346.DWG

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APPROVALS
AMENDMENT TO SOMERSET SQUARE P.A.D.
330 NAUBUC AVENUE
DESIGNED FOR
DAMATO REALTY GROUP LLC
 GLASTONBURY, CONNECTICUT

REVISIONS:

DATE: 03/04/2024

AS NOTED

SHEET 9 of 9

A-23-346-APP

FILE: 23-346.DWG