

TOWN PLAN AND ZONING COMMISSION  
GLASTONBURY, CT  
APPLICATION FOR SPECIAL PERMIT

Application for:

- Section 12 Special Permit with Design Review (SPDR)
- Section 12.9 Minor Change to an approved Section 12 SPDR
- Section 6.2 Excavation Special Permit
- Section 6.8 Rear Lot Special Permit
- Section 4.11 Flood Zone Special Permit
- Section 6.11 Accessory Apartment Special Permit\*\*
- \*\* Applicant must submit addresses of property owners within 100 feet of the premises in accordance with Section 6.11.4 of the Building Zone Regulations
- Other

Application and fee to be submitted with 14 sets of plans - see other side for fees.

Consult appropriate section(s) of the Glastonbury Building Zone Regulations to determine standards and criteria for application evaluation.

**Applicant**

**Property Owner**

Name Daniel A. Pennington, P.E. Name Town of Glastonbury  
Address 2155 Main St Address same  
Glastonbury CT  
Telephone 860-652-7736 Telephone \_\_\_\_\_  
Fax 860-652-7734 Fax \_\_\_\_\_

Location of proposed use 300 Welles Street, behind the  
(include street address existing Riverfront Community Center  
if applicable)

Zoning District of proposal Reserved Land / Flood Zone

Nature of request, including type of use, reasons for application, etc.

Installation of 30' x 40' pavilion on a concrete pad with associated  
drainage improvements and paved sidewalks to pickleball court and parking  
area. Improve existing grass parking lot to gravel surface and install  
one paved ADA accessible parking space.

Signature  Signature \_\_\_\_\_  
Applicant or Authorized Representative Owner or Authorized Representative

Date 1/16/2024 Date \_\_\_\_\_

**Fees:**

**Special Permits:**

Sec. 12 SPDR, Sec. 6.2, Sec. 6.8,  
Sec. 4.11, Sec. 6.11, Other

\$200.00  
plus \$60.00 State of Connecticut Fee = \$260.00

Sec. 12 SPDR - an additional fee of \$25 for each  
2,000 sq. ft. over 10,000 sq. ft. is required

Sec. 6.2 Excavation Special Permit - an additional fee of  
\$40 for each 5 acres or portion thereof in excess of 10 acres

Sec. 12.9 Minor Change

\$50.00  
plus \$60.00 State of Connecticut Fee = \$110.00

---

**For Office Use**

Date Received: \_\_\_\_\_

Fee Paid: \_\_\_\_\_ Cash / Check

Public Hearing Scheduled \_\_\_\_\_

Public Hearing Advertised (1) \_\_\_\_\_

(2) \_\_\_\_\_

Action \_\_\_\_\_

Notice of Action \_\_\_\_\_

TOWN OF GLASTONBURY - OFFICE OF COMMUNITY DEVELOPMENT  
STATE OF CONNECTICUT SIXTY DOLLAR (\$60.00) ADDITIONAL FEE REQUIRED

In accordance with Public Act 92-235 the State of Connecticut requires that any person, firm or corporation making application for approval of land use applications pay a sixty dollar (\$60.00) fee, in addition to any other fee which is required for application.

The following applications require submission of fee:

- Special Permits
- Subdivision and Resubdivision
- Change of Zone
- Planned Area Development Final Development Plan
- Inland Wetlands and Watercourses Permit
- Special Exceptions and Variances

Such fee shall be collected by the Town. Of the sixty dollars (\$60.00) collected; two dollars (\$2.00) shall be retained by the Town to cover administrative costs; and fifty-eight dollars (\$58.00) shall be deposited in the "Environmental Quality Fund established pursuant to Section 22a-27g" of the Connecticut General Statutes.

Please provide the following information and submit this form and the sixty dollar (\$60.00) fee to the Office of Community Development and/or Building Department upon submission of each application.

Name of Applicant \_\_\_\_\_

Address \_\_\_\_\_

Name of Project \_\_\_\_\_

Address \_\_\_\_\_

Type of Application:

Special Permit Section Number \_\_\_\_\_

Subdivision and Resubdivision \_\_\_\_\_

Change of Zone \_\_\_\_\_

Planned Area Development \_\_\_\_\_

Final Development Plan and/or Zone Change \_\_\_\_\_

Inland Wetlands and Watercourses Permit \_\_\_\_\_

Special Exceptions and Variances \_\_\_\_\_

Date Fee Received \_\_\_\_\_

By \_\_\_\_\_

Project Number \_\_\_\_\_



January 16, 2024

**MEMORANDUM**

To: Town Plan and Zoning Commission  
Shelley Caltagirone, Director of Community Development

From: Daniel A. Pennington, Town Engineer / Director of Physical Services  
Lisa Zerio, Direction of Parks and Recreation

Re: Proposed Pavilion at the Riverfront Community Center  
Section 12.9 Minor Change and 4.11 Flood Zone Permit  
300 Welles Street, PW-2109

Attached please find application materials related to the Town's proposal to install a new 30'x40' pavilion behind the Riverfront Community Center (RCC) just south of the recently constructed pickleball courts. This project is funded as part of a Small-Town Economic Assistance Program (STEAP) grant and includes other associated improvements as described below and in the attached materials.

The proposed pavilion will be similar to that shown in the attached drawings and photos. This is a prefabricated structure which will be complimentary to and consistent with the aesthetics of the RCC facility. It will be installed on a concrete pad and will include new paved walkways in the vicinity of the pavilion and extending to the pickleball court.

This project also includes improvements to the existing grass overflow parking area located east of the new pavilion in order to address the muddy and rutted conditions of this lot resulting from the high level of use. The grass and underlying topsoil will be removed and replaced with a gravel surface. A small portion of the lot closest to the pavilion will be paved to create an ADA parking space for the Pavilion. It is noted that the Pavilion will not be made available to outside groups by reservation and is primarily intended to allow existing Senior Services/ Parks & Recreation programs and activities to be held outdoors. Accordingly, the proposal will not create additional parking demand.

Project plans also depict installation of the previously approved illumination for the pickleball court which is also funded under the same STEAP grant. Restoration of area surrounding the pickleball court disturbed by the lighting and conduit installation work will be with a paved surface in order to reduce future maintenance of this area.

Some expansion of the existing stormwater management features installed as part of the pickleball courts is proposed to address storm water quality from the additional impervious areas proposed under this project. This includes some work within the 100-yr flood plain of the CT River for the work on the water quality basin and infiltration trenches. Such improvements will address water quality and increase flood storage so there will be no negative effect on the flood plain resulting from this project.



## STAFF REPORT

Staff Contact: Gary Haynes, Planner

## OFFICE OF COMMUNITY DEVELOPMENT

Tel: (860) 652-7510

Email: [planning@glastonbury-ct.gov](mailto:planning@glastonbury-ct.gov)

<b>Meeting Date:</b> January 30, 2024	<b>Submittal Date:</b> January 16, 2024
<b>Agenda Item:</b> Regular Meeting #2	<b>Date of Receipt:</b> January 16, 2024
	<b>Application Type:</b> Section 12.9 Minor Change

**Proposal Address:**  
300 Welles

**Applicant:** Town of Glastonbury

**Owner:** Town of Glastonbury

**Proposal:**  
Outdoor Pavilion

**Zone:** Reserved Land (RL) and Flood Zone

**Existing Land Use:**  
Government Services:  
Community Center

**Prior Reviews/ Permits:**

- Architectural and Site Design Review Committee: 1/16/24 - Reviewed

**Attached for Review:**

- Draft Motion
- Department Memos
- Applicant Packet / Plan Set

### Executive Summary

- The Town is proposing to construct 30 ft x 40 ft outdoor pavilion adjacent to the Pickleball Courts at the Riverfront Community Center.
- The land is zoned Reserved Land (RL).





### **Site Description**

The site is located on the west side of the Riverfront Community Center adjacent to the Pickleball Courts. Parking will be served by the adjacent parking areas.

### **Proposal**

The proposal is to install a 30 ft x 40 ft pre-fab outdoor pavilion. The structure will serve as an outdoor community amenity for recreational programs and use for visitors using the Riverfront Community Center and the Pickleball Courts. The pavilion will be served by water and electricity.

### **Commission and Board Reviews**

- The Architectural and Site Design Review Committee reviewed the proposal at their January 16, 2024 meeting to review the project architecture and landscape design and provided a favorable recommendation as documented in the Memo dated January 16, 2024 from Gary Haynes, Planner .

### **Planning and Zoning Comments**

- Use of the structure for Government Services as an Outdoor Pavilion for the Riverfront Community Center is an allowed accessory use of the zone.
- Proposed structure meets all bulk requirements for the zone.
- The structure is serviced by water and electricity.
- Proposal will be served by existing parking spaces on site at the Riverfront Community Center.

TOWN PLAN AND  
ZONING COMMISSION

SECTION 12.9 MINOR CHANGE

APPLICANT/

OWNER: TOWN OF GLASTONBURY  
2155 MAIN STREET  
GLASTONBURY, CT 06033

FOR: 300 WELLES STREET

MOVED, that the Town Plan & Zoning Commission APPROVE the application of the Town of Glastonbury for a Section 12.9 Minor Change to install a pavilion with drainage improvements, paved sidewalks to pickleball courts and parking area and parking lot improvements, in accordance with plans dated 11/3/23 with the Office of Community Development, and in accordance with the following conditions of approval necessary to protect substantial public interests in health and safety:

1. Compliance with:
  - a. The recommendations of the Architectural and Sites Design Review Committee (ASDRC) from their meeting on January 16, 2024, documented in the ASDRC Committee Report memorandum dated January 16, 2024.
2. If unforeseen conditions are encountered during construction that would cause deviation from the approved plans, the applicant shall consult with the Office of Community Development to determine what further approvals, if any, are required.

APPROVED: TOWN PLAN & ZONING COMMISSION  
JANUARY 30, 2024

---

ROBERT J. ZANLUNGO JR., CHAIRMAN



# Architectural & Site Design Review Committee Report

**MEETING DATE:** 1/16/24

**APPLICANT:** Town of Glastonbury

**PROPERTY ADDRESS:** 300 Welles St

**ZONE:** Reserved Land (RL)

**APPLICATION TYPE:**  Regulatory  Advisory  Courtesy

**REVIEW TYPE:**  Preliminary/Conceptual Review  Final Review

**DESIGN AREA:**  Town Center Village District  Town Center  Upper Main Street

Putnam/Glastonbury Blvd  Naubuc Ave/ Pratt St  Lower New London Tpke

Reserved Land  Other Area

**ADSRC MEMBERS PRESENT:**

M. Branse  B. Davis  D. DeVries-Dalton  D. Flinchum  J. Kamm

A. Luzi  R. Shipman

**APPLICATION:**  New Construction  Addition  Exterior Renovation  Demolition

Other: \_\_\_\_\_

**ACTION:**  ASDRC forwards a favorable recommendation with regard to architectural and landscape design as noted

ASDRC forwards a non-favorable recommendation with regard to architectural and landscape design as noted

Additional design studies/information requested

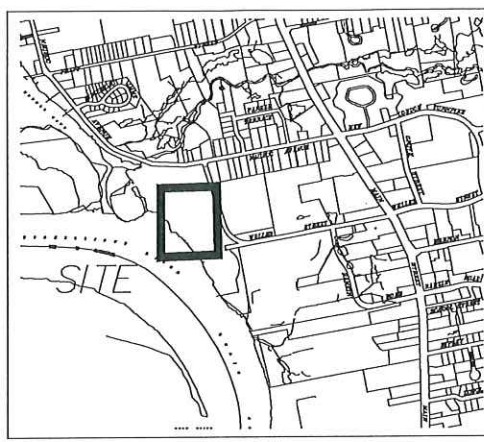
Other: \_\_\_\_\_

**COMMENTS and RECOMMENDATIONS:**

- Revise drawings to show proposed shingle roof (not metal).
- Consider stained or stamped concrete floor for pavilion.
- Consider adding a more direct "organic-shaped" path connection to the adjacent pickleball courts with additional landscaping lining the pathway.



# TOWN OF GLASTONBURY COMMUNITY CENTER PAVILION AND PICKLEBALL COURT ILLUMINATION PW - 2215 LOCATED ON 300 WELLES STREET



\_\_\_\_\_  
JONATHAN LUIZ  
TOWN MANAGER

\_\_\_\_\_  
DANIEL A. PENNINGTON  
MANAGER OF PHYSICAL SERVICES/TOWN ENGINEER

### TABLE OF CONTENTS

**COVER SHEET**  
**CONSTRUCTION PLANS**  
**DETAILS**  
**PAVILION DESIGN PLAN**

**SHEET 1**  
**SHEET 2-3**  
**SHEET 4**  
**SHEET 5**

### ISSUED FOR PERMITTING

Certified to be substantially correct

DANIEL A. PENNINGTON P.E. Reg. No. 20101

SHEET NO. 1-4  
DESIGNED BY: GLASTONBURY ENGINEERING DIVISION  
PER: DANIEL A. PENNINGTON, P.E.  
CONN. P.E. REGISTRATION: 20101

DRAWING ISSUE STATUS		SCALE: AS SHOWN	DATE:
		DRAWN BY: S.Troy	11-3-2023
		CHECKED BY: S.M.B.	11-3-2023
		APPROVED BY: D.A.P.	11-3-2023
		ST. FILE:	
1.	ISSUED FOR PERMITTING	11-3-2023	
NO.	DESCRIPTION	DATE	
P.W. 2215			



PLANS DEPICTING  
COMMUNITY CENTER PAVILLION  
LOCATED AT  
RIVERFRONT COMMUNITY CENTER  
300 WELLES STREET  
GLASTONBURY, CONNECTICUT

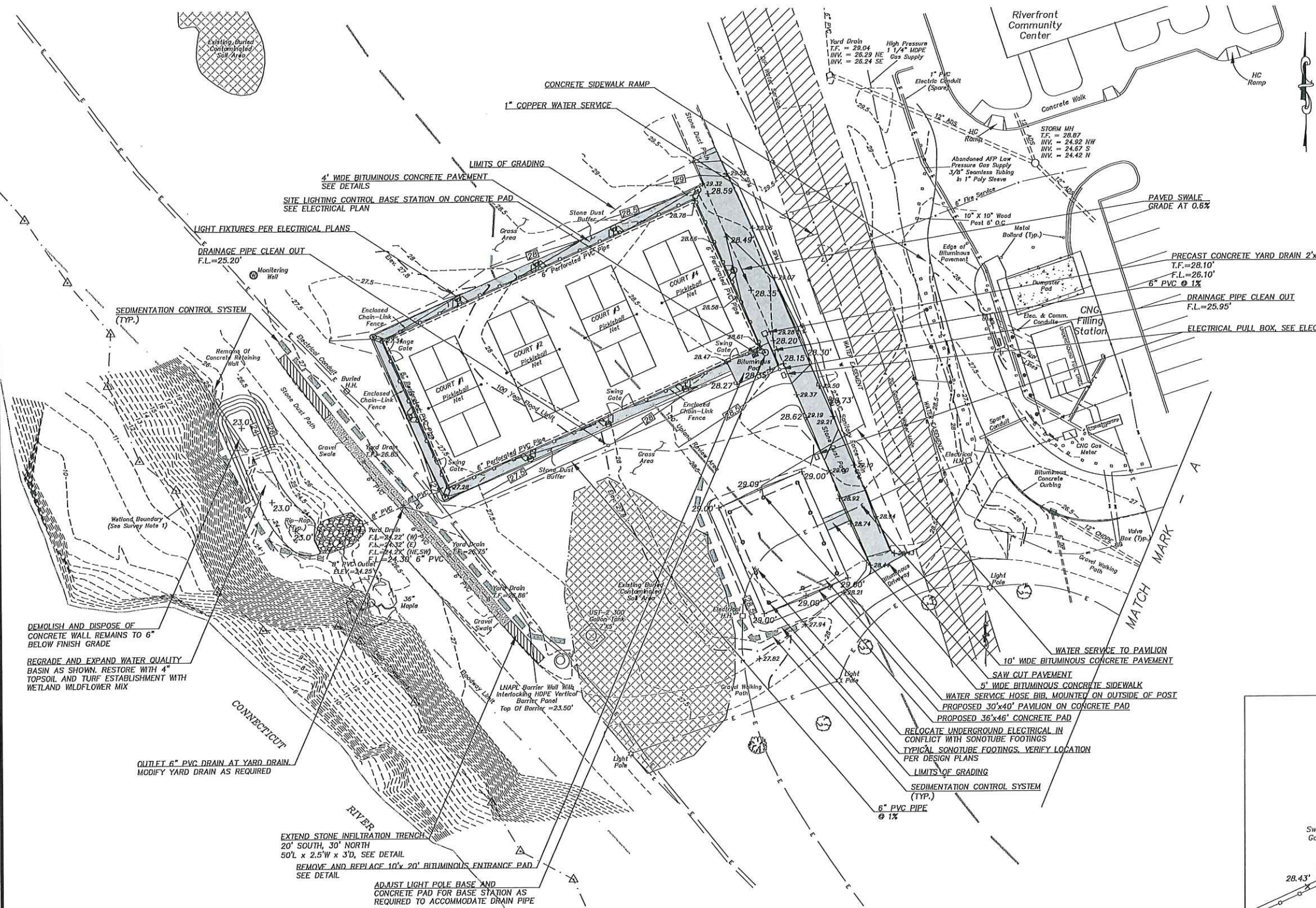
SHEET NO.

1

OF 4



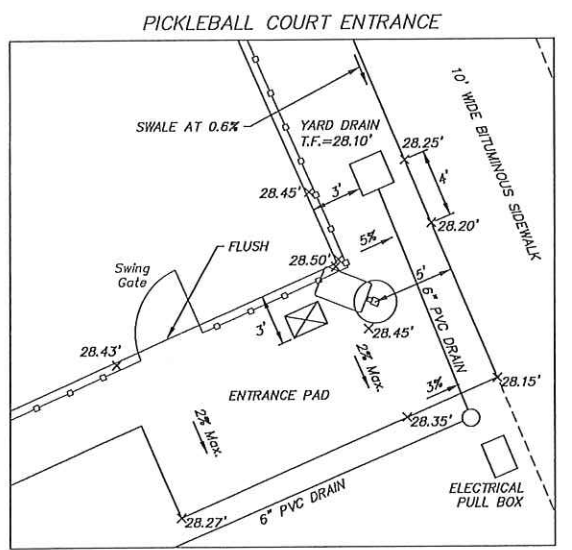
FILE: I:\DWG\2023\11\23\11-23-23\11-23-23\Community Center Pavillion - Designing - 12582.dwg User: DAVE: 11/23/23



- GENERAL SEDIMENTATION AND EROSION CONTROL REQUIREMENTS:**
- THESE GUIDELINES SHALL APPLY TO ALL WORK CONSISTING OF ANY AND ALL TEMPORARY AND/OR PERMANENT MEASURES TO CONTROL WATER POLLUTION AND SOIL EROSION AS MAY BE REQUIRED, DURING THE CONSTRUCTION OF THE PROJECT.
- IN GENERAL, ALL ACTIVITIES SHALL PROCEED IN SUCH A MANNER SO AS NOT TO POLLUTE ANY WETLANDS, WATERCOURSE, WATERBODY, AND CONDUIT CARRYING WATER, ETC. THE DEPARTMENT OF PHYSICAL SERVICES SHALL LIMIT, INsofar AS POSSIBLE, THE SURFACE AREA OF EARTH MATERIALS EXPOSED BY CONSTRUCTION METHODS, AND IMMEDIATELY PROVIDE PERMANENT AND TEMPORARY POLLUTION CONTROL MEASURES TO PREVENT CONTAMINATION OF ADJACENT WETLANDS, WATERCOURSES AND WATERBODIES, AND TO PREVENT, INsofar AS POSSIBLE, EROSION ON THE SITE.
- CONSTRUCTION METHODS, IN GENERAL, SHALL BE IN ACCORDANCE WITH THE PROVISIONS SET FORTH IN THE "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" (2002) BY THE STATE OF CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION.
1. ALL CONTROL MEASURES SHALL BE INSTALLED AS NOTED ABOVE AND AS SHOWN ON THE PLANS.
  2. ALL CONTROL MEASURES SHALL BE INSPECTED AND APPROVED BY THE ENGINEER PRIOR TO COMMENCEMENT OF ANY WORK, INCLUDING PRE-CONSTRUCTION CLEARING AND GRUBBING.
  3. ALL CONTROL MEASURES SHALL BE MAINTAINED AND UPGRADED AS REQUIRED TO ACHIEVE PROPER SEDIMENT CONTROL THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL DISTURBED AREAS HAVE BEEN THOROUGHLY STABILIZED.
  4. NO CONTROL MEASURES SHALL BE REMOVED WITHOUT APPROVAL FROM THE ENGINEER.
  5. ADDITIONAL CONTROL MEASURES SHALL BE INSTALLED DURING THE CONSTRUCTION PERIOD IF DEEMED NECESSARY BY THE ENGINEER.
  6. THE LIMITS OF CLEARING, GRADING AND DISTURBANCE, AS SHOWN ON THE PLAN(S), SHALL BE KEPT TO A MINIMUM WITHIN THE APPROVED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE THE LIMITS OF CLEARING SHALL REMAIN TOTALLY UNDISTURBED.
  7. ANY CONTROL MEASURES RETAINING SEDIMENT OVER 1/2 THEIR HEIGHT SHALL HAVE THE SEDIMENT IMMEDIATELY REMOVED, AND ALL DAMAGED CONTROL MEASURES SHALL BE REMOVED AND REPLACED.
  8. ALL NEW AND EXISTING CATCH BASINS LOCATED WITHIN THE PROJECT LIMITS SHALL BE PROTECTED WITH A SEDIMENTATION CONTROL SYSTEM IN GRASSED AREAS OR WITH A SEDIMENTATION CONTROL SACK IN PAVED AREAS UNTIL ALL DISTURBED AREAS HAVE BEEN THOROUGHLY STABILIZED.
  9. SEDIMENT REMOVED FROM CONTROL MEASURES AND DRAINAGE FACILITIES SHALL BE DISPOSED OF IN A MANNER THAT IS CONSISTENT WITH STATE AND LOCAL REGULATIONS.
  10. THE PLANTING SEASONS FOR THE SPECIFIED SEED MIXTURE SHALL BE AS DEFINED IN THE 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, UNLESS DIRECTED OTHERWISE BY THE TOWN ENVIRONMENTAL PLANNER. OUTSIDE OF THESE SPECIFIED DATES, AREAS WILL BE STABILIZED WITH HABYALE CHECK DAMS, FILTER FABRIC, OR WOODCHIP MULCH AS REQUIRED TO CONTROL EROSION.

- MAINTENANCE PLAN FOR STORMWATER FACILITIES:**
- GENERAL: THE PROPOSED DRAINAGE SYSTEM TO BE INSTALLED AS PART OF THIS PROJECT WILL REQUIRE ROUTINE MAINTENANCE IN ORDER TO MAINTAIN PROPER FUNCTION OF WATER QUALITY IMPROVEMENT FEATURES. THESE FEATURES INCLUDE THE WATER QUALITY BASIN AND INFILTRATION TRENCH. THE TOWN OF GLASTONBURY HIGHWAY DEPARTMENT WILL BE RESPONSIBLE FOR MAINTENANCE OF ALL COMPONENTS OF THE PROPOSED STORM DRAINAGE SYSTEM.
- WATER QUALITY BASIN: WATER QUALITY BASIN WILL BE MOWED AS NECESSARY TO PREVENT WOODY VEGETATIVE GROWTH WHICH WOULD INHIBIT FUNCTION. BASIN WILL BE INSPECTED ANNUALLY FOR SIGNS OF SEDIMENT DEPOSITS OR EROSION AND CLEANED AS NECESSARY.
- INFILTRATION TRENCH: SURFICIAL STONE OF INFILTRATION TRENCH SHALL BE KEPT FREE OF DEBRIS AND ORGANIC MATERIAL THAT WOULD INHIBIT THE FLOW OF SURFACE WATER INTO THE TRENCH. GRASS CLIPPING AND LEAF DEBRIS SHALL BE COLLECTED OR BLOWN OFF FROM THE SURFACE OF THE TRENCH DURING ROUTINE MOWING AND LEAF REMOVAL OPERATIONS TO MAINTAIN INFILTRATION POTENTIAL.

- DEMOLISH AND DISPOSE OF CONCRETE WALL REMAINS TO 6" BELOW FINISH GRADE
- REGRADE AND EXPAND WATER QUALITY BASIN AS SHOWN. RESTORE WITH 4" TOPSOIL AND TURF ESTABLISHMENT WITH WETLAND WILDFLOWER MIX
- OUTLET 6" PVC DRAIN AT YARD DRAIN. MODIFY YARD DRAIN AS REQUIRED
- EXTEND STONE INFILTRATION TRENCH 20' SOUTH, 30' NORTH 50'L x 2.5'W x 3'D, SEE DETAIL
- REMOVE AND REPLACE 10'x 20' BITUMINOUS ENTRANCE PAD SEE DETAIL
- ADJUST LIGHT POLE BASE AND CONCRETE PAD FOR BASE STATION AS REQUIRED TO ACCOMMODATE DRAIN PIPE

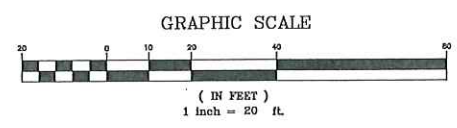


- SURVEY NOTES:**
1. LOCATION OF FEATURES AND CONTOUR DATA DEPICTED HEREON WITHIN THE GROUNDS OF THE RIVERFRONT COMMUNITY CENTER (ABOVE ELEVATION 24) WERE ACQUIRED BY FIELD SURVEY IN APRIL OF 2021, SUPPLEMENTED BY RECORD TOPOGRAPHIC INFORMATION ALONG THE CT RIVER BANK COMPILED FROM THE PLAN ENTITLED "ASBUILT TOPOGRAPHIC SURVEY PROPERTY OF THE TOWN OF GLASTONBURY LOCATED AT 292 AND 309 WELLES STREET" PREPARED AS PART OF THE RIVERFRONT PARK PHASE 2 PROJECT. WETLANDS DELINEATION DEPICTED HEREON WAS ALSO OBTAINED FROM THE AFORE-MENTIONED PLAN.
  2. REFERENCE FOR FLOOD WAY AND FLOOD ZONES IS MADE TO THE FLOOD INSURANCE RATE MAP ENTITLED: "NATIONAL FLOOD INSURANCE PROGRAM PANEL 0528F FIRM FLOOD INSURANCE RATE MAP HARTFORD COUNTY, CONNECTICUT (ALL JURISDICTIONS) PANEL 528 OF 675 MAP NUMBER 0900305528F U.S. DEPARTMENT OF HOMELAND SECURITY EFFECTIVE DATE: SEPTEMBER 26, 2008 FEDERAL EMERGENCY MANAGEMENT AGENCY.
  3. HORIZONTAL CONTROL IS BASED ON THE CONNECTICUT GEODEIC SURVEY STATE PLANE COORDINATES, NORTH AMERICAN DATUM OF 1983 - (NAD83).
  4. ELEVATIONS AND VERTICAL CONTROL IS BASED ON THE NORTH AMERICAN VERTICAL DATUM 1988 - (NAV88).
  5. THERE IS NO BOUNDARY/DETERMINATION OPINION.
  6. NO EASEMENTS PERTAINING TO THE SUBJECT PARCEL ARE DEPICTED HEREON.
  7. NOT ALL IMPROVEMENTS ARE DEPICTED HEREON.

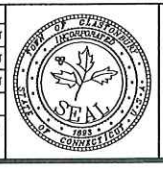
SHEETS 1-2 DESIGNED BY:  
GLASTONBURY ENGINEERING DIVISION  
PER: DANIEL A. PENNINGTON P.E.  
LICENCE NO. 20101

Certified to be substantially correct

DANIEL A. PENNINGTON P.E. Reg. No. 20101



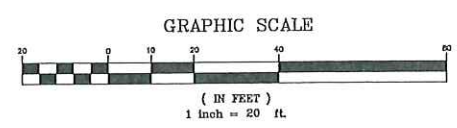
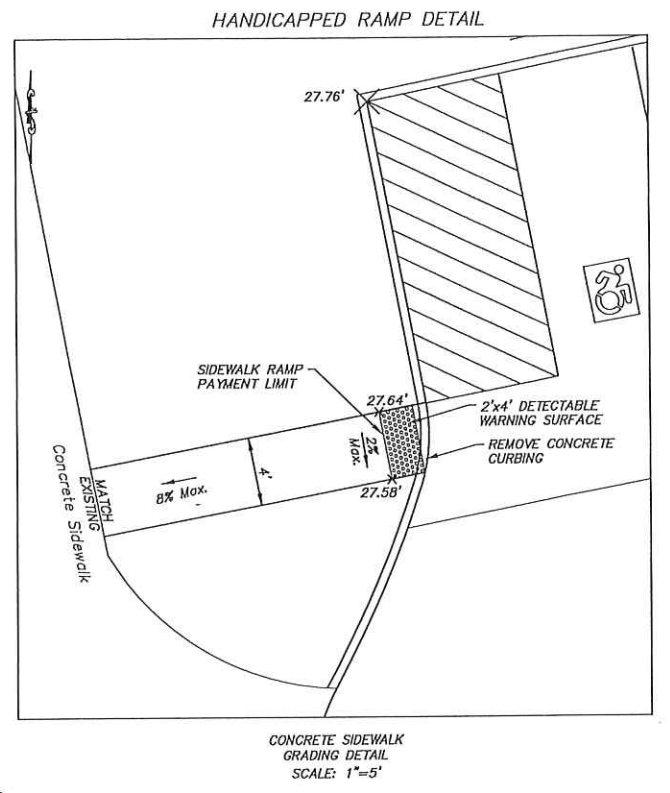
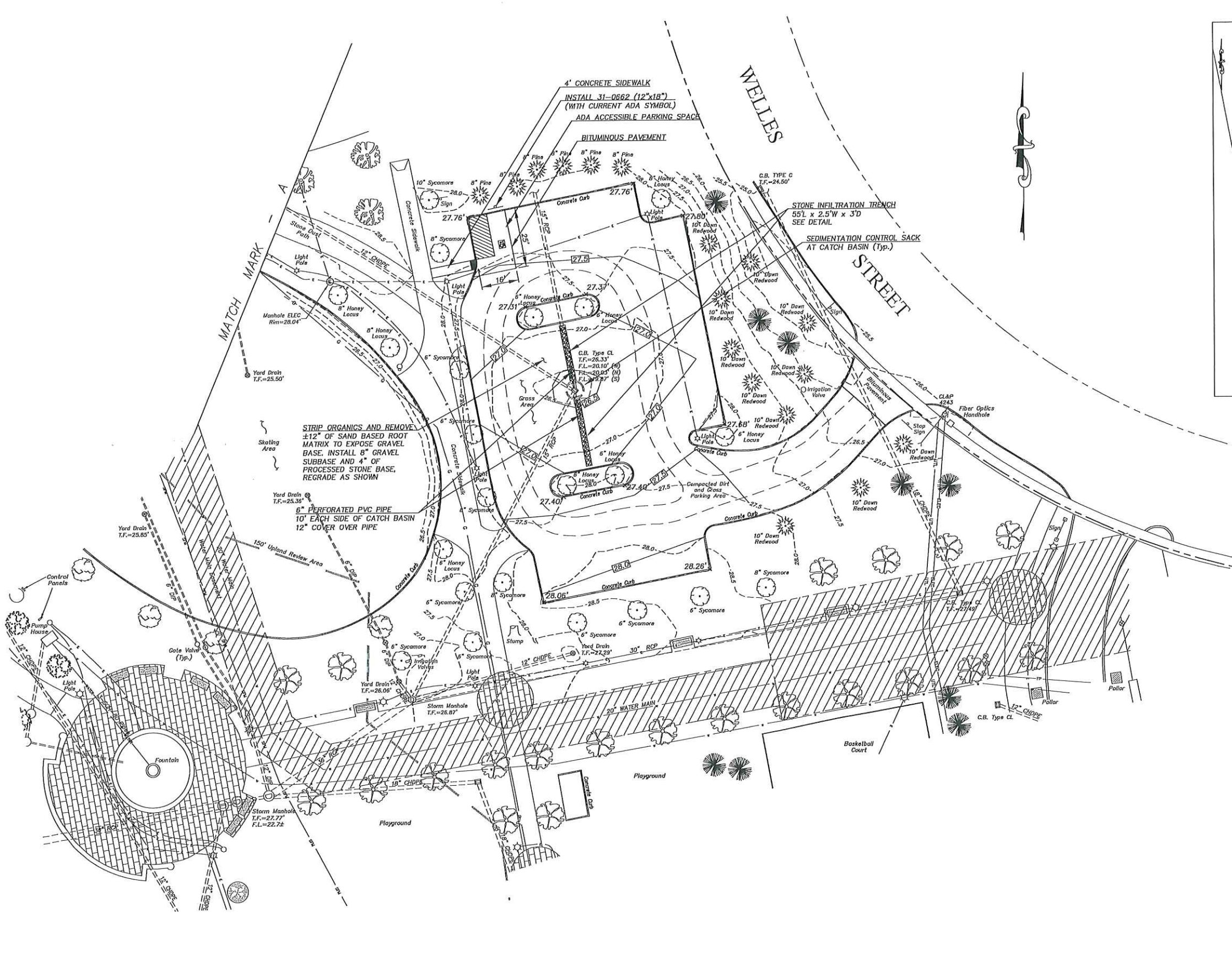
DRAWING ISSUE STATUS		SCALE: AS SHOWN	DATE:
		DRAWN BY: S.Troy	11-3-2023
		CHECKED BY: S.M.B.	11-3-2023
		APPROVED BY: D.A.P.	11-3-2023
1. ISSUED FOR PERMITTING		11-3-2023	
NO.	DESCRIPTION	DATE	



PLANS DEPICTING  
COMMUNITY CENTER PAVILLION  
LOCATED AT  
RIVERFRONT COMMUNITY CENTER  
300 WELLES STREET  
GLASTONBURY, CONNECTICUT

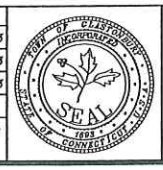


FILE: H:\2023\Projects\2315 RCTC PA\WELLES\2315 Community Center Ground Parking - Designing USBC Screen Top DATE: 11/08/23



DRAWING ISSUE STATUS		SCALE: AS SHOWN	DATE:
1.	ISSUED FOR PERMITTING	11-3-2023	11-3-2023
NO.	DESCRIPTION	DATE	

DRAWN BY: S. Troy  
 CHECKED BY: S.M.B.  
 APPROVED BY: D.A.P.  
 ST. FILE:  
 ALL REVISIONS TO THIS DOCUMENT ARE PROHIBITED.  
 ANY REVISIONS MUST BE PERFORMED ON CAD FILE SHOWN IN THE LEFT MARGIN. IF THERE ARE ANY QUESTIONS OR CONCERNS, CONTACT THE TEAM OF PLANNING/ENGINEERING DIVISION AT (860) 644-3733.



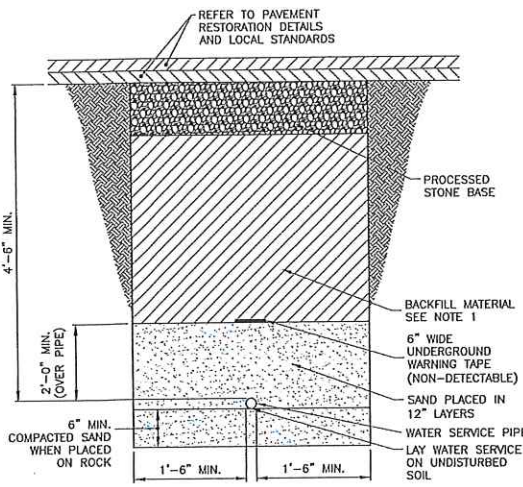
PLANS DEPICTING  
 PARKING LOT IMPROVEMNTS  
 LOCATED AT  
 RIVERFRONT COMMUNITY CENTER  
 300 WELLES STREET  
 GLASTONBURY, CONNECTICUT

SHEET NO.  
**3**  
 OF 4

P.W. 2215

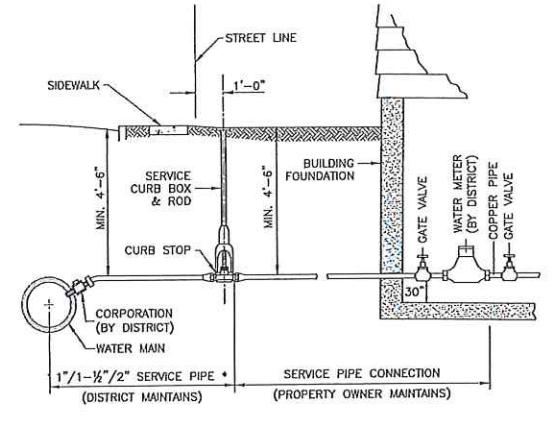


FILE: H:\DWG\CONSTRUCTION\SPW\11-23\11 Community Center Pavillion - Designing LSEB: Steven Troy DATE: 11/2023



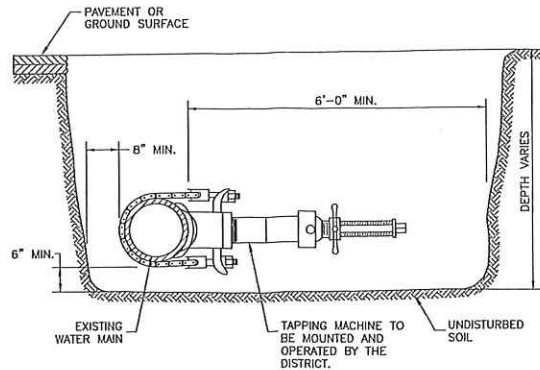
NOTE:  
1. BACKFILL MATERIAL SHALL BE BANK-RUN GRAVEL IN PAVED AREAS (INCLUDING SIDEWALKS AND DRIVEWAYS) OR COMMON FILL IN NON-PAVED AREAS.

WATER SERVICE TRENCH  
DETAIL (W) 4  
NTS



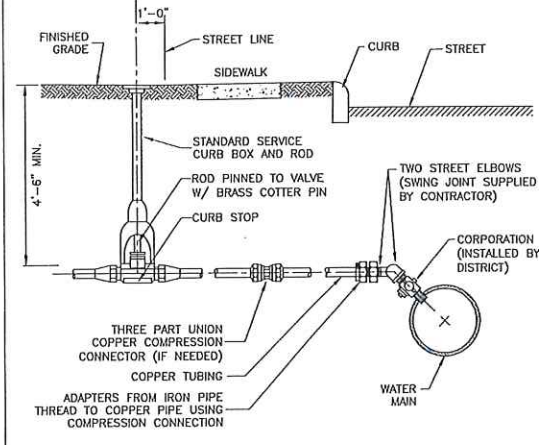
\* 1-3/4" PIPE IS NOT PERMITTED

TYPE K COPPER WATER SERVICE  
DETAIL (W) 5  
NTS



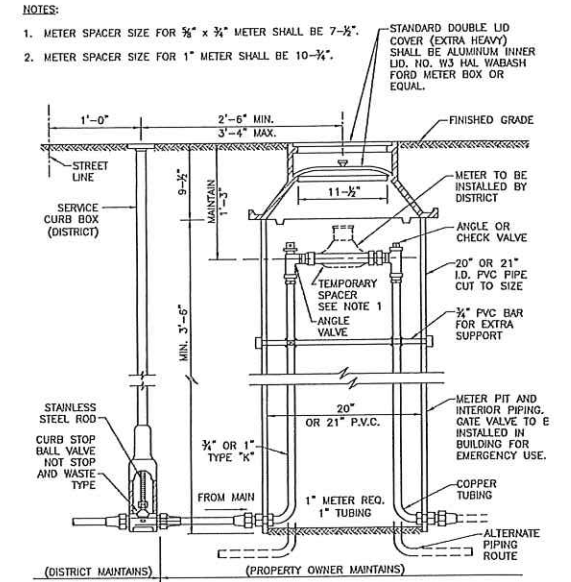
NOTE:  
1. CONTRACTOR SHALL COORDINATE WITH THE DISTRICT AND THE PROPERTY OWNER PRIOR TO TRENCH EXCAVATION. THE TRENCH SHALL BE PROPERLY DEWATERED, SUPPORTED AND SHALL COMPLY WITH OSHA REQUIREMENTS FOR TRENCH EXCAVATION.

TRENCH REQUIREMENTS FOR 1-INCH TO 2-INCH SERVICE TAPS  
DETAIL (W) 7  
NTS



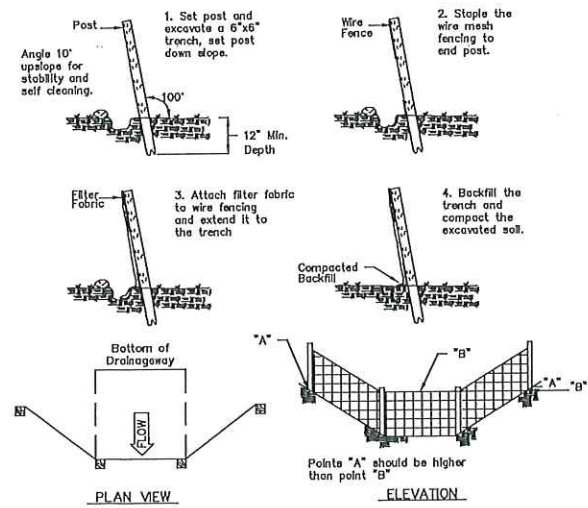
NOTE:  
1. IF THE WATER SERVICE PIPE IS IRON OR BRASS ON THE PRIVATE PROPERTY SIDE, PROVIDE SHORT LENGTH OF COPPER PIPE AND PACK JOINT ADAPTER COUPLING OR EQUIVALENT.

1-INCH SERVICE TAP OFF HORIZONTAL CENTER LINE  
DETAIL (W) 9  
NTS



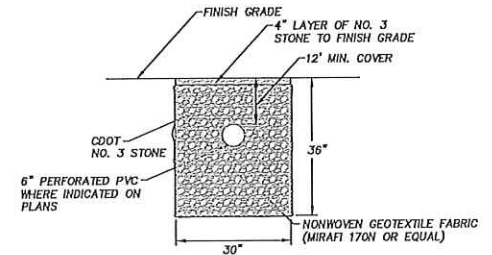
NOTES:  
1. METER SPACER SIZE FOR 3/8" x 3/4" METER SHALL BE 7-3/8".  
2. METER SPACER SIZE FOR 1" METER SHALL BE 10-3/4".

METER BOX FOR 1" SERVICE AND 3/8" x 3/4" TO 1" METER  
DETAIL (W) 36  
NTS



Source: U.S. Department of Agriculture, Soil Conservation Service, Storrs, Connecticut

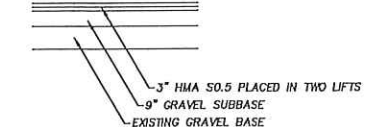
SEDIMENTATION CONTROL FILTER FABRIC FENCE SYSTEM



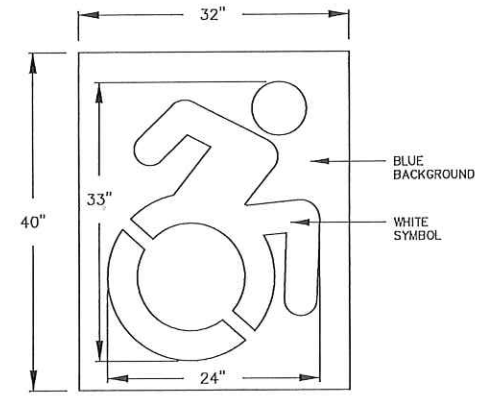
STONE INFILTRATION TRENCH (NOT TO SCALE)



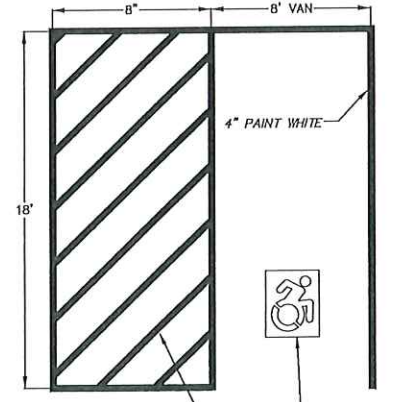
GRAVEL PARKING LOT TYPICAL SECTION (NOT TO SCALE)



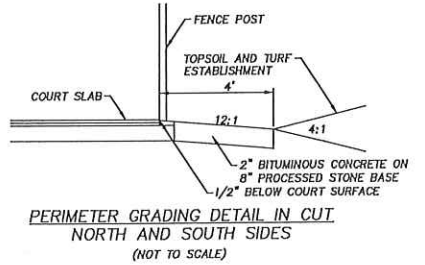
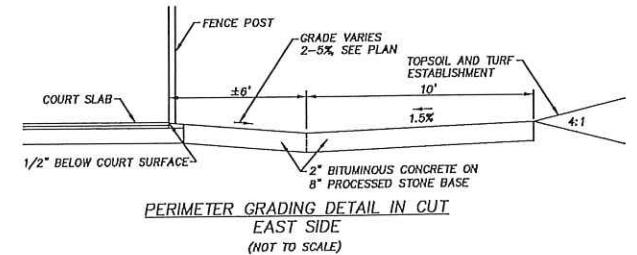
BITUMINOUS PAVEMENT PARKING AREA TYPICAL SECTION (NOT TO SCALE)



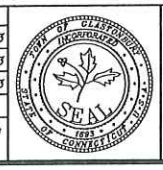
NOTE: HANDICAP SYMBOL TO ADHERE TO STATE BUILDING CODE, LATEST EDITION  
CONNECTICUT SYMBOL OF ACCESSIBILITY



ACCESSIBLE STALL  
NOTE: UNIFORM FEDERAL ACCESSIBILITY STANDARDS, SECTION 4.30, & 2010 ADA.  
TYPICAL HANDICAP PARKING STALL LAYOUT

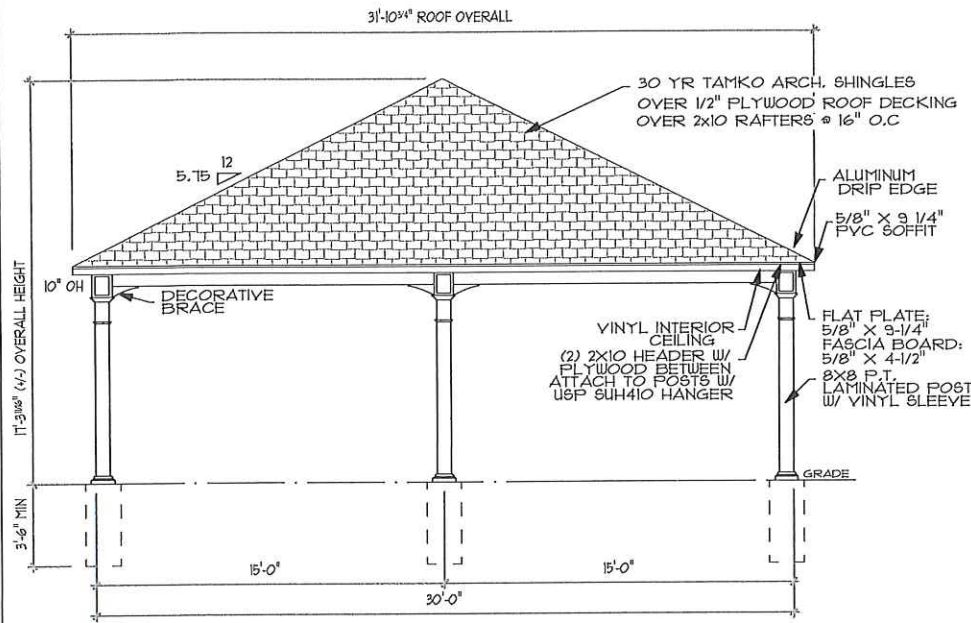


DRAWING ISSUE STATUS	SCALE: AS SHOWN	DATE:
	DRAWN BY: S.Troy	11-3-2023
	CHECKED BY: S.M.B.	11-3-2023
	APPROVED BY: D.A.P.	11-3-2023
	ST. FILE:	
ISSUED FOR PERMITTING	11-3-2023	
NO. DESCRIPTION	DATE	



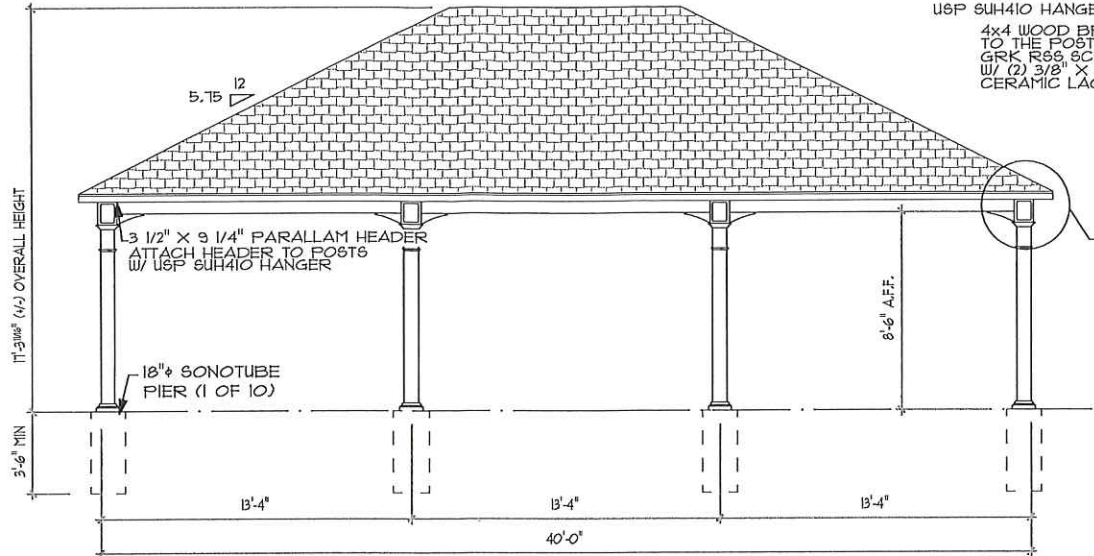
DETAILS DEPICTING COMMUNITY CENTER PAVILLION LOCATED AT RIVERFRONT COMMUNITY CENTER 300 WELLES STREET GLASTONBURY, CONNECTICUT





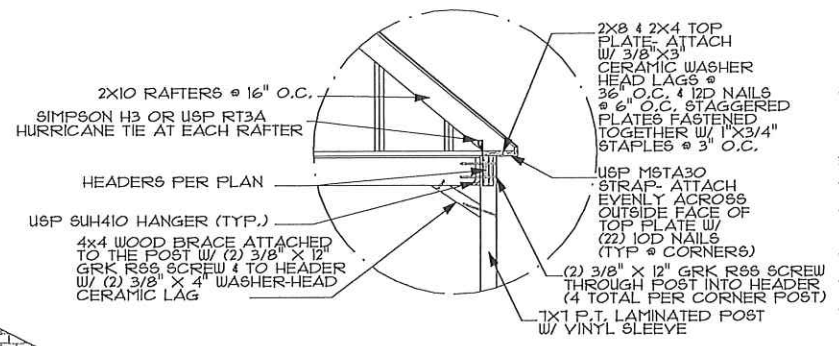
**GABLE ELEVATION**

SCALE: 1/8"=1'-0"

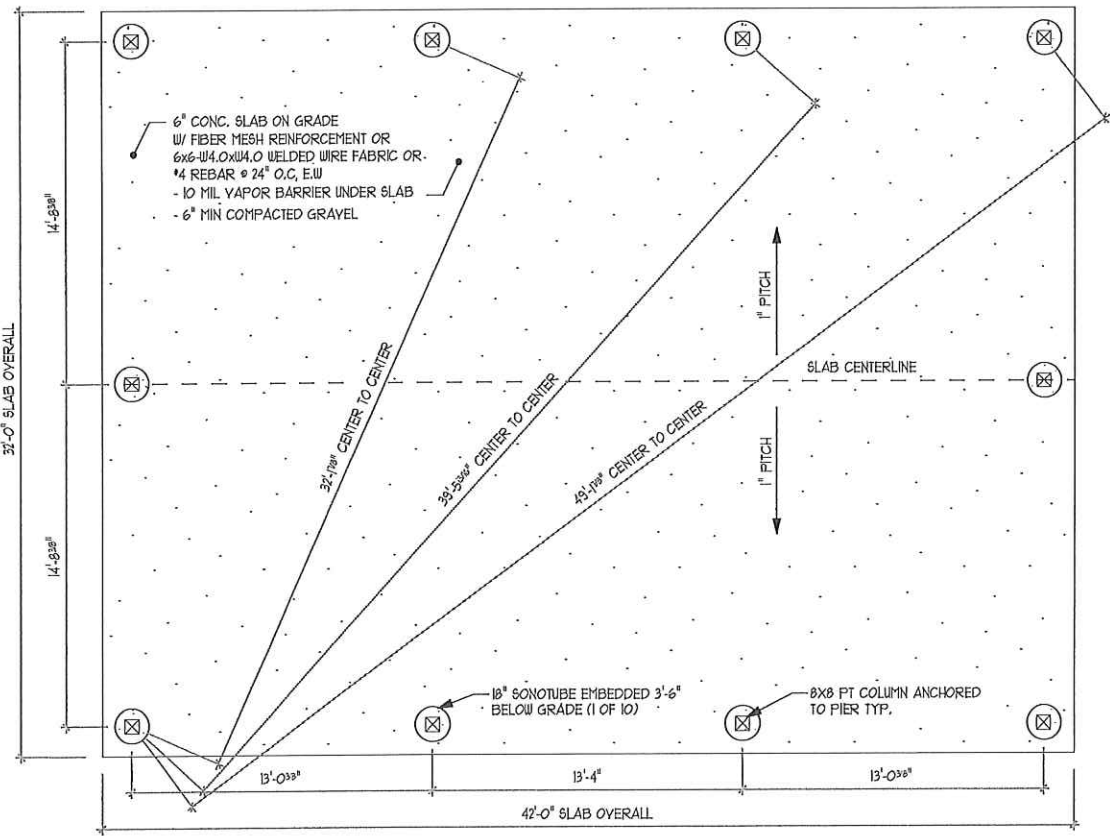


**EAVE ELEVATION**

SCALE: 1/8"=1'-0"

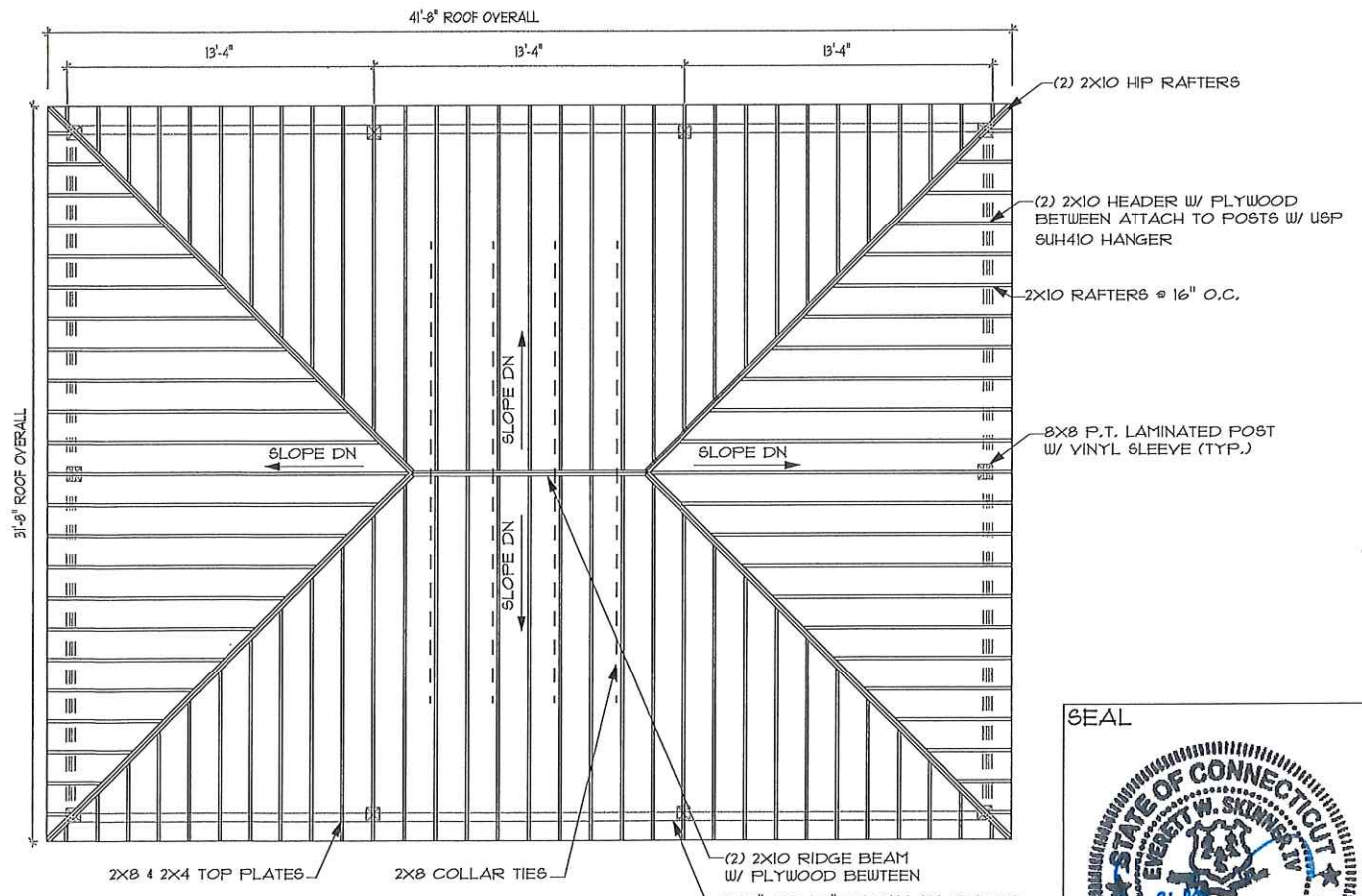


**1 CORNER DETAIL**  
SCALE: 3/16"=1'-0"



**PIER & SLAB PLAN**

SCALE: 1/8"=1'-0"



**ROOF FRAMING PLAN**

SCALE: 1/8"=1'-0"



COPYRIGHT © 2023 THE BARN YARD. ALL RIGHTS RESERVED. THIS DRAWING IS THE PROPERTY OF THE BARN YARD AND IS LOANED WITH THE UNDERSTANDING AND SHALL NOT BE COPIED, REPRODUCED, OR OTHERWISE DISPOSED OF DIRECTLY OR INDIRECTLY WITHOUT CONSENT.

DESIGNED & FABRICATED BY:



VINYL PAVILLION FOR:  
 TOWN OF GLASTONBURY  
 300 WELLS STREET  
 GLASTONBURY, CT 06033

ELEVATIONS

STYLE:  
VINYL PAVILLION

JOB NO.:	9838
DATE:	01-26-24
SCALE:	AS NOTED
DRWN BY:	MB
CHKD BY:	EWS

S-1

THE BARN YARD  
 MANUFACTURING & DESIGN FACILITY  
 9 VILLAGE ST.  
 ELLINGTON, CT 06029  
 860.434.3025  
 100 WEST COLLOCATIONS  
 RTE. 6  
 ELLINGTON, CT 06029  
 860.434.3030  
 860.434.3033  
 CT LICENSE # 589916  
 www.thebarnyard.com MA LICENSE # 17850



