

TOWN PLAN AND ZONING COMMISSION
GLASTONBURY, CT
APPLICATION FOR SPECIAL PERMIT

Application for:

- Section 12 Special Permit with Design Review (SPDR)
- Section 12.9 Minor Change to an approved Section 12 SPDR
- Section 6.2 Excavation Special Permit
- Section 6.8 Rear Lot Special Permit
- Section 4.11 Flood Zone Special Permit
- Section 6.11 Accessory Apartment Special Permit**
- ** Applicant must submit addresses of property owners within 100 feet of the premises in accordance with Section 6.11.4 of the Building-Zone Regulations
- Other

Application and fee to be submitted with 14 sets of plans - see other side for fees.

Consult appropriate section(s) of the Glastonbury Building Zone Regulations to determine standards and criteria for application evaluation.

Applicant

Property Owner

Name SHOPS ON MAIN LLC

Name SHOPS ON MAIN LLC

Address 1414 Atwood Avenue
Johnston, RI 02919

Address 1414 Atwood Avenue
Johnston, RI 02919

Telephone 401-487-1147 ext. 152

Telephone 401-487-1147 ext. 152

Fax 401-751-2479

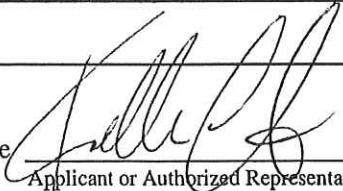
Fax 401-751-2479

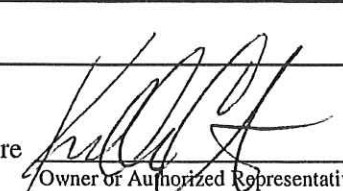
Location of proposed use 2941-2945 Main Street and 2951 Main Street
(include street address if applicable)

Map/Street/Lot C 4 / 4 1 4 0 / W 0 0 1 1
C 4 / 4 1 4 0 / W 0 0 1 0 A Zoning District of proposal PBD

Nature of request, including type of use, reasons for application, etc.

Proposed modifications to the previously approved patios and landscaping improvements located to the south of Building 2, and the north of Building 3. Please see attached narrative for additional information.

Signature 
Applicant or Authorized Representative

Signature 
Owner or Authorized Representative

Date 2/2/24

Date 2/2/24

TOWN OF GLASTONBURY - OFFICE OF COMMUNITY DEVELOPMENT
STATE OF CONNECTICUT SIXTY DOLLAR (\$60.00) ADDITIONAL FEE REQUIRED

In accordance with Public Act 92-235 the State of Connecticut requires that any person, firm or corporation making application for approval of land use applications pay a sixty dollar (\$60.00) fee, in addition to any other fee which is required for application.

The following applications require submission of fee:

- Special Permits
- Subdivision and Resubdivision
- Change of Zone
- Planned Area Development Final Development Plan
- Inland Wetlands and Watercourses Permit
- Special Exceptions and Variances

Such fee shall be collected by the Town. Of the sixty dollars (\$60.00) collected; two dollars (\$2.00) shall be retained by the Town to cover administrative costs; and fifty-eight dollars (\$58.00) shall be deposited in the "Environmental Quality Fund established pursuant to Section 22a-27g" of the Connecticut General Statutes.

Please provide the following information and submit this form and the sixty dollar (\$60.00) fee to the Office of Community Development and/or Building Department upon submission of each application.

Name of Applicant SHOPS ON MAIN LLC

Address 1414 Atwood Avenue

Johnston, RI 02919

Name of Project Shops on Main - 12.9 Minor Change to previously approved patios at Buildings 2 & 3

Address 2941-2945 Main Street and 2951 Main Street

Type of Application:

- | | |
|---|---------------------|
| Special Permit Section Number | <u>Section 12.9</u> |
| Subdivision and Resubdivision | _____ |
| Change of Zone | _____ |
| Planned Area Development | _____ |
| Final Development Plan and/or Zone Change | _____ |
| Inland Wetlands and Watercourses Permit | _____ |
| Special Exceptions and Variances | _____ |

Date Fee Received _____

By _____

Project Number _____



STAFF REPORT

Staff Contact: Gary Haynes, Planner

OFFICE OF COMMUNITY DEVELOPMENT

Tel: (860) 652-7510

Email: planning@glastonbury-ct.gov

Meeting Date: February 20, 2024	Submittal Date: February 2, 2024
Agenda Item: Regular Meeting # 3	Date of Receipt: February 20, 2024
	Application Type: Section 12.9 Minor Change

Proposal Address:
2941-2951 Main Street

Applicant: Shops on Main LLC

Owner: Shops on Main LLC

Proposal:
Outdoor Pavilion

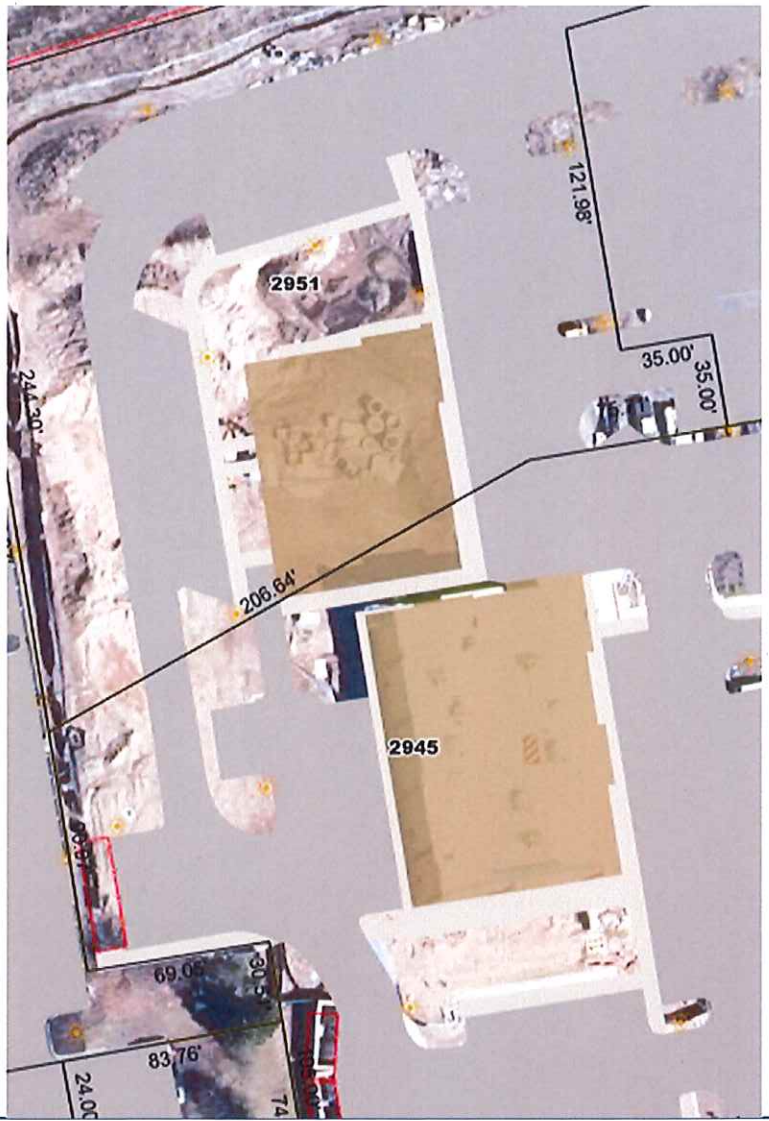
Zone: Planned Business Development (PBD)

Existing Land Use:
Retail and Personal Services

- Prior Reviews/ Permits:**
- Architectural and Site Design Review Committee: 1/16/24 - Reviewed
- Attached for Review:**
- Draft Motion
 - Department Memos
 - Applicant Packet / Plan Set

Executive Summary

- The applicant is coming back to TPZ to revise outdoor patio areas on North side of Building #3 and South side of Building #2 located at the Shops on Main.
- The applicant received positive recommendation from ASDRC with comments and recommendations as documented in their ASDRC Committee Report dated 1/16/24.



Site Description

The site is located on the west side of Main Street. Building # 2 (2945 Main St) and Building # 3 (2951 Main St) are located to the rear of the Shops on Main shopping plaza. The property is zoned Planned Business Development (PBD) zone.

Proposal

The applicant has revised outdoor patio areas and landscape plan North of Building # 3 and south of Building # 2.

Commission and Board Reviews

- The Architectural and Site Design Review Committee reviewed the proposal at their January 16, 2024 meeting to review the project revised landscape design and provided a favorable recommendation as documented in the Memo dated January 16, 2024 from Gary Haynes, Planner .

Planning and Zoning Comments

Building # 2 and # 3 are completed and tenants are in process of submitting tenant fitouts with the Building Department to fill in vacancies. A recommended condition of approval is for applicant prior to filing approval letter on land record, the applicant must submit estimates for review by the Engineering Department and submit a cash bond or letter of credit to cover the cost for constructing proposed outdoor patio areas.

TOWN PLAN AND
ZONING COMMISSION

SECTION 12.9 MINOR CHANGE

APPLICANT/
OWNER: SHOPS ON MAIN LLC
1414 ARWOOD AVENUE
JOHNSTON, RI 02919

FOR: 2941-2951 Main Street

MOVED, that the Town Plan & Zoning Commission APPROVE the application of the Shops on Main LLC for a Section 12.9 Minor Change for revised landscape plan and outdoor patio areas, in accordance with plans dated 1/30/24 with the Office of Community Development, and in accordance with the following conditions of approval necessary to protect substantial public interests in health and safety:

1. Compliance with:
 - a. The recommendations of the Architectural and Sites Design Review Committee (ASDRC) from their meeting on January 16, 2024, documented in the ASDRC Committee Report memorandum dated January 16, 2024.
 - b. Health Department Memo dated February 9, 2024.
 - c. Engineering Department Memo dated February 14, 2024.
 - d. Police Department Memo dated February 14, 2024.
 - e. Fire Marshal Memo dated February 14, 2024.
2. The applicant, prior to filing an approval letter on land records shall submit construction estimates for approval from the Engineering Department and post a cash bond or letter of credit for landscaping and outdoor patio areas.
3. If unforeseen conditions are encountered during construction that would cause deviation from the approved plans, the applicant shall consult with the Office of Community Development to determine what further approvals, if any, are required.

APPROVED: TOWN PLAN & ZONING COMMISSION
FEBRUARY 20, 2024

ROBERT J. ZANLUNGO JR., CHAIRMAN



Architectural & Site Design Review Committee Report

MEETING DATE: 1/16/24

APPLICANT: Shops on Main LLC

PROPERTY ADDRESS: 2941-2951 Main Street

ZONE: Planned Business Development

APPLICATION TYPE: Regulatory Advisory Courtesy

REVIEW TYPE: Preliminary/Conceptual Review Final Review

DESIGN AREA: Town Center Village District Town Center Upper Main Street

Putnam/Glastonbury Blvd Naubuc Ave/ Pratt St Lower New London Tpke

Reserved Land Other Area

ADSRC MEMBERS PRESENT:

M. Branse B. Davis D. DeVries-Dalton D. Flinchum J. Kamm

A. Luzi R. Shipman

APPLICATION: New Construction Addition Exterior Renovation Demolition

Other: Modifications to approved Section 12.9 Minor Change for landscape and Public amenity improvements.

ACTION: ASDRC forwards a favorable recommendation with regard to architectural and landscape design as noted

ASDRC forwards a non-favorable recommendation with regard to architectural and landscape design as noted

Additional design studies/information requested

Other: _____

COMMENTS and RECOMMENDATIONS:

- Applicant should update plans to accurately reflect existing conditions where transformers are located and should proposed suitable screening with plantings around the transformers.
- Consider relocating trash receptacle in southern patio closer to patio seating area.
- Umbrellas should not have corporate logo or color schemes and should be matched the building or patio area.
- Committee was split on whether an east/west pedestrian access should be added to the proposed patio areas. Some committee members felt the patio areas to be too small to warrant such a change and that the addition of pedestrian connection would take away from the proposed landscaping and privacy of the patio areas. Others felt that the additional pathway would encourage more use.




Town of Glastonbury
Health Department

Memo

February 9, 2024

To: Shelley Caltagirone, Director Planning and Land Use Services

Fr: Wendy S. Mis, Director of Health 

Re: 2941 -2945 and 2952 Main Street
Application for modifications to approved patios and landscaping

This office has reviewed the package of information submitted for the above-referenced addresses.

A trash receptacle is shown to be available for patron use on the patio and must be maintained and emptied as needed. Tables and patio area should be monitored for cleanliness and loose trash and debris.

The property is serviced by public water and sewer. Approval with respect to CT Public Health Code is forwarded for Commission consideration.

February 14, 2024

MEMORANDUM

To: Town Plan and Zoning Commission
Shelley Caltagirone, Director of Community Development

From: Daniel A. Pennington, Town Engineer / Manager of Physical Services



Re: 2941-2945 and 2951 Main Street
Shops on Main - Modification to Patios and Landscaping
Section 12.9 Minor Change

The Engineering Division has reviewed the plans for proposed modifications to previously approved patios and landscaping for the Shops on Main development located at 2941-2945 and 2951 Main Street prepared by Havenwood, LLC dated June 1, 2023, and has no comments to offer on this application.



Town of Glastonbury


GLASTONBURY POLICE DEPARTMENT • TEL (860) 633-8301 • FAX (860) 652-4290

CHIEF OF POLICE
Marshall S. Porter

CAPTAIN
Mark Catania

MEMORANDUM

TO: Town Plan and Zoning Commission

FROM: Marshall S. Porter, Chief of Police 

DATE 02/14/2024

RE: Shops on Main LLC, patio and landscape design. 2941-2945 Main St

Members of the Police Department have reviewed the patio and landscaping modifications to 2931-2945 Main St. The Police Department has no objection to the proposal.

MSP/ns





Town of Glastonbury

FIRE MARSHAL'S OFFICE • (860) 652-7526 • FireMarshal@glastonbury-ct.gov

TO: Shelley Caltagirone, Director of Planning and Land Use Services

FROM: Michael Makuch, Fire Marshal

DATE: February 14, 2024

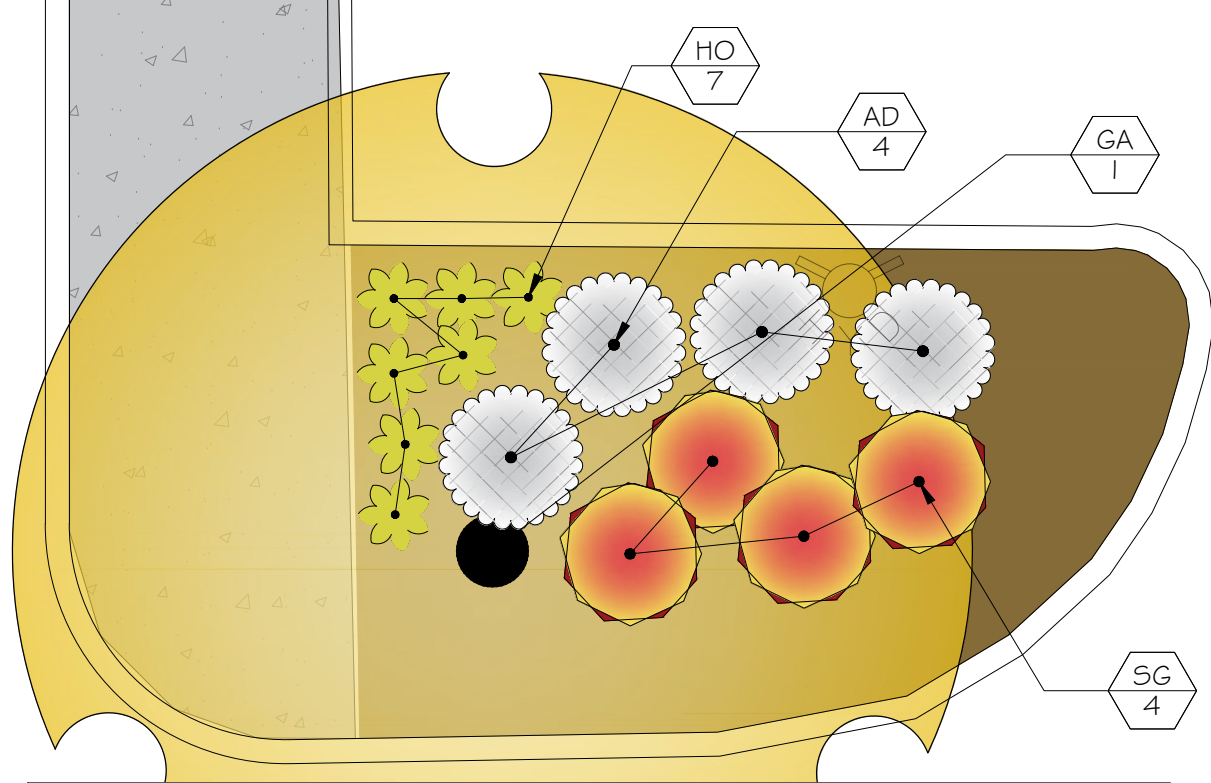
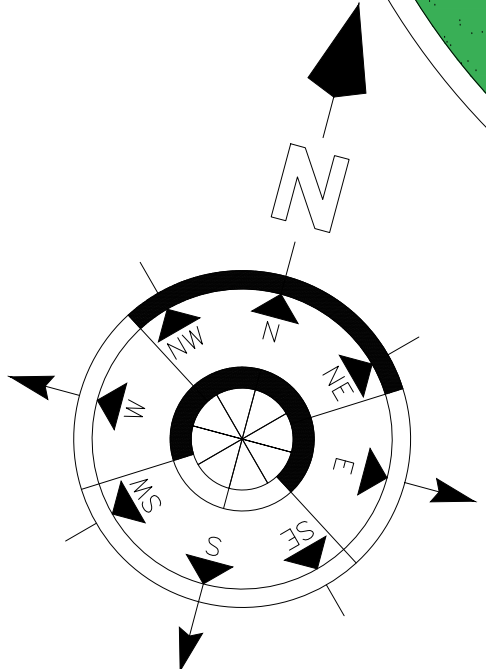
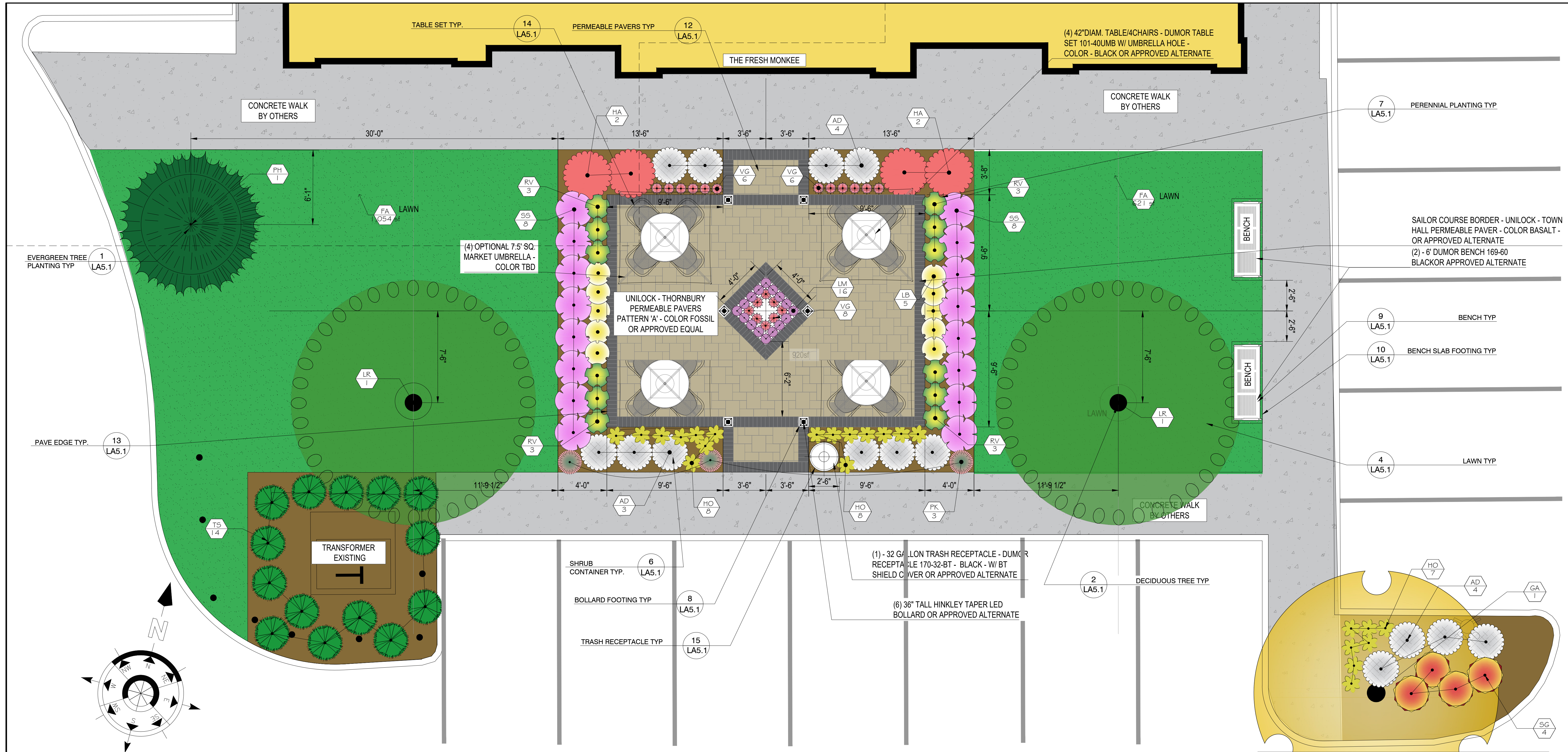
RE: 2941-2951 Main St-February 20th TP&Z Commission Meeting

Dear Shelley,

The Fire Marshal's Office has reviewed this item and has no open issues currently. Further reviews (fire code compliance, etc.) will occur as permits are applied for.

Sincerely,

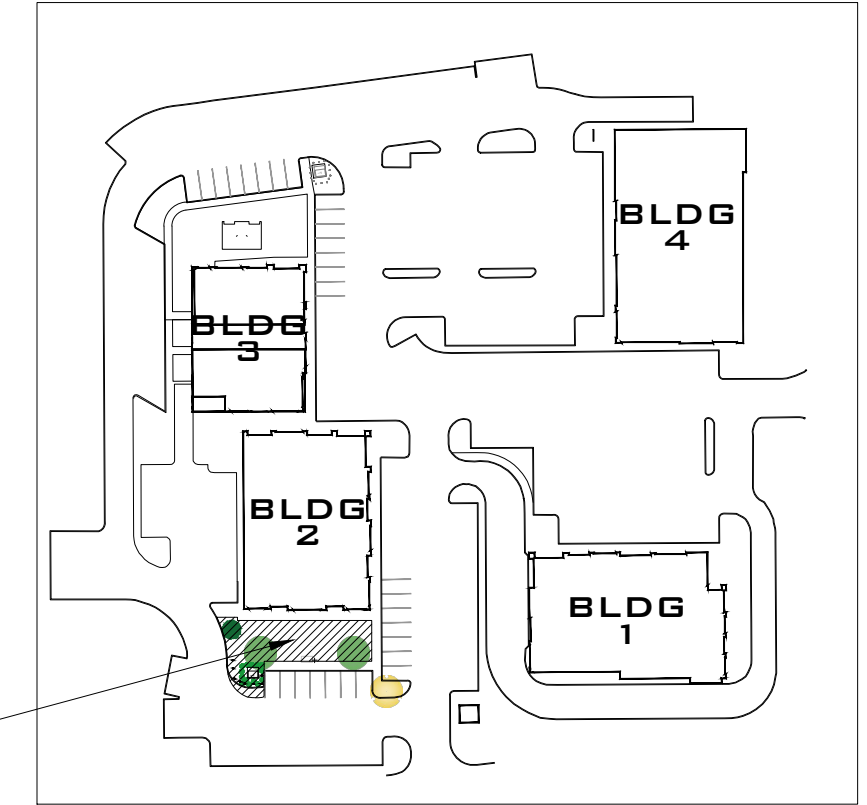
Michael Makuch
Fire Marshal



PLANT SCHEDULE SOUTH PATIO

TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	DETAIL	PERENNIALS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	DETAIL	
	GA	Ginkgo biloba 'Autumn Gold'	Autumn Gold Maidenhair Tree (Male)	3' Cal.	1			HO	Hemerocallis x 'Stella de Oro'	Stella de Oro Daylily	2 gal.	23		
	LR	Liquidambar styraciflua 'Rotundiloba'	Round-Lobed Sweet Gum	2.5' Cal.	2			LB	Leucanthemum x superbum 'Becky'	Becky Shasta Daisy	1 gal.	10		
	PH	Picea pungens 'Hoopsii'	Hoopsii Colorado Spruce	8/10'	1			LB2	Linope muscari 'Big Blue'	Big Blue Lilyturf	1 gal.	16		
	TS	Thuja occidentalis 'Smaragd'	Emerald Green Arborvitae	6'/7'	14			RV	Rudbeckia fulgida fulgida	Orange Coneflower	1 gal.	12		
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	DETAIL		VG	Veronica spicata 'Bubblegum Candles' TM	Pink Spike Speedwell	1 gal.	20		
	AD	Azalea x 'Delaware Valley White'	Valley White Azalea	7 gal.	14		GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	QTY	DETAIL
	HA	Hydrangea macrophylla 'A.S.B. Summer Crush'	Endless Summer Hydrangea Red	7 gal.	4			FA	Festuca x Lawn Mix	Turf Grass	seed		1,675 sf	
	SG	Spiraea japonica 'Goldflame'	Goldflame Japanese Spirea	3 gal.	4									
	SS	Spiraea japonica 'Little Princess'	Little Princess Japanese Spirea	7 gal.	16									
GRASSES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	DETAIL								
	PK	Pennisetum orientale 'Karley Rose'	Karley Rose Fountain Grass	1 gal.	3									

IMPROVED FESCUE SEED MIX
 40% Creeping Red Fescue
 20% Improved Perennial Ryegrass
 20% Improved Kentucky Bluegrass
 20% Kentucky Bluegrass



HAVENWOOD LLC
 LANDSCAPE ARCHITECTURE
 SITE PLANNING
 1789 Old Lonsquisset Pike
 Lincoln, RI 02865
 phone 401.727.9958
 fax 401.475.7352
 mobile 401.451.5250
 e-mail havenwood@cox.net

SHOPS ON MAIN
 2941-2955 MAIN ST.
 GLASTONBURY CT
 PREPARED FOR:
 CAPIONATO GROUP
 JOHNSTON, RI

REVISIONS:
 DATE: 1.30.2024
 DRAWN BY: AA CHECKED BY: AA
 SCALE: 1/4" = 1'-0"

PLANTING SOUTH PATIO PLAN
 SHEET: LA4.0

PLANT SCHEDULE NORTH PATIO

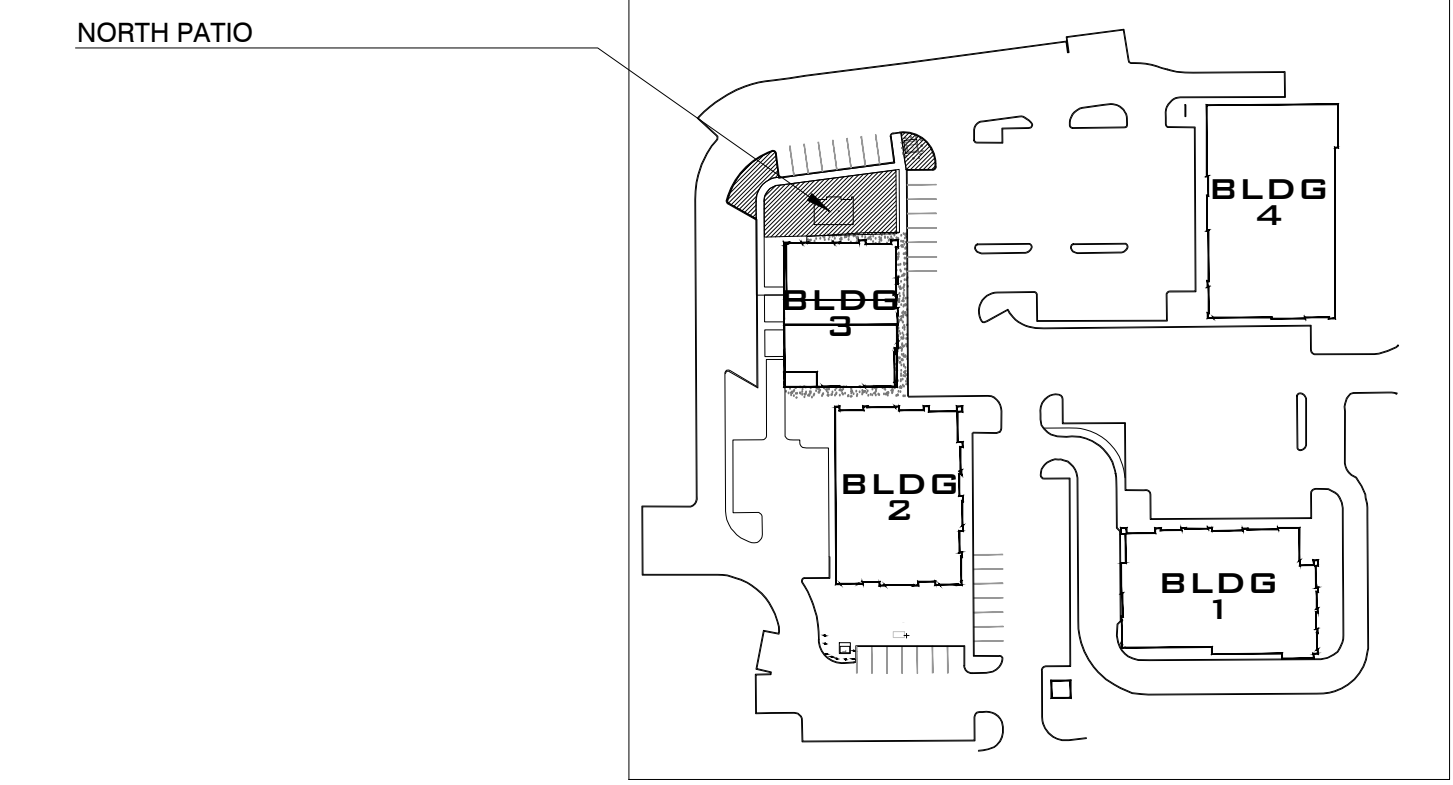
TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY
	AG	Acer gnseum	Paperbark Maple	8/10"	2
	CC	Cornus florida 'Cherokee Brave'	Cherokee Brave Dogwood	2.5' Cal.	5
	GA	Ginkgo biloba 'Autumn Gold'	Autumn Gold Maidenhair Tree (Male)	3" Cal.	1
	LR	Liquidambar styraciflua 'Rotundiloba'	Round-Lobed Sweet Gum	2.5' Cal.	2
	PH	Picea pungens 'Hoopsii'	Hoopsii Colorado Spruce	8/10"	3
	TS	Thuja occidentalis 'Smaragd'	Emerald Green Arborvitae	6' 7"	7

SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY
	AZ	Azalea x 'Bloom-a-thon' Red TM	evrgn Rebloom Azalea Red	3 gal.	8
	AD	Azalea x 'Delaware Valley White'	Valley White Azalea	7 gal.	4
	HA	Hydrangea macrophylla 'A.S.B. Summer Crush'	Endless Summer Hydrangea Red	7 gal.	4
	ID	Ilex glabra 'Densa'	Inkberry Holly	2.5' Ht.	20
	MD	Microbiota decussata	Sibenan Carpet Cypress	3 gal.	10
	SG	Spiraea japonica 'Goldflame'	Goldflame Japanese Spirea	3 gal.	9
	SS	Spiraea japonica 'Little Princess'	Little Princess Japanese Spirea	7 gal.	11

GRASSES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY
	PH2	Panicum virgatum 'Heavy Metal'	Heavy Metal Switch Grass	3 gal.	6

PERENNIALS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY
	AP	Astilbe chinensis 'Pumila'	Dwarf Pink Chinese Astilbe	---	14
	HO	Hemerocallis x 'Stella de Oro'	Stella de Oro Daylily	2 gal.	29
	HS	Hibiscus x 'Summer Storm'	Summer Storm Hibiscus	3 gal.	8
	LB	Leucanthemum x superbum 'Becky'	Becky Shasta Daisy	1 gal.	12
	LM	Linope muscan 'Big Blue'	Big Blue Lilyturf	1 gal.	43
	VG	Veronica spicata 'Bubblegum Candles' TM	Pink Spike Speedwell	1 gal.	8
	VT	Veronica x 'Tidal Pool'	Tidal Pool Creeping Speedwell	1 gal.	16

GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	QTY
	FA	Festuca x Lawn Mix	Turf Grass	seed		2,005 sf



SITE LOCATION

HAVENWOOD LLC
 LANDSCAPE ARCHITECTURE
 SITE PLANNING

1789 Old Lonsquisset Pike
 Lincoln, RI 02865

phone 401.727.9958
 fax 401.475.7352
 mobile 401.451.5250
 e-mail havenwood@cox.net



SHOPS ON MAIN
 2941-2955 MAIN ST.
 GLASTONBURY CT

PREPARED FOR:
 CARPIONATO GROUP
 JOHNSTON, RI

REVISIONS:

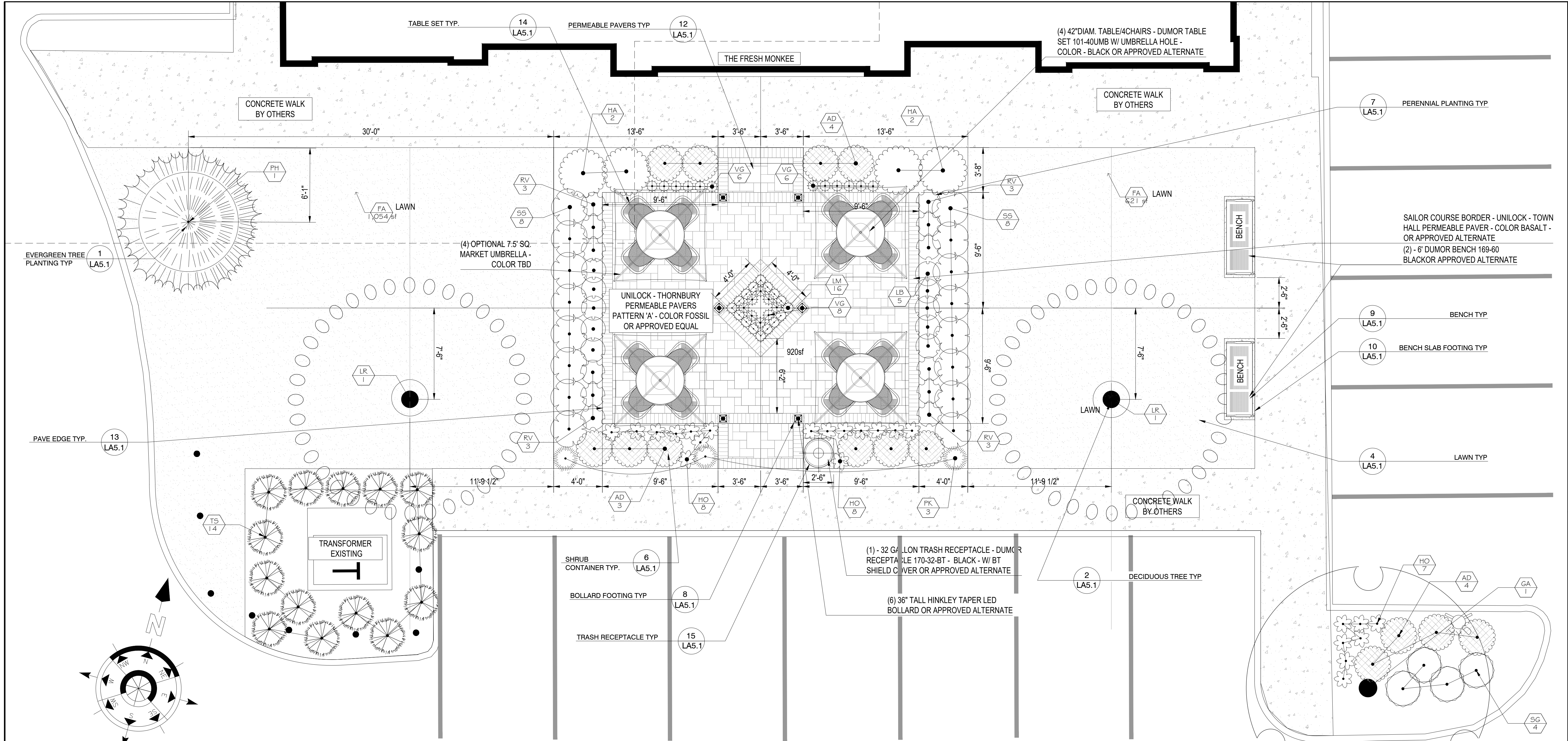
DATE: **6.1.2023**

DRAWN BY: AA CHECKED BY: AA

SCALE: **1/4" = 1'-0"**

**NORTH PATIO
 DETAIL
 PLAN**

SHEET:
LA4.1



HAVENWOOD LLC
 LANDSCAPE ARCHITECTURE
 SITE PLANNING

1789 Old Lonsquisset Pike
 Lincoln, RI 02865

phone 401.727.9958
 fax 401.475.7352
 mobile 401.451.5250
 e-mail havenwood@cox.net

SHOPS ON MAIN
 2941-2955 MAIN ST.
 GLASTONBURY CT

PREPARED FOR:
 CAPIONATO GROUP
 JOHNSTON, RI

REVISIONS:

DATE:
1.30.2024

DRAWN BY: AA CHECKED BY: AA

SCALE:
1/4" = 1'-0"

PLANTING SOUTH PATIO PLAN

SHEET:
LA4.0

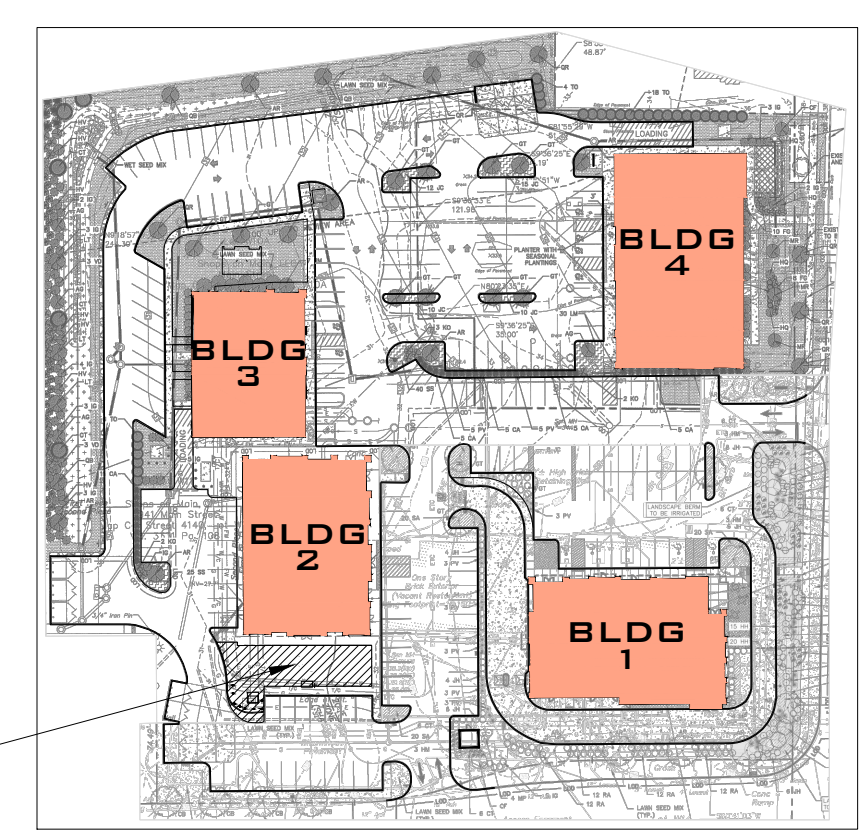
PLANT SCHEDULE SOUTH PATIO

TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	DETAIL
	GA	Ginkgo biloba 'Autumn Gold'	Autumn Gold Maidenhair Tree (Male)	3' Cal.	1	
	LR	Liquidambar styraciflua 'Rotundiloba'	Round-Lobed Sweet Gum	2.5' Cal.	2	
	PH	Picea pungens 'Hoopsii'	Hoopsii Colorado Spruce	8/10'	1	
	TS	Thuja occidentalis 'Smaragd'	Emerald Green Arborvitae	6'/7'	14	
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	DETAIL
	AD	Azalea x 'Delaware Valley White'	Valley White Azalea	7 gal.	14	
	HA	Hydrangea macrophylla 'A.S.B. Summer Crush'	Endless Summer Hydrangea Red	7 gal.	4	
	SG	Spiraea japonica 'Goldflame'	Goldflame Japanese Spirea	3 gal.	4	
	SS	Spiraea japonica 'Little Princess'	Little Princess Japanese Spirea	7 gal.	16	
GRASSES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	DETAIL
	PK	Pennisetum orientale 'Karley Rose'	Karley Rose Fountain Grass	1 gal.	3	

PERENNIALS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	DETAIL	
	HO	Hemerocallis x 'Stella de Oro'	Stella de Oro Daylily	2 gal.	23		
	LB	Leucanthemum x superbum 'Becky'	Becky Shasta Daisy	1 gal.	10		
	LB2	Liriope muscari 'Big Blue'	Big Blue Lilyturf	1 gal.	16		
	RV	Rudbeckia fulgida fulgida	Orange Coneflower	1 gal.	12		
	VG	Veronica spicata 'Bubblegum Candles' TM	Pink Spike Speedwell	1 gal.	20		
GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	QTY	DETAIL
	FA	Festuca x Lawn Mix	Turf Grass	seed		1,675 sf	

IMPROVED FESCUE SEED MIX
 40% Creeping Red Fescue
 20% Improved Perennial Ryegrass
 20% Improved Kentucky Bluegrass
 20% Kentucky Bluegrass

PROPOSED BED PLANTING ENHANCEMENT
 ORIGINAL PLANTING OF AUTUMN MOOR
 GROUND COVER TO REMAIN



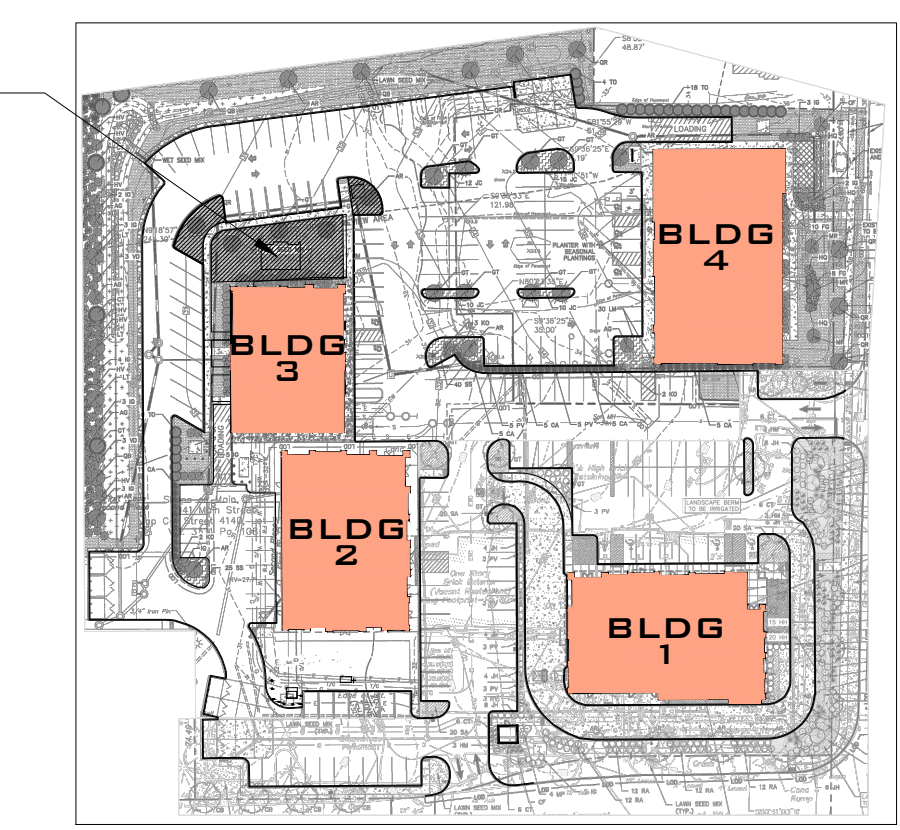
SOUTH PATIO

SITE LOCATION

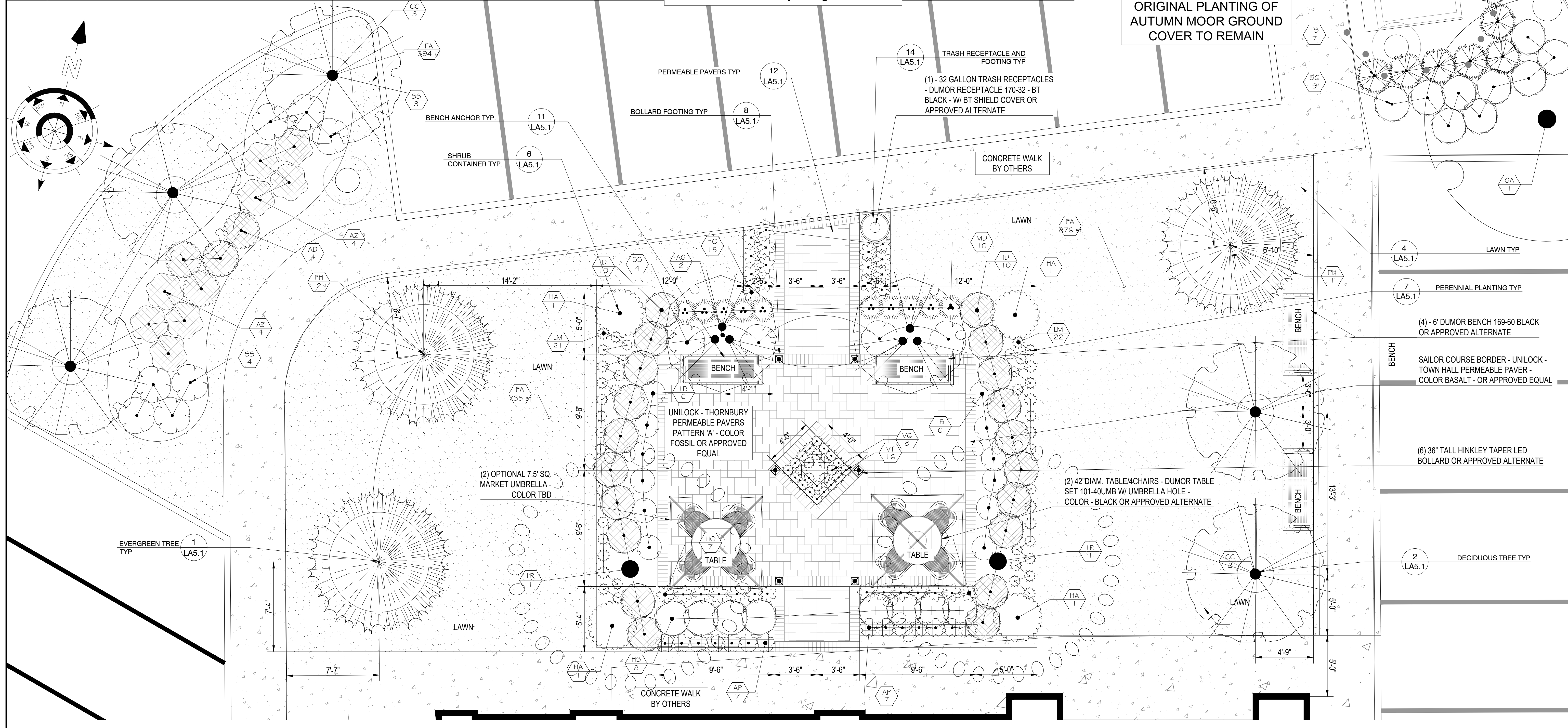
PLANT SCHEDULE NORTH PATIO

TREES					GRASSES						
CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY		
AG	Acer gnseum	Paperbark Maple	8/10'	2	PH2	Panicum virgatum 'Heavy Metal'	Heavy Metal Switch Grass	3 gal.	6		
CC	Cornus florida 'Cherokee Brave'	Cherokee Brave Dogwood	2.5' Cal.	5	PERENNIALS						
GA	Ginkgo biloba 'Autumn Gold'	Autumn Gold Maidenhair Tree (Male)	3" Cal.	1	AP	Astilbe chinensis 'Pumila'	Dwarf Pink Chinese Astilbe	---	14		
LR	Liquidambar styraciflua 'Rotundiloba'	Round-Lobed Sweet Gum	2.5' Cal.	2	HO	Hemerocallis x 'Stella de Oro'	Stella de Oro Daylily	2 gal.	29		
PH	Picea pungens 'Hoopsi'	Hoopsi Colorado Spruce	8/10'	3	HS	Hibiscus x 'Summer Storm'	Summer Storm Hibiscus	3 gal.	8		
TS	Thuja occidentalis 'Smaragd'	Emerald Green Arborvitae	6'-7'	7	LB	Leucanthemum x superbum 'Becky'	Becky Shasta Daisy	1 gal.	12		
SHRUBS					LM	Linope muscan 'Big Blue'	Big Blue Lilyturf	1 gal.	43		
CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	VG	Veronica spicata 'Bubblegum Candles' TM	Pink Spike Speedwell	1 gal.	8		
AZ	Azalea x 'Bloom-a-thon' Red TM	evrgnn Rebloom Azalea Red	3 gal.	8	VT	Veronica x 'Tidal Pool'	Tidal Pool Creeping Speedwell	1 gal.	16		
AD	Azalea x 'Delaware Valley White'	Valley White Azalea	7 gal.	4	GROUND COVERS						
HA	Hydrangea macrophylla 'A.S.B. Summer Crush'	Endless Summer Hydrangea Red	7 gal.	4	CODE	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	QTY	
ID	Ilex glabra 'Densa'	Inkberry Holly	2.5' Ht.	20	FA	Festuca x Lawn Mix	Turf Grass	seed		2,005 sf	
MD	Microbiota decussata	Sibenan Carpet Cypress	3 gal.	10	IMPROVED FESCUE SEED MIX						
SG	Spiraea japonica 'Goldflame'	Goldflame Japanese Spirea	3 gal.	9	40% Creeping Red Fescue						
SS	Spiraea japonica 'Little Princess'	Little Princess Japanese Spirea	7 gal.	11	20% Improved Perennial Ryegrass						
						20% Improved Kentucky Bluegrass					
						20% Kentucky Bluegrass					

NORTH PATIO



SITE LOCATION



HAVENWOOD LLC
 LANDSCAPE ARCHITECTURE
 SITE PLANNING

1789 Old Lonsquisset Pike
 Lincoln, RI 02865

phone 401.727.9958
 fax 401.475.7352
 mobile 401.451.5250
 e-mail havenwood@cox.net

SHOPS ON MAIN
 2941-2955 MAIN ST.
 GLASTONBURY CT

PREPARED FOR:
 CARPIONATO GROUP
 JOHNSTON, RI

REVISIONS:

4	LA5.1	LAWN TYP
7	LA5.1	PERENNIAL PLANTING TYP
(4) - 6" DUMOR BENCH 169-60 BLACK OR APPROVED ALTERNATE		
SAILOR COURSE BORDER - UNILOCK - TOWN HALL PERMEABLE PAVEMENT - COLOR BASALT - OR APPROVED EQUAL		

DATE:
 6.1.2023

DRAWN BY: AA **CHECKED BY:** AA

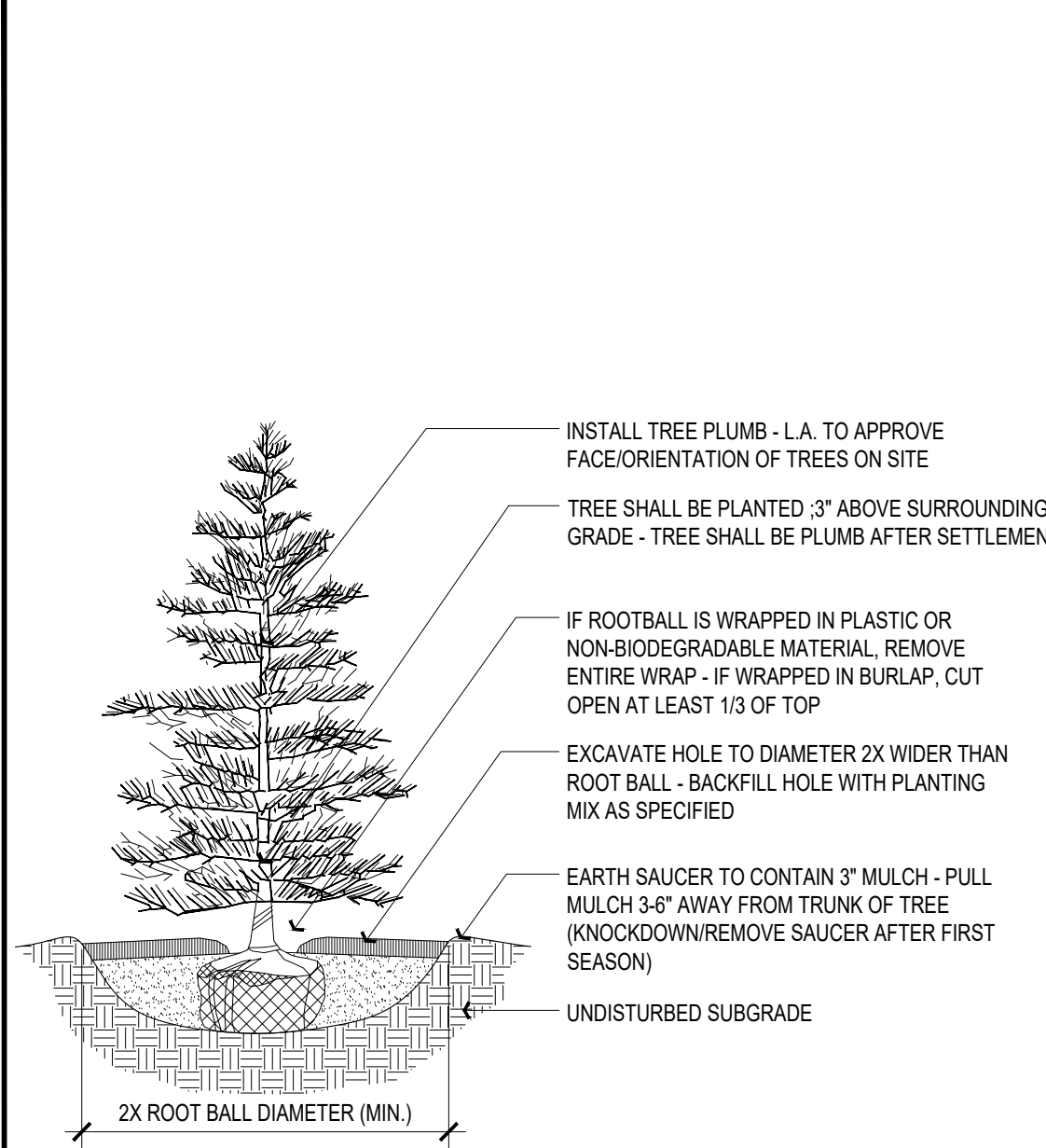
SCALE:
 1/4" = 1'-0"

(6) 36" TALL HINKLEY TAPER LED BOLLARD OR APPROVED ALTERNATE

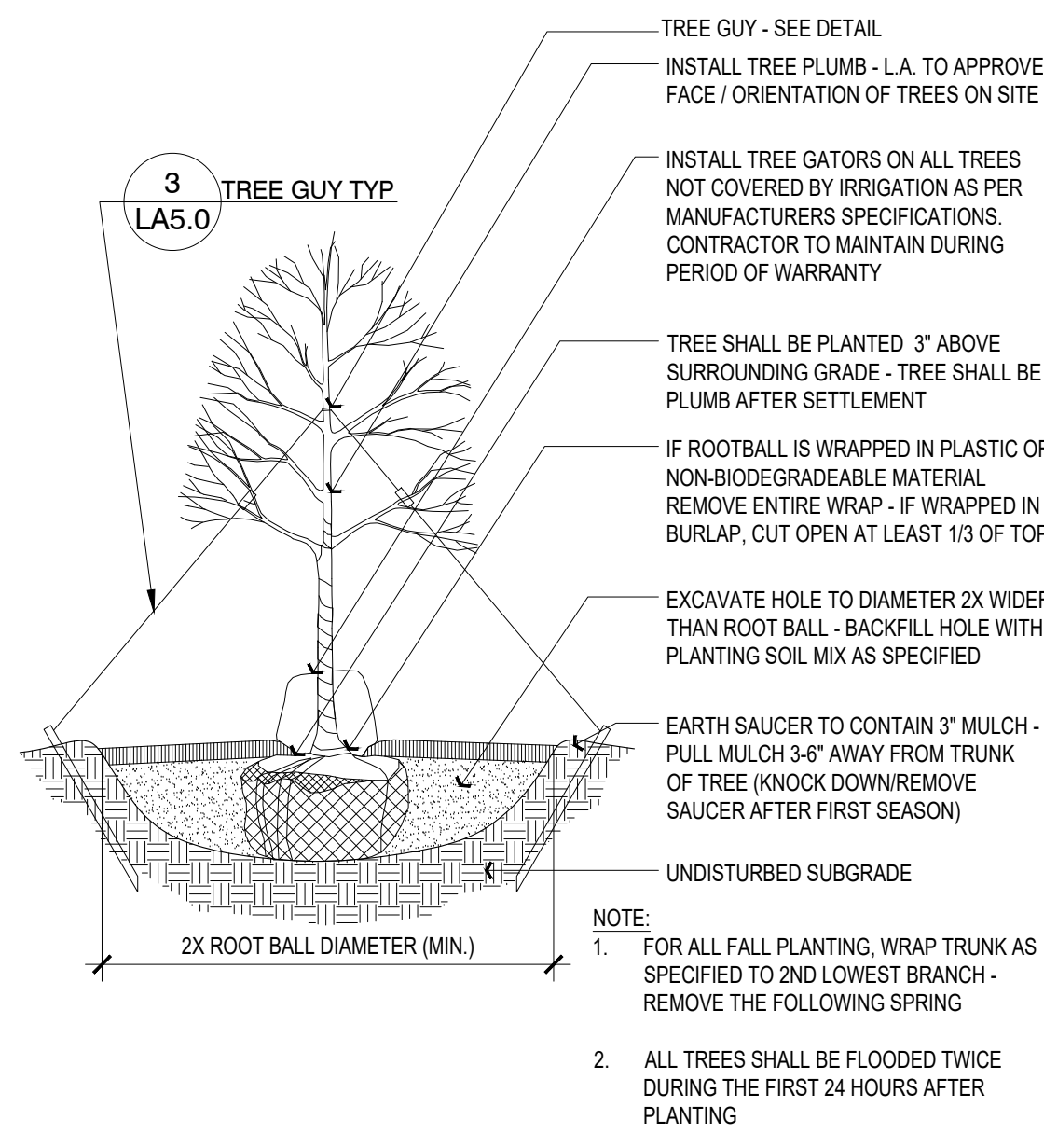
(2) DECIDUOUS TREE TYP

**NORTH PATIO
 DETAIL
 PLAN**

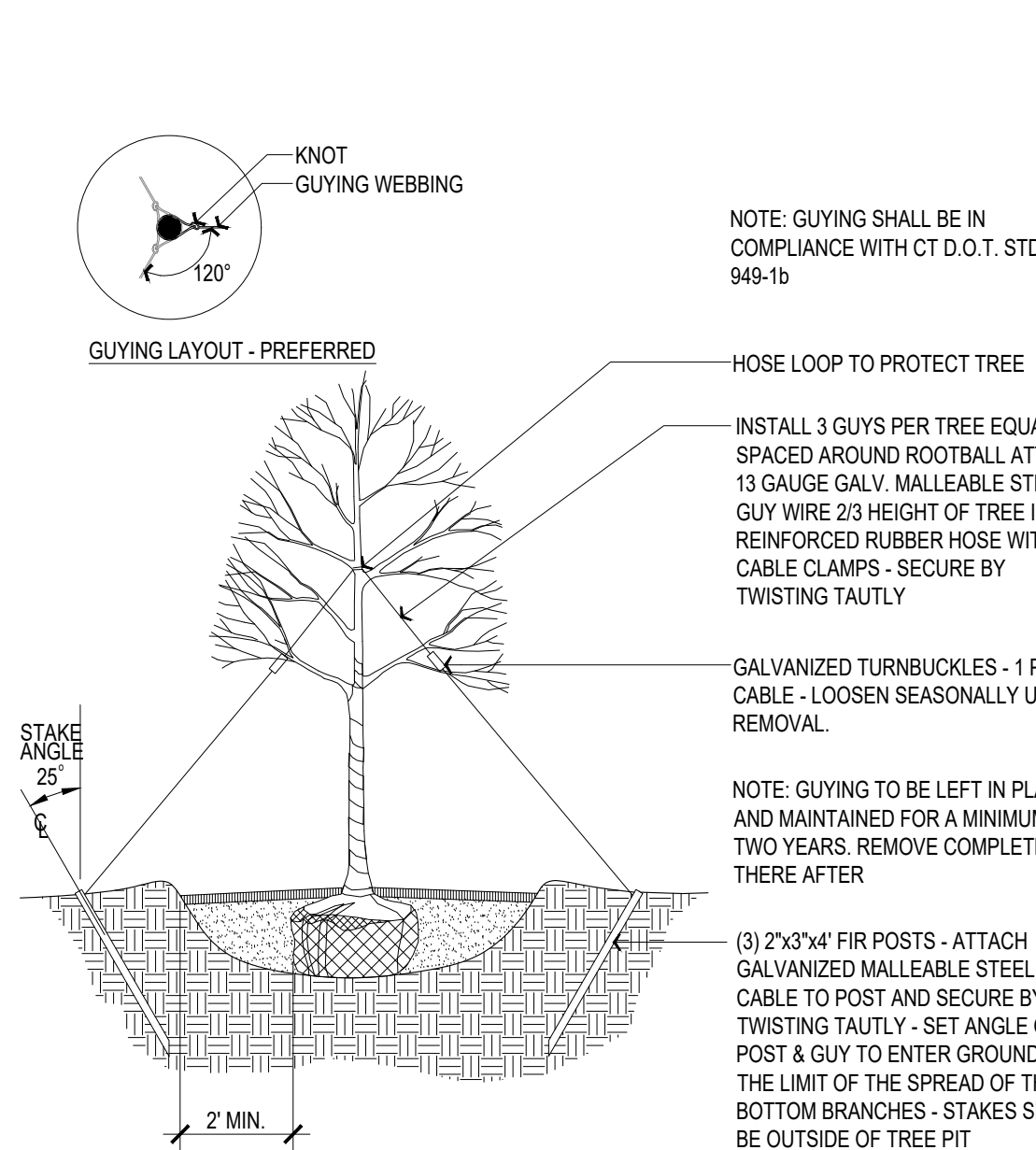
SHEET:
 LA4.1



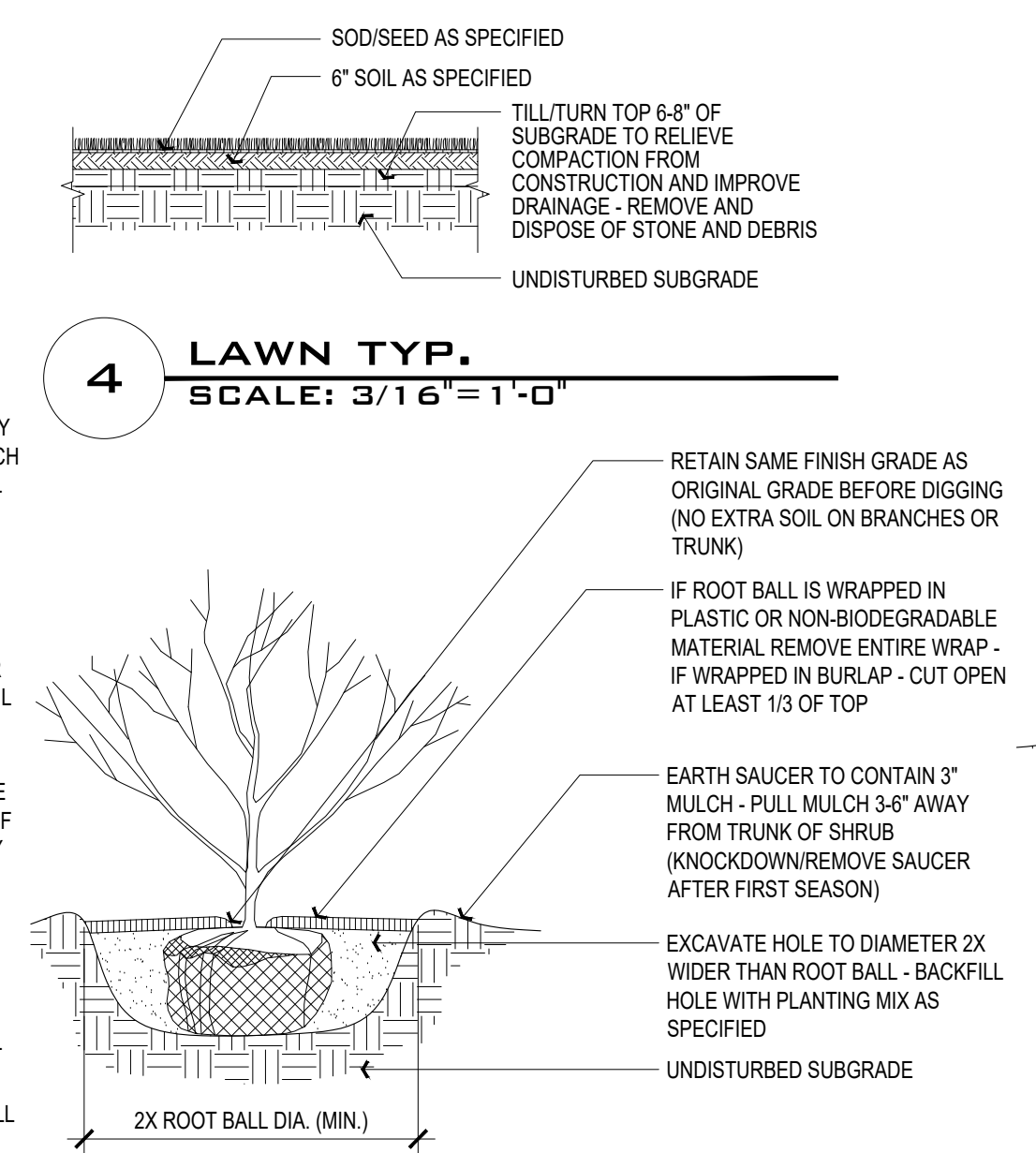
1 EVERGREEN TREE TYP.
SCALE: 3/8" = 1'-0"



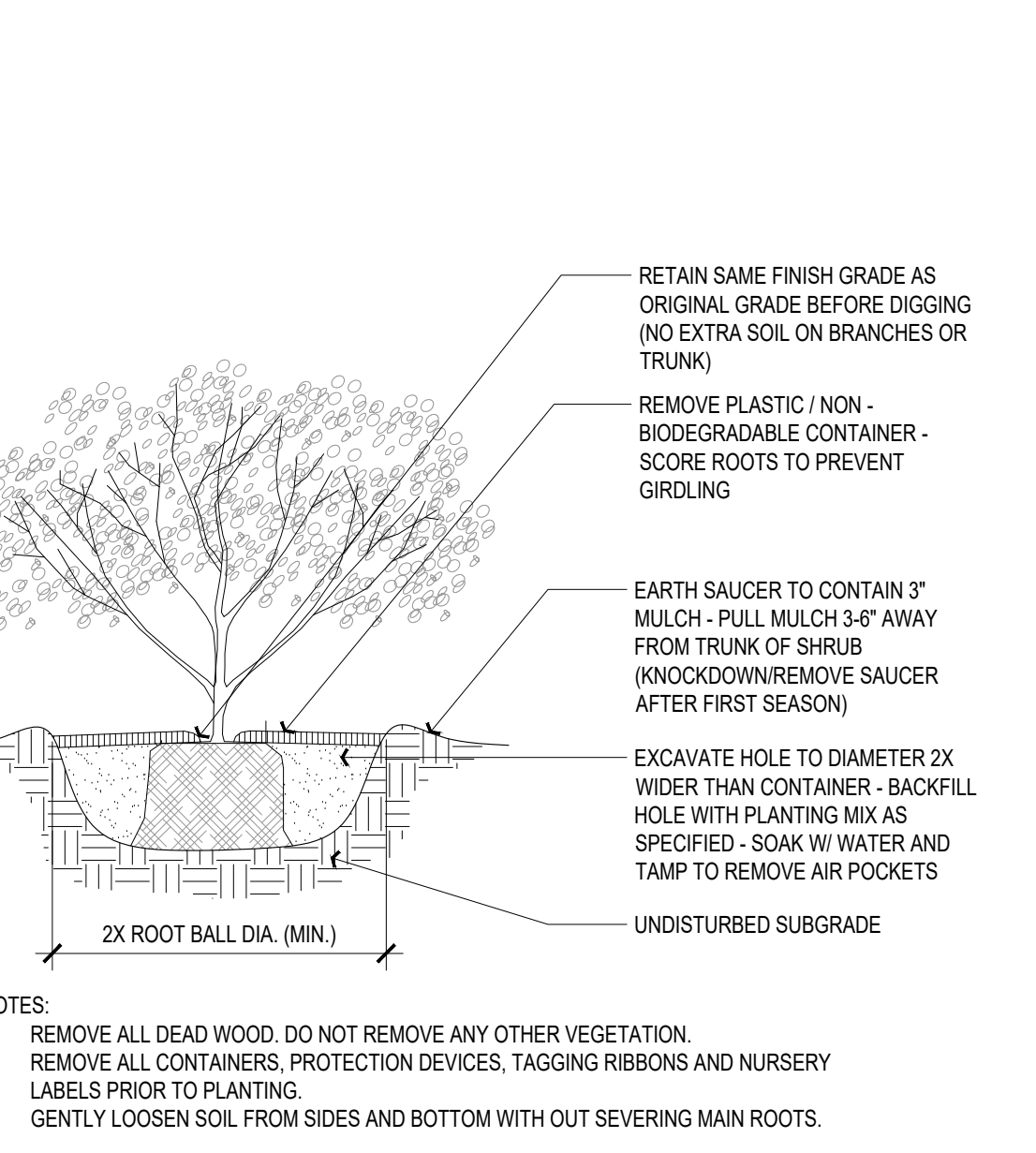
2 DECIDUOUS TREE TYP.
SCALE: 3/8" = 1'-0"



3 TREE GUYING TYP.
SCALE: 3/8" = 1'-0"



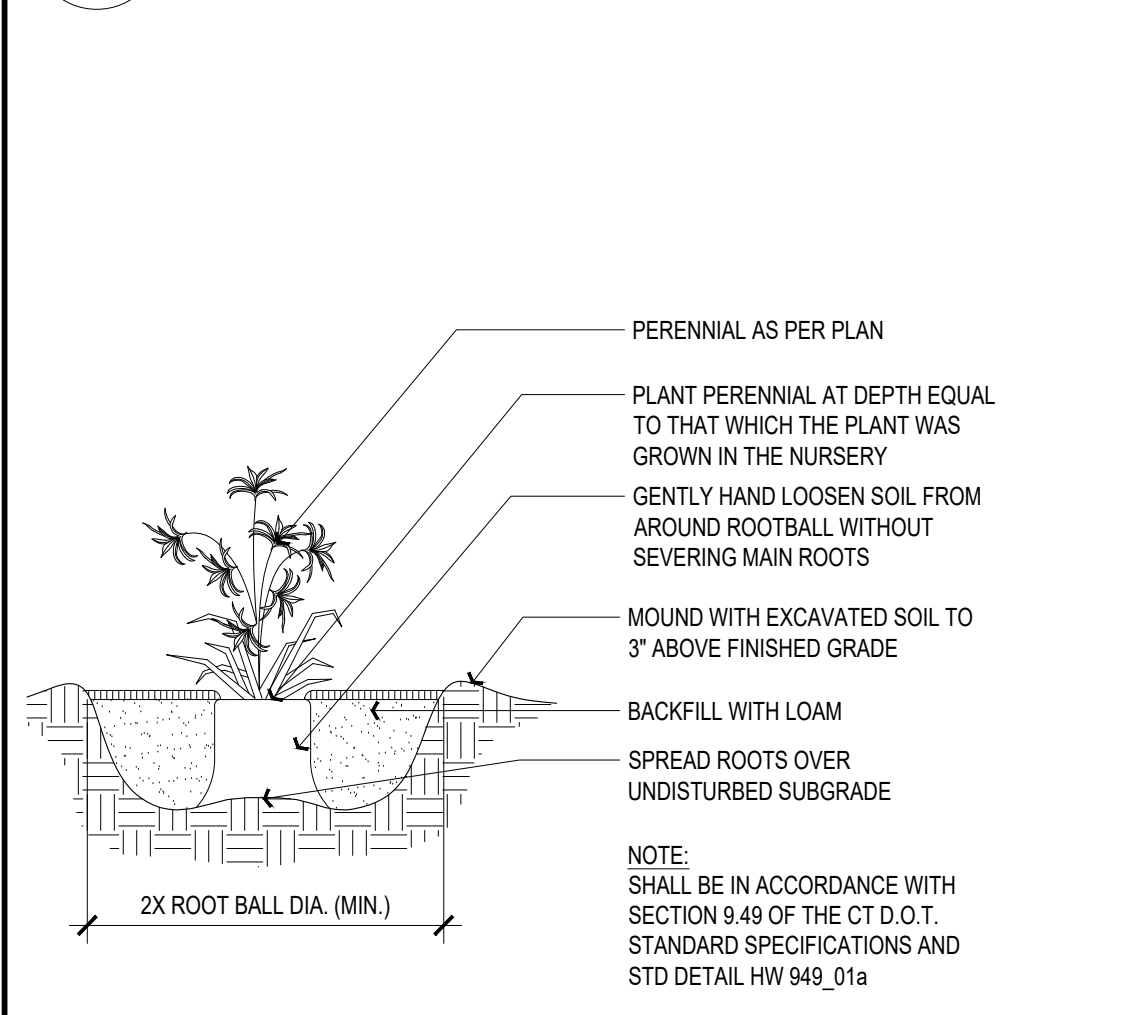
4 LAWN TYP.
SCALE: 3/16" = 1'-0"



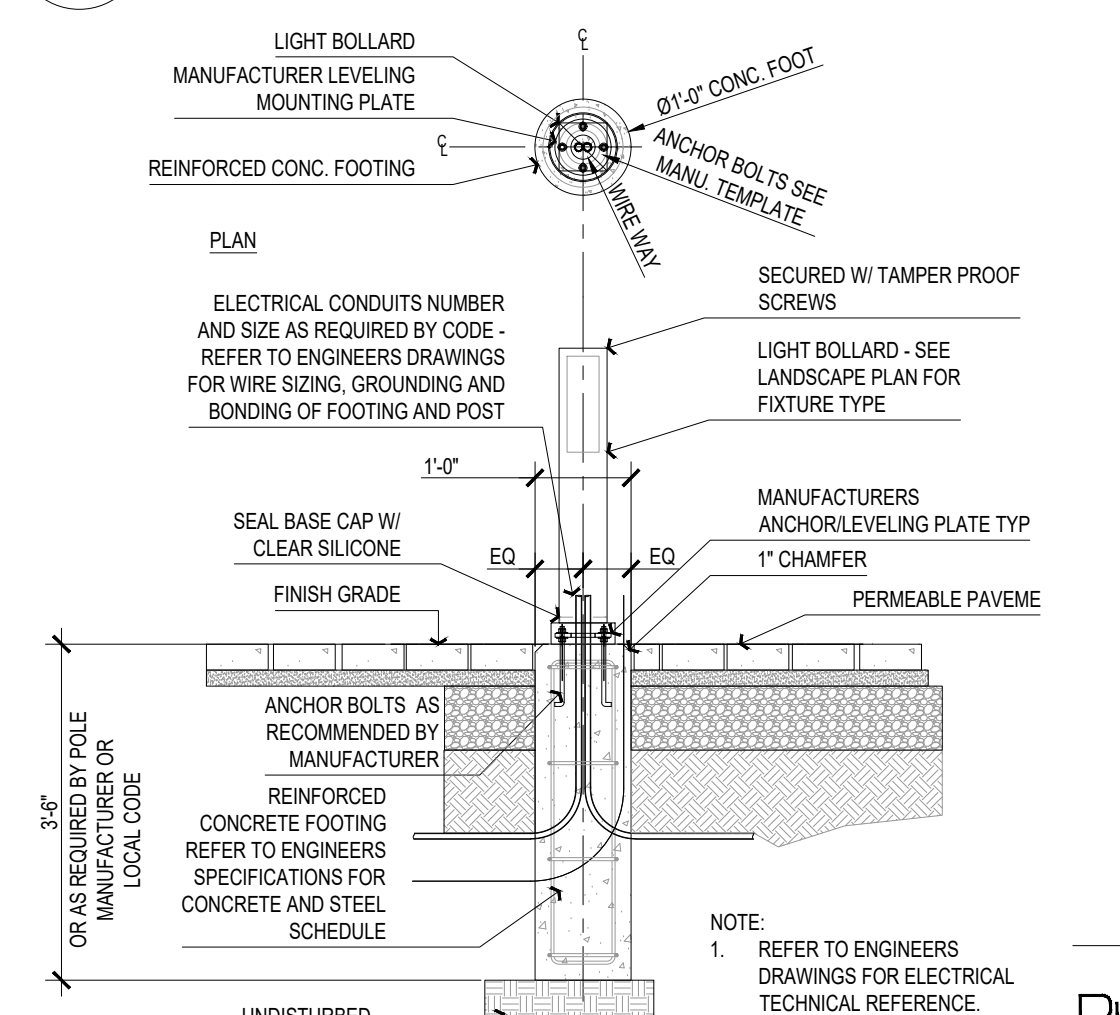
5 SHRUB BALL & BURLAP TYP.
SCALE: 3/4" = 1'-0"



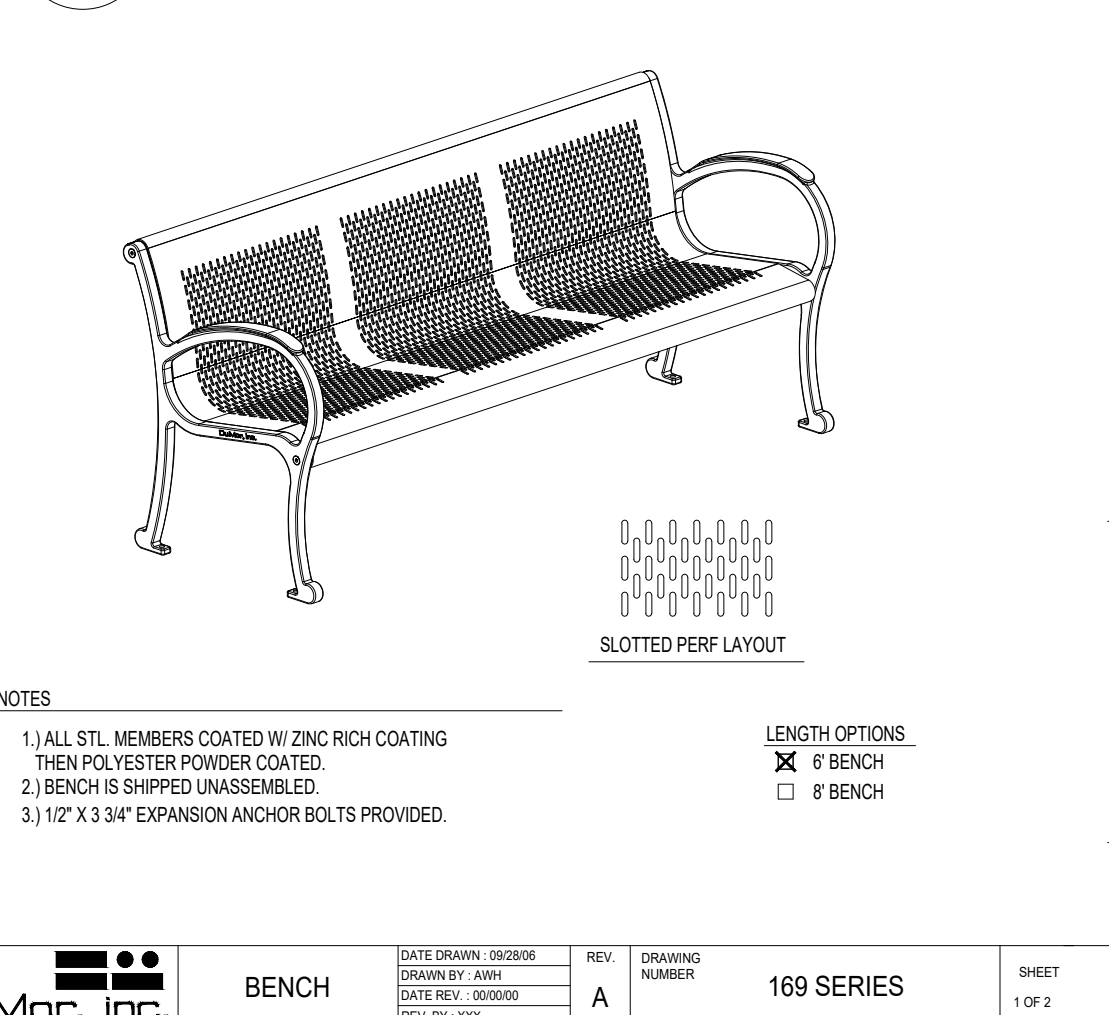
6 SHRUB CONTAINER TYP.
SCALE: 3/4" = 1'-0"



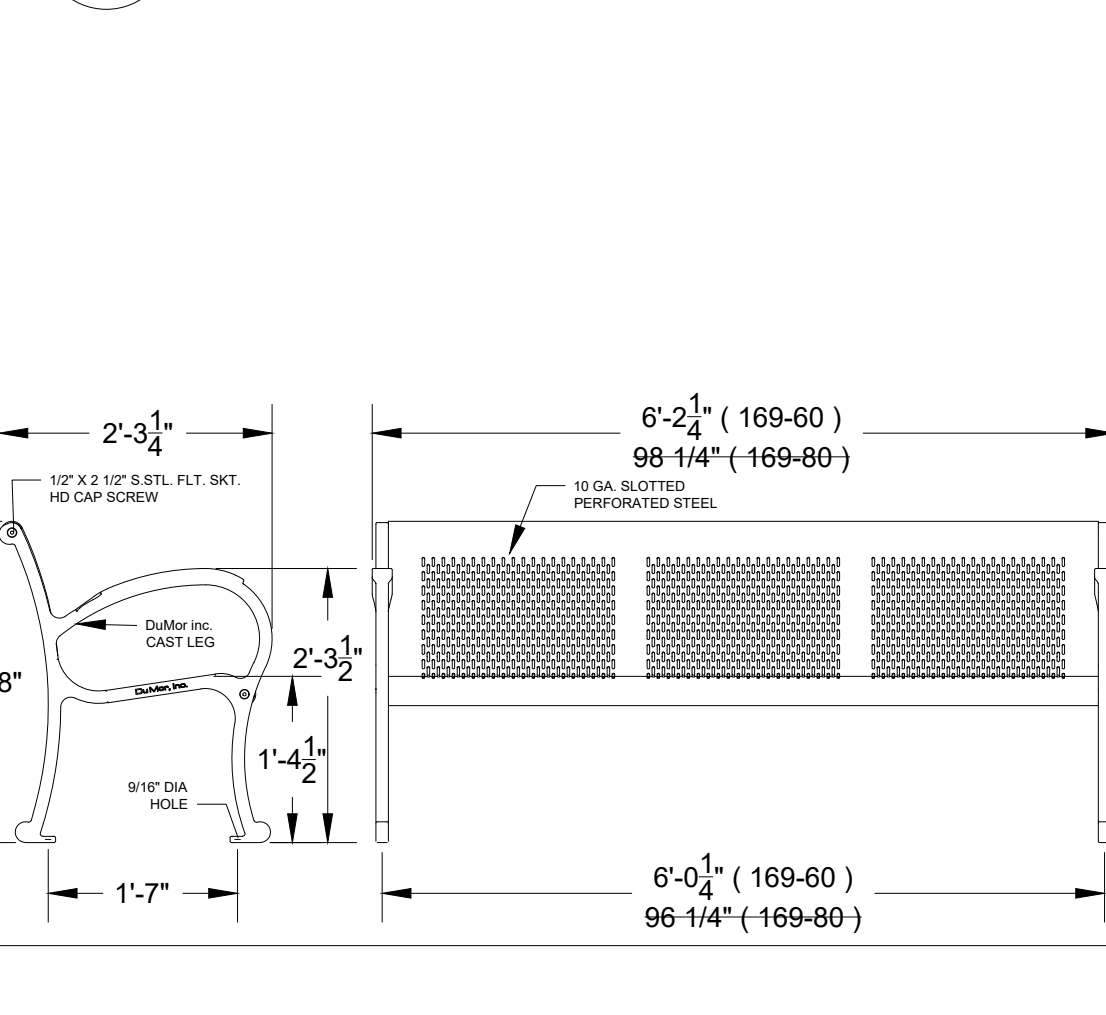
7 PERENNIAL TYP.
SCALE: 3/4" = 1'-0"



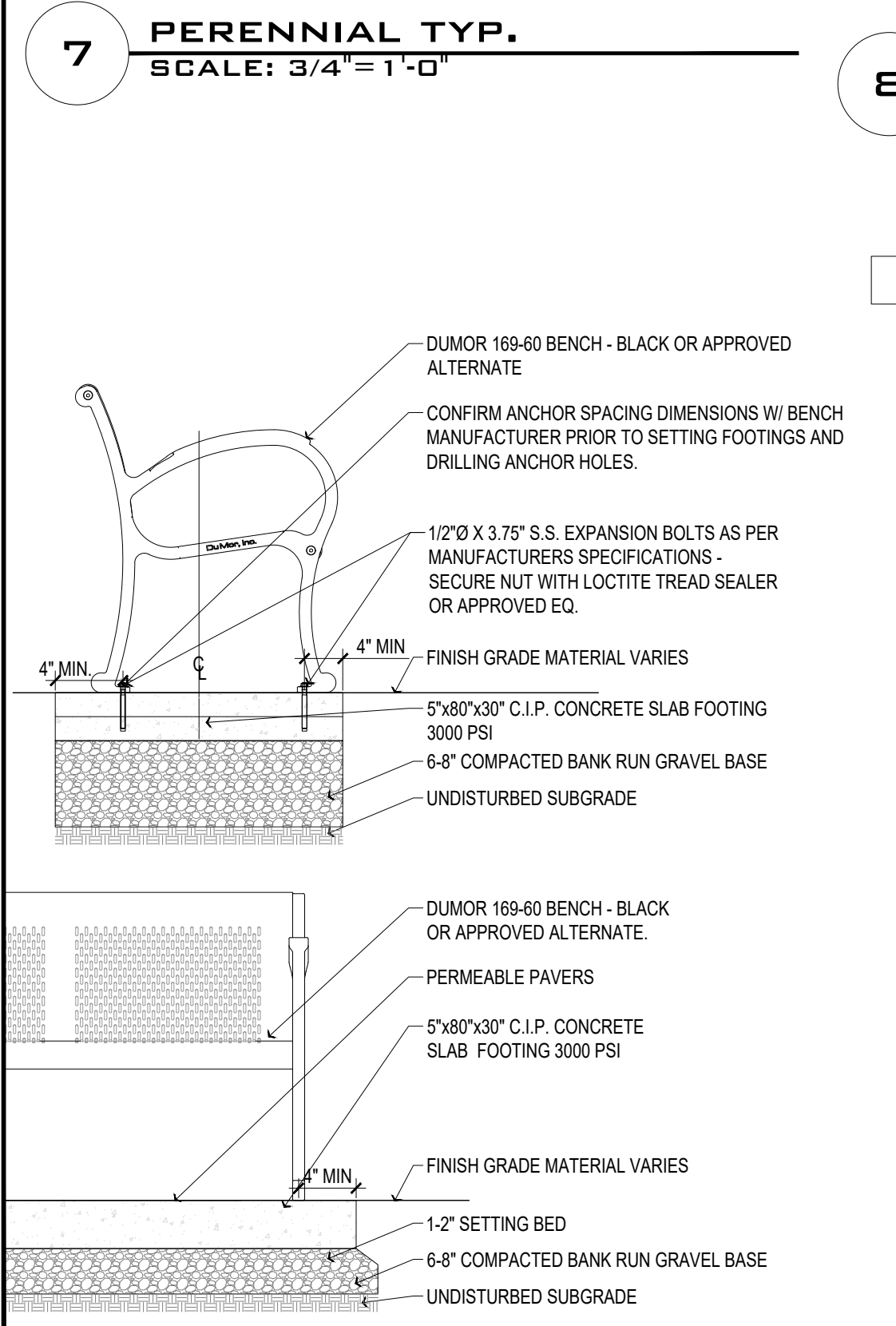
8 BOLLARD FOOTING TYP.
SCALE: 1/2" = 1'-0"



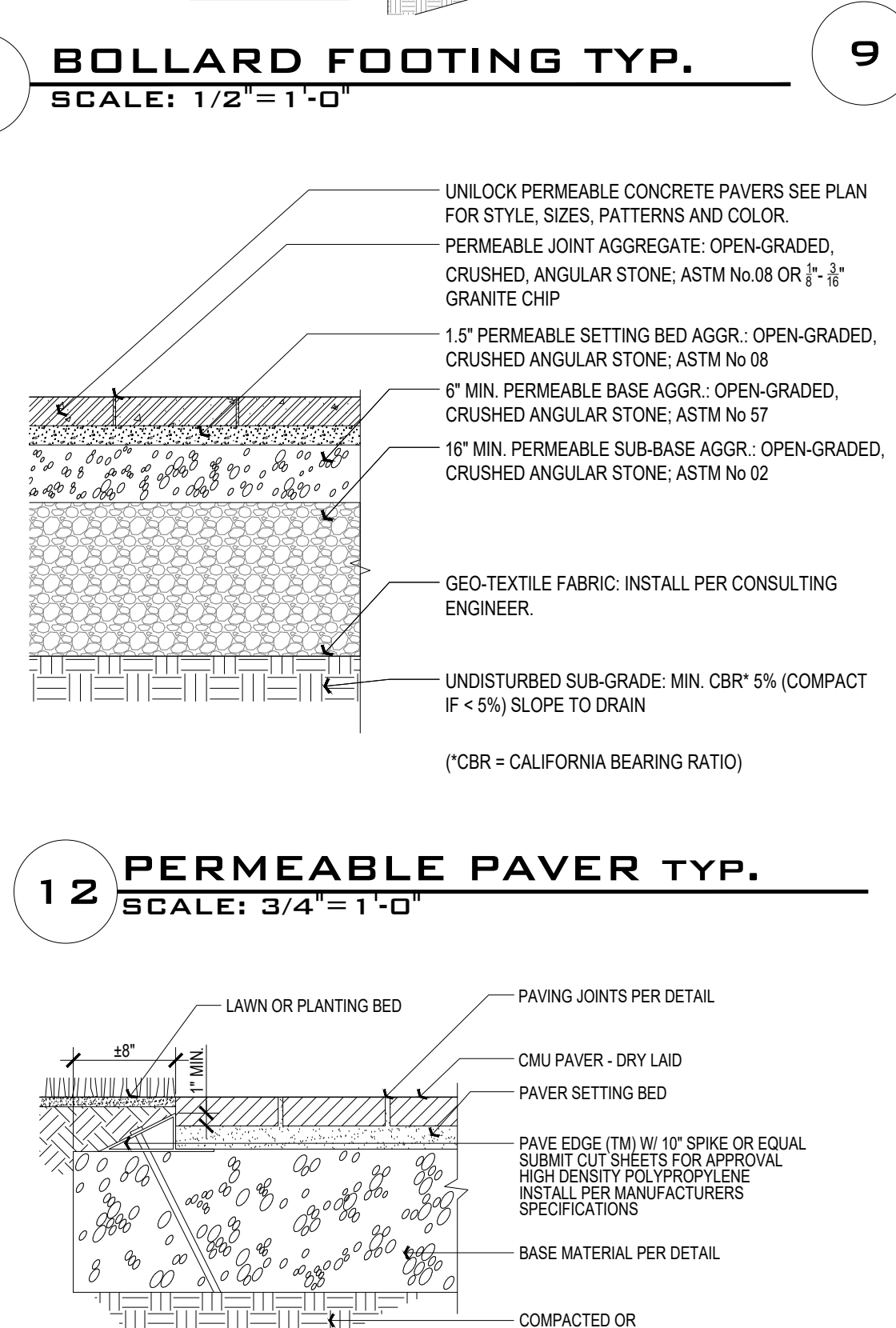
9 BENCH TYP.
SCALE: N.T.S.



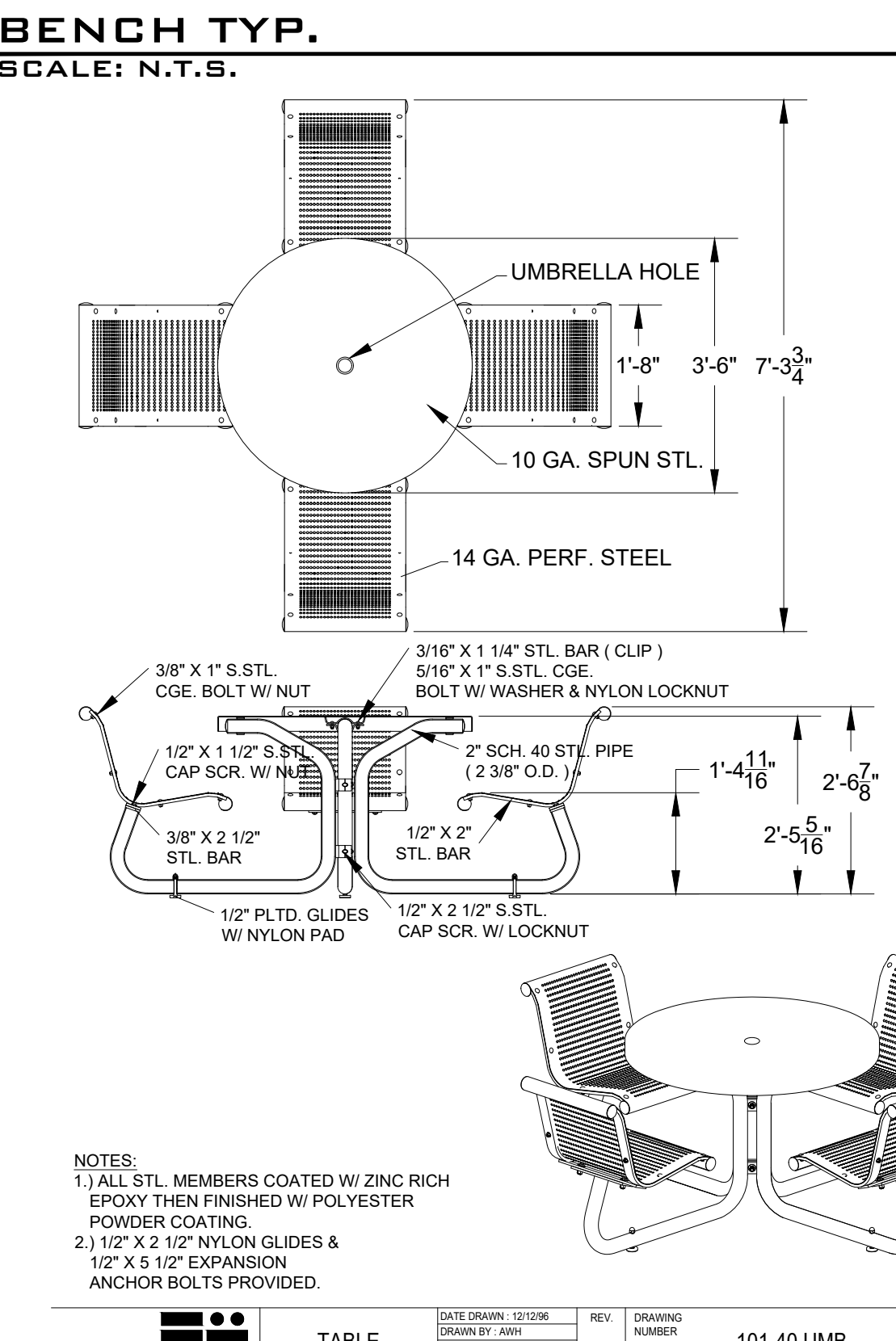
10 BENCH SLAB FOOTING TYP.
SCALE: 3/4" = 1'-0"



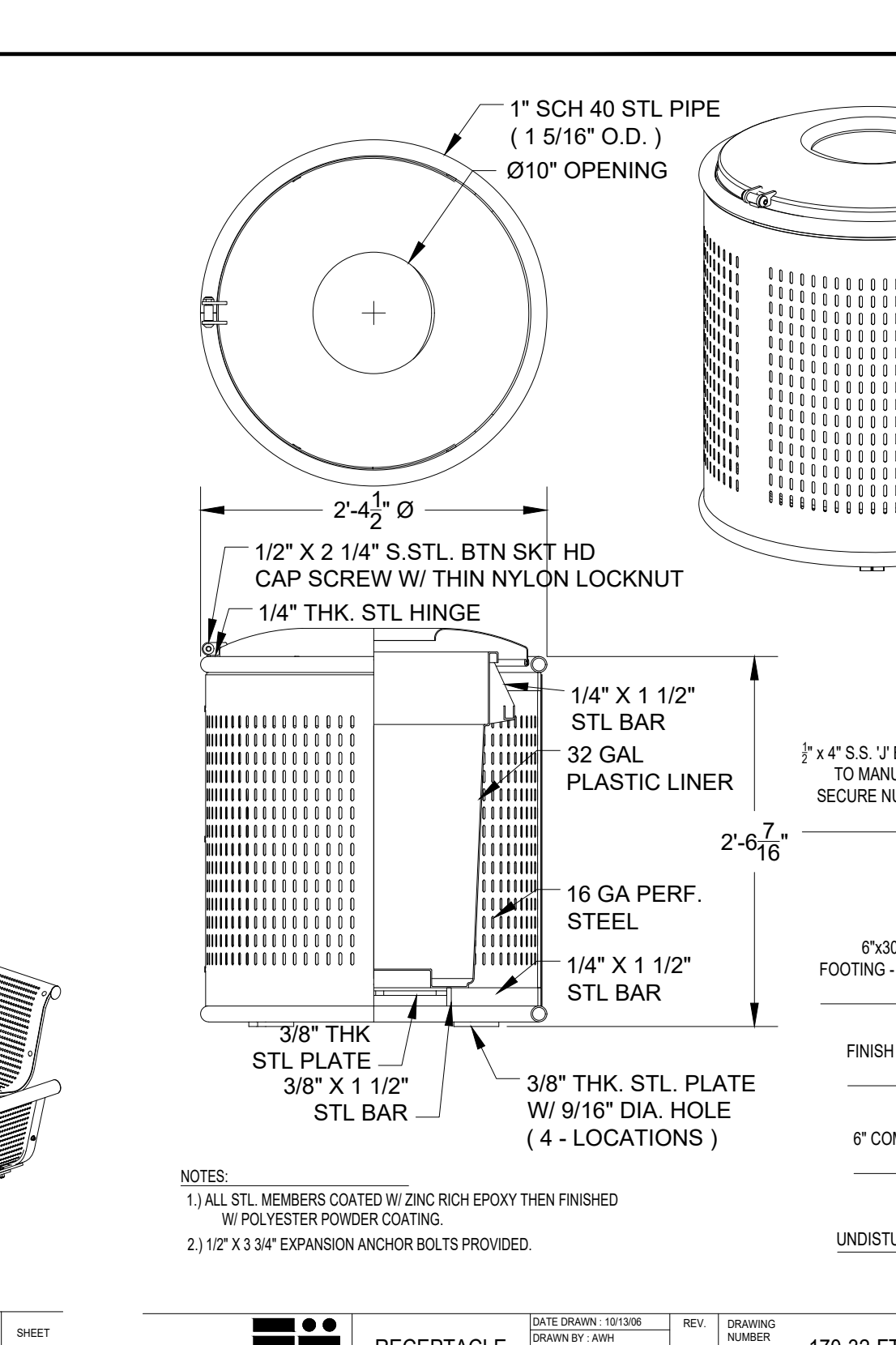
11 BENCH ANCHOR TYP.
SCALE: 3/4" = 1'-0"



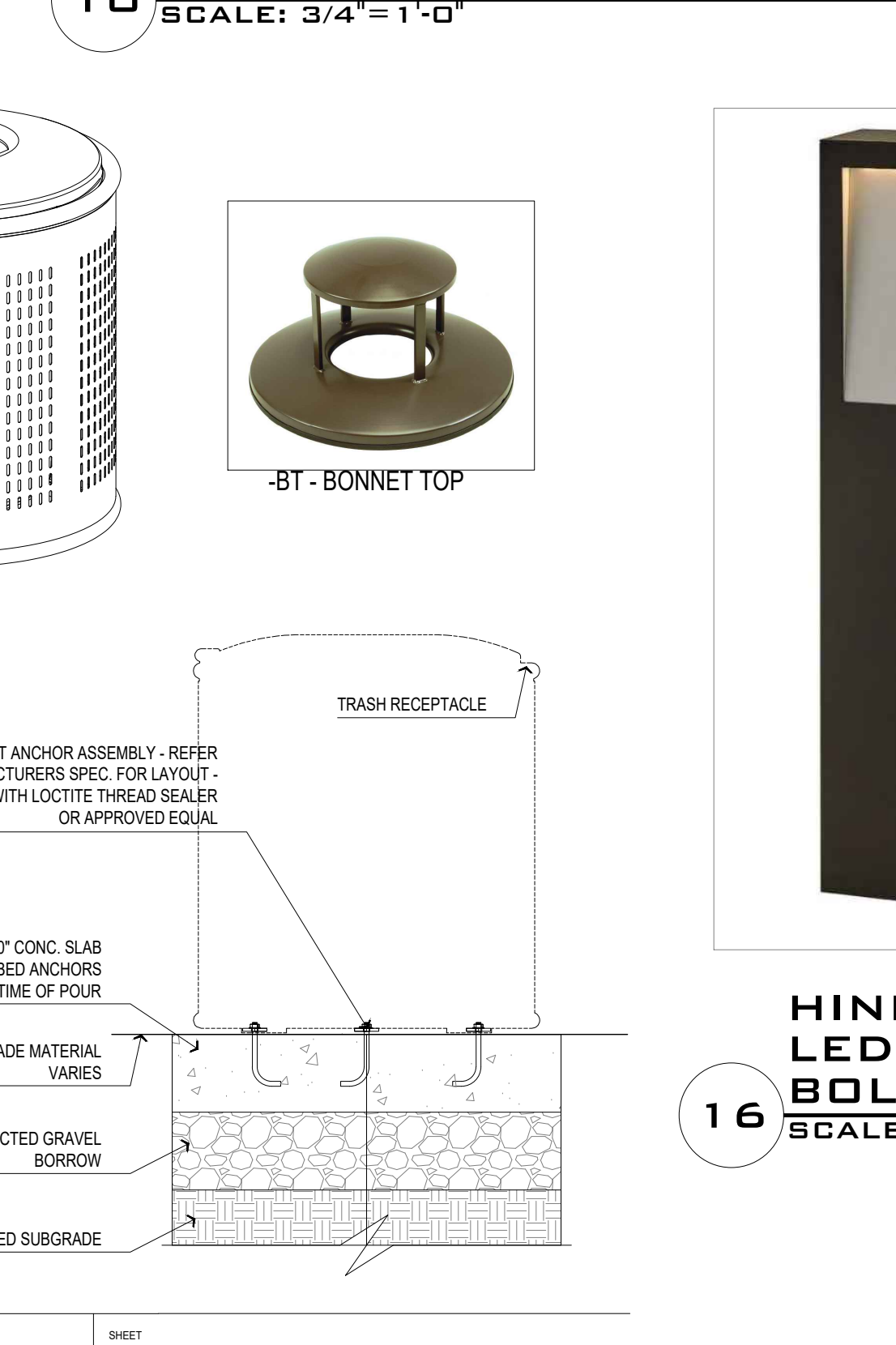
12 PERMEABLE PAVER TYP.
SCALE: 3/4" = 1'-0"



13 PAVE EDGE TYP.
SCALE: 1" = 1'-0"



14 TABLE SET TYP.
SCALE: N.T.S.



15 TRASH RECEPTACLE AND FOOTING TYP.
SCALE: N.T.S.



16 HINKLEY TAPER LED BOLLARD (TYP)
SCALE: N.T.S.

GENERAL CONSTRUCTION NOTES

- 1) NOTIFY DIG-SAFE AND LOCAL AUTHORITIES PRIOR TO ANY TYPE OF SITE PREPARATION OR CONSTRUCTION AT 1-888-344-7233 OR 811 OR WWW.DIGSAFE.COM
- 2) CONTRACTOR WILL PROVIDE CLIENT WITH REQUIRES STATE LICENSURE, PROOF OF WORKMAN'S COMPENSATION, DISABILITY AND GENERAL LIABILITY INSURANCES PRIOR TO THE START OF CONSTRUCTION. ADDITIONAL COPIES OF SAID INSURANCES AND LICENSURE MAY BE REQUESTED AT ANY TIME DURING THE CONSTRUCTION AND OR WARRANTEE TIME PERIODS.
- 3) CONTRACTOR TO OBTAIN ALL PERMITS FOR CONSTRUCTION. CLIENT WILL PROVIDE THE CONTRACTOR WITH DIRECT PAYMENT (CHECKS) FOR ALL PERMITTING AND APPLICATIONS FEES.
- 4) LIMIT OF WORK LINE IS PROPERTY LINE UNLESS OTHERWISE INDICATED.
- 5) LOCATION, SUPPORT, PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES, SEPTIC SYSTEMS AND APPURTENANCES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, PRIOR TO CONSTRUCTION, TO DETERMINE IN THE FIELD THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL CALL UTILITY PROTECTION SERVICE 72 HOURS PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.

- 6) CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT IF ADDITIONAL INFORMATION IS REQUIRED FOR BIDS OR CONSTRUCTION.
- 7) ALL EXISTING UTILITIES TO REMAIN OPERABLE DURING CONSTRUCTION. ANY NECESSARY TEMPORARY DISCONNECTIONS MUST BE COORDINATED WITH THE OWNER AND UTILITY CONCERNED. CONTRACTOR SHALL TERMINATE SERVICE ACCORDING TO UTILITY COMPANY SPECIFICATIONS.
- 8) CONTRACTOR TO REPAIR ANY DAMAGE TO UTILITY LINES OR STRUCTURES DURING CONSTRUCTION. DAMAGES SHALL BE REPAIRED AT NO ADDITIONAL COST TO OWNER AND TO OWNER'S AND UTILITY COMPANY'S SATISFACTION.
- 9) STORAGE AREAS FOR CONTRACTOR'S EQUIPMENT, PARKING AND MATERIALS STOCKPILING SHALL BE IN THOSE AREAS APPROVED BY THE LANDSCAPE ARCHITECT AND OWNER.
- 10) ALL AREAS OUTSIDE THE LIMIT OF WORK LINE SHALL BE PROTECTED AND RESTORED TO THEIR ORIGINAL CONDITION IF DAMAGED DURING CONSTRUCTION.
- 11) CONDUCT ALL OPERATIONS WITH MINIMUM INTERFERENCE TO STREETS, SIDEWALKS AND ACCESS TO THE RESIDENCE. PROVIDE, ERECT AND MAINTAIN BARRICADES AS NECESSARY TO PROTECT USER'S SAFETY.

- 12) CONTRACTOR TO MAINTAIN WORK SITE IN AND ORDERLY MANOR KEEPING THE PREMISES AND SURROUNDING AREAS FREE FROM ACCUMULATION OF DEBRIS AND TRASH RELATED TO WORK..
- 13) CONTRACTOR SHALL CONFINE OPERATIONS AT THE SITE TO AREAS PERMITTED BY LAW, ORDINANCES, PERMITS, THE CONTRACT DOCUMENTS AND THE OWNER..
- 14) CONTRACTOR WILL COMPLY TO ALL LOCAL ORDINANCES REGARDING SOUND AND HOURS ALLOWED FOR CONSTRUCTION. NO WORK WILL OCCUR ON WEEKENDS OR HOLIDAYS WITH OUT PRIOR PERMISSION FROM THE CLIENT AND IF IN COMPLIANCE WITH LOCAL ORDINANCES.
- 15) CONTRACTOR TO PROVIDE ANY ENGINEERING SERVICES IF REQUIRED FOR THE NECESSARY PERMITTING PROCESS. INCLUDING 'AS-BUILTS' IF REQUIRED.
- 16) CONTRACTOR WILL PROVIDE ANY REQUIRED SHOP DRAWINGS OR MATERIAL SAMPLES TO THE LANDSCAPE ARCHITECT FOR APPROVAL WITHIN A TIMELY MANNER AS TO NOT DELAY THE PROJECT.
- 17) ANY CHANGES TO MATERIALS OR METHODS RESULTING IN ANY CHANGE TO COSTS (INCREASE OR DECREASE) WILL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR CLIENT APPROVAL PRIOR TO IMPLEMENTING CHANGES.



© copyright
 reproduction of this drawing without the written consent of the landscape architect is prohibited. this drawing is the property of the landscape architect and shall remain confidential. the landscape architect is not responsible for the construction of the project or for any damage resulting therefrom.

SITE PREPARATION & DEMOLITION NOTES

1. NOTIFY DIG-SAFE AND LOCAL AUTHORITIES PRIOR TO ANY TYPE OF SITE PREPARATION OR CONSTRUCTION AT 1-888-344-7233.
2. REMOVE ALL LINES AS SHOWN. CAP/PLUG ALL LINES TO BE ABANDONED.
3. PERFORM ALL DEMOLITION AS INDICATED AND AS REQUIRED FOR THE COMPLETION OF THE PROJECT AS DETAILED.
4. DO NOT DISTURB PLANTS, PAVEMENTS, STRUCTURES OR UTILITIES TO REMAIN. CONTRACTOR SHALL REPLACE IN-KIND ALL SUCH ITEMS DAMAGED DURING CONSTRUCTION.
5. ALL EXISTING TREES AND SHRUBS TO REMAIN SHALL BE PROTECTED FROM DAMAGE DURING THE ENTIRE CONSTRUCTION PERIOD. AN APPROPRIATE METHOD IS TO BE DETERMINED BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT.
6. CONTRACTOR SHALL NOT REMOVE ANY TREES DURING CONSTRUCTION WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT. EXISTING VEGETATION TO REMAIN SHALL BE PROTECTED AS DIRECTED BY THE LANDSCAPE ARCHITECT.
7. TREES AND SHRUBS TO BE TRANSPLANTED ARE TO BE HEALED IN AT LOCATIONS APPROVED BY THE LANDSCAPE ARCHITECT AND MAINTAINED UNTIL THE PLANTING CAN BE DONE.

8. ALL EXISTING LAWNS SHALL BE STRIPPED AND DISPOSED OF. COORDINATE STRIPPING WITH CONSTRUCTION SEQUENCE SO AS NOT TO LEAVE SURFACE BARREN ANY LONGER THAN NECESSARY. STOCKPILE ALL TOPSOIL WHICH MUST BE REMOVED FOR NEW CONSTRUCTION.
9. CONTRACTOR SHALL STOCKPILE TOPSOIL IN DESIGNATED AREAS. ANY ADDITIONAL AREAS MUST BE APPROVED IN WRITING BY THE OWNER AND LANDSCAPE ARCHITECT.
10. CLEAR AND GRUB ENTIRE AREA WITHIN LIMITS OF GRADING AS PER SPECIFICATIONS. TREE ROOTS ARE TO BE GRUBBED OUT, REMOVED AND VOIDS BACKFILLED AND COMPACTED AS PER SPECIFICATION.
11. STORM WATER RUNOFF SHALL BE CONTROLLED TO PREVENT EROSION, SILTATION, AND FLOODING OF ON SITE EXCAVATIONS.
12. SAW CUT ALL EXISTING ASPHALT TO BE REMOVED. SAW CUT ALL EXISTING CONCRETE PAVEMENT TO BE REMOVED AT THE NEAREST SCORING JOINT. PAVEMENT REMOVAL INCLUDES AGGREGATE BASE UNLESS NOTED OTHERWISE.

LAYOUT & MATERIAL NOTES

- 1) NOTIFY DIG-SAFE AND LOCAL AUTHORITIES PRIOR TO ANY TYPE OF SITE PREPARATION OR CONSTRUCTION AT 1-888-344-7233 OR 811 OR WWW.DIGSAFE.COM
- 2) REFER TO GENERAL CONSTRUCTION NOTES.
- 3) SURVEY PREPARED BY XXXX ENGINEERING, INC. OF XXXXXX, XX, DATED X/X/XX: SCALE @ X"=X'-X".
- 4) ALL LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE INDICATED.
- 5) CONTRACTOR SHALL LAYOUT ALL PROPOSED WORK FOR APPROVAL BY LANDSCAPE ARCHITECT AND MAKE ANY NECESSARY ADJUSTMENTS PRIOR TO CONSTRUCTION.
- 6) CONTRACTOR SHALL VERIFY DIMENSIONS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
- 7) CONTRACTOR TO FIELD MEASURE AND SUBMIT SHOP DRAWINGS FOR APPROVAL FOR ALL FABRICATED ITEMS INCLUDING, BUT NOT LIMITED TO: FENCES, GATES, BALUSTRADES AND FOUNTAINS PRIOR TO CONSTRUCTION.
- 8) USE DIMENSIONAL INFORMATION GIVEN. DO NOT SCALE DRAWINGS.
- 9) ANY CHANGES TO THE LAYOUT NECESSITATED BY FIELD CONDITIONS SHALL FIRST BE APPROVED BY THE LANDSCAPE ARCHITECT, AND THEN RECORDED ON DRAWINGS.
- 10) CONTRACTOR SHALL REFER QUESTIONS ON MATERIALS, FINISHES, LABOR AND/OR PERFORMANCE STANDARDS NOT SPECIFIED HEREIN TO THE LANDSCAPE ARCHITECT.
- 11) ALL WALKWAYS LEADING TO ENTRANCES ARE TO BE CENTERED ON DOORWAYS UNLESS OTHERWISE NOTED.
- 12) AT LOCATIONS WHERE EXISTING PAVEMENT ABUTS NEW PAVEMENT, CONTRACTOR SHALL BLEND NEW PAVEMENT TO EXISTING CONDITIONS. PAVEMENTS SHALL ALIGN BOTH VERTICALLY AND HORIZONTALLY. PONDING AT JOINTS WILL NOT BE ACCEPTED.
- 13) ALL MEASUREMENTS ARE IN FEET AND INCHES.
- 14) SHOP DRAWINGS AND FIELD MEASUREMENTS TO BE MADE PRIOR TO FABRICATING ANY SITE AMENITIES.
- 15) PROVIDE AN EXPANSION JOINT WHEREVER NEW PAVEMENT MEETS WALLS AND BUILDINGS.
- 16) CONTRACTOR TO PROVIDE SAMPLES OF ALL MATERIALS FOR APPROVAL BY LANDSCAPE ARCHITECT AS STIPULATED IN THE SPECIFICATIONS AND/OR DRAWINGS PRIOR TO ORDERING MATERIALS.
- 17) CONTRACTOR TO CONSTRUCT A 4'x4' SAMPLE FOR ALL HARDSCAPE ELEMENTS (IE: WALLS, STEPS, PAVEMENTS AND STEPPERS) IN FIELD FOR APPROVAL PRIOR TO PROCEEDING WITH THE REMAINING LIKE WORK.

PLANTING NOTES

1. NOTIFY DIG-SAFE AND LOCAL AUTHORITIES PRIOR TO ANY TYPE OF SITE PREPARATION OR CONSTRUCTION AT 1-888-344-7233.
2. REFER TO SHEET L1 FOR GENERAL CONSTRUCTION NOTES.
3. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL AND MULCH IN SUFFICIENT QUANTITIES TO COMPLETE PLANTING AS SHOWN ON THE DRAWINGS. DRAWING QUANTITIES TAKE PRECEDENCE OVER PLANT LIST QUANTITIES.
4. CONTRACTOR TO PROVIDE SOIL TESTS IN AREAS DESIGNATED BY LANDSCAPE ARCHITECT IN FIELD FOR EXISTING SOILS TO DETERMINE APPROPRIATE ADDITIONAL SOIL AMENDMENTS PRIOR TO THE DISTURBANCE OF SITE. SOIL EVALUATIONS ARE AVAILABLE THROUGH UNIVERSITY EXTENSION SERVICES. RESULTS ARE TO BE SUBMITTED TO LANDSCAPE ARCHITECT FOR APPROVAL.
5. ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES BY "THE AMERICAN STANDARD FOR NURSERY STOCK," PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
6. ALL PLANTS SHALL BE BALL & BURLAP (B&B) OR CONTAINER GROWN, UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT.
7. BOTANICAL NAMES SHALL TAKE PRECEDENCE OVER COMMON NAMES.
8. WHERE SPECIFIED, CALIPER SIZE TO BE OVERRIDING FACTOR IN TREE SELECTION. MULTI-STEM SHALL HAVE FIVE (5) OR THREE (3) TRUNKS.
9. ALL TREES SHALL HAVE "BEST FACE" SIDE TAGGED AT NURSERY PRIOR TO DIGGING.
10. CONTRACTOR TO STAKE TREE LOCATIONS FOR APPROVAL BY LANDSCAPE ARCHITECT.
11. LANDSCAPE ARCHITECT TO APPROVE IN PLACE ALL SHRUBS, PERENNIALS AND VINES PRIOR TO PLANTING.
12. NO PLANTING BEFORE THE ACCEPTANCE OF ROUGH GRADING.
13. ALL PLANTS TO HAVE THE SAME RELATIONSHIP TO FINISH GRADE AFTER SETTLEMENT AS TO THEIR ORIGINAL GRADE BEFORE DIGGING. LOCATE PLANT COLLAR TWO OR THREE INCHES HIGHER THAN PLANTING SOIL MIX TO INSURE CORRECT FINAL RELATIONSHIP.
14. ALL PERENNIALS ARE TO BE PLANTED INTO DAMP SOIL.
15. FLOOD ALL PLANTS WITH CLEAN WATER TWICE IN THE FIRST 24 HOURS AFTER PLANTING.

- CONTRACTOR TO ARRANGE FOR ALL PLANTS TO BE PLANTED WITHIN THREE DAYS AFTER DELIVERY TO THE SITE UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT.
16. WHEN PLANTING, BACKFILL SOIL SHALL CONSIST OF EQUAL PARTS OF EXISTING SOIL, SPHAGNUM PEAT MOSS AND COMPOSTED COW MANURE. IN ADDITION, PROVIDE OSMOCOTE 14-14-14 SLOW RELEASE FERTILIZER AS THE HOLE IS FILLED (3 TABLESPOONS PER 3 GALLON POT, 1 CUP PER TREE)
17. TRIM ONLY BROKEN OR DEAD BRANCHES FROM EVERGREEN PLANTS.
18. NEVER CUT A LEADER.
19. COORDINATE LANDSCAPE INSTALLATION WITH INSTALLATION OF UNDERGROUND SPRINKLER SYSTEM & LANDSCAPE LIGHTING (IF APPLICABLE)
20. CONTRACTOR SHALL ENSURE THAT ALL PLANTS RECEIVE ADEQUATE WATER DURING THE WARRANTEE PERIOD.
21. ALL PLANTING BEDS TO BE TREATED WITH PREEN AND GREEN OR APPROVED EQUAL TO PROHIBIT WEED GERMINATION AND GROWTH PRIOR TO THE SPREADING OF MULCH.
22. MULCH SHALL BE COMPOSTED SHREDDED PINE BARK WITH NO DYES UNLESS NOTED.
23. ALL TREES TO RECEIVE A MINIMUM OF THREE INCHES OF MULCH. ALL SHRUBS, VINES AND GROUND COVERS TO RECEIVE A MINIMUM OF TWO INCHES OF MULCH.
24. STAKE OR GUY ALL TREES AND LARGE EVERGREEN MATERIAL.
25. PROVIDE BED EDGES AS SHOWN. SOFT EDGE HAND CUT UNLESS NOTED.
26. ALL PLANT MATERIAL SHALL BE INSTALLED PRIOR TO FINAL TOP-DRESSING AND SODDING/SEEDING.
27. CONTRACTOR TO PROVIDE AND PROVIDE TWO YEAR GUARANTEE ON ALL MATERIAL. CONTRACTOR TO MAINTAIN ALL PLANTING AND LAWNS UNTIL FINAL PROJECT ACCEPTANCE. GUARANTEE PERIOD TO BEGIN AT FINAL ACCEPTANCE.
28. WHEN PLANTING DURING SUMMER, LATE FALL, OR EARLY WINTER, APPLY AN APPROVED ANTI-DESSICANT TO ALL PLANTS IN LEAF AT PLANTING TIME, AND TO ALL EVERGREENS BEFORE THEIR FIRST WINTER. IT IS RECOMMENDED THAT A SECOND WINTER APPLICATION BE APPLIED WHEN TEMPERATURES ARE ABOVE 40 DEGREES F.

SHOPS ON MAIN
 2941-2955 MAIN ST.
 GLASTONBURY CT
 PREPARED FOR:
 CARPIONATO GROUP
 JOHNSTON, RI

REVISIONS:

DATE:

6.1.2023

DRAWN BY: AA CHECKED BY: AA

SCALE:
NTS

GENERAL NOTES

SHEET:

LAO.1