

**SECTION 4.11 (FLOOD ZONE) SPECIAL PERMIT AND
SECTION 12.9 MINOR CHANGE
FOR CONSTRUCTION OF AN ADDITION FOR LABELLA SALON
MEETING DATE : MARCH 19, 2024**

PUBLIC HEARING #1
3/19/24 AGENDA

Address: 244 Naubuc Ave

To:
Town Plan and Zoning Commission

From:
Office of Community Development Staff

Memo Date: 3/15/24

Zoning District:
Flood Zone & Town Center Mixed Use (TCMU)

Applicant / Owner:
244 Naubuc Ave, LLC

EXECUTIVE SUMMARY

- The applicant is proposing to construct a 408 sq ft addition to the existing 2111 sq ft existing building used by LaBella Salon at 244 Naubuc Ave. The property is located in the Flood Zone and requires a Section 4.11 Flood Zone Special Permit and 12.9 Minor Change for the proposed addition.
- The property is 3.13 acres zoned Town Center Mixed Use (TCMU) and Flood Zone with 1.6 acres of wetland to the north and east that are protected by proposed conservation easement.
- ASDRC reviewed the proposed project at their regularly scheduled meeting on August 22, 2023. The Committee forwarded a favorable recommendation in their ASDRC Review Committee Report dated 8/22/23.
- The Plans Review Subcommittee reviewed the plans at their 7/6/23 meeting.
- The Conservation Commission / Inland Wetlands and Watercourses Agency reviewed the application at their March 14, 2024 meeting.
- The majority of the site falls within the Federal Emergency Management Agency (FEMA) 100-year flood zone. The 100 year flood plain is at elevation 28. The existing building is at elevation 31.7. The applicant has, in accordance with Section 4.11.5.c.3 of the Town of Glastonbury Building-Zone Regulations, submitted a Flood Area Impact Statement from the project engineer certifying that the proposed activity will not have a significant adverse impact upon the environment or on the flood storage capacity or flow.



Aerial view of 244 Naubuc Ave



REVIEW

Included for Commission review are the following:

- Town of Glastonbury staff memoranda
- Project narrative memoranda prepared by the applicant
- Site Plans
- Architectural elevations and renderings
- Flood Area Impact statement from the applicant

SITE DESCRIPTION

The site is a 3.13± acre lot located on the east side of Naubuc Ave. Most of the property is located in the FEMA 100-Year Flood Zone with base flood elevations (bfe) at or below 28 feet. The existing building is 2111 sq ft built in the 1800's and renovated in 2019. Wetlands to the north and east take up 1.6 acres and applicant is proposing these areas to be protected by conservation easement. Majority of the property is zoned Flood Zone with small portion to the northwest zoned Town Center Mixed Use (TCMU).

ADJACENT USES

North—Residential Uses
East—Wooded floodplain
West— Wooded floodplain
South— Wooded floodplain

PROPOSAL

Applicant is proposing to construct a 408 sq ft addition to the rear of the existing building and expand the parking from 9 existing to 36 parking spaces to accommodate parking demands for the proposed use of the salon. The proposed addition is outside the 100 year flood plain (elevation 28) and will be built to match existing elevation of the building (elevation 31.7).

PARKING AND SITE CIRCULATION

Section 9.11.g of the Building-Zone Regulations states the minimum number of parking spaces for personal services is 1 space for every 150 sq ft. The applicant proposes to have 2 handicapped accessible space and 36 total parking spaces. Minimum required parking spaces is 15 and the applicant is providing 36 to ac-

commodate the parking demand of the salon.

The applicant proposes widening the entrance drive to 24 ft wide to accommodate ingress and egress to the site. A dumpster with dumpster enclosure will be located on northeast corner of the parking lot.

LIGHTING

Parking lot will have five new light poles at height of 14 feet. Per ASDRC recommendation applicant has revised the lighting fixture to be of a more "traditional park like fixture". All proposed lighting is dark sky compliant with full cut off fixtures and the applicant has provided a photometric lighting plan demonstrating no light spillage on to neighboring properties and acceptable lighting intensity levels.

ARCHITECTURE AND LANDSCAPING

Applicant received approval from ASDRC at their meeting on 8/22/23. The committee forwarded a favorable recommendation and comments in their ASDRC Review Committee Report dated 8/22/23. ASDRC made recommendation to change light fixture to a more traditional park like fixture. This recommendation has been added to the plans. The other recommendation was to provide color or texture differentiation to the paving area by the entrance of the building. The applicant has not included these changes to the plans, but have added foundation plantings and garden beds to this area to provide an enhanced sense of entry.

COMPENSATORY FLOODWATER STORAGE

With the exception of a portion of land on the northern property line, the site is located entirely within the FEMA 100-Year Flood Zone, with base flood elevations (bfe) at or below 28 feet. Compensatory storage is not necessary as the applicant is not proposing increase in fill to be added to the site.

Stormwater is being proposed to sheet flow to the east and west into stone infiltration trenches. Proposed grades will be graded to follow the natural grade of the site.

Section 4.11.6.a.5 of the Building-Zone Regulations states new construction cannot reduce the floodwater carrying capacity of the floodplain. The engineer for the project has, in accordance with Section 4.11.5.c.3 of the Town of Glastonbury Building-Zone Regulations, submitted a Flood Area Impact Statement certifying that the proposed activity will not have a significant adverse impact upon the environment or on the flood storage capacity or flow.

PLANNING AND ZONING ANALYSIS

The proposed development meets all the requirements of the Building-Zone Regulations for Section 4.11 Flood Zone and the TCMU Zone.

The project engineer for the project has, in accordance with Section 4.11.5.c.3 of the Town of Glastonbury Building-Zone Regulations, submitted a Flood Area Impact statement certifying that the proposed activity will not have a significant adverse impact upon the environment or on the flood storage capacity or flow.

APPLICANT/OWNER: 244 NAUBUC AVE, LLC
C/O CHRISOULA LABELLA
244 NAUBUC AVE
GLASTONBURY, CT 06033

FOR: 244 NAUBUC AVE

MOVED, that the Town Plan & Zoning Commission approve the applications of 244 Naubuc Ave, LLC for a 4.11 Flood Zone Special Permit and a Section 12.9 Minor Change – for construction of an addition to LaBella Salon – 244 Naubuc Ave – Town Center Mixed Use & Flood Zones, in accordance with plan set entitled 244 Naubuc Ave prepared Wentworth Civil Engineers LLC dated October 12, 2023.

And

1. In compliance with:
 - a. The recommendations from ASDRC in their Committee Report dated 8/22/23 with exception to texture or color improvements to paved area adjacent to the entry way.
 - b. The conditions set forth by the Conservation Commission, in their recommendation for approval to the Town Plan and Zoning Commission in their memo dated 3/15/24.
2. In adherence to:
 - a. The Town Engineer’s memorandum to IWC dated 2/7/24 and memorandum to TPZ dated 2/14/24.
 - b. The Director of Health’s memorandum dated 2/9/24.
 - c. The Police Chief’s memorandum dated 2/14/24.
 - d. The Fire Marshal’s memorandum dated 2/14/24.
3. All construction shall be performed in accordance with the following:
 - a. 2002 Connecticut Guidelines for Soil Erosion and Sedimentation Control, as amended
 - b. The Connecticut Stormwater Quality Manual, as amended
 - c. All stormwater discharge permits required by the Connecticut Department of Energy and Environmental Protection (DEEP) pursuant to CGS 22a-430 and 22a-430b
 - d. Section 19 of the Town of Glastonbury Building-Zone Regulations, as amended and any additional mitigation measures to protect and/or improve water quality as deemed necessary by the Town.
4. If unforeseen conditions are encountered during construction that would cause deviation from the approved plans, the applicant shall consult with the Office of Community Development to determine what further approvals, if any, are required.
5. Revise finalized plans to address following:
 - Change rear yard setback 30 feet
 - Change side yard setback combine width 20 feet, with minimum 8 feet on one side. (add note for existing non-conformity for side and front yard setback)
 - Change Building Coverage 20%
 - Add lot frontage
 - Add Sheet L3 to Cover Page

APPROVED: TOWN PLAN & ZONING COMMISSION
MARCH 19, 2024

ROBERT J. ZANLUNGO, CHAIRMAN



Architectural & Site Design Review Committee Report

MEETING DATE: 8/22/23

APPLICANT: 244 Naubuc, Ave, LLC, c/o Chrisoula LaBella

PROPERTY ADDRESS: 244 Naubuc Ave, Glastonbury, CT 06033

ZONE: Town Center Mixed Use and Flood Zone

APPLICATION TYPE: Regulatory Advisory Courtesy

REVIEW TYPE: Preliminary/Conceptual Review Final Review

DESIGN AREA: Town Center Village District Town Center Upper Main Street

Putnam/Glastonbury Blvd Naubuc Ave/ Pratt St Lower New London Tpke

Reserved Land Other Area

ADSRC MEMBERS PRESENT:

M. Branse B. Davis D. DeVries-Dalton D. Flinchum J. Kamm

A. Luzi R. Shipman

APPLICATION: New Construction Addition Exterior Renovation Demolition

Other: _____

ACTION: ASDRC forwards a favorable recommendation with regard to architectural and landscape design as noted

ASDRC forwards a non-favorable recommendation with regard to architectural and landscape design as noted

Additional design studies/information requested

Other: _____

COMMENTS and RECOMMENDATIONS:

- ~~Change fixture on light pole to lantern style with traditional "park-like" light fixture.~~
- Change bituminous pavement area by entrance to different material that adds textural difference and coloring with the parking area.

VOTE ON APPROVAL OF RECOMMENDATIONS:


For: 6 Against: 0

Discussion – See Attached

Brian Davis, ASDRC Chairman

CONSERVATION COMMISSION RECOMMENDATION

To: Town Plan & Zoning Commission

From: Suzanne Simone, Environmental Planner 

Date: March 15, 2024

Re: Recommendation to the Town Plan & Zoning Commission: 244 Naubuc Ave

MOVED at the March 14, 2024 regular meeting of the Conservation Commission:

MOVED, that the Conservation Commission recommends to the Town Plan & Zoning Commission approval of an application for activities within a flood zone at 244 Naubuc Avenue on plans entitled “#244 Naubuc Ave. Prepared for 244 Naubuc Ave LLC Glastonbury Connecticut”, Dated October 12, 2023” 9 Sheets:

1. Permittee is responsible for the proper installation, maintenance and consistent monitoring of the sediment and erosion controls and stabilization measures. Permittee shall inspect the sediment and erosion controls and stabilization measures a minimum of once a week and within 24 hours prior to a forecasted rain event, and within 24 hours of the end of a weather event producing a rainfall amount of 0.5 inch or greater, to be conducted throughout the construction phase and until the site is vegetatively stabilized. The Environmental Planner is hereby authorized to require increased inspections and additional soil erosion and sediment controls and stabilization measures as warranted by field conditions.
2. The Construction Sequence shall be adhered to.
3. The best management practices provided by the CT DEEP NDDDB in support of species protection shall be stringently adhered to.
4. Confirm that the conservation easement markers are installed a minimum of 100-feet apart along the boundary of the existing easement and make corrections if they are not.
5. Prior to the issuance of a Certificate of Occupancy, certification from a landscape architect shall be required, confirming that the landscape plantings were installed in conformance with the approved landscape plan.
6. Prior to the issuance of a Certificate of Occupancy, certification from a professional engineer shall be required confirming that the stormwater management system was constructed in conformance with the approved design.

February 7, 2024

MEMORANDUM

To: Suzanne Simone, Environmental Planner
Conservation Commission

From: Daniel A. Pennington, Town Engineer/ Manager of Physical Services

Re: 244 Naubuc Avenue
LaBella Salon Addition and Parking Lot Expansion
Recommendation for Flood Zone Special Permit



The Engineering Division has reviewed the application materials for the building addition and parking lot expansion at 244 Naubuc Avenue including plans dated October 12, 2023, flood storage computations dated February 7, 2024, and water quality volume computations dated January 4, 2024 prepared by Wentworth Civil Engineers and offers the following comments:

1. Water quality computations should be revised to reflect storage of 1.3 inches of stormwater run-off per the 2023 Stormwater Quality Manual. Test pits must also be performed to verify suitability of sub-surface soils per the same manual. Proposed infiltration system sizes should be adjusted accordingly per the revised computations and test pit data and submitted for review and approval by the Town Engineer prior to issuance of a building permit.
2. The Engineering Division has reviewed the computations submitted by the design engineer and concur with his statement that the proposal will not cause incremental fill or have an adverse effect on the Connecticut River flood zone.
3. The long-term maintenance plan for the stormwater system should be moved to sheet SP-2 for ease of reference from the site plan.
4. Additional details for the proposed ADA parking sign and bollards should be added to the plans.
5. The NAD83 coordinates of a minimum of two (2) property corners should be labeled on the plans.
6. A supplemental sewer assessment will be required at the time of building permit application.

February 14, 2024

MEMORANDUM

To: Town Plan and Zoning Commission
Shelley Caltagirone, Director of Community Development

From: Daniel A. Pennington, Town Engineer / Manager of Physical Services



Re: 244 Naubuc Avenue
Labella Salon Addition and Parking Lot Expansion
Section 12.9 Minor Change, Section 4.11 Flood Zone Permit

The Engineering Division has reviewed the application materials for proposed building addition and parking lot expansion for the LaBella Salon located at 244 Naubuc Avenue prepared by Wentworth Civil Engineers, LLC including plans dated October 12, 2023, flood storage volume computations dated February 7, 2024, and water quality volume computations dated January 4, 2024 and offers the following comments:

1. Previous comments in a memorandum dated February 7, 2024 from this office to Suzanne Simone and the Conservation Commission have not been addressed on the application materials and must be resolved.
2. Applicant shall provide a copy of final stamped and signed plans and water quality volume computations in PDF form to the Town Engineer.



Town of Glastonbury

Health Department

Memo

February 9, 2024

To: Shelley Caltagirone, Director Planning and Land Use Services

Fr: Wendy S. Mis, Director of Health 

Re: 244 Naubuc Avenue
Application for building addition and parking lot expansion

This office has reviewed the package of information submitted for 244 Naubuc Avenue.

Town records indicate the structure was built in 1800. Due to the age of the building, contractors should be aware of the possibility of lead paint and/or asbestos when working on the original structure. Safe construction techniques should be employed to minimize worker exposure and potential airborne contamination.

The property is serviced by public water and sewer. Approval with respect to CT Public Health Code is forwarded for Commission consideration.



Town of Glastonbury


GLASTONBURY POLICE DEPARTMENT • TEL (860) 633-8301 • FAX (860) 652-4290

CHIEF OF POLICE
Marshall S. Porter

CAPTAIN
Mark Catania

MEMORANDUM

TO: Town Plan and Zoning Commission

FROM: Marshall S. Porter, Chief of Police 

DATE 02/14/2024

RE: 244 Naubuc Ave. Building addition and parking lot expansion special permit.

Members of the Police Department have reviewed the special permit contents for 244 Naubuc Ave. The Police Department has no objection to the proposal so long as the lot remains numbered in accordance with section 17-19 of the Town Code of Ordinances.

MSP/ns





Town of Glastonbury

FIRE MARSHAL'S OFFICE • (860) 652-7526 • FireMarshal@glastonbury-ct.gov

TO: Shelley Caltagirone, Director of Planning and Land Use Services

FROM: Michael Makuch, Fire Marshal

DATE: February 14, 2024

RE: 244 Naubuc Ave-February 20th TP&Z Commission Meeting

Dear Shelley,

The Fire Marshal's Office has reviewed this item and has no open issues currently. Further reviews (fire code compliance, etc.) will occur as permits are applied for.

Sincerely,

Michael Makuch
Fire Marshal

**TOWN PLAN AND ZONING
COMMISSION GLASTONBURY, CT
APPLICATION FOR SPECIAL PERMIT**

Application for:

- Section 12 Special Permit with Design Review (SPDR)
- Section 12.9 Minor Change to an approved Section 12 SPDR
- Section 6.2 Excavation Special Permit
- Section 6.8 Rear Lot Special Permit
- Section 4.11 Flood Zone Special Permit
- Section 6.11 Accessory Apartment Special Permit**
- ** Applicant must submit addresses of property owners within 100 feet of the premises in accordance with Section 6.11.4 of the Building Zone Regulations
- Other

Application and fee to be submitted with 14 sets of plans - see other side for fees.
Consult appropriate section(s) of the Glastonbury Building Zone Regulations to determine standards and criteria for application evaluation.

Property Owner

Name 244 NAUBUC AVE, LLC
Address c/o Chrisoula LaBella, Member
244 Naubuc Avenue
Glastonbury, CT 06033

Telephone (860)306-5182
Fax N/A

Applicant

Name 244 NAUBUC AVE, LLC
Address c/o Chrisoula LaBella, Member
244 Naubuc Avenue
Glastonbury, CT 06033


Telephone (860)306-5182
Fax N/A

Location of proposed use 244 Naubuc Avenue
(include street address if applicable)


Zoning District of proposal Town Center Mixed-Use Zone and Flood Zone

Nature of request, including type of use, reasons for application, etc.

Application for a §12.9 Minor Change for proposed 408± s.f. building addition and parking lot expansion, and a §4.11 Flood Zone Special Permit. Please see the attached materials for additional information.

Signature 
Owner: 244 NAUBUC AVE, LLC
By: Chrisoula LaBella, Member/Manager

Date: 2/2/24

Signature 
Applicant: 244 NAUBUC AVE, LLC
By: Chrisoula LaBella, Member/Manager

Date: 2/2/24

Fees:

Special Permits:

**Sec. 12 SPDR, Sec. 6.2, Sec. 6.8,
Sec. 4.11, Sec. 6.11, Other**

\$200.00

plus \$60.00 State of Connecticut Fee = \$260.00

**Sec. 12 SPDR - an additional fee of \$25 for each
2,000 sq. ft. over 10,000 sq. ft. is required**

**Sec. 6.2 Excavation Special Permit - an additional fee of
\$40 for each 5 acres or portion thereof in excess of 10 acres**

Sec. 12.9 Minor Change

\$50.00

plus \$60.00 State of Connecticut Fee = \$110.00

For Office Use

Date Received: _____

Fee Paid: _____ Cash / Check

Public Hearing Scheduled _____

Public Hearing Advertised (1) _____

(2) _____

Action _____

Notice of Action _____

TOWN OF GLASTONBURY - OFFICE OF COMMUNITY DEVELOPMENT
STATE OF CONNECTICUT SIXTY DOLLAR (\$60.00) ADDITIONAL FEE REQUIRED

In accordance with Public Act 92-235 the State of Connecticut requires that any person, firm or corporation making application for approval of land use applications pay a sixty dollar (\$60.00) fee, in addition to any other fee which is required for application.

The following applications require submission of fee:

- Special Permits
- Subdivision and Resubdivision
- Change of Zone
- Planned Area Development Final Development Plan
- Inland Wetlands and Watercourses Permit
- Special Exceptions and Variances

Such fee shall be collected by the Town. Of the sixty dollars (\$60.00) collected; two dollars (\$2.00) shall be retained by the Town to cover administrative costs; and fifty-eight dollars (\$58.00) shall be deposited in the "Environmental Quality Fund established pursuant to Section 22a-27g" of the Connecticut General Statutes.

Please provide the following information and submit this form and the sixty dollar (\$60.00) fee to the Office of Community Development and/or Building Department upon submission of each application.

Name of Applicant 244 NAUBUC AVE, LLC

Address c/o Chrisoula LaBella, 244 Naubuc Avenue
Glastonbury, CT 06033

Name of Project Proposed Building Addition and Parking Lot Expansion

Address 244 Naubuc Avenue
Glastonbury, CT 06033

Type of Application:

Special Permit Section Number

\$12.9 and \$4.11

Subdivision and Resubdivision

Change of Zone

Planned Area Development

Final Development Plan and/or Zone Change

Inland Wetlands and Watercourses Permit

Special Exceptions and Variances

Date Fee Received _____

By _____

Project Number _____

TO: Town Plan & Zoning Commission

FROM: ALTER & PEARSON, LLC

DATE: February 2, 2024

RE: Project Narrative for Proposed Building Addition and Parking Lot Expansion – 244 Naubuc Avenue (Town Center Mixed-Use Zone & Flood Zone) – §12.9 Minor Change and § 4.11 Flood Zone Special Permit

The Site is a 3.13± acres and located on the northeasterly side of Naubuc Avenue, approximately 1,100 feet westerly of the intersection of Naubuc Avenue and Welles Street. The Site is situated in both the Town Center Mixed-Use Zone and Flood Zone. The 100-year flood elevation is 28, and the existing building (FFE 31.7) is located outside of the Flood Zone. The Site contains wetlands on its northerly and easterly portions, and 1.6± acres of the site is encumbered by a Conservation Easement. The Site contains an existing 2,111 s.f. building, which was originally constructed in the 1800s and then completely renovated in 2019 after Town Plan and Zoning Commission approved a §12 Special Permit with Design Review and a §4.11 Flood Zone Special Permit to convert the residential house into a hair salon, together with nine (9) parking spaces.

LaBella Salon began operating out of this location in the summer of 2019 and has continued to be successful. Ms. LaBella's is now in need of additional building square footage together with additional parking spaces. The Applicant is proposing a 408± s.f. building addition to the rear/side of the existing building. At the Plans Review Subcommittee meeting held on July 6, 2023, the Subcommittee commented that they wanted the Applicant to build more than adequate parking on the Site to prevent any double stacking of cars in the future. The Applicant is proposing 36 parking spaces, which while more than the minimum required by the zoning regulations for the use (15 parking spaces), meets the actual demand of the business.

The existing access point at Naubuc Avenue will remain, and the existing row of parking spaces behind the building will shift away from the building to provide room for the 408± s.f. addition and sense of entry to the building. The remainder of the new parking spaces will be easterly of the building. Twenty-four-foot-wide drive aisles are proposed for the parking lot. Existing grades of the parking lot will be maintained or lowered with no incremental fill proposed in the Flood Zone. The stormwater for most of the driveway and parking will sheet flow to the east and west over wooded lawn areas. Stone infiltration trenches are proposed along the edges of the parking areas to treat the Water Quality Volume for the paved areas. A dumpster enclosure is proposed in the northeast corner of the parking lot.

A detailed landscape plan is included in the Site Plan and includes new landscaping along the foundation of the addition. The plan includes a proposed s-curve landscape area along the north side of the addition, together with new plantings along the front side of the ramp, narrowing the existing pavement area and directing customers to the salon's entry. A pollinator garden is proposed adjacent to the access drive, together with eight (8) new shade trees along the parking lot and three (3) evergreen trees between the parking and the existing northerly neighbor.

A Photometric Plan is also included in the Site Plan set and includes the existing fixtures to remain,

together with five (5) new light poles with full cut off fixtures for the expanded parking area (14' mounting height). The wall mounted LED Spot Fixture is noted to be replaced with a full cut off fixture.

At its meeting on August 22, 2023, the Architectural & Site Design Review Committee, acting in an advisory capacity, forwarded a favorable recommendation with regard to architectural and landscape design to the Town Plan and Zoning Commission with the following comments and recommendations:

- *Change fixture on light pole to lantern style with traditional “park-like” light fixture.*
- *Change bituminous pavement area by entrance to different material that adds textural difference and coloring with the parking area.*

As noted on the Site Plan set, the light pole fixtures have been changed to a lantern style. The Applicant is *not* proposing to change the bituminous pavement area by the entrance to a different material for several reasons. First, that pavement currently exists and was approved by the Commission as part of the original application. In addition, the area in question is entirely behind the building, is not visible to the street and is only visible to customers once they are in the parking lot. Finally, the genesis of the comment was to create a sense of entry to the business. In response to that initial comment, the Applicant did revise the plan by eliminating one (1) parking space in the row directly behind building and sliding the parking spaces to the northeast, in order to create a designated area that customers can access the entry, without walking through the handicap parking space. In an added effort, the landscaping along the foundation of the building was extended to wrap along the addition up to the egress stairs and the Applicant also added an s-curve landscape area along the north side of the addition, together with new plantings along the front side of the ramp, which narrowed the existing paved area, directing customers to the salon's entry. While the Applicant is not proposing to change the material as recommended, it does feel that it did make positive changes to the plan to enhance the sense of entry to the existing business.

The site lies within Planning Area 4 (Town Center) of the Plan of Conservation and Development, and the plan, as proposed, is consistent with the Plan of Conservation and Development as noted below:

- Promote use of innovative techniques, Low Impact Development (LID) and Best Management Practices to benefit surface water and groundwater quality and overall ecological integrity (Town-Wide Policy, 5.a) (p. 23)
- Minimize light pollution through the incorporation of standards that reduce light spillage while maintaining sufficient lighting for safe vehicular and pedestrian movement within commercial sites (Town-Wide Policy, 6.a) (p. 23)
- Support innovative stormwater management techniques and Low Impact Development (LID) standards for commercial construction (Town-Wide Policy, 6.c) (p. 23)
- Support building upgrades which reflect key district characteristics such as streetscape preservation, parking to the rear of existing buildings, and the preservation of existing building architectural features, where appropriate, in the Town Center Mixed Use Zone (TCMU) (Planning Area 4, Policies, Residential and Mixed Use, 1) (p. 42)
- Promote minimization of paved/impervious surfaces and use stormwater temperature mitigation techniques for all development projects (Stormwater Management, Policies, 3) (p. 71)



Cheryl Newton
Architects LLC
www.cnarchitectsllc.com



EXTERIOR RENDERING - FRONT VIEW
244 NAUBUC AVENUE, GLASTONBURY, CT 06033





EXTERIOR RENDERING - REAR VIEW
244 NAUBOG AVENUE, GLASTONBURY, CT 06033





WENTWORTH CIVIL
ENGINEERS LLC

177 West Town Street
Lebanon, Connecticut 06249
Tel. (860) 642-7255
Fax. (860) 642-4794
Email: Wes@WentworthCivil.com

January 4, 2024

Daniel Pennington, PE
Town Engineer
Town of Glastonbury
2155 Main St.
Glastonbury, CT 06033

Re: LaBella Salon
244 Naubuc Ave.
Glastonbury, CT

Dear Dan:

I am writing to you in regards to onsite storm drainage for the above referenced parcel. The site is currently utilized as a hair salon with onsite parking. A small building addition and expansion of the onsite parking lot is being proposed at this time.

The proposed plan is to provide 36 newly paved parking spaces and widen the access drive to be used by the business. Existing grades will be maintained or lowered. The majority of the driveway and parking area sheet flow to the east and south over a wooded lawn area. Stone infiltration trenches are proposed along the edges of the proposed parking area to treat Water Quality Volume from paved parking areas. The soils in this area are gently sloping and sandy in nature which encourage infiltration and minimize channelized flow of storm water.

There are no stormwater detention facilities proposed as part of this development because is located in the extreme lower reaches of the Salmon Brook watershed.

Design elements included in the creation of this development include minimizing impervious areas, maximizing onsite open space, maximizing runoff time, infiltrations and utilizing low impact development design features.

It is my professional opinion that the development of this project as designed will not result in any significant impacts to drainage flows onsite or offsite.

If you have any comments or questions, please do not hesitate to contact me.

Sincerely,

A handwritten signature in blue ink, appearing to read "Wesley J. Wentworth". The signature is fluid and cursive, with a long horizontal stroke extending to the right.

Wesley J. Wentworth

P.E. , Soil Scientist



WENTWORTH CIVIL
ENGINEERS LLC
177 West Town Street
Lebanon, Connecticut 06249
Tel. (860) 642-7255
Fax. (860) 642-4794
Email: Wes@WentworthCivil.com

WATER QUALITY VOLUME CALCULATIONS

PREPARED FOR 244 NAUBUC AVE. LLC
244 NAUBUC AVE.
GLASTONBURY, CT
DATE: 01-04-23

NORTHEAST DRAINAGE AREA = 3,305 SF

IMPERVIOUS AREA (draining to infiltration trench) = 2,070 SF

I = .63

$WQV = 1''((.05 + (.9)(.63)) \times 3,305 \text{ sf} / 12'' = 170 \text{ cf}$

STORAGE IN CRUSHED STONE FILTRATION TRENCH:

4' wide X 1.5' deep X 0.4 void space = 2.4 cf/lf

72' x 2.4 cf/lf = 173 cf provided



WENTWORTH CIVIL
ENGINEERS LLC
177 West Town Street
Lebanon, Connecticut 06249
Tel. (860) 642-7255
Fax. (860) 642-4794
Email: Wes@WentworthCivil.com

WATER QUALITY VOLUME CALCULATIONS

PREPARED FOR 244 NAUBUC AVE. LLC
244 NAUBUC AVE.
GLASTONBURY, CT
DATE: 01-04-23

SOUTHEAST DRAINAGE AREA = 9,940 SF

IMPERVIOUS AREA (draining to infiltration trench) = 6,670 SF

$I = .67$

$WQV = 1''((.05 + (.9)(.67)) \times 9,940 \text{ sf} / 12'') = 541 \text{ cf}$

STORAGE IN CRUSHED STONE FILTRATION TRENCH:

4' wide X 3.0' deep X 0.4 void space = 4.8 cf/lf

113' x 4.8 cf/lf = 542 cf provided



WENTWORTH CIVIL
ENGINEERS LLC
177 West Town Street
Lebanon, Connecticut 06249
Tel. (860) 642-7255
Fax. (860) 642-4794
Email: Wes@WentworthCivil.com

WATER QUALITY VOLUME CALCULATIONS

PREPARED FOR 244 NAUBUC AVE. LLC
244 NAUBUC AVE.
GLASTONBURY, CT
DATE: 01-04-23

SOUTH DRAINAGE AREA = 6,500 SF

IMPERVIOUS AREA (draining to infiltration trench) = 3,660 SF

I = .56

$WQV = 1''((.05 + (.9)(.56)) \times 3,660 \text{ sf} / 12'') = 336 \text{ cf}$

STORAGE IN CRUSHED STONE FILTRATION TRENCH:

4' wide X 3.0' deep X 0.4 void space = 4.8 cf/lf

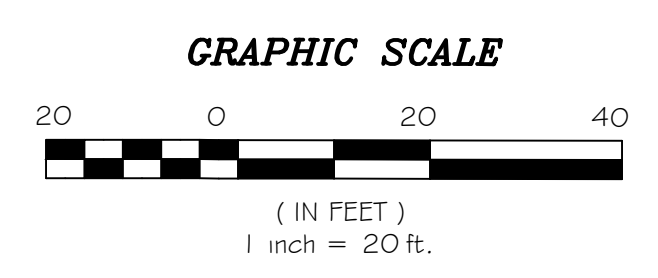
70' x 4.8 cf/lf = 336 cf provided



NOTE: UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE ONLY. VERIFY ALL LOCATIONS IN THE FIELD BEFORE START OF CONSTRUCTION. (SEE NOTE BELOW)

WARNING: THESE PLANS NOT TO BE USED FOR LOCATION OF UNDERGROUND UTILITIES. CALL BEFORE YOU DIG 1-800-922-4455 TWO WORKING DAYS BEFORE YOU DIG.

ALL PROPOSED ELEVATIONS ARE IN RELATION TO CONTOURS SHOWN. FINAL ELEVATIONS MAY BE ADJUSTED AS FIELD CONDITIONS WARRANT. VERIFY ALL GRADES IN THE FIELD



LEGEND

○	IRON PIN OR PIPE FOUND
◻	MONUMENT FOUND
●	IRON PIN TO BE SET
---	PROPERTY LINE
---	BUILDING LINE
- - - 442	EXISTING CONTOUR
442x3	EXISTING SPOT ELEVATION
442	PROPOSED CONTOUR
250.9	PROPOSED SPOT ELEVATION
---	PROPOSED STAKED HAYBALES
---	EXISTING CLEARING LINE
---	100 YEAR FLOOD ZONE LIMIT ELEV.=28.0 PER FIELD SURVEY
○ LP	PROPOSED LAMP POST

APPLICANT: 244 NAUBUC AVE, LLC
244 NAUBUC AVE
GLASTONBURY, CT 06033

LAND OWNER: 244 NAUBUC AVE, LLC
244 NAUBUC AVE
GLASTONBURY, CT 06033

STORM WATER QUALITY DRAINAGE MAP
- PREPARED FOR -
244 NAUBUC AVE, LLC
244 NAUBUC AVE.
GLASTONBURY, CONNECTICUT

DATE: 10-12-23
SCALE: 1"=20'
SHEET SP-2
MAP NO. 23-006-1D

WENTWORTH CIVIL ENGINEERS LLC
177 WEST TOWN ST.
LEBANON, CT 06249
TEL. (860) 642-7255
FAX (860) 642-4794
web: wentworthcivil.com

I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.

Wesley J. Wentworth
WESLEY J. WENTWORTH
P.E. # 20360



WENTWORTH CIVIL
ENGINEERS LLC
177 West Town Street
Lebanon, Connecticut 06249
Tel. (860) 642-7255
Fax. (860) 642-4794
Email: Wes@WentworthCivil.com

February 7, 2024

Daniel Pennington, PE
Town Engineer
Town of Glastonbury
2155 Main St.
Glastonbury, CT 06033

Re: LaBella Salon
244 Naubuc Ave.
Glastonbury, CT

Dear Dan:

I am writing to you in regards to onsite available flood storage for the above referenced parcel. The site is currently utilized as a hair salon with onsite parking. A small building addition and expansion of the onsite parking lot is being proposed at this time.

Contours, both existing and proposed are shown on the submitted site plans in 0.5 foot increments. Storage calculations (attached) were performed for the proposed area of development for both existing and developed conditions. The calculations show that there is a net zero or net increase in available flood volume storage at every 0.5 foot contour interval post development versus existing conditions.

If you have any comments or questions, please do not hesitate to contact me.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Wesley J. Wentworth', with a long horizontal flourish extending to the right.

Wesley J. Wentworth

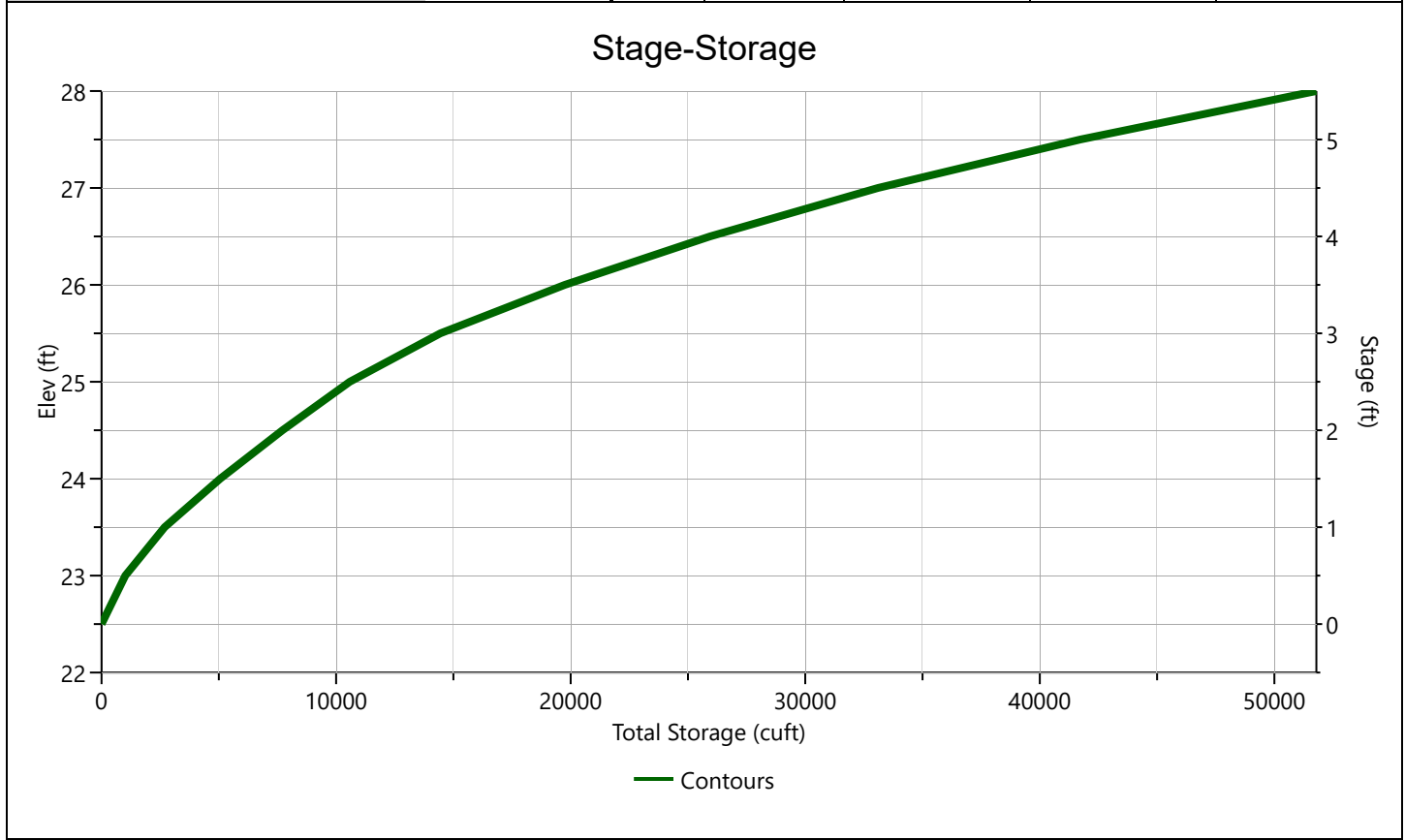
P.E. , Soil Scientist

Pond Report

Flood Storage Calcs Existing

Stage-Storage

User Defined Contours		Stage / Storage Table				
Description	Input	Stage (ft)	Elevation (ft)	Contour Area (sqft)	Incr. Storage (cuft)	Total Storage (cuft)
Bottom Elevation, ft	22.50	0.00	22.50	1,675	0.000	0.000
Voids (%)	100.00	0.50	23.00	2,400	1,013	1,013
Volume Calc	Conic	1.00	23.50	4,410	1,677	2,690
		1.50	24.00	5,070	2,368	5,058
		2.00	24.50	5,560	2,656	7,714
		2.50	25.00	5,910	2,867	10,581
		3.00	25.50	9,700	3,863	14,444
		3.50	26.00	11,550	5,305	19,750
		4.00	26.50	13,230	6,190	25,939
		4.50	27.00	15,450	7,162	33,101
		5.00	27.50	19,130	8,628	41,729
		5.50	28.00	21,135	10,061	51,790

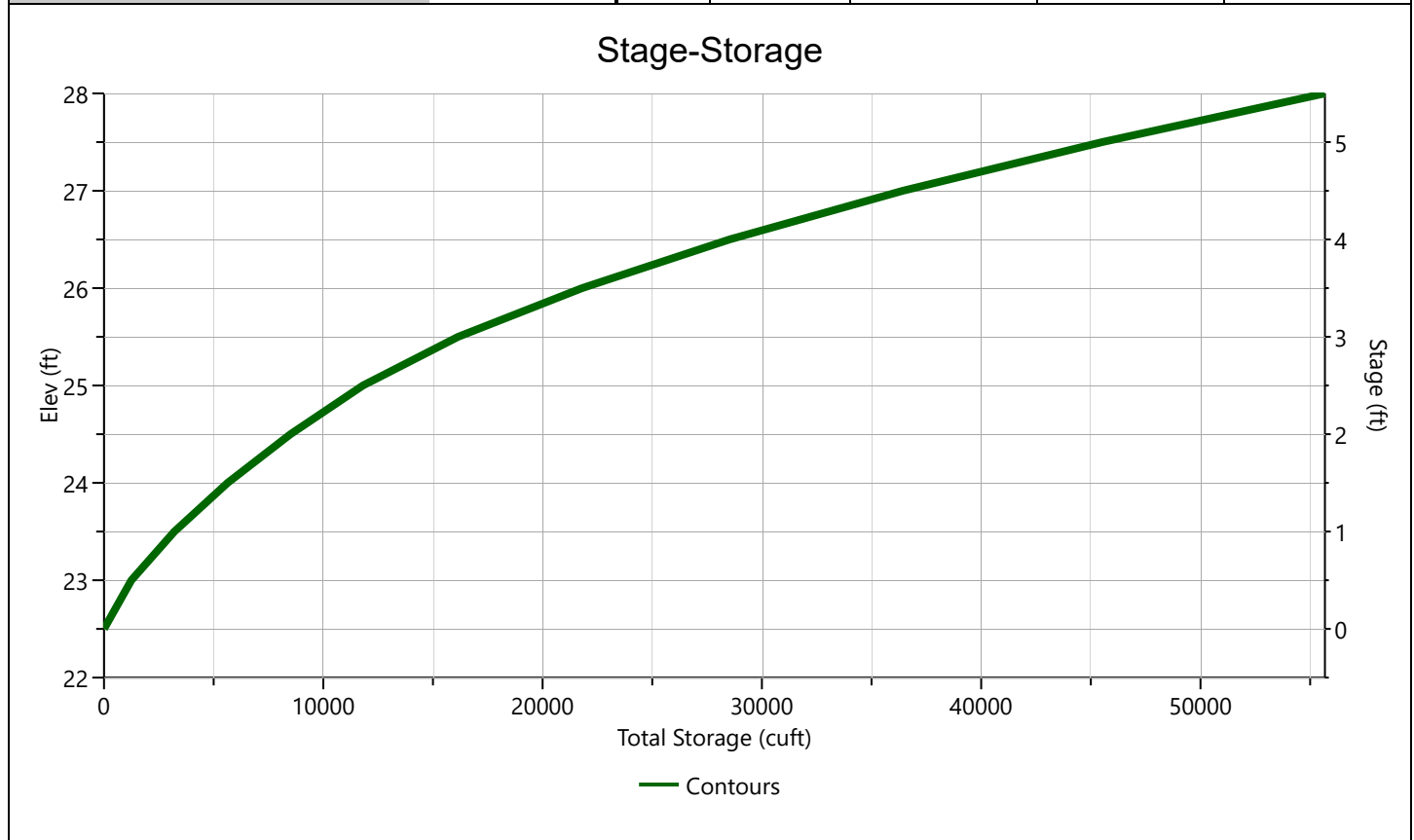


Pond Report

Flood Storage Calcs Existing Copy

Stage-Storage

User Defined Contours		Stage / Storage Table				
Description	Input	Stage (ft)	Elevation (ft)	Contour Area (sqft)	Incr. Storage (cuft)	Total Storage (cuft)
Bottom Elevation, ft	22.50	0.00	22.50	1,675	0.000	0.000
Voids (%)	100.00	0.50	23.00	3,425	1,249	1,249
Volume Calc	Conic	1.00	23.50	4,435	1,959	3,208
		1.50	24.00	5,290	2,428	5,636
		2.00	24.50	6,195	2,868	8,504
		2.50	25.00	7,030	3,304	11,808
		3.00	25.50	10,440	4,339	16,147
		3.50	26.00	12,200	5,654	21,801
		4.00	26.50	14,740	6,724	28,525
		4.50	27.00	16,900	7,903	36,428
		5.00	27.50	19,500	9,091	45,520
		5.50	28.00	21,135	10,155	55,675

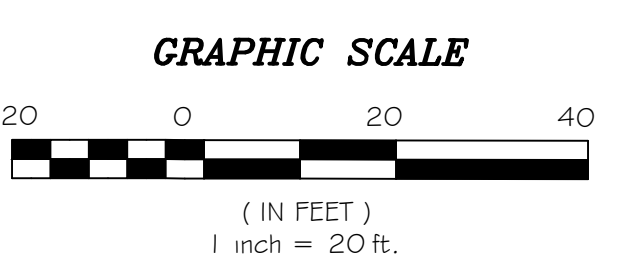




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 VERIFY ALL GRADES IN THE FIELD



APPLICANT: 244 NAUBUC AVE, LLC
 244 NAUBUC AVE
 GLASTONBURY, CT 06033

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 244 NAUBUC AVE
 GLASTONBURY, CT 06033


LEGEND

- IRON PIN OR PIPE FOUND
- ◻ MONUMENT FOUND
- IRON PIN TO BE SET
- PROPERTY LINE
- BUILDING LINE
- - - 442 - - - EXISTING CONTOUR
- 442x3 EXISTING SPOT ELEVATION
- 442 PROPOSED CONTOUR
- 250.9 PROPOSED SPOT ELEVATION
- - - - - PROPOSED STAKED HAYBALES
- - - - - EXISTING CLEARING LINE
- - - - - 100 YEAR FLOOD ZONE LIMIT
 ELEV.=28.0 PER FIELD SURVEY
- LP PROPOSED LAMP POST

FLOOD VOLUME COMPUTATION PLAN
 - PREPARED FOR -
244 NAUBUC AVE, LLC
 244 NAUBUC AVE.
 GLASTONBURY, CONNECTICUT

DATE: 10-12-23
 SCALE: 1"=20'
 SHEET SP-2
 MAP NO. 23-006-1F

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I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.

 WESLEY J. WENTWORTH P.E. # 20360



NEW ADDITION
244 NAUBUC AVENUE
GLASTONBURY, CT 06033



PREPARED BY:

CHERYL NEWTON ARCHITECTS, LLC

39 New London Turnpike
Suite 320
Glastonbury, CT, 06033
(888) 633-2477
MAY 31, 2023

PROJECT CONSULTANTS

DRAWING INDEX

COVER

Architectural

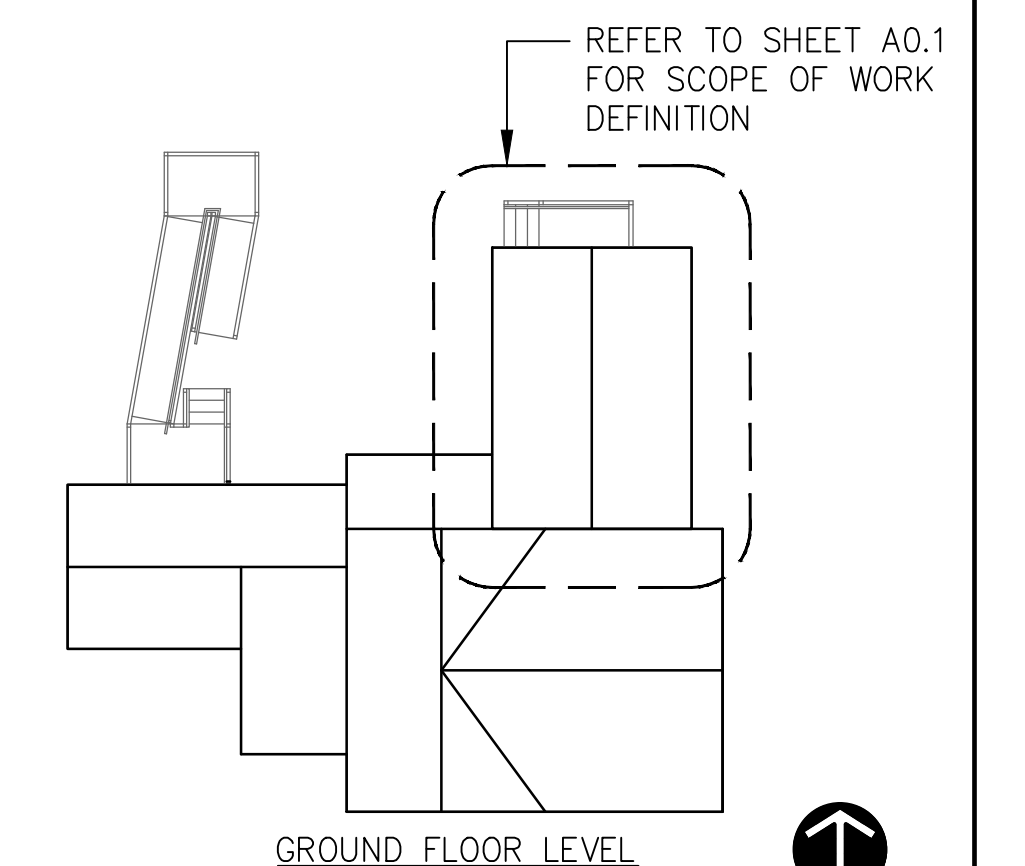
- G0 Code Information & Reference Sheet
- A1 First Floor Demolition & Proposed Floor Plans, Notes, & Legend
- A2 Exterior Elevations

PROGRESS DRAWINGS
ISSUED FOR REVIEW

NOT FOR CONSTRUCTION

CODE DATA

STORIES: 2
USE GROUP(S): B-BUSINESS
CONSTRUCT TYPE: TYPE IIB



KEY PLAN

1/16" = 1'-0"



ABBREVIATIONS

ABOVE FINISH FLOOR AC.	A.F.F. AC.	JOINT KICKPLATE	JT. KP.
ACOUSTIC TILE	A.C.T.	LABORATORY LAVATORY	LAB. LAV.
AIR CONDITIONING	A.C.	LIGHTING	LTG.
AIR HANDLING UNIT	A.H.U.	MACHINE MANUFACTURER	MACH. MFR.
ALTERNATE	ALT.	MARKER BOARD	MBD.
ALUMINUM	ALUM.	MASONRY	MAS.
ANCHOR, ANCHORAGE	ANCH.	MASONRY OPENING	M.O.
ANGLE	L	MATERIAL	MATL.
ANODIZED	ANOD.	MAXIMUM	MAX.
APPROVED	APPD.	MECHANICAL	MECH.
ARCHITECTURAL/ARCHITECT	ARCH.	METAL	MET.
ASBESTOS	ASB.	MEZZANINE	MEZZ.
ASSISTANT	ASST	MISCELLANEOUS	MISC.
AT	AT	OFFICE	OFF.
AUTOMATIC	AUTO.	ON CENTER OCCUPANT	O.C.C.
BEAM	BM.	OPPOSITE HAND	O.H.
BEARING	BRG.	OPENING	OPG.
BLOCKING BOARD	BLKG. BD.	OUTSIDE DIAMETER	O.D.
BOTTOM OF	B/O	PAINTED PAIR	P.TD.
BOTTOM BUILDING	BOLDG.	PLASTER	PLAS.
CABINET	CAB.	PLASTIC LAMINATE	P.LAM.
CABINET UNIT HEATER	C.U.H.	PLATE	PL.
CAPACITY	CAP.	PLYWOOD	PLYWD.
CEILING	CLG.	PRECAST	P.C.
CEILING HEIGHT	CLG. HGT.	PREFABRICATED	PREFAB.
CEMENT	CEM.	PROJECT, PROJECTION	PROJ.
CENTER	CTR.	POINT	PT.
CENTERLINE	CL	QUANTITY	QTY.
CERAMIC	CT	QUARRY TILE	Q.T.
CHARLBOARD	C.B.D.	RADIUS	RAD.
CHANNEL	CH.	REFRIGERATOR	REF.
CLOSET	CLOS.	REINFORCED / REINFORCING	REINF.
COLUMN	COL.	REQUIRED	REQ'D.
CONFERENCE	CONF.	REVISION, REVISED	REV.
CONTROL OR CONSTRUCTION JOINT	C.J.	RISER	R
CONTINUOUS	CONT.	ROOM	RM.
CORRIDOR	CORR.	SCHEDULE	SOCHED.
DAMP-PROOFING	DAMPR.	SECTION	SECT.
DEGREE	DEG.	S.S.J.	S.S.J.
DEMOLITION	DEMO.	S.S.	S.S.
DEPARTMENT	DEPT.	SHEET	SHT.
DETAIL	DET.	SIMILAR	SIM.
DIAMETER	DIA.	S.D.	S.D.
DIMENSION	DIM.	SOUND TRANSMISSION CLASS	S.T.C.
DISTANCE	DIST.	SPECIFICATIONS	SPEC.
DOOR	DR.	SQUARE	SQ.
DOUBLE	DBL.	SQUARE INCH (S)	SQ.IN.
DOWN	DN.	SQUARE YARD (S)	SQ.YD.
DRAWING	DWG.	SQUARE FEET (FOOT)	S.F.
DRINKING FOUNTAIN	D.F.	STAINLESS STEEL	ST. STL.
EACH	EA.	STANDARD	STD.
ELECTRIC / ELECTRICAL	ELEC.	STEEL	STL.
ELECTRIC WATER COOLER	EWC.	STOR.	STOR.
ELEVATION	EL.	STRUCT.	STRUCT.
ELEVATOR	ELEV.	STRUCTURAL GLAZED FACING TILE	SGFT.
EMERGENCY	EMG.	SUSPEND, SUSPENSION SYSTEM	SUSP. SYS.
EQUAL	EQ.	TACKBOARD	T.BD.
EQUIP.	EQUIP.	TEMPERATURE/TEMPORARY TONGUE & GROOVE	TEMP. T & G
EXIST.	EXIST.	THICK	THK.
EXISTING TO REMAIN	ETR.	TOILET	TLT.
EXPANSION JOINT	E.J.	TOP OF	T/O
EXTERIOR	EXT.	TREAD	T.
EQUIP.	EQUIP.	TYPICAL	TYP.
EQUIP.	EQUIP.	UNDERWRITER'S LABORATORIES UNIT HEATER	U.L.
EXISTING	EXIST.	UNIT VENTILATOR	U.V.
EXISTING TO REMAIN	ETR.	UNLESS NOTED OTHERWISE	U.N.O.
EXPANSION	EXP.	VERIFY IN FIELD	V.I.F.
EXPANSION JOINT	E.J.	VENT THRU ROOF	V.T.R.
FEET, FOOT	FT.	VERTICAL	VERT.
FINISH, FINISHED	FIN.	VINYL ASBESTOS TILE	V.A.T.
FIRE DAMPER	FD.	VINYL COMPOSITION TILE	V.C.T.
FIRE EXTINGUISHER	FE.	WATER CLOSET	W.C.
FIXTURE	FIXT.	WATERPROOFING	W.P.
FLOOR	FL.	WELDED WIRE FABRIC	W.W.F.
FLOOR DRAIN	FD.	WEIGHT	WT.
FLOOR FINISH	FLR. FIN.	WHITE BOARD	WB.
FOUNDATION	FDN.	WITH	W/
FURNISH / FURNISHED	FURN.	WOOD	WD.
FURRED / FURRING	FURR.		
GALVANIZED	GALV.		
GAUGE	GA.		
GYP-SUM BOARD	GYP.BD.		
HANDICAPPED	H.C.		
HEIGHT	HGT.		
HIGH POINT	H.P.		
HOLLOW METAL	H.M.		
HORIZONTAL	HORIZ.		
INCH OR INCHES	IN. OR "		
INFORMATION	INFO.		
INSIDE DIAMETER	I.D.		
INSULATION	INSUL.		
INTERIOR	INT.		

ARCHITECTURAL MATERIALS

ACOUSTICAL TILE	MARBLE
ALUMINUM	PLYWOOD (SMALL)
BATT INSULATION	RIGID INSULATION
CARPET	ROUGH WOOD (CONTINUOUS)
CERAMIC TILE	ROUGH WOOD (INTERRUPTED)
C.M.U.	STEEL
CONCRETE	STRUCT. GLAZED FACING TILE
FACE BRICK	ELEVATIONS
FACE GRAIN	CONCRETE BLOCK
FINISHED WOOD	CERAMIC TILE
GLAZING	GLASS
GYP-SUM BOARD	

EGRESS PLAN LEGEND

$\frac{725}{20} = 37$	ROOM OCCUPANCY LOAD
$\frac{100}{312}$	AREA IN SQUARE FEET
$\frac{100}{312}$	OCCUPANCY LOAD FACTOR
15	EXIT CAPACITY
15	ACTUAL EGRESS OCCUPANCY OF DOOR OR STAIR
15	MAXIMUM ALLOWABLE EGRESS OCCUPANCY OF DOOR OR STAIR
15	DIRECTION OF TRAVEL WITH ACCUMULATED OCCUPANCY LOAD
--- --	MAXIMUM TRAVEL DISTANCE FROM FURTHEST POINT
- - - - -	SMOKE PARTITION (EXISTING CONSTRUCTION - ASSUMED)
---	1 HOUR RATED WALL (EXISTING CONSTRUCTION - ASSUMED)
---	2 HOUR RATED WALL (EXISTING CONSTRUCTION - ASSUMED)
(FE)	EXISTING FIRE EXTINGUISHER
(F)	EXISTING FIRE ALARM PULL STATION
+	EXISTING EMERGENCY LIGHTING
(S)	EXISTING FIRE ALARM STROBE
(SD)	EXISTING SMOKE DETECTOR
♿	ACCESSIBLE ELEMENT

NOTE: ALL FIRE RATED PARTITIONS ARE EXISTING CONSTRUCTION TO REMAIN. CONTRACTOR IS RESPONSIBLE TO SEAL ALL PENETRATIONS CREATED BY NEW CONSTRUCTION WITH AN UL RATED ASSEMBLY EQUAL TO OR GREATER THAN RATING SHOWN ON PLAN

EGRESS INFO

NEW ADDITION AREA = 408 SQUARE FEET
EXISTING BUILDING AREA = 1676 + 775 SQUARE FEET
TOTAL BUILDING AREA = 2,451 SQUARE FEET
USE GROUP B - BUSINESS = 150 OCCUPANT LOAD FACTOR

TRAVEL DISTANCE
TRAVEL DISTANCE FROM SCOPE OF WORK = 24'-0"
MAXIMUM TRAVEL DISTANCE = 90'-5"
MAXIMUM ALLOWABLE TRAVEL DISTANCE = 100'-0"

EGRESS NOTES

A VALUE OF 0.2 INCHES OF WIDTH PER OCCUPANT HAS BEEN USED TO CALCULATE DOOR AND CORRIDOR EGRESS CAPACITY. IN ALL CASES, THE ACTUAL CLEAR OPENING OF THE DOOR AND ACTUAL CLEAR WIDTH OF CORRIDOR IS USED.
A VALUE OF 0.3 INCHES OF WIDTH PER OCCUPANT HAS BEEN USED TO CALCULATE STAIRWAY EGRESS CAPACITY. IN ALL CASES, THE ACTUAL CLEAR WIDTH BETWEEN HAND-RAILS IS USED.

ELECTRICAL MOUNTING HEIGHTS

ALL DIMENSIONS ARE TO THE CENTER OF THE DEVICE UNLESS OTHERWISE NOTED. SEE ELECTRICAL DRAWINGS FOR TYPES AND LOCATIONS.

RECEPTACLES: 18" A.F.F. (AT LOCATIONS ABOVE CASEWORK, MOUNT BOTTOM OF RECEPTACLE AT 2" ABOVE BACKSPASH. AT LOCATIONS BELOW CASEWORK, MOUNT AT 24" A.F.F.)

WIREMOLD: 24" A.F.F. (AT LOCATIONS ABOVE CASEWORK, MOUNT BOTTOM OF WIREMOLD AT 2" ABOVE BACKSPASH)

SWITCHES: 48" A.F.F.

DATA / PHONE OUTLETS: 18" A.F.F.

FIRE ALARM PULL STATION: 48" A.F.F.

FIRE ALARM VISUAL/AUDIO INDICATING UNITS: 6'-8" TO BOTTOM OF UNIT

CODE INFO

CODES TO WHICH THIS PROJECT WAS DESIGNED:

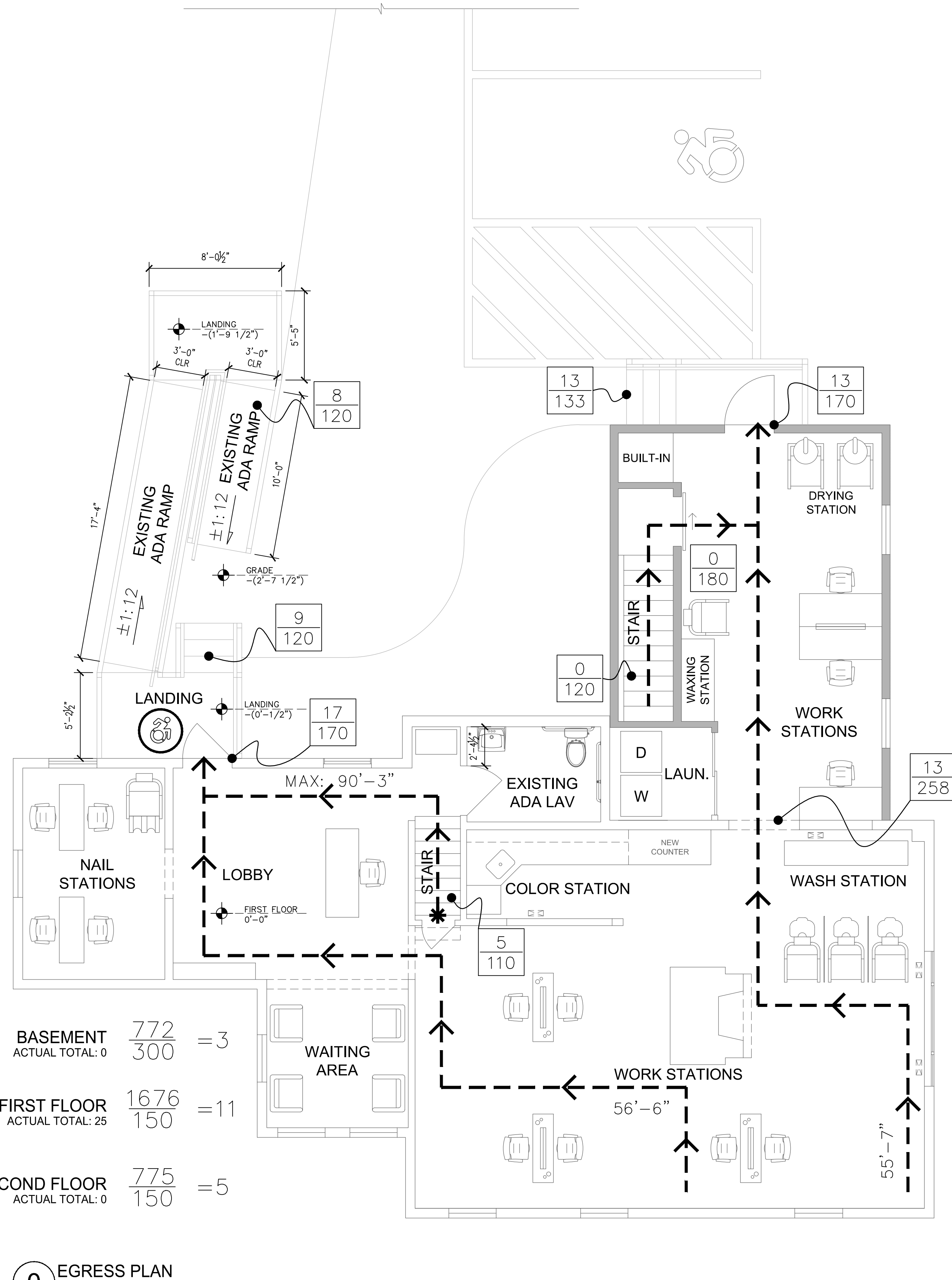
THE INTERNATIONAL EXISTING BUILDING CODE (IEBC)
CLASSIFICATION OF WORK - Section 304, ALTERATION - LEVEL 2
Required Compliance with Chapter 5 & 6; ALTERATIONS-LEVEL 2 of the International Existing Building Code (IEBC)

CONNECTICUT STATE BUILDING CODE:

- 2022 CT State Building Code
- 2022 CT State Fire Safety Code
- 2021 International Building Code
- 2021 International Existing Building Code
- 2021 International Plumbing Code
- 2021 International Mechanical Code
- 2020 National Electrical Code (NFPA 70)
- 2021 International Energy Conservation Code
- 2021 International Residential Code
- 2017 ICC/ANSI A117.1

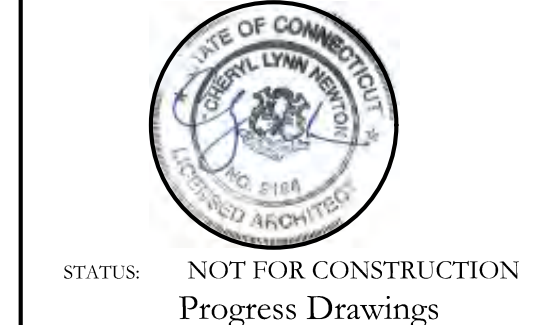
MIN. PLUMBING FIXTURE COUNT

USE GROUP: B - BUSINESS	(CSBC 2902)			
REQUIRED	PROVIDED			
W/C	1	1	M/W	W/C 1 PER 25 OCC.
LAVS	1	1	M/W	LAVS 1 PER 40 OCC.
OCCUPANT LOAD:	16 TOTAL / 25 ACTUAL			



0 EGRESS PLAN
1/4" = 1'-0"

CERTIFICATION:



STATUS: NOT FOR CONSTRUCTION
Progress Drawings

CONSULTANT:
ON
AIA
CHERYL NEWTON ARCHITECTS, LLC
39 New London Tpke, Suite 320
Glastonbury, CT 06033
Tel: 860-333-2417
www.cherylnewtonllc.com

REVISIONS:

MARK	DATE	DESCRIPTION
A		

PROJECT:
LaBella Salon
New Addition

PROJECT NO.: 23-08
PLOT SHEET SIZE: 24" x 36"
FILE NAME:
C:\USERS\SZZOMBROWSKI\CNAIA
DRAWING\23-08 LABELLA SALON\23-08
PROJECTS\23-08 LABELLA SALON\23-08
DRAWINGS\23-08-04 CONSTRUCTION
DOCUMENTS\LAB CD 06 21 23

AUTHOR: CN
DRAFTER: PS
SCALE: AS NOTED
PRINT DATE: 05-31-2023
SHEET TITLE:
Code Information
& Reference Sheet

SHEET NUMBER:
GO

SHEET SEQUENCE: 2 of 4

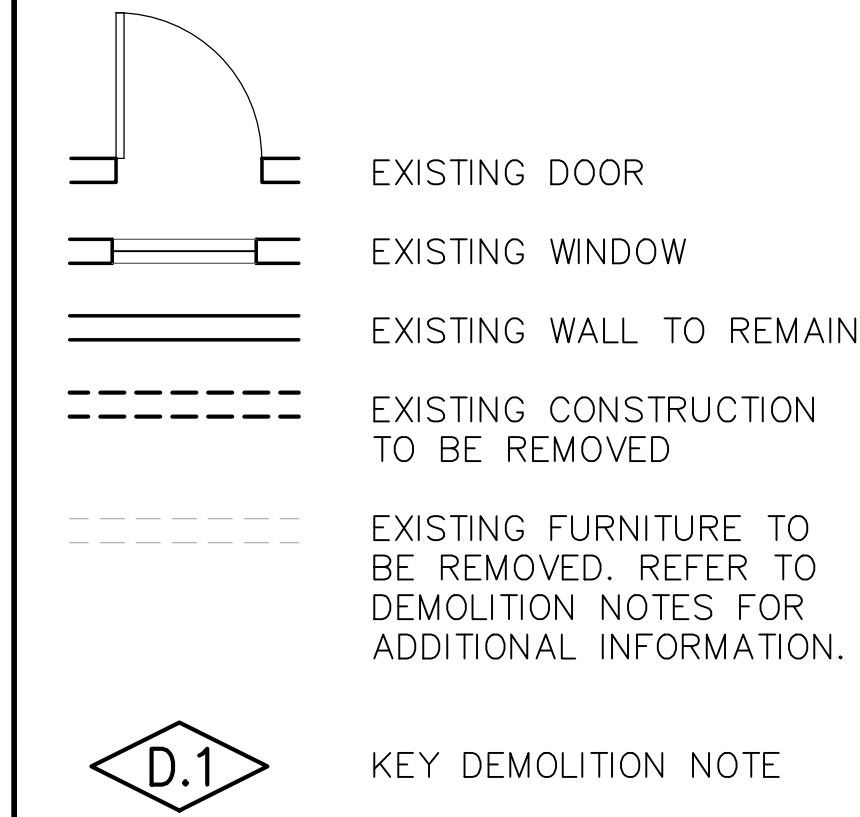
DEMOLITION GENERAL NOTES

1. THE DEMOLITION PLANS ARE DIAGRAMMATIC AND INTENDED TO SHOW THE GENERAL EXTENT OF THE WORK ONLY. THE CONTRACTOR SHALL INCLUDE ALL DEMOLITION WORK REQUIRED TO ACCOMPLISH THE INTENT OF THE PLANS AND SPECIFICATIONS.
2. ALL DEMOLISHED ITEMS SHALL BE REMOVED FROM BUILDING / SITE UNLESS OTHERWISE NOTED. COORDINATE WITH OWNER FOR DELIVERY OF ITEMS NOTED TO REMAIN OWNERS PROPERTY. THE PROJECT SITE/BUILDING SHALL BE CLEANED OF DEBRIS ON A DAILY BASIS.
3. PREPARE EXISTING WALLS AS REQUIRED FOR NEW FINISHES.
4. ALL ITEMS NOTED AS SALVAGE SHALL BE REMOVED, PROTECTED AND TURNED OVER TO THE OWNER.
5. ALL OPENINGS WHERE EXISTING CONSTRUCTION HAS BEEN REMOVED, AND WHICH ARE NOT NOTED TO REMAIN, SHALL BE FILLED AND / OR PATCHED TO MATCH THE ADJACENT EXISTING OR NEW FINISH, INCLUDING ANY FIRE RATINGS REQUIRED.
6. ALL AREAS OF FLOORS, WALLS AND CEILINGS DISTURBED BY DEMOLITION SHALL BE FILLED, PATCHED OR OTHERWISE REFINISHED TO MATCH EXISTING OR NEW FINISH AS DESIGNATED, INCLUDING ALL REQUIRED RATINGS.
7. CONTRACTOR MUST VERIFY LOCATIONS OF ALL EXISTING STRUCTURAL, MECHANICAL, PLUMBING & ELECTRICAL ELEMENTS PRIOR TO START OF DEMOLITION.

DEMOLITION KEY NOTES

- D.1** REMOVE PORTION OF WALL AS REQUIRED BY NEW CONSTRUCTION.
- D.2** REMOVE DOOR / FRAME AND ANY ASSOCIATED HARDWARE IN ITS ENTIRETY. (⊕) INDICATES SAVE FOR REINSTALLATION IN NEW LOCATION.
- D.3** REMOVE WINDOW / FRAME AND ANY ASSOCIATED HARDWARE IN ITS ENTIRETY. (⊕) INDICATES SAVE FOR REINSTALLATION IN NEW LOCATION.
- D.4** REMOVE EXISTING BUILT-IN CABINETS IN ITS ENTIRETY.
- D.5** REMOVE EXISTING FURNITURE AS INDICATED. (⊕) INDICATES SAVE FOR REINSTALLATION IN NEW LOCATION.
- D.6** REMOVE EXISTING BASEMENT ACCESS HATCH
- D.7** REMOVE EXISTING EGRESS STAIR

FLOOR LEGEND



CONSTRUCTION NOTES

1. ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH ALL CURRENT NATIONAL, STATE, LOCAL CODES & ORDINANCES.
2. DO NOT SCALE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION OF DIMENSIONS FROM THE ARCHITECT BEFORE CONTINUING WITH CONSTRUCTION.
3. CONTRACT DRAWINGS MAY VARY FROM ACTUAL FIELD CONDITIONS. CONTRACTOR SHALL CORRECT DIMENSIONS OF ALL MATERIALS TO CARRY OUT THE INTENT OF THE CONTRACT DRAWINGS. VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN FIELD BEFORE ORDERING ANY MATERIALS. CONTRACTOR SHALL NOTIFY ARCHITECT PROMPTLY OF ANY CRITICAL DISCREPANCIES BEFORE PROCEEDING WITH WORK.
4. THE DEMOLITION PLANS ARE DIAGRAMMATIC AND INTENDED TO SHOW THE GENERAL EXTENT OF THE WORK ONLY. THE CONTRACTOR SHALL INCLUDE ALL DEMOLITION WORK REQUIRED TO ACCOMPLISH THE INTENT OF THE PLANS AND SPECIFICATIONS.
5. ALL DEMOLISHED ITEMS SHALL BE REMOVED FROM BUILDING / SITE UNLESS OTHERWISE NOTED. COORDINATE WITH OWNER FOR DELIVERY OF ITEMS NOTED TO REMAIN OWNERS PROPERTY. THE PROJECT SITE/BUILDING SHALL BE CLEANED OF DEBRIS ON A DAILY BASIS.
6. ALL NEW WORK SHALL BE IMPLEMENTED SO AS TO PROVIDE A SMOOTH AND CONTINUOUS SURFACE WITH ALL EXISTING CONDITIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK NECESSARY TO ACHIEVE THIS REQUIREMENT, EVEN THOUGH PROCEDURES ARE NOT DETAILED FOR EACH SPECIFIC CONDITION OR COMBINATION OF CONDITIONS. QUALITY OF WORKMANSHIP, MATERIALS AND FINISHES SHALL BE EQUAL TO THE LEVEL ESTABLISHED FOR SIMILAR CONSTRUCTION, EXCEPT WHERE EXISTING APPEARANCE IS TO BE MATCHED TO ACHIEVE CONTINUITY.
7. CUTTING AND PATCHING SHALL BE THE RESPONSIBILITY OF THE TRADE WHOSE WORK RESULTS IN THE NEED FOR CUTTING AND PATCHING UNLESS A SPECIFIC CONTRACTOR IS CALLED OUT ON THE DRAWINGS. ALL HOLES LEFT BY REMOVING MECHANICAL, PLUMBING AND ELECTRICAL EQUIPMENT, ETC. SHALL BE PATCHED.
8. PREPARE EXISTING WALLS AS REQUIRED FOR NEW FINISHES.
9. ALL ITEMS NOTED AS SALVAGE SHALL BE REMOVED, PROTECTED AND TURNED OVER TO THE OWNER.
10. ALL OPENINGS WHERE EXISTING CONSTRUCTION HAS BEEN REMOVED, AND WHICH ARE NOT NOTED TO REMAIN, SHALL BE FILLED AND / OR PATCHED TO MATCH THE ADJACENT EXISTING OR NEW FINISH, INCLUDING ANY FIRE RATINGS REQUIRED.
11. ALL AREAS OF FLOORS, WALLS AND CEILINGS DISTURBED BY DEMOLITION SHALL BE FILLED, PATCHED OR OTHERWISE REFINISHED TO MATCH EXISTING OR NEW FINISH AS DESIGNATED, INCLUDING ALL REQUIRED RATINGS.
12. CONTRACTOR MUST VERIFY LOCATIONS OF ALL EXISTING STRUCTURAL, MECHANICAL, PLUMBING & ELECTRICAL ELEMENTS PRIOR TO START OF DEMOLITION.

CERTIFICATION:



STATUS: NOT FOR CONSTRUCTION
Progress Drawings

CONSULTANT:

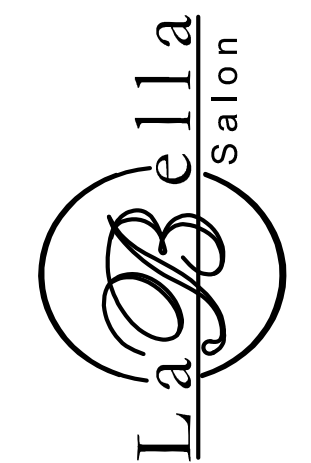


CHERYL NEWTON ARCHITECTS, LLC
39 New London Tpk., Suite 320
Glastonbury CT 06033
Tel. (860) 633-2477
www.cnarchitectsllc.com

REVISIONS:

MARK	DATE	DESCRIPTION
▲		

LABELLA SALON
244 Naubuc Avenue,
Glastonbury, CT 06033
Tel. - (860) 657-4866



PROJECT:

LaBella Salon
New Addition

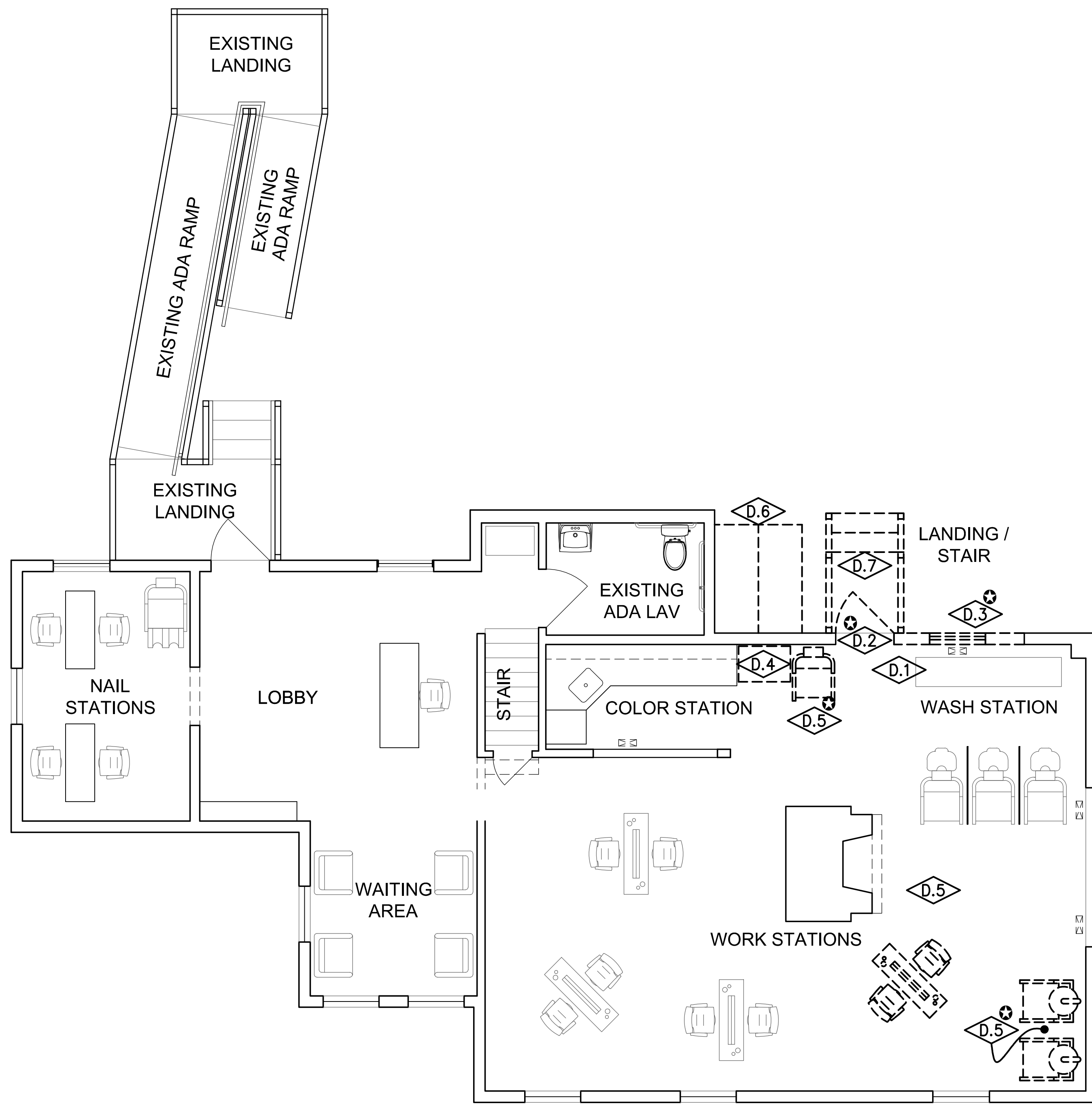
PROJECT NO.: 23-08
PLOT SHEET SIZE: 24" x 36"
FILE NAME:
C:\USERS\JZZ\ZOMBROWSKI\CNAIA
DROPPROJ\CNAIA_TEAM\FOLDER_2023
PROJECTS\23-08 LABELLA SALON\23-08
DRAWINGS\23-08-04 CONSTRUCTION
DOCUMENTS\LAB CD 05-31-23

AUTHOR: CN
DRAFTER: PS
SCALE: AS NOTED
PRINT DATE: 05-31-2023
SHEET TITLE:
First Floor Demo &
Proposed Plans,
Legend & Notes

SHEET NUMBER:

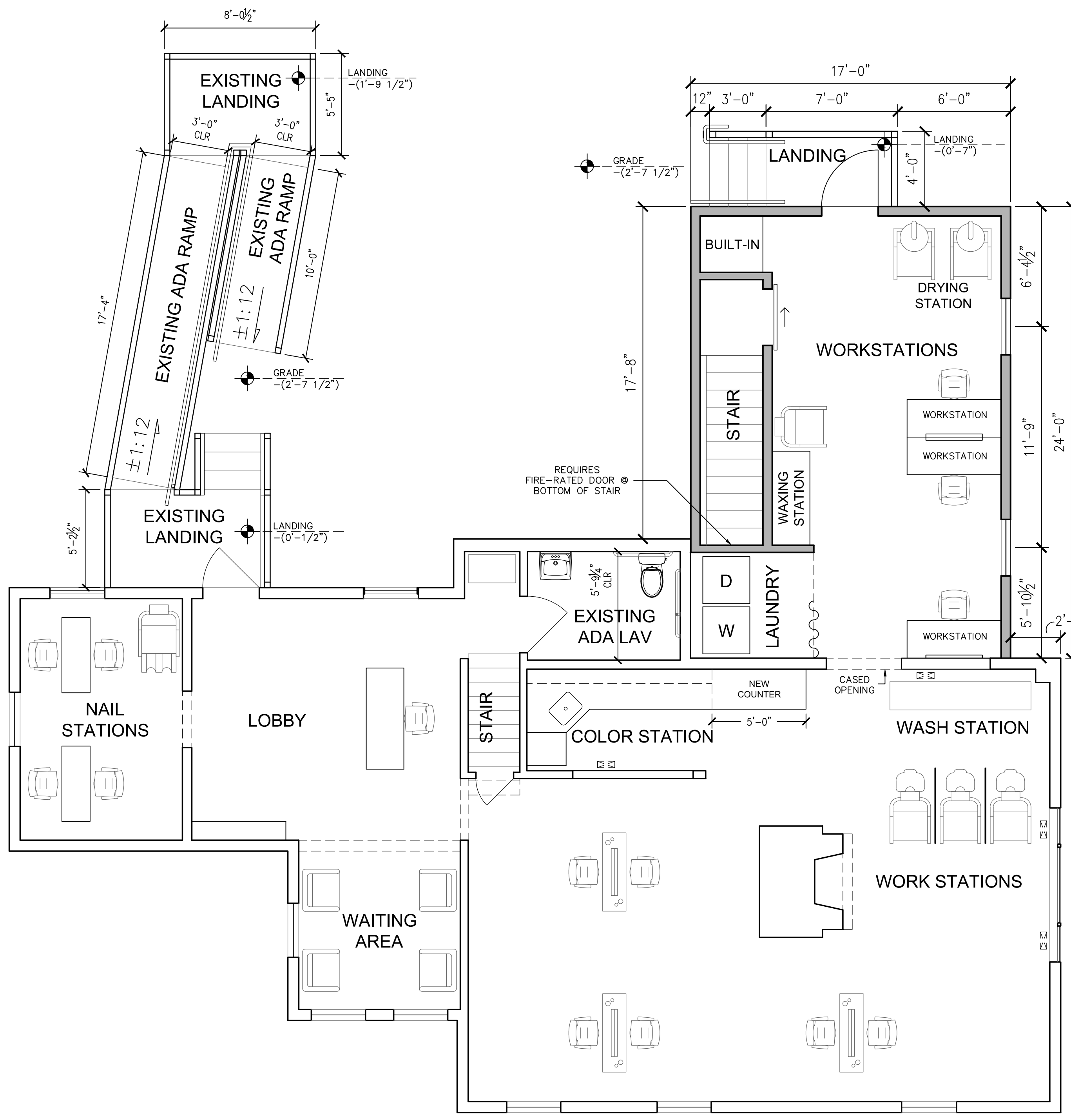
A1

SHEET SEQUENCE: 3 of 4



0.1 EXISTING FIRST FLOOR PLAN
1/4" = 1'-0"

EXISTING FINISHED SF - 1268 SF



1 FIRST FLOOR PLAN
1/4" = 1'-0"

EXISTING FINISHED SF - 1268 SF
ADDITION - 408 SF
LANDING - 36 SF

CERTIFICATION:



STATUS: NOT FOR CONSTRUCTION
Progress Drawings

CONSULTANT:

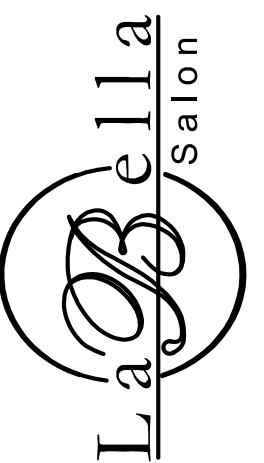


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REVISIONS:

MARK	DATE	DESCRIPTION
Δ	•	•

LABELLA SALON
244 Naubuc Avenue,
Glastonbury, CT 06033
Tel. - (860) 657-4866



PROJECT:

LaBella Salon
New Addition

PROJECT NO.: 23-08

PLOT SHEET SIZE: 24" x 36"

FILE NAME:

C:\USERS\JZZO\BROWSE\PCNAIA
DROPPON\CNAIA_TEAM\FOLDER_2023
PROJECTS\23-08 LABELLA SALON\23-08
DRAWINGS\23-08-04 CONSTRUCTION
DOCUMENTS\LAB CD 05-31-23

AUTHOR: CN

DRAFTER: PS

SCALE: AS NOTED

PRINT DATE: 05-31-2023

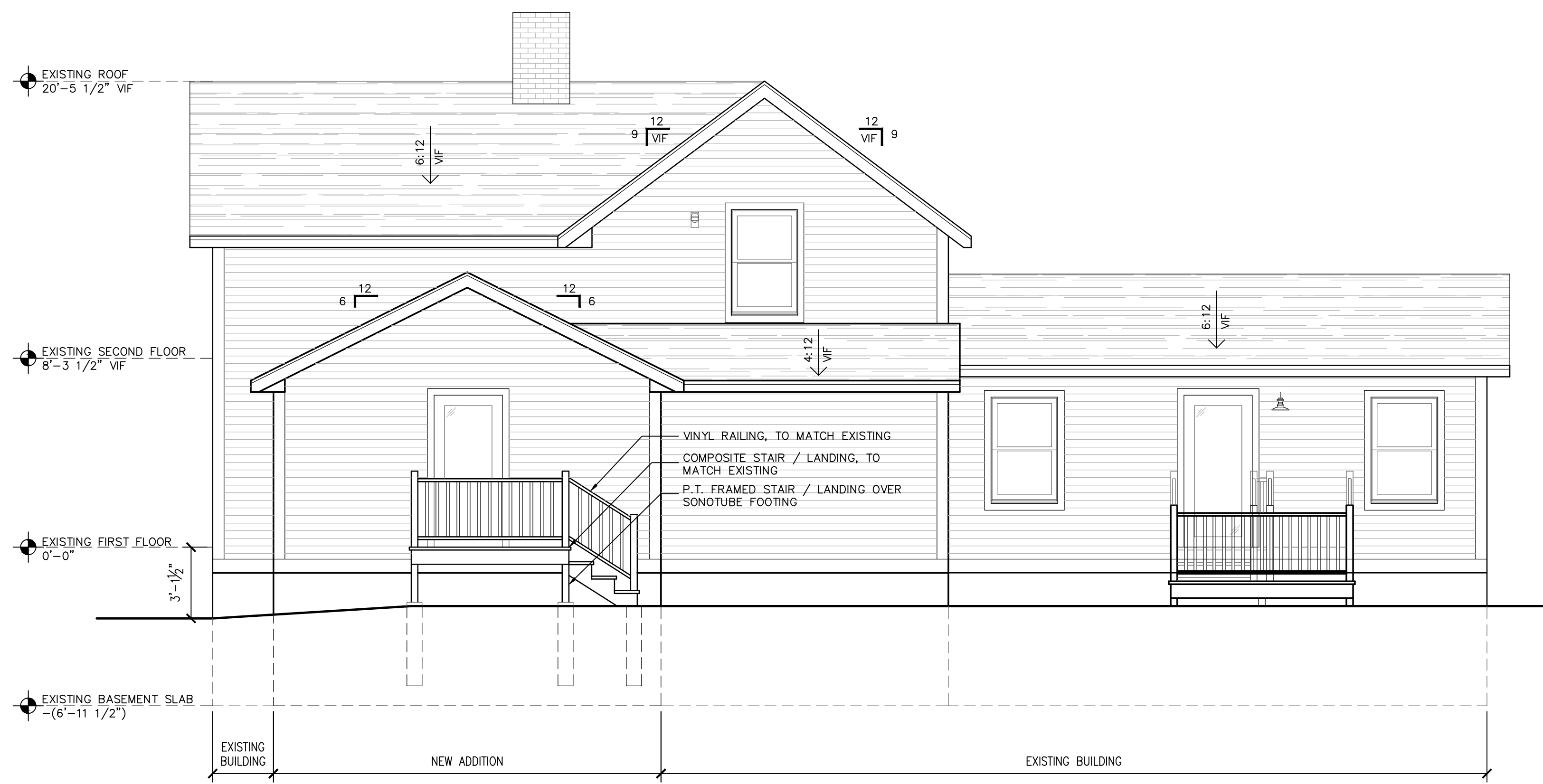
SHEET TITLE:

First Floor Demo &
Proposed Plans,
Legend & Notes

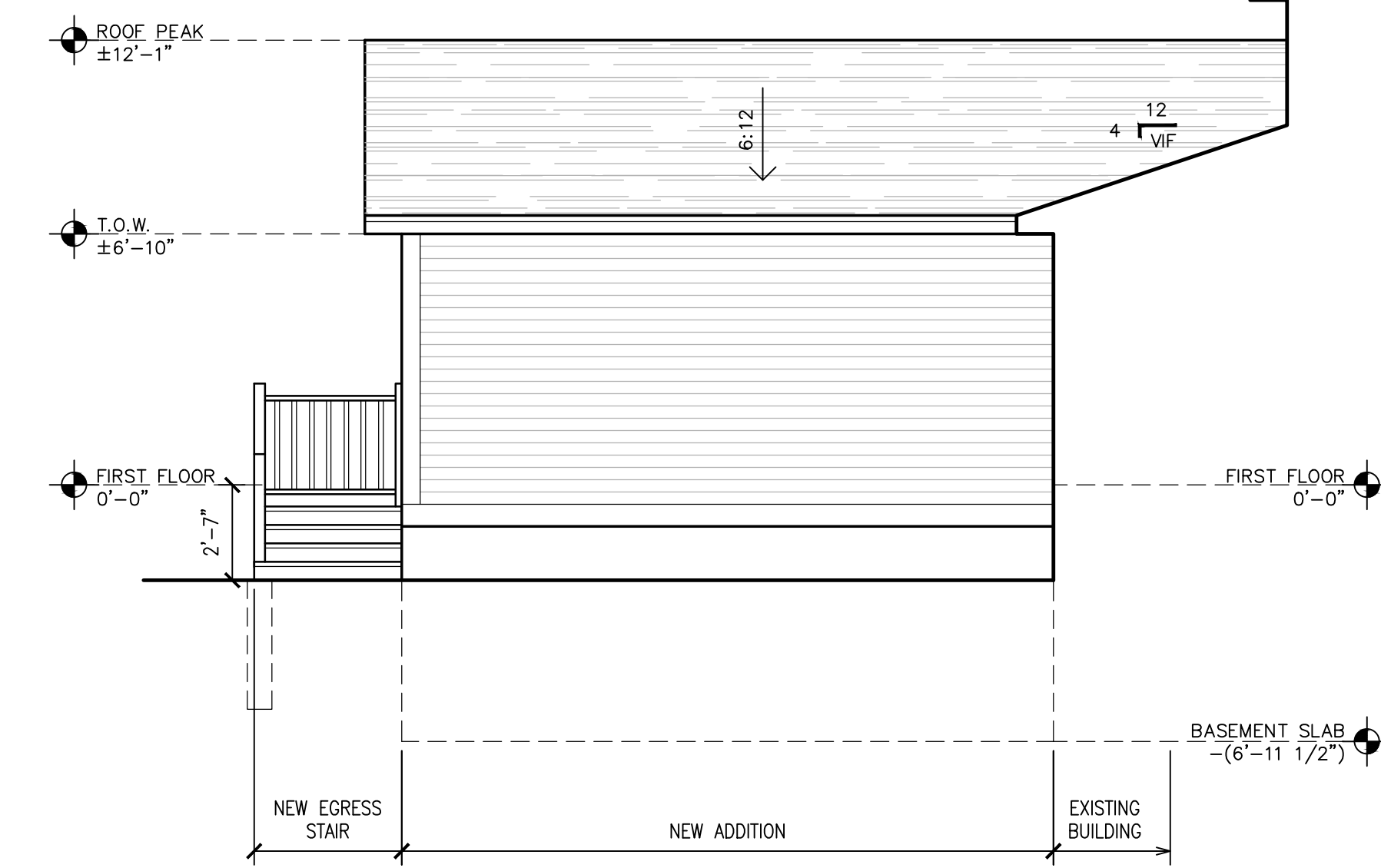
SHEET NUMBER:

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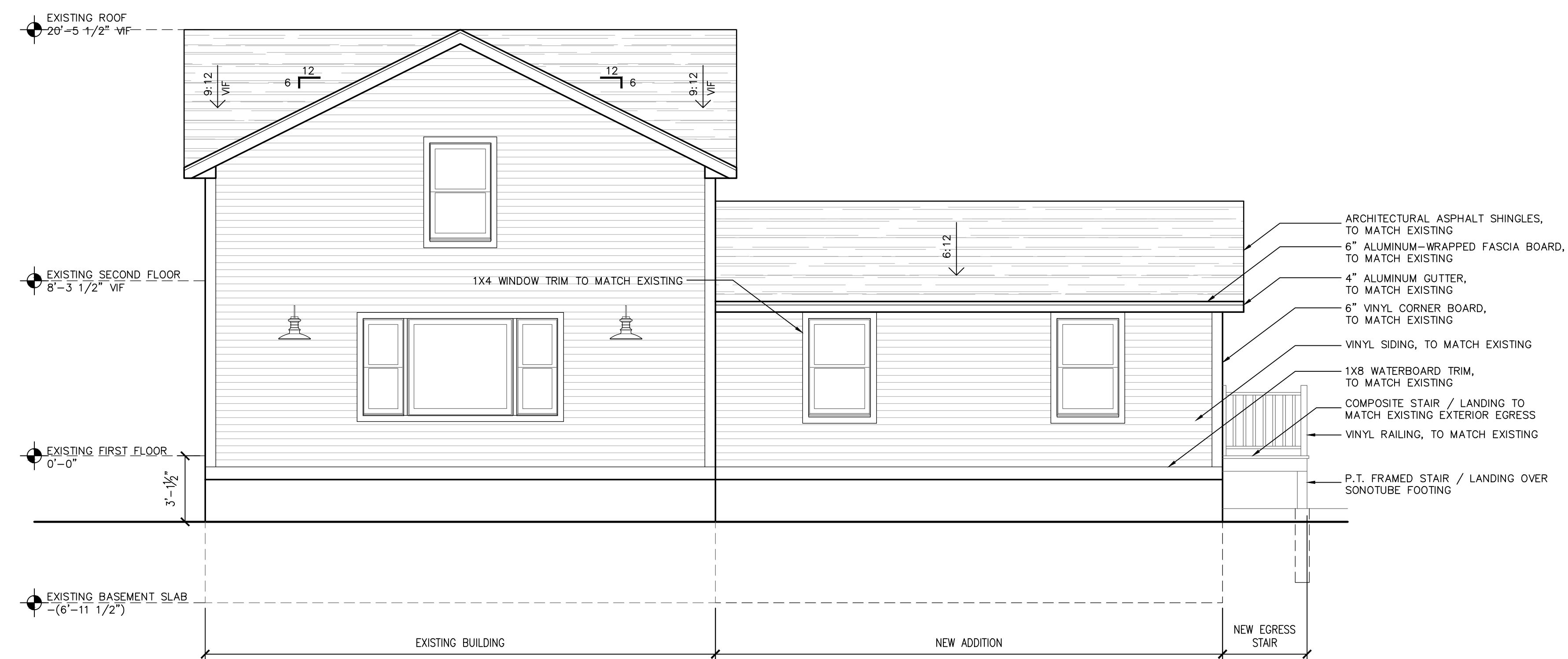
SHEET SEQUENCE: 4 of 4



2 EAST EXTERIOR ELEVATION
1/4" = 1'-0"

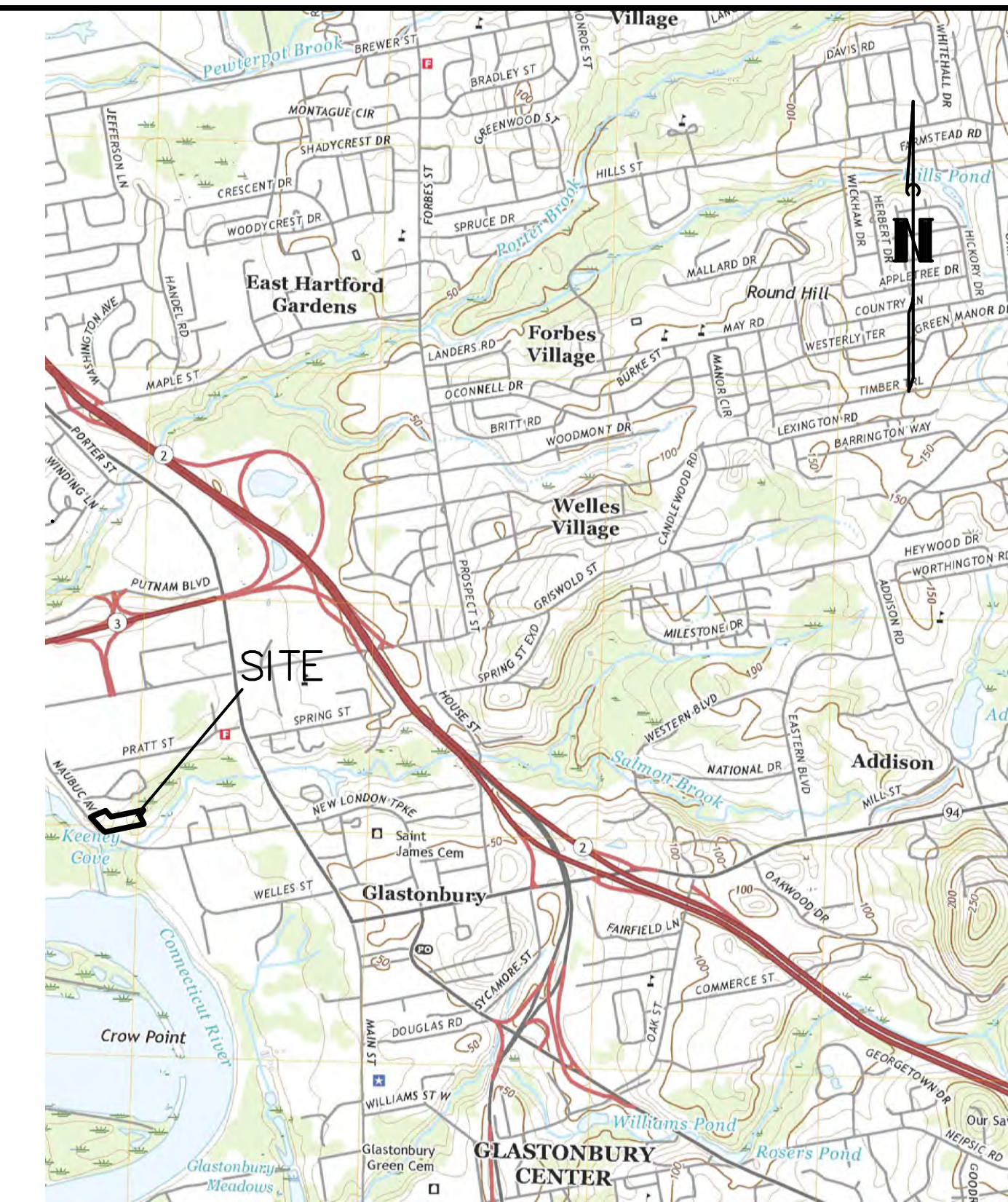


4 PARTIAL NORTH EXTERIOR ELEVATION
1/4" = 1'-0"



3 SOUTH EXTERIOR ELEVATION
1/4" = 1'-0"

#244 NAUBUC AVE.
 PREPARED FOR
244 NAUBUC AVE LLC
GLASTONBURY, CONNECTICUT



LOCATION MAP
 244 NAUBUC AVE.
 GLASTONBURY, CT
 SCALE: 1"=2000'

INDEX TO SHEETS

COVER SHEET	SHEET C-1
BOUNDARY & EXISTING CONDITIONS SURVEY	SHEET 1
SITE LAYOUT PLAN	SHEET SP-1
SITE GRADING PLAN	SHEET SP-2
GENERAL NOTES & DETAILS	SHEET SP-3
LANDSCAPING PLAN	SHEETS L-1 THRU L-2

SITE CIVIL ENGINEER: WENTWORTH CIVIL ENGINEERS,
 LLC
 177 W. TOWN ST.
 LEBANON, CT 06249
 TEL (860) 642-7255
 EMAIL: WES@WENTWORTHCIVIL.COM

LAND SURVEYOR: HELLSTROM LAND SURVEYING
 32 MAIN ST.
 HEBRON, CT 06248
 TEL (860) 228-9853
 EMAIL: HELLSTROMSURVEYING@YAHOO.COM

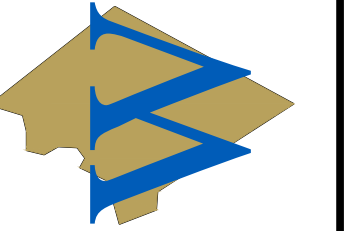
LANDSCAPE ARCHITECT: Robert C. Schechinger, Jr. ASLA
 772 Farmington Avenue
 Farmington, CT 06032
 Telephone: (860) 478 - 7839
 Email: Biff.Design@sbcglobal.net
 Website: BiffLandDesign.com

LOBELLA SALON, LLC	TOWN CENTER MIXED USE / FLOOD ZONE
PROJECT/APPLICANT	ZONE
244 NAUBUC AVE. GLASTONBURY, CONN.	
PROJECT ADDRESS	
12.9 & 4.11	
SPECIAL PERMIT SECTION	TPZ CHAIRMAN
DATE SPECIAL PERMIT APP'D	DIRECTOR OF COMMUNITY DEVELOPMENT
FILE NO.	

I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.

WESLEY J. WENTWORTH
 P.E. # 20360

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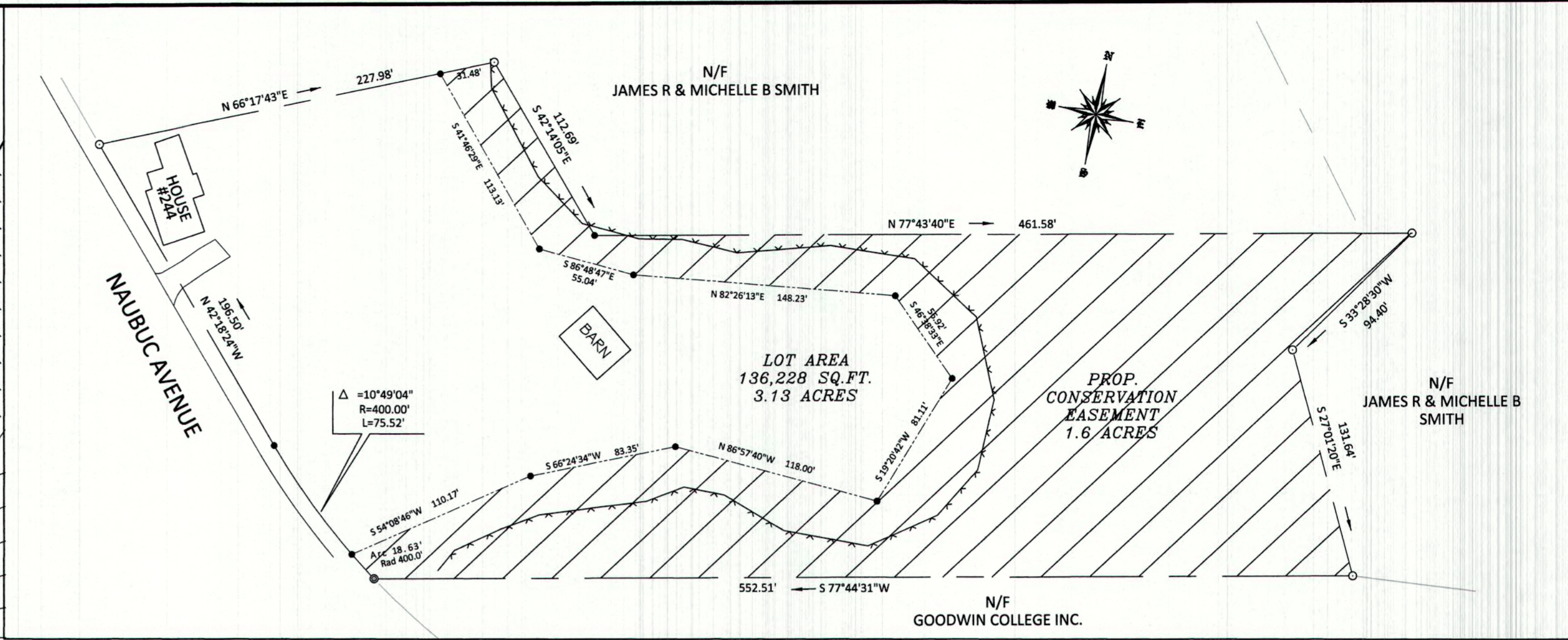
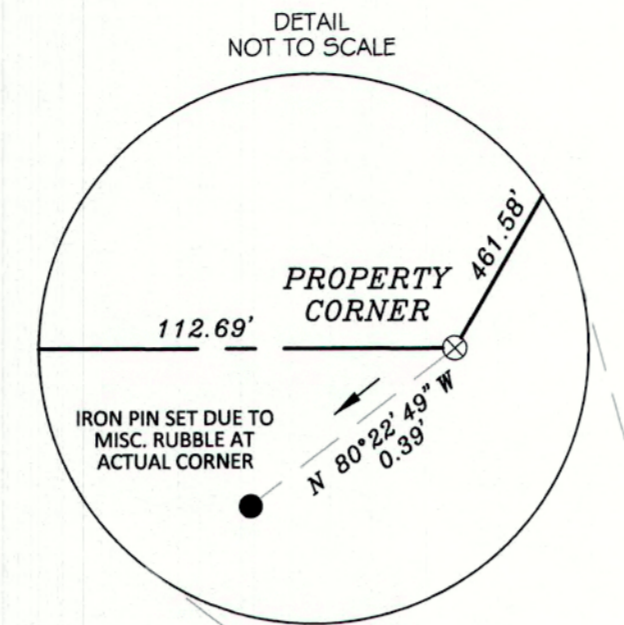
COVER SHEET
 - PREPARED FOR -
244 NAUBUC AVE, LLC
 244 NAUBUC AVE.
 GLASTONBURY, CONNECTICUT

DATE: 10-12-23
 SCALE: SHOWN
 SHEET C-1
 MAP NO. 23-006-1C

LEGEND

- PROPERTY LINE
- - - EXISTING CONTOUR
- ~ ~ ~ EDGE WOODS OR CLEARING
- ⊗ ANGLE POINT
- IRON PIN OR PIPE FOUND
- MONUMENT FOUND
- IRON PIN SET: 5/8" REBAR
- OAK STAKE SET AT MID POINT
- LAMP POST
- WG WATER GATE VALVE
- G - G - G APPROXIMATE GAS LINE
- W - W - W APPROXIMATE WATER LINE
- - - LIMIT OF FLOOD ZONE
- - - LIMIT OF WETLAND SOILS
- - - LIMIT OF PROPOSED CONSERVATION EASEMENT
- SPOT ELEVATION

31X80



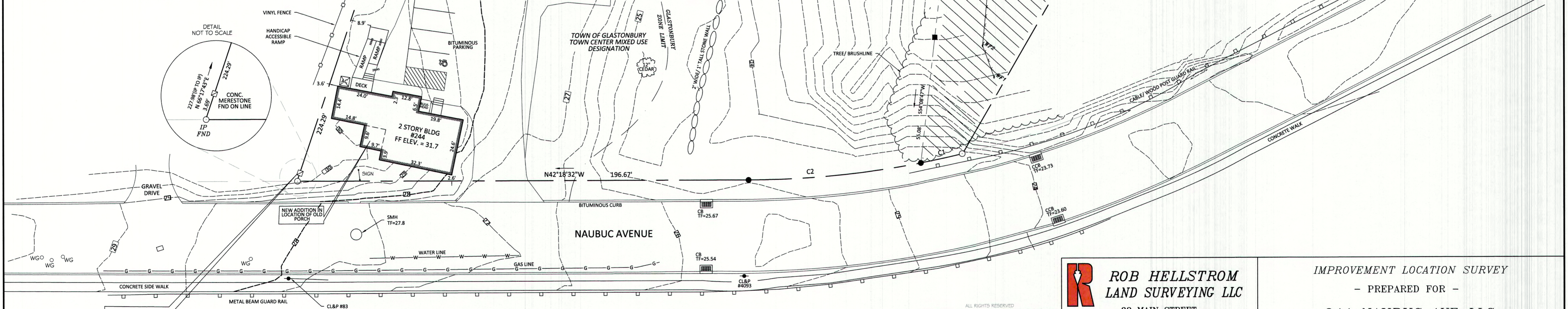
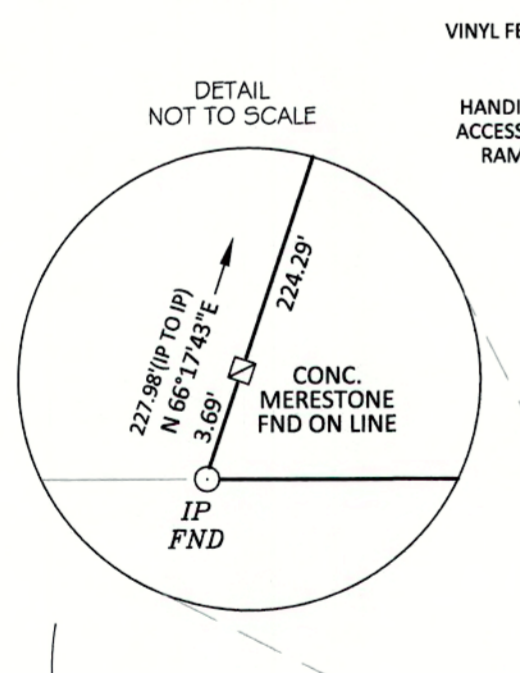
FEMA NOTE: BFE ELEV = 28
 REFERENCE CAN BE MADE TO FIRM PANEL 528 OF 675,
 MAP NO. 09003C0528F - VERTICAL DATUM NAVD88

PARCEL IN ZONE 'TOWN CENTER MIXED USE & FLOOD ZONE

- MAP STANDARD NOTES:**
- THIS SURVEY (OR MAP) HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THRU 20-300b-20 AND THE "STANDARDS AND SUGGESTED METHODS AND PROCEDURES FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON AUGUST 29, 2019. THE TYPE OF SURVEY IMPROVEMENT LOCATION SURVEY. BOUNDARY DETERMINATION IS BASED ON A RESURVEY OF PROPERTY AND CONFORMS TO THE 'A-2' CLASS OF ACCURACY.
 - TOPOGRAPHIC FEATURES, IF SHOWN HEREON, WERE PREPARED IN ACCORDANCE WITH CLASS T-2.
 - HORIZONTAL DATUM IS NAD83, VERTICAL DATUM IS NAVD 88, RELATIVE TO TOWN OF GLASTONBURY CONTROL POINTS #CP FH-51 & CP NB-511.
 - THE INTENDED PURPOSE OF THIS MAP/SURVEY IS TO SHOW NEW CONSTRUCTION AS-BUILT

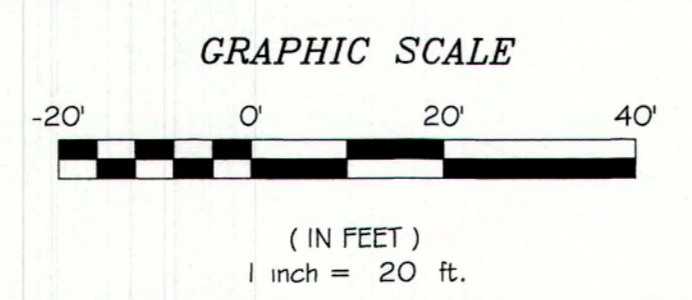
MAP REFERENCE:

- "BOUNDARY SURVEY PREPARED FOR 244 NAUBUC AV LLC SHOWING NEW CONSTRUCTION AS-BUILT 244 NAUBUC AVENUE GLASTONBURY CONN.", SCALE 1"=20', SHEET 2 OF 5, JOB NO.2018-096, FILE NO. 2018-096 A2 EASE, DATED OCTOBER 2,2018, REVISED TO 12-26-18, BY RHLS,LLC.



CURVE TABLE

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	18.63'	400.00'	2°40'05"	S54°29'00"E	18.63'
C2	75.52'	400.00'	10°49'04"	S47°44'26"E	75.41'



UTILITY NOTE:
 SOURCE INFORMATION FROM PLANS AND MARKINGS IN THE FIELD BY OTHERS WILL BE COMBINED WITH OUR OBSERVED EVIDENCE OF UTILITIES TO DEVELOP A VIEW OF THOSE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE COMPLETELY AND SPECIFICALLY DEPICTED. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.

ALL RIGHTS RESERVED
 ANY REPRODUCTION, POSSESSION OR USE OF THIS DRAWING OR ANY PART THEREOF WITHOUT THE WRITTEN PERMISSION OF THE SURVEYOR INDICATED BELOW IS PROHIBITED. VIOLATORS WILL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

THIS DRAWING IS NOT VALID UNLESS IT BEARS AN ORIGINAL INK SIGNATURE AND EMBOSSED SEAL
 ROBERT W. HELLSTROM, L.S. #13626

REVISIONS

NO.	DATE	DESCRIPTION
1.	8/25/23	UPDATED PARKING LOT AS-BUILT

ROB HELLSTROM LAND SURVEYING LLC
 32 MAIN STREET
 HEBRON, CONNECTICUT
 (860)-228-9853
 Mailing Address:
 P.O. BOX 378
 HEBRON, CT 06248
 www.rhslc.com
 Email: hellstromsurveying@yahoo.com
 DATE: JULY 3, 2019

IMPROVEMENT LOCATION SURVEY
 - PREPARED FOR -
244 NAUBUC AVE LLC
 SHOWING NEW CONSTRUCTION AS-BUILT
 244 NAUBUC AVENUE
 GLASTONBURY CONNECTICUT
 SHEET NO.: 1 OF 1
 JOB NO.: 23-223 (REF# 018-096)
 BY: AGS
 SCALE: 1" = 20'
 FILE NO.: 23-223_244_NAUBUC

PUBLIC SANITARY SEWER

PUBLIC WATER SUPPLY

ZONING DATA

ZONE:	TOWN CENTER MIXED USE / FLOOD ZONE		
FRONT YARD	20 FT		
REAR YARD	**20 FT		
SIDE YARD	**4' FT (10' COMBINED SIDE YARDS)		
LOT AREA:	REQUIRED 10,000 SF	EXISTING 136,228 SF (3.13 AC.)	PROPOSED 136,228 SF (3.13 AC.)
IMPERVIOUS COVERAGE:	**25% (MAX.)		
BUILDING		1,308 SF (1.0%)	1,716 SF (1.2%)
PAVEMENT & CONC.		5,292 SF (3.9%)	13,450 SF (9.9%)
TOTAL		6,600 SF (4.8%)	15,166 SF (11.1%)

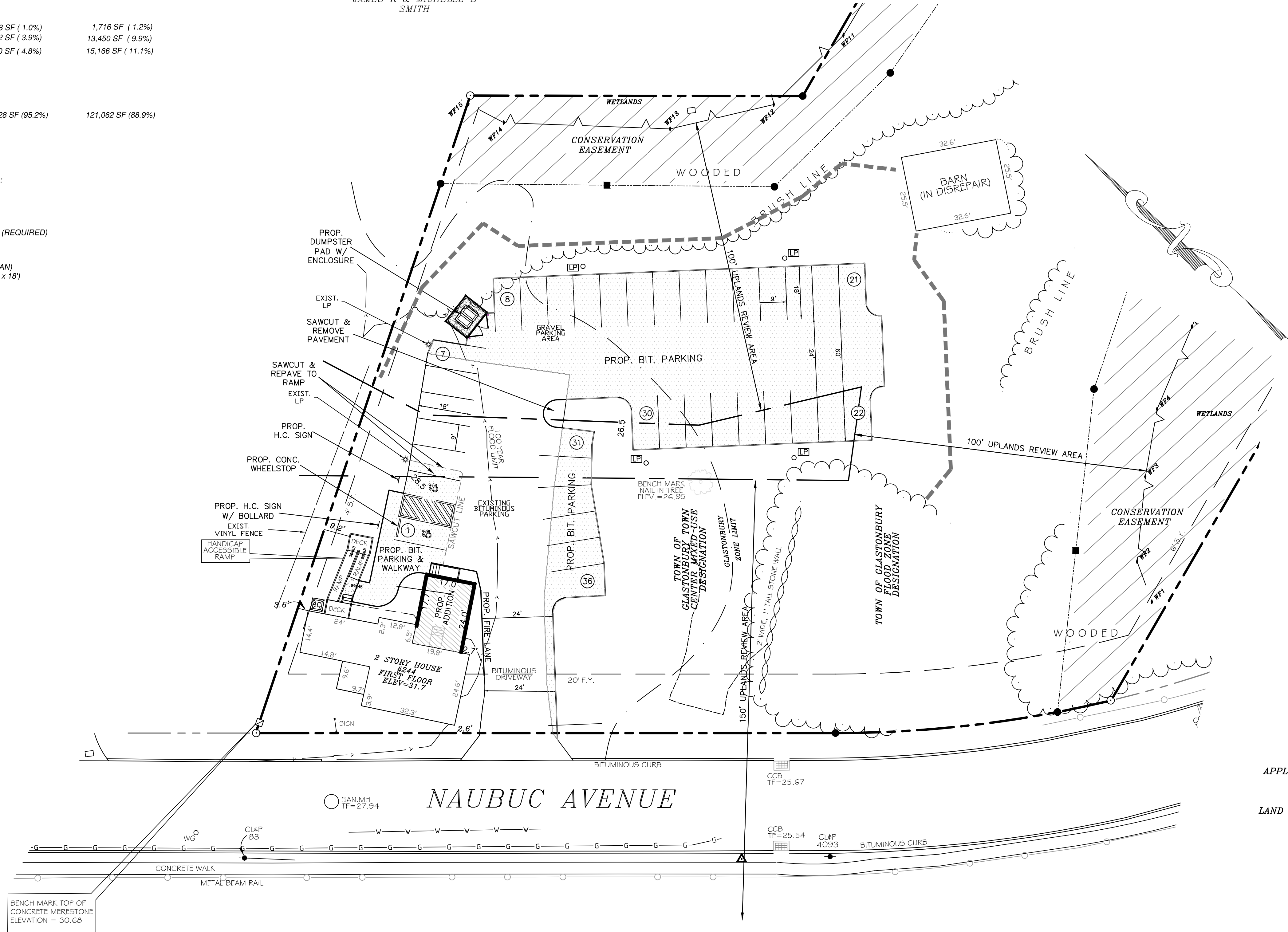
** FOR ADAPTIVE REUSE OF EXISTING BUILDINGS

OPEN SPACE:	1,308 SF (1.0% MIN.) (AREA OF PRINCIPAL BUILDING FOOTPRINT)	129,628 SF (95.2%)	121,062 SF (88.9%)
-------------	--	--------------------	--------------------

PARKING:	1 SPACE / 150 SF (PERSONAL SERVICES):		
REQUIRED:	1st FLOOR: 1,316 SF	2nd FLOOR: 795 SF	ADDITION: 409 SF
	TOTAL: 2,519 SF		
	1 SPACE / 150 SF x 2,519 SF = 15 SPACES (REQUIRED)		

HANDICAPPED:	EXISTING: 1 SPACE (VAN)	PROPOSED: 2 SPACES (VAN)
STANDARD:	8 SPACES (9' x 18')	34 SPACES (9' x 18')
TOTAL:	9 SPACES	36 SPACES

N/F
JAMES R & MICHELLE B
SMITH



APPLICANT: 244 NAUBUC AVE, LLC
244 NAUBUC AVE
GLASTONBURY, CT 06033

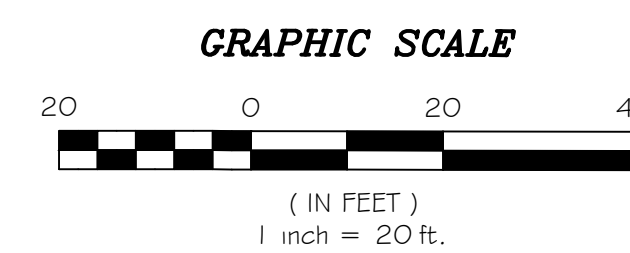
LAND OWNER: 244 NAUBUC AVE, LLC
244 NAUBUC AVE
GLASTONBURY, CT 06033

LEGEND

- IRON PIN OR PIPE FOUND
- ◻ MONUMENT FOUND
- IRON PIN TO BE SET
- PROPERTY LINE
- BUILDING LINE
- 442 --- EXISTING CONTOUR
- 442x3 EXISTING SPOT ELEVATION
- 442 PROPOSED CONTOUR
- 250.9 PROPOSED SPOT ELEVATION
- PROPOSED STAKED HAYBALES
- EXISTING CLEARING LINE
- 100 YEAR FLOOD ZONE LIMIT
ELEV.=28.0 PER FIELD SURVEY
- LP PROPOSED LAMP POST

I HAVE REVIEWED THE ONSITE WETLAND BOUNDARIES AS SHOWN ON THIS PLAN AND AM OF THE OPINION THAT THEY REPRESENT THE APPROXIMATE SOIL BOUNDARIES MARKED BY ME IN THE FIELD.

Wesley J. Wentworth
WESLEY J. WENTWORTH SOIL SCIENTIST



NOTE: UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE ONLY. VERIFY ALL LOCATIONS IN THE FIELD BEFORE START OF CONSTRUCTION. (SEE NOTE BELOW)

WARNING: THESE PLANS NOT TO BE USED FOR LOCATION OF UNDERGROUND UTILITIES. CALL BEFORE YOU DIG 1-800-922-4455 TWO WORKING DAYS BEFORE YOU DIG.

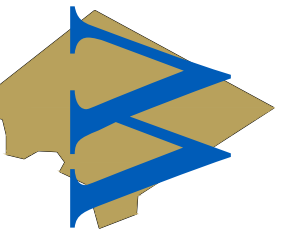
ALL PROPOSED ELEVATIONS ARE IN RELATION TO CONTOURS SHOWN. FINAL ELEVATIONS MAY BE ADJUSTED AS FIELD CONDITIONS WARRANT. VERIFY ALL GRADES IN THE FIELD

LoBella Salon, LLC	TOWN CENTER MIXED USE / FLOOD ZONE
PROJECT/APPLICANT	ZONE
244 NAUBUC AVE. GLASTONBURY, CONN.	
PROJECT ADDRESS	
12.9 & 4.11	
SPECIAL PERMIT SECTION	TP2 CHAIRMAN
DATE SPECIAL PERMIT APP'D	DIRECTOR OF COMMUNITY DEVELOPMENT
	FILE NO.

I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.

Wesley J. Wentworth
WESLEY J. WENTWORTH P.E. # 20380

WENTWORTH CIVIL
ENGINEERS LLC



177 WEST TOWN ST.
LEBANON, CT 06249
TEL. (860) 642-7255
FAX (860) 642-4794
web: wentworthcivil.com

PRELIMINARY PLAN - SITE LAYOUT PLAN
- PREPARED FOR -

244 NAUBUC AVE, LLC
244 NAUBUC AVE.

GLASTONBURY, CONNECTICUT

DATE: 10-12-23

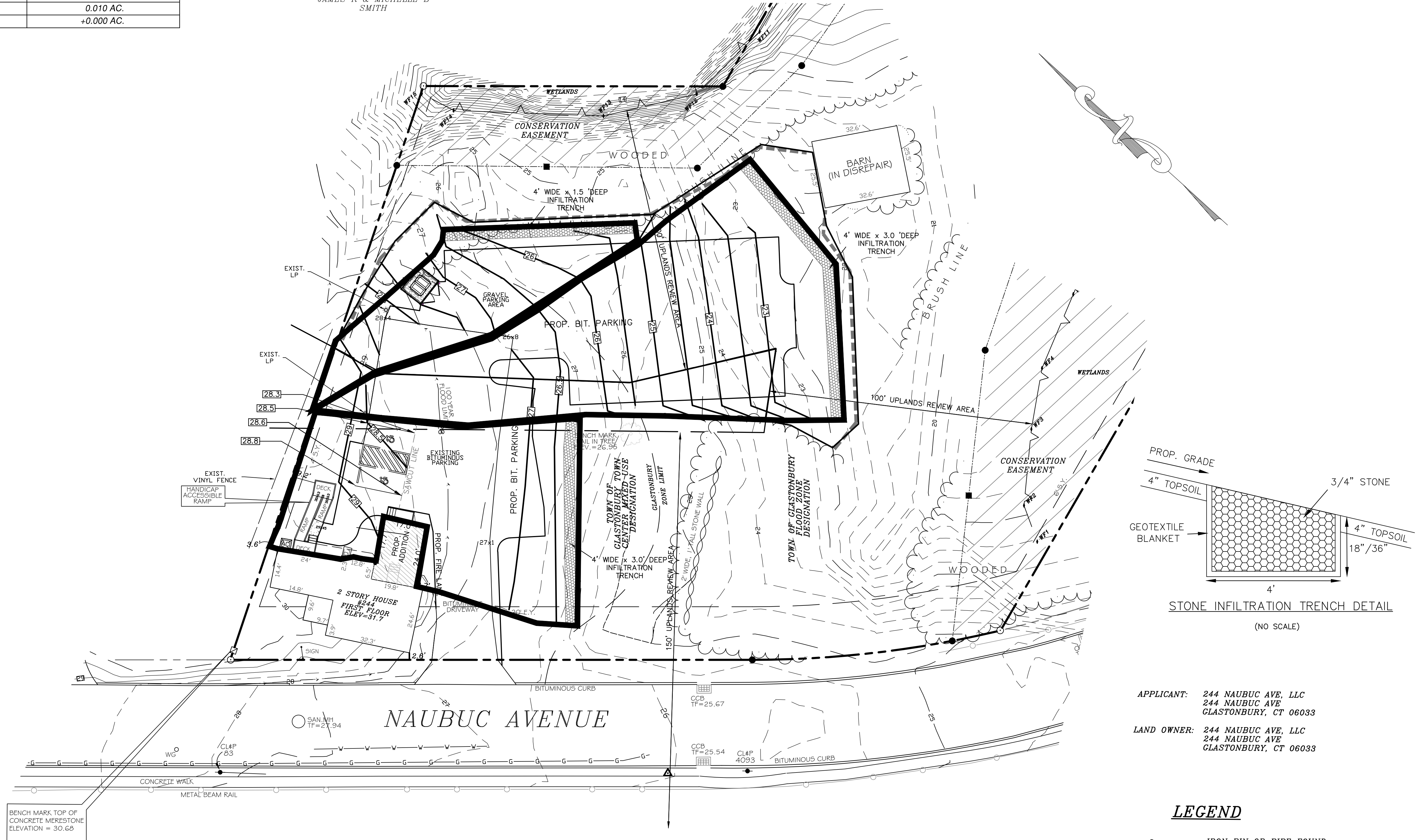
SCALE: 1"=20'

SHEET SP-1

MAP NO. 23-006-1L

TOWN OF GLASTONBURY MS4 PERMIT INFORMATION	IMPERVIOUS AREA	DIRECTLY CONNECTED IMPERVIOUS AREA
PRE-DEVELOPMENT	0.1595 AC.	0.010 AC.
POST-DEVELOPMENT	0.3356 AC.	0.010 AC.
NET CHANGE(+ OR-)	+0.1761 AC.	+0.000 AC.

N/F
JAMES R & MICHELLE B
SMITH

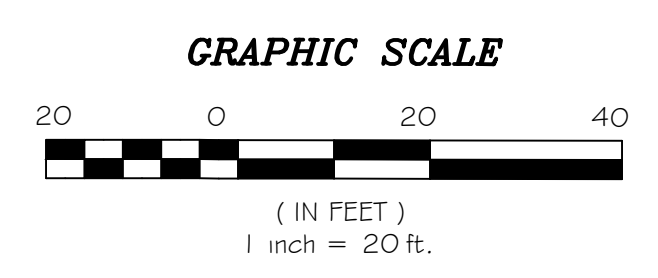


APPLICANT: 244 NAUBUC AVE, LLC
244 NAUBUC AVE
GLASTONBURY, CT 06033

LAND OWNER: 244 NAUBUC AVE, LLC
244 NAUBUC AVE
GLASTONBURY, CT 06033

LEGEND

- IRON PIN OR PIPE FOUND
- ⊠ MONUMENT FOUND
- IRON PIN TO BE SET
- PROPERTY LINE
- BUILDING LINE
- - - 442 - - - EXISTING CONTOUR
- 442x3 EXISTING SPOT ELEVATION
- 442 PROPOSED CONTOUR
- 250.9 PROPOSED SPOT ELEVATION
- - - - - PROPOSED STAKED HAYBALES
- - - - - EXISTING CLEARING LINE
- - - - - 100 YEAR FLOOD ZONE LIMIT
ELEV.=28.0 PER FIELD SURVEY
- LP PROPOSED LAMP POST



NOTES:
0.29 ACRES OF DISTURBANCE IS PROPOSED WITHIN 100' & 150' UPLAND REVIEW AREA PER WETLANDS MAPPING SHOWN.
AMOUNT OF INCREMENTAL FILL PROPOSED IN FLOOD ZONE: 0.0 CY
ALL PROPOSED IMPROVEMENTS LOCATED WITHIN FLOOD ZONE (PARKING AREA, DRIVEWAY, ETC.) SHALL BE CONSTRUCTED AND GRADED AS SHOWN ON PLAN.
EXCESS EXCAVATED FILL MATERIAL RESULTING FROM PROPOSED CONSTRUCTION ACTIVITIES SHALL BE HAULED OFF SITE OR UTILIZED FOR GRADING PURPOSES ONSITE OUTSIDE OF THE FLOOD ZONE.

NOTE: UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE ONLY. VERIFY ALL LOCATIONS IN THE FIELD BEFORE START OF CONSTRUCTION. (SEE NOTE BELOW)

WARNING: THESE PLANS NOT TO BE USED FOR LOCATION OF UNDERGROUND UTILITIES. CALL BEFORE YOU DIG 1-800-922-4455 TWO WORKING DAYS BEFORE YOU DIG.

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LOBELLA SALON, LLC	TOWN CENTER MIXED USE / FLOOD ZONE
PROJECT/APPLICANT	ZONE
244 NAUBUC AVE. GLASTONBURY, CONN.	
PROJECT ADDRESS	
12.9 & 4.11	
SPECIAL PERMIT SECTION	TPZ CHAIRMAN
DATE SPECIAL PERMIT APP'D	DIRECTOR OF COMMUNITY DEVELOPMENT
	FILE NO.

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P.E. # 20360

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ENGINEERS LLC
177 WEST TOWN ST.
LEBANON, CT 06249
TEL. (860) 642-7255
FAX (860) 642-4794
web: wentworthcivil.com

SITE GRADING PLAN AND
EROSION & SEDIMENTATION CONTROL PLAN
- PREPARED FOR -
244 NAUBUC AVE, LLC
244 NAUBUC AVE.
GLASTONBURY, CONNECTICUT

DATE: 10-12-23
SCALE: 1"=20'
SHEET SP-2
MAP NO. 23-006-1G

GENERAL

THESE GUIDELINES SHALL APPLY TO ALL WORK CONSISTING OF ANY AND ALL TEMPORARY AND/OR PERMANENT MEASURES TO CONTROL WATER POLLUTION AND SOIL EROSION AS MAY BE REQUIRED, DURING THE CONSTRUCTION OF THE PROJECT.

IN GENERAL, ALL CONSTRUCTION ACTIVITIES SHALL PROCEED IN SUCH A MANNER SO AS NOT TO POLLUTE ANY WETLANDS, WATERCOURSE, WATERBODY, AND CONDUIT CARRYING WATER, ETC. THE CONTRACTOR SHALL LIMIT, INsofar AS POSSIBLE, THE SURFACE AREA OF EARTH MATERIALS EXPOSED BY CONSTRUCTION METHODS, AND IMMEDIATELY PROVIDE PERMANENT AND TEMPORARY POLLUTION CONTROL MEASURES TO PREVENT CONTAMINATION OF ADJACENT WETLANDS, WATERCOURSES AND WATERBODIES, AND TO PREVENT, INsofar AS POSSIBLE, EROSION ON THE SITE.

CONSTRUCTION METHODS, IN GENERAL, SHALL BE IN ACCORDANCE WITH THE PROVISIONS SET FORTH IN THE "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" BY THE STATE OF CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION AND TOWN OF MANCHESTER PUBLIC IMPROVEMENT STANDARDS.

LAND GRADING

GENERAL:

1. THE RESHAPING OF THE GROUND SURFACE BY EXCAVATION AND FILLING OR A COMBINATION OF BOTH, TO OBTAIN PLANNED GRADES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING BASIC CRITERIA:
 - A) NO FILL SHOULD BE PLACED WHERE IT WILL SLIDE, OR WASH UPON THE PREMISES OF ANOTHER OWNER OR UPON ADJACENT WETLANDS, WATERCOURSE OR WATERBODY.
 - B) INSTALLATION OF SEDIMENT AND EROSION CONTROLS SUCH AS HAY BALES AND SILT FENCES SHALL BE ESTABLISHED PRIOR TO COMMENCING AND DURING ACTIVITIES. ALL SEDIMENT AND EROSION CONTROL STRUCTURES MUST BE MONITORED AND MAINTAINED BY THE CONTRACTOR UNTIL THE SOIL SURFACE IS STABILIZED.
 - C) HAY BALES SHALL BE STAKED AND SILT FENCES SHALL BE PROPERLY SECURED. SEDIMENT WILL BE REMOVED FROM ALL CATCHMENTS AS NECESSARY.
 - D) PRIOR TO ANY REGRADING, STONE APRON SHALL BE PLACED BY THE ENTRANCE TO THE WORK AREA IN ORDER TO REDUCE MUD AND OTHER SEDIMENTS FROM LEAVING THE SITE.
 - E) EXCAVATIONS SHOULD NOT BE MADE SO CLOSE TO PROPERTY LINES AS TO ENDANGER ADJOINING PROPERTY WITHOUT PROTECTING SUCH PROPERTY FROM EROSION, SLIDING, SETTLING OR CRACKING.

TOPSOILING

GENERAL:

1. TOPSOIL SHALL BE SPREAD OVER ALL EXPOSED AREAS IN ORDER TO PROVIDE A SOIL MEDIUM HAVING FAVORABLE CHARACTERISTICS FOR THE ESTABLISHMENT, GROWTH AND MAINTENANCE OF VEGETATION.
2. REMOVE ALL LARGE STONES, TREE LIMBS, ROOTS, AND CONSTRUCTION DEBRIS.
3. APPLY LIME ACCORDING TO SOIL TEST OR AT THE RATE OF TWO (2) TONS PER ACRE.

MATERIAL:

1. TOPSOIL SHOULD HAVE PHYSICAL, CHEMICAL AND BIOLOGICAL CHARACTERISTICS FAVORABLE TO THE GROWTH OF PLANTS.
2. TOPSOIL SHOULD HAVE A SANDY OR LOAMY TEXTURE.
3. AN ORGANIC MATTER CONTENT OF OVER TWO (2%) PERCENT IS HIGHLY DESIRABLE. AVOID LIGHT COLORED LOWER SUBSOIL MATERIAL.

APPLICATION:

1. AVOID SPREADING WHEN TOPSOIL IS WET OR FROZEN.
2. SPREAD TOPSOIL UNIFORMLY TO A DEPTH OF AT LEAST FOUR (4) INCHES.

EROSION CHECKS

GENERAL:

1. TEMPORARY PERVIOUS BARRIERS USING BALES OF HAY OR STRAW HELD IN PLACE WITH STAKES DRIVEN THROUGH THE BALES AND INTO THE GROUND, OR SEDIMENT FILTER FABRIC FASTENED TO A FENCE POST AND BURIED INTO THE GROUND, SHALL BE INSTALLED AND MAINTAINED AS REQUIRED TO CHECK EROSION AND REDUCE SEDIMENTATION.

TEMPORARY AND/OR PERMANENT VEGETATIVE COVER

GENERAL:

1. PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED AS VARIOUS SECTIONS OF THE PROJECT ARE COMPLETED IN ORDER TO STABILIZE THE SOIL, REDUCE DOWNSTREAM DAMAGE FROM SEDIMENT AND RUNOFF AND TO ENHANCE THE AESTHETIC NATURE OF THE SITE. IT WILL BE APPLIED TO ALL CONSTRUCTION AREAS SUBJECT TO EROSION WHERE FINAL GRADING HAS BEEN COMPLETED AND A PERMANENT COVER IS NEEDED.

SITE PREPARATION:

1. INSTALL REQUIRED SURFACE WATER CONTROL MEASURES.
2. REMOVE LOOSE ROCK, STONE AND CONSTRUCTION DEBRIS FROM AREA.
3. PERFORM ALL PLANTING OPERATIONS PARALLEL TO THE CONTOURS OF THE SLOPE.
4. APPLY TOPSOIL AS INDICATED ELSEWHERE HEREIN.
5. APPLY FERTILIZER ACCORDING TO SOIL TEST OR:

SUNNY TO PARTIALLY SUNNY SITES

— SPRING SEEDING:
WORK DEEPLY IN SOIL, BEFORE SEEDING, 300 LBS OF 10-10-10 FERTILIZER PER ACRE (7 LBS PER 1,000 SQUARE FEET); THEN SIX (6) TO EIGHT (8) WEEKS LATER APPLY ON THE SURFACE AN ADDITIONAL 300 LBS OF 10-10-10 FERTILIZER PER ACRE.

— FALL SEEDING:
WORK DEEPLY IN SOIL, BEFORE SEEDING, 600 LBS OF 10-10-10 FERTILIZER PER ACRE (14 LBS PER 1,000 SQUARE FEET).

ESTABLISHMENT:

1. SMOOTH AND FIRM SEEDBED WITH CULTIPACKER OR OTHER SIMILAR EQUIPMENT PRIOR TO SEEDING (EXCEPT WHEN HYDROSEEDING).
2. SELECT ADAPTED SEED MIXTURE AS FOLLOWS. NOTE RATES AND THE SEEDING DATES.

LBS./ACRE	LBS./1000 S.F.
20	0.50
20	0.50
05	0.10
KENTUCKY BLUEGRASS	
CREeping RED FESCUE	
PERENNIAL RYEGRASS	
TOTAL	1.10

3. FINAL SEEDING SHALL TAKE PLACE PRIOR TO OCTOBER 1ST AS SEEDING AFTER THIS DATE RUNS A DISTINCT CHANCE OF FAILURE DUE TO ADVERSE WEATHER. ANY AREAS THAT ARE DISTURBED BETWEEN OCTOBER 1ST AND APRIL 1ST SHALL BE STABILIZED BY NON-VEGETATIVE MEANS SUCH AS HEAVY MULCHING WITH A BINDER OR JUTE MATTING WHICH WILL HAVE TO BE REMOVED BEFORE FINAL SEEDING AND THEN REPLACED AFTER FINAL SEEDING.
4. APPLY SEED UNIFORMLY ACCORDING TO RATE INDICATED, BY BROADCASTING, DRILLING, OR HYDRAULIC APPLICATION.
5. COVER GRASS AND LEGUME SEEDS WITH NOT MORE THAN 1/4 INCH OF SOIL WITH SUITABLE EQUIPMENT (EXCEPT WHEN HYDROSEEDING).
6. MULCH IMMEDIATELY AFTER SEEDING, IF REQUIRED, ACCORDING TO THE GUIDELINES IN THE "GUIDELINES".
7. USE PROPER INOCULANT ON ALL LEGUME SEEDINGS, USE FOUR (4) TIMES NORMAL RATE WHEN HYDROSEEDING.

244 NAUBUC AVENUE EROSION AND SEDIMENTATION CONTROL NARRATIVE

THIS PROJECT CONSISTS OF CONVERTING AN EXISTING RESIDENTIAL STYLE BUILDING INTO COMMERCIAL USE AS A HAIR SALON. PROPERTY CONSISTS OF A 3.13 ACRE PARCEL WITH EXISTING BITUMINOUS DRIVEWAY AND BROKEN BITUMINOUS PARKING AREA. PROPOSED SITE ACTIVITIES INCLUDE CONSTRUCTION OF NEW PAVED PARKING AREA AND ACCESS DRIVE, 0.28 ACRES OF SITE DISTURBANCE IS PROPOSED.

EROSION CONTROLS FOR DRIVEWAY CONSTRUCTION:

PARKING LOT CONSTRUCTION WILL GENERALLY CONSIST OF STRIPPING TOPSOIL, EXISTING BROKEN PAVEMENT AND GRAVEL TO SUBGRADE UNDER PROPOSED PARKING SPACES. SILTFENCE AND CONSTRUCTION ENTRANCE TO BE INSTALLED PRIOR TO ANY SITE DISTURBANCE ACTIVITIES. STRIPPED MATERIALS TO BE LOADED INTO TRUCKS AND REMOVED FROM SITE IMMEDIATELY. INSTALL AND COMPACT PROCESSED GRAVEL AND PAVE PARKING SPACES. THE DISTURBED SHOULDERS SHOULD BE LOADED, SEEDED & MULCHED IMMEDIATELY. IT IS EXPECTED THIS ACTIVITY WILL TAKE LESS THAN FIVE WORKING DAYS.

GENERAL NOTES

NOTE: THE CONTRACTOR SHALL NOTIFY THE TOWN OF GLASTONBURY ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, SANITARY SEWER INSTALLATION, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING OR ANY EXCAVATION IN THE TOWN RIGHT OF WAY TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:00-4:30 PM MONDAY THROUGH FRIDAY AT (860) 652-7735.

THE LOCATION OF ALL EXISTING UTILITIES IS APPROXIMATE. THE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THE LOCATION OF EXISTING UTILITIES IN THE FIELD PRIOR TO CONSTRUCTION.

TOWN MAY REQUIRE CHANGES TO THE PLAN TO ADDRESS PROBLEMS THAT MAY RESULT IN THE FIELD.

HEALTHY AND MATURE TREES TO BE PRESERVED WHERE POSSIBLE WITH USE OF HIGH VISIBILITY CONSTRUCTION FENCE DURING CONSTRUCTION.

REPLACE STAKED HAYBALES EVERY 60 DAYS.

NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED PRIOR TO ADEQUATE SITE / LOT STABILIZATION. THIS MEANS THAT THE BUILDING LOT SHALL BE LOADED, SEEDED AND MULCHED WITH STRAW PRIOR TO ISSUANCE OF A C.O. (IF SEASON DOES NOT PERMIT SEEDING, THEN THE LOT MUST BE STABILIZED WITH STRAW OR EROSION CONTROL NETTING TO PREVENT EROSION.) PROPERLY INSTALLED E & S CONTROLS MUST BE IN PLACE TO CONTROL ANY E&S PROBLEMS. THE BUILDER / OWNER IS RESPONSIBLE FOR ALL STABILIZATION REQUIREMENTS.

AN INSPECTION BY THE ENVIRONMENTAL PLANNING STAFF WILL BE REQUIRED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY. THIS INSPECTION EVALUATES COMPLIANCE TO THE APPROVED PLOT PLAN AND THE PERMANENT STABILIZATION REQUIREMENT. PROVIDE AMPLE TIME OR NOTICE TO ALLOW FOR THIS INSPECTION NOTICE STABILIZATION MEASURES ARE ESTABLISHED.

IN EVENT OF BLASTING BEING REQUIRED FOR CONSTRUCTION, PRE AND POST BLAST SURVEYS SHALL BE CONDUCTED FOR NEARBY PROPERTIES.

TREE STUMPS AND BLASTED ROCK MATERIAL SHALL NOT BE BURIED ONSITE.

UNDERGROUND FUEL STORAGE TANKS ARE PROHIBITED.

ALL APPLICABLE CONDITIONS OF APPROVAL THAT ARE RELEVANT TO DEVELOPMENT OF THE SUBJECT LOT.

POST CONSTRUCTION STORMWATER RUNOFF MANAGEMENT PLAN

RESPONSIBLE PARTY:
CHRISOULA LABELLA
244 NAUBUC AVE.
GLASTONBURY, CT 06033
(860) 306-5182

STORMWATER MAINTENANCE PLAN

—THE RESPONSIBLE PARTY SHALL MAINTAIN UP TO DATE INSPECTION LOGS AND MAINTENANCE REPORTS.

DRIVEWAY / PARKING AREAS / SIDEWALKS

—KEEP WINTER SANDING TO A MINIMUM. MINIMIZE USE OF SALT ON PROPERTY AS SODIUM CAN BREAK DOWN SOIL STRUCTURE AND MINIMIZE INFILTRATION CAPABILITIES IN INFILTRATION AREAS.

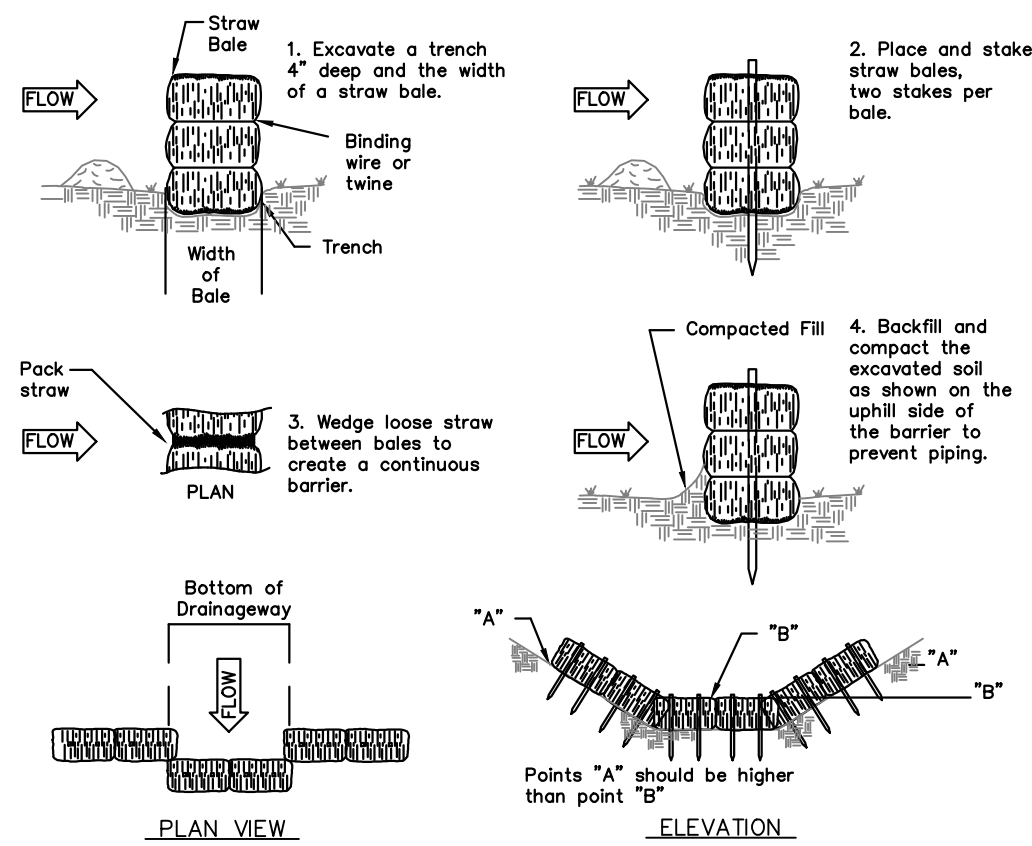
—SWEEP / REMOVE SAND FROM DRIVEWAY, PARKING AREAS & ADJACENT VEGETATED AREAS ANNUALLY (SPRING) BY APRIL 30th. SWEEPINGS ARE TO BE DISPOSED OF OFFSITE AT A PERMITTED SOLID WASTE FACILITY.

— REMOVE LEAVES FROM PAVEMENT ROUTINELY UNTIL FINAL LEAF FALL AND PRIOR TO SNOWFALL.

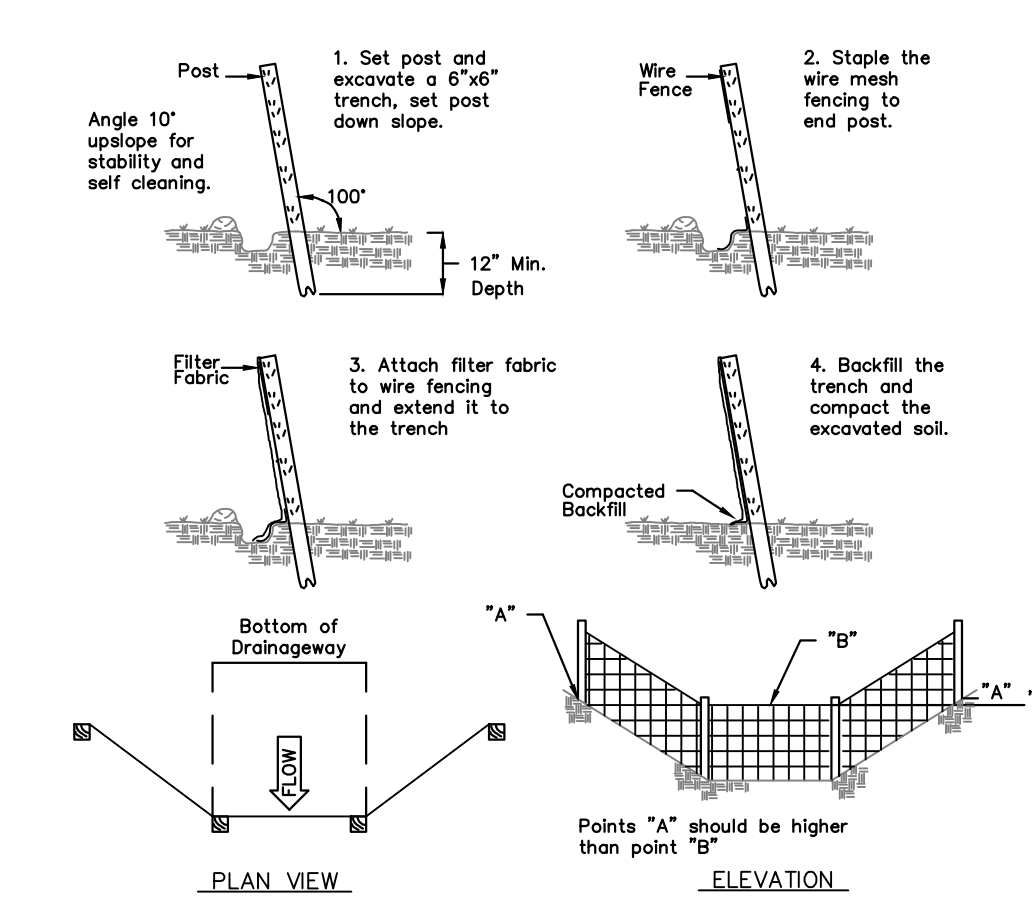
INFILTRATION TRENCHES

— REMOVE LEAVES ROUTINELY UNTIL FINAL LEAF FALL AND PRIOR TO SNOWFALL.

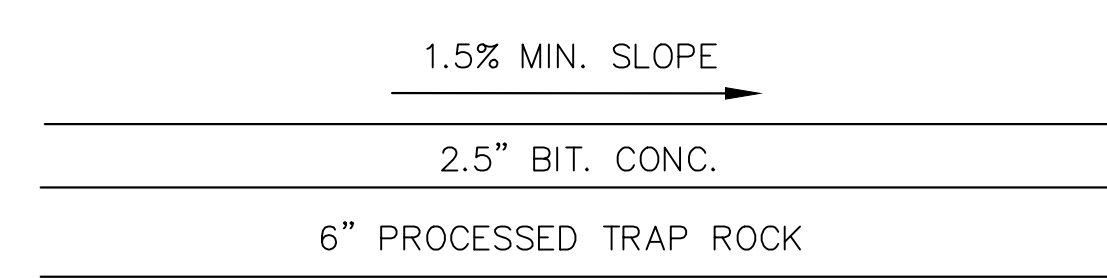
—INSPECT TWICE PER YEAR. REPAIR ANY SCOURED AREAS WITH SOIL AND SEEDING OR CRUSHED STONE AS REQUIRED.



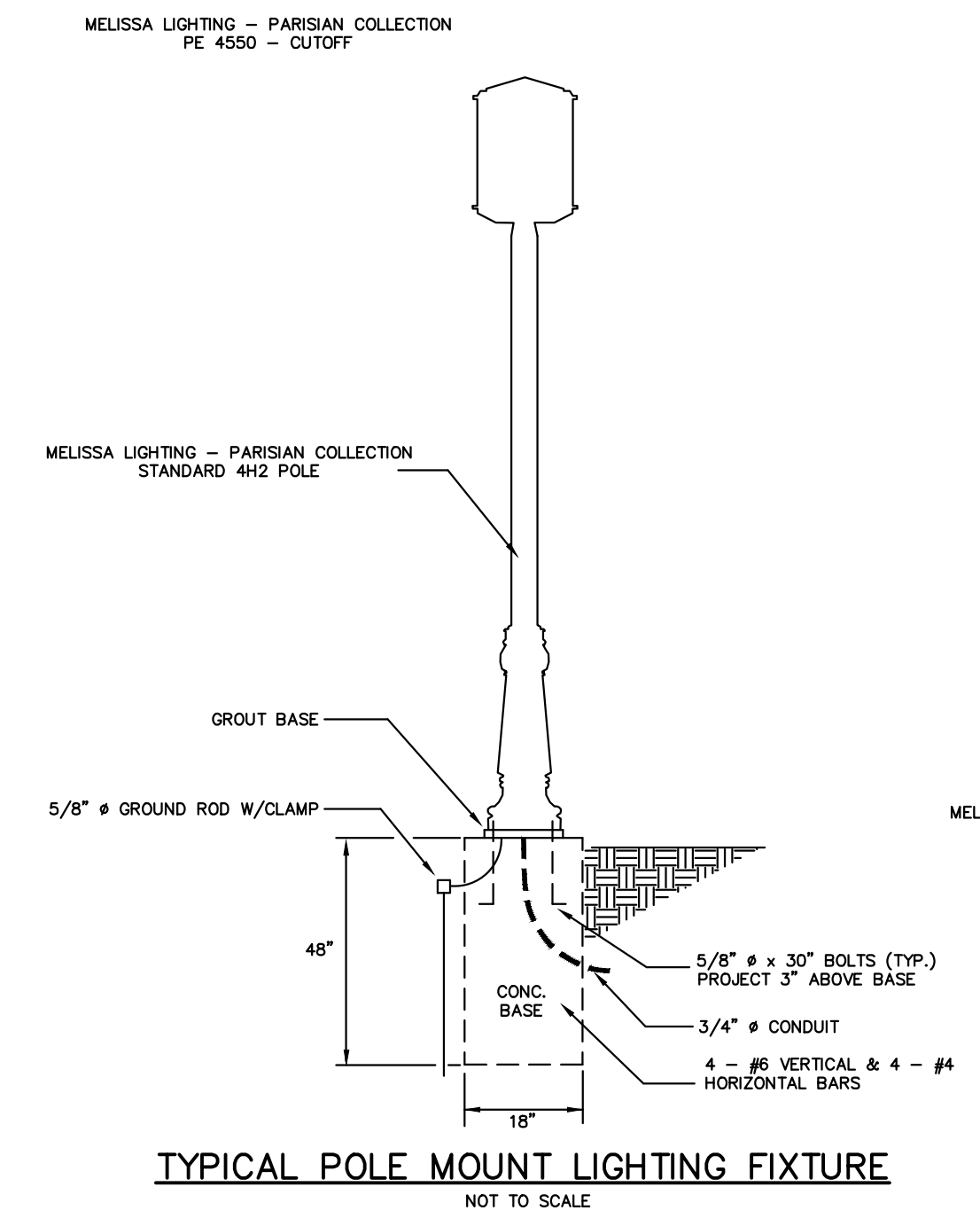
PLACEMENT AND CONSTRUCTION OF A STRAW BALE BARRIER
NOT TO SCALE



PLACEMENT AND CONSTRUCTION OF A SYNTHETIC FILTER BARRIER
NOT TO SCALE

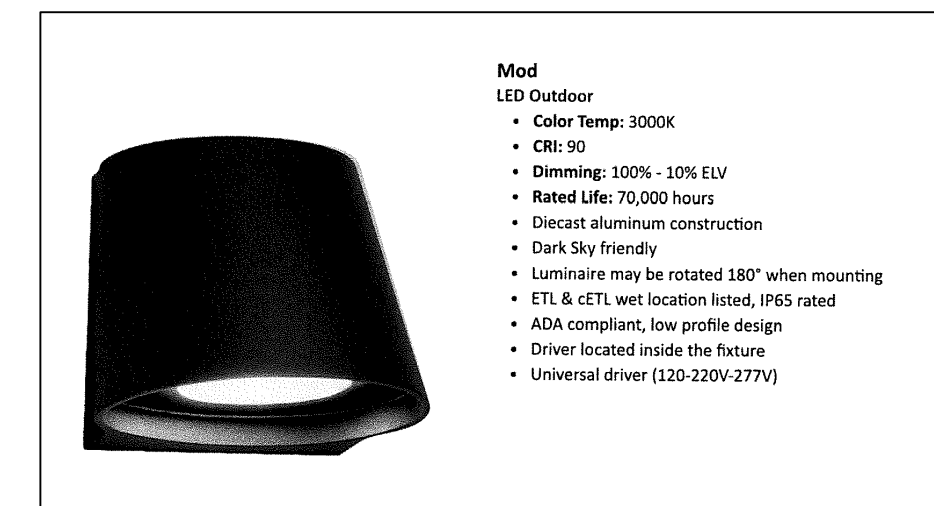


DRIVEWAY & PARKING DETAIL
(NO SCALE)



TYPICAL POLE MOUNT LIGHTING FIXTURE
NOT TO SCALE

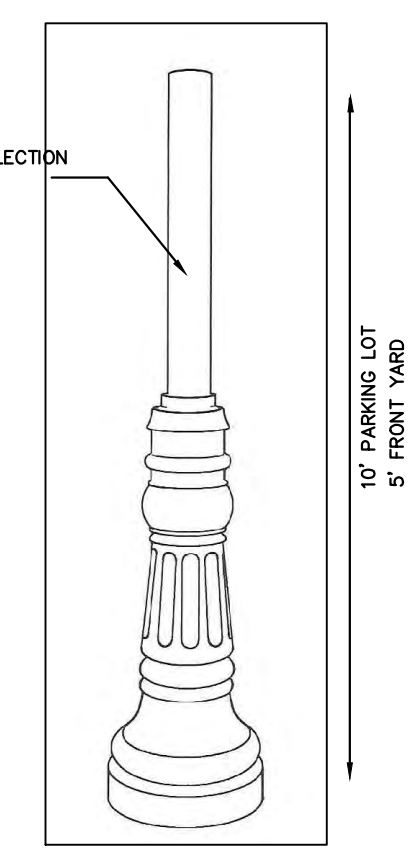
LoBella SALON, LLC	TOWN CENTER MIXED USE / FLOOD ZONE
PROJECT/APPLICANT	ZONE
244 NAUBUC AVE. GLASTONBURY, CONN.	
PROJECT ADDRESS	
12.9 & 4.11	
SPECIAL PERMIT SECTION	TPZ CHAIRMAN
DATE SPECIAL PERMIT APP'D	DIRECTOR OF COMMUNITY DEVELOPMENT
	FILE NO.



TYPICAL WALL MOUNT REAR PEAK FIXTURE
NOT TO SCALE



TYPICAL WALL MOUNT DOOR FIXTURE
NOT TO SCALE



TYPICAL LIGHT POLE
NOT TO SCALE



TYPICAL LIGHT POLE FIXTURE
NOT TO SCALE

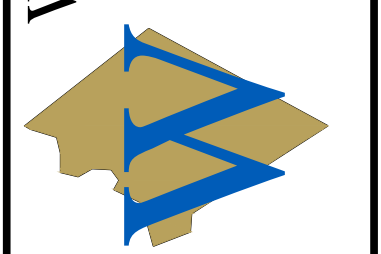
APPLICANT: 244 NAUBUC AVE, LLC
244 NAUBUC AVE
GLASTONBURY, CT 06033

LAND OWNER: 244 NAUBUC AVE, LLC
244 NAUBUC AVE
GLASTONBURY, CT 06033

I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.

[Signature]
WESLEY J. WENTWORTH
P.E. # 20360

WENTWORTH CIVIL
ENGINEERS LLC
177 WEST TOWN ST.
LEBANON, CT 06249
TEL. (860) 642-7255
FAX (860) 642-4794
web: wentworthcivil.com



GENERAL NOTES & DETAILS
— PREPARED FOR —
244 NAUBUC AVE, LLC
244 NAUBUC AVE.
GLASTONBURY, CONNECTICUT

DATE: 10-12-23
SCALE: NONE
SHEET SP-3
MAP NO. 23-006-1N

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Town of Glastonbury
2155 MAIN STREET • P.O. BOX 6523 • GLASTONBURY, CONNECTICUT 06033-6523

TOWN PLAN AND ZONING COMMISSION SECTION 4.11 FLOOD ZONE SPECIAL PERMIT & SECTION 12 SPECIAL PERMIT WITH DESIGN REVIEW

APPLICANT/OWNER: 244 NAUBUC AVE, LLC
C/O CHRISOLA LABELLA
255 WILLIAMS STREET EAST
GLASTONBURY, CT 06033

FOR: 244 NAUBUC AVENUE

MOVED, that the Town Plan & Zoning Commission approve the application of 244 Naubuc Ave, LLC, for a Section 4.11 Flood Zone Special Permit and a Section 12 Special Permit with Design Review – conversion of a single-family residence to a salon and construction of a 9-space parking area– 244 Naubuc Avenue– Town Center Mixed Use Zone & Flood Zone, in accordance with the following plans:

"BOUNDARY SURVEY PREPARED FOR CHRISOLA LABELLA 244 NAUBUC AVENUE EXISTING CONDITIONS & TOPOGRAPHICAL GLASTONBURY CONNECTICUT ROB HELSTROM LAND SURVEYING LLC P.O. BOX 497 COLUMBIA, CT. 06237-0497 (860) 228-9851 (860) 228-1360 (FAX) 32 MAIN STREET HESLON, CT WWW.HELSTROMLANDSURVEYING.COM DATE: OCTOBER 2, 2018 SHEET 1 OF 1 JOB NO.: 2018-096 BY: ROBIN H. SCALE: 1"=20' FILE NO. LA18096 A2"

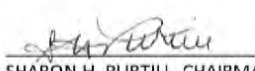
"SITE DEVELOPMENT PLAN PREPARED FOR 244 NAUBUC AVE, LLC 244 NAUBUC AVE. GLASTONBURY, CONNECTICUT WENTWORTH CIVIL ENGINEERS, LLC 177 WEST TOWN ST. LEBANON, CT 06249 TEL. (860) 642-7255 FAX (860) 642-4794 WEB: WENTWORTHCIVIL.COM DATE: 10-02-18 SCALE: SHOWN SHEET 1 OF 2 MAP NO. 18-033-1A REV. 10-19-18 TOWN COMMENTS REV. 10-31-18 TOWN COMMENTS REV. 11-15-18 TOWN COMMENTS REV. 12-05-18 TOWN COMMENTS"

"SITE DEVELOPMENT PLAN PREPARED FOR 244 NAUBUC AVE, LLC 244 NAUBUC AVE. GLASTONBURY, CONNECTICUT WENTWORTH CIVIL ENGINEERS, LLC 177 WEST TOWN ST. LEBANON, CT 06249 TEL. (860) 642-7255 FAX (860) 642-4794 WEB: WENTWORTHCIVIL.COM DATE: 10-02-18 SCALE: NONE SHEET 2 OF 2 MAP NO. 18-033-1A REV. 10-19-18 TOWN COMMENTS REV. 10-31-18 TOWN COMMENTS REV. 11-15-18 TOWN COMMENTS REV. 12-05-18 TOWN COMMENTS"

And

- In compliance with:
 - The conditions set forth by the Conservation Commission in their recommendation for approval to the Town Plan and Zoning Commission and in the Wetlands Permit issued by the Inland Wetlands and Watercourses Agency at their regular meeting of December 6, 2018.
 - The standards contained in a report from the Fire Marshal, File 18-036, plans reviewed 12-4-18.
- In adherence to:
 - The Town Engineer's memorandum dated December 7, 2018.
 - The Health Director's memorandum dated December 3, 2018.
 - The Police Chief's memorandum dated November 30, 2018.
- This is a Section 12 Special Permit with Design Review. If unforeseen conditions are encountered during construction that would cause deviation from the approved plans, the applicant shall consult with the Office of Community Development to determine what further approvals, if any, are required.
- A location for trash refuse containers shall be designated on the final plans and shall be located behind the building.
- If a determination from the State of Connecticut Department of Energy and Environmental Protection in regard to the Natural Diversity Database results in a change to the plans as proposed, the applicant shall submit the revised plans to the Town Plan & Zoning Commission for review and approval.

APPROVED: TOWN PLAN & ZONING COMMISSION
DECEMBER 11, 2018


SHARON H. PURTIL, CHAIRMAN

Page 1 of 2

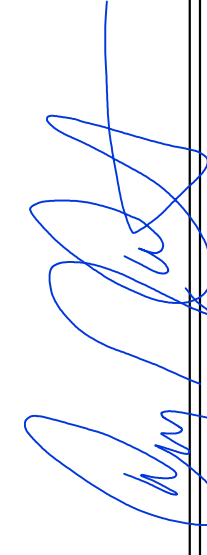
Page 2 of 2

LOBELLA SALON, LLC	TOWN CENTER MIXED USE / FLOOD ZONE
PROJECT/APPLICANT	ZONE
244 NAUBUC AVE. GLASTONBURY, CONN.	
PROJECT ADDRESS	
12.9 & 4.11	
SPECIAL PERMIT SECTION	TPZ CHAIRMAN
DATE SPECIAL PERMIT APP'D	DIRECTOR OF COMMUNITY DEVELOPMENT
FILE NO.	

APPLICANT: 244 NAUBUC AVE, LLC
244 NAUBUC AVE
GLASTONBURY, CT 06033

LAND OWNER: 244 NAUBUC AVE, LLC
244 NAUBUC AVE
GLASTONBURY, CT 06033

I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.


WESLEY J. WENTWORTH
P.E. # 20360

WENTWORTH CIVIL ENGINEERS LLC
177 WEST TOWN ST.
LEBANON, CT 06249
TEL. (860) 642-7255
FAX (860) 642-4794
web: wentworthcivil.com

CONDITIONS OF APPROVAL SHEET
- PREPARED FOR -
244 NAUBUC AVE, LLC
244 NAUBUC AVE.
GLASTONBURY, CONNECTICUT

DATE: 10-12-23
SCALE: NONE
SHEET SP-4
MAP NO. 18-033-1A

PROPOSED 14' HT. POLE-MOUNTED LED AREA LIGHT, (AS NOTED AND DETAILED, SEE PHOTOMETRIC PLAN, SHEET L.3).

TOWN OF GLASTONBURY TOWN CENTER MIXED USE DESIGNATION

4' WIDE INFILTRATION TRENCH

PROP. CONC. DUMPSTER PAD W/ VINYL FENCE ENCLOSURE AND WOOD FACED METAL GATES.

EXISTING AREA LIGHT, TO BE REPLACED, (AS NOTED, SEE PHOTOMETRIC PLAN, SHEET L.3).

PROPOSED FOUNDATION & SITE PLANTINGS, TYP., (SEE PLAN LIST, SHEET L.2).

PROPOSED BITUMINOUS PARKING AREA

4' WIDE INFILTRATION TRENCH

EXISTING 66' - 6" VINYL FENCE.

PROPOSED DECK / STAIRS STRUCTURE

EXISTING DECK / STAIRS / ACCESSIBLE RAMP STRUCTURE

EX. BITUMINOUS PAVEMENT

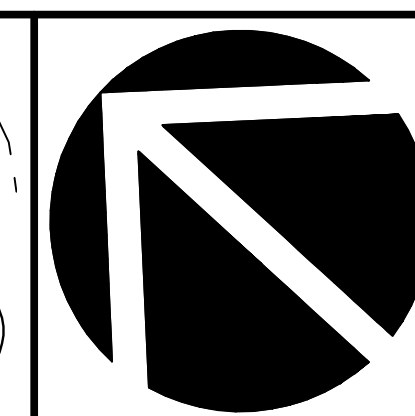
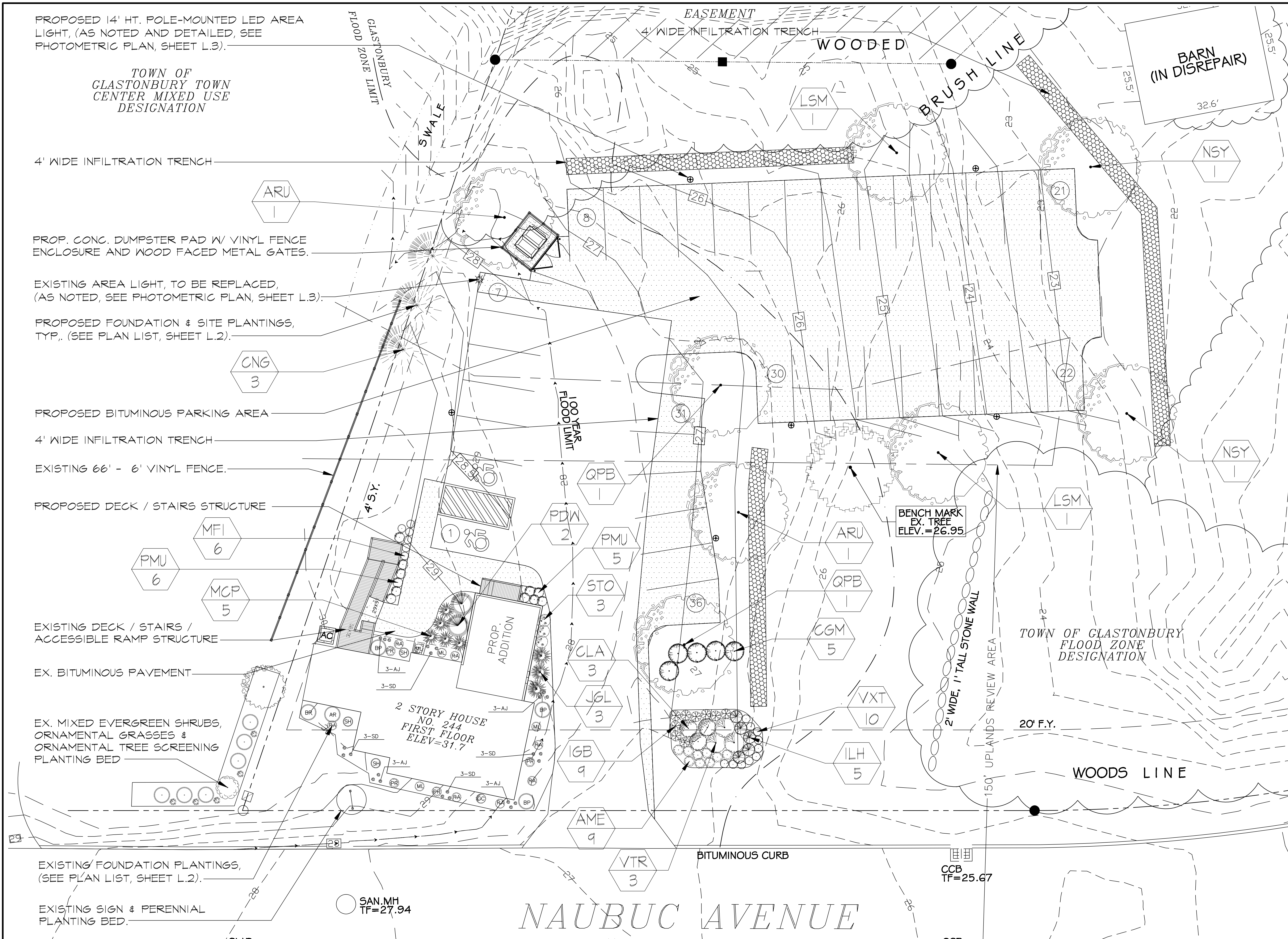
EX. MIXED EVERGREEN SHRUBS, ORNAMENTAL GRASSES & ORNAMENTAL TREE SCREENING PLANTING BED

EXISTING FOUNDATION PLANTINGS, (SEE PLAN LIST, SHEET L.2).

EXISTING SIGN & PERENNIAL PLANTING BED.

SAN.MH
TF=27.94

NAUBUC AVENUE



Proposed Addition & Parking Expansion:
LANDSCAPE PLAN

Drawing Title:

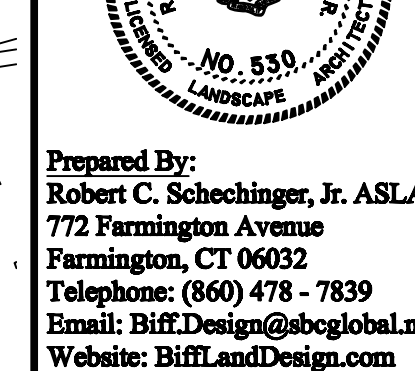
Prepared For:

Scale:

Date:

Revisions:

Seal:



Prepared By:
Robert C. Schechinger, Jr. ASLA
772 Farmington Avenue
Farmington, CT 06032
Telephone: (860) 478-7839
Email: Biff.Design@bcglobal.net
Website: Biff.andDesign.com
Sheet No.
L.1

244 NUABUC AVE., LLC
#244 NAUBUC AVENUE, GLASTONBURY, CT 06033

Scale: 1" = 10'
0' 5' 10' 15' 20' 30'

Date: 8 June 2023
Revisions: 7/13/2023; 8/4/2023;
1/15/2024; 1/29/2024

PHOTOMETRIC LIGHTING PLAN NOTES:

1. ALL FIXTURES SHALL HAVE FULL CUT OFF LIGHTING AND PROVIDED WITH REAR AND SIDE SHIELDING, AS NECESSARY, TO AVOID LIGHT TRESPASS OFF SITE.
2. VERIFY ANY AND ALL DIMMING COMPATIBILITIES WITH ELECTRICAL CONTRACTOR PRIOR TO ORDERING.
3. VERIFY FINAL VOLTAGE WITH ELECTRICAL CONTRACTOR PRIOR TO ORDERING.
4. PHOTOMETRY IS BASED OFF MANUFACTURER'S I.E.S. FILES. ACTUAL LIGHT LEVELS MAY VARY SLIGHTLY. FOOT-CANDLES CALCULATED AT GRADE.
5. ANY POLE LOCATIONS AND SPECIFIED HEIGHTS TO BE VERIFIED IN THE FIELDS.
6. ALL MOUNTING DETAILS AND HARDWARE TO BE DETERMINED BY OTHERS.
7. MAXIMUM POLE-MOUNTED FIXTURE HEIGHT - 14.0'.
8. MAXIMUM WALL-MOUNTED FIXTURE HEIGHT - 10.0'.
9. ALL FIXTURES, POLES, COVERS AND HARDWARE TO BE FINISHED POWER-COATED BRONZE.
10. LIGHTING SYSTEM FIXTURES TO BE ON TIMERS; FACILITY PEAK OPERATIONAL HOURS ARE 8:00 AM TO 8:00 PM.
11. OFF-HOUR LIGHTING PROGRAM: LIGHT FIXTURES TO HAVE MOTION DETECTOR ACTIVATION AFTER SYSTEM OPERATIONAL HOURS.

POLE SCHEDULE:

#6 AVPL-SSS-124-II, (12" X 4" X II-GUAGE STEEL ROUND POLE, SINGLE, ON 24" CONC. BASE, AS DETAILED). PROPOSED POLES MEET 120 MPH SUSTAINED WINDS. FIXTURE MOUNTING HEIGHT: +/-14', (12' POLE + 24" BASE).

PHOTOMETRIC PLAN PREPARED BY:

LANGLAIS GROUP INC.
11 SEA PAVE ROAD
SOUTH WINDSOR, CT. 06074
E: GLENN@LANGLAISGROUP.COM
C: 860.805.5701
O: 860.648.2480

CAST ALUMINUM LED POLE-MOUNTED LED FIXTURE ON 4" O.D. X 0.120" THICK WALL, ROUND TUBE, HOT-ROLLED CARBON STEEL POLE, (AS NOTED).

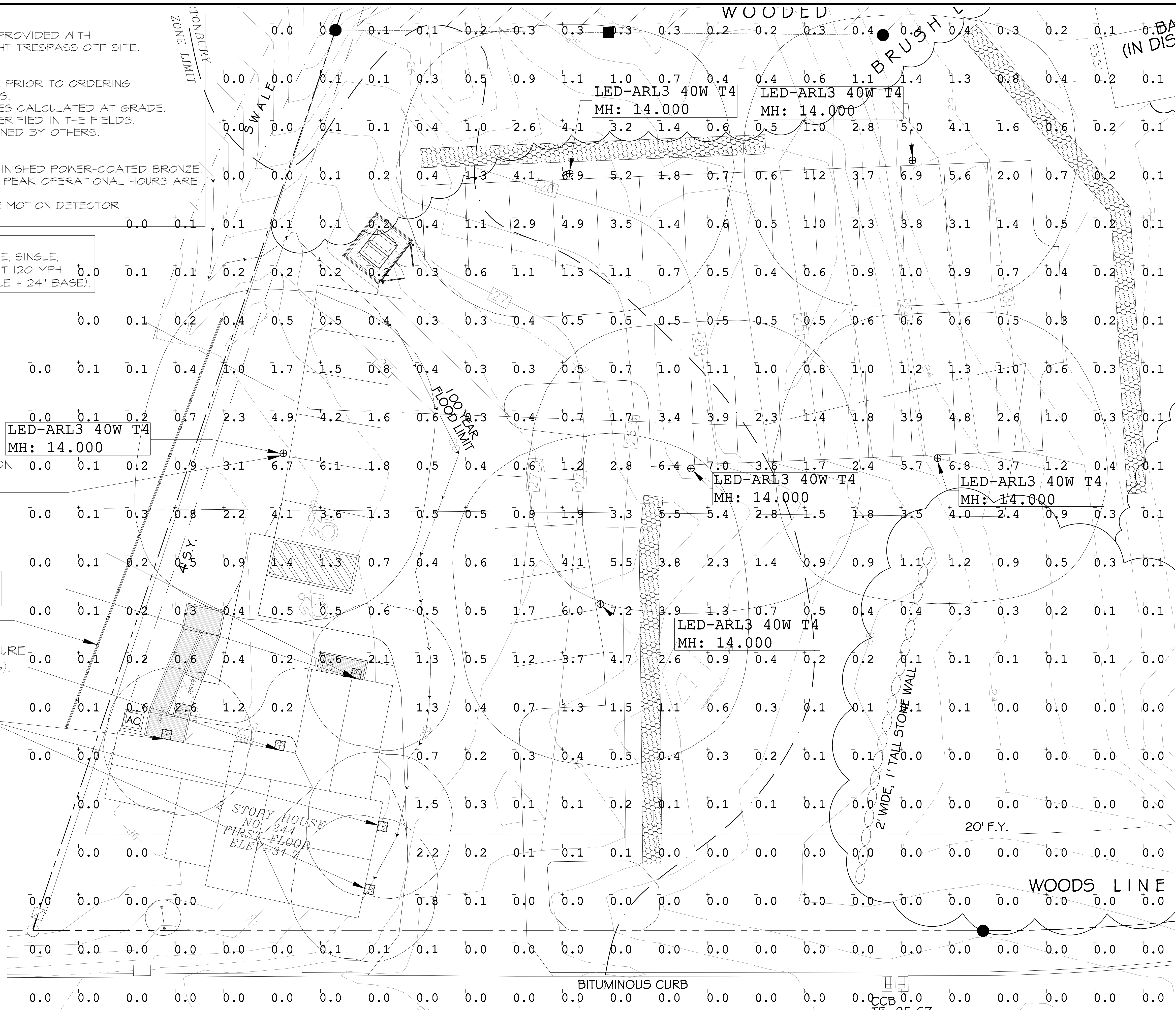
CAST ALUMINUM WALL-MOUNTED LED GOOSENECK FIXTURE, (AS SPECIFIED BELOW).

SN512 - 41 - 31DCG - LVE01 - MH: 10.000

EXISTING 66' - 6" VINYL FENCE.

EX. CAST ALUMINUM WALL-MOUNTED LED SPOT FIXTURE W/ MOTION DETECTION, (ADJUST FOR DOWNLIGHTING).

SN512 - 41 - 31DCG - LVE01 - MH: 10.000

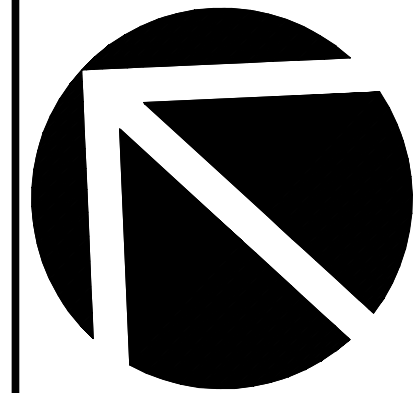


Luminaire Schedule:

Symbol	Qty	Label	LMF	Lum. Lumens	Lum. Watts	Total Watts
	6	SN512-41-31DCG-LVE01-LED	0.600	1,458	16.476	66.476
	4	LED-ARL3-40W-T4	1.000	6,739	40.2463	241.478

Calculation Summary

LABLE	UNITS	AVG.	MAX.	MIN.	AVG. MIN.	MAX / MIN
CALCPTS-1	FC	0.42	7.20	0.0	N/A	N/A
PARKING LOT AREA	FC	1.54	7.00	0.3	5.13	23.33



Proposed Addition & Parking Expansion:
PHOTOMETRIC / LIGHTING PLAN

Drawing Title:

244 NUABUC AVE., LLC
 #244 NAUBUC AVENUE; GLASTONBURY, CT 06033

Scale: 1" = 10'
 Date: 8 June 2023
 Revisions: 8/4/2023, 1/15/2024



Prepared By:
 Robert C. Schechinger, Jr. ASLA
 772 Farmington Avenue
 Farmington, CT 06032
 Telephone: (860) 478 - 7839
 Email: Biff.Design@sbcglobal.net
 Website: BiffLandDesign.com

Sheet No.
L.3

NAUBUC AVENUE