

**DRAWING INDEX**

A0.1	GENERAL NOTES, AND DEMOLITION PLAN
A1.0	FOUNDATION PLAN
A1.1	FIRST FLOOR PLAN
A1.2	SECOND FLOOR PLAN
A2.0	EAST AND WEST EXTERIOR ELEVATIONS
A2.1	SOUTH EXTERIOR ELEVATION AND BUILDING SECTION
A3.0	TYP. WALL SECTION AND WINDOW + DOOR SCHEDULES

**GENERAL NOTES:**

All work shall be in accordance with the current Connecticut Building Code of which the 2015 International Residential Code and 2015 International Energy Code is a part. All electric installations shall in accordance with the 2017 National Electric Code (NFPA 70).

Windows shall be furnished and installed in accordance with R301.2.1.2 of the International Residential Code.

The Contractor shall maintain a current and complete set of Contract Documents at the site during all phases of construction for use by all trades.

The Contractor shall verify all dimensions in field. The Contractor shall notify the Architect immediately if there is a conflict.

The Contractor shall review with the Owner and Architect the scope of demolition prior to commencement of work to determine what elements of the existing installation, if any, should be salvaged for the owner's further use.

The Contractor shall review architectural and structural documents prior to commencement of construction, and provide bracing, shoring or reinforcement as required to maintain integrity of the existing installation.

The Contractor shall review all documents for coordination prior to commencement of construction. For example, coordinate positioning of floor joists with location of recessed lighting.

All dimensions are to the centerline of structure (posts). Centerline of interior partition studs, and to outside of stud at exterior walls unless otherwise specified.

The Contractor may propose to the Architect substitutions or modifications to the contract documents. The Contractor may not make substitutions or modifications without the approval of the Architect. Such approvals by the Architect must be in writing when the Architect deems the impact on cost, quality, schedule or design intent is acceptable.

The Contractor shall review the location of all wall or ceiling mounted penetrations and equipment with the Owner and Architect prior to installation.

The Contractor shall be responsible to patch and repair all surfaces disturbed by New Construction.

The Contractor shall repair and reseed all lawn areas affected by New Construction.

**LEGEND**

	NEW CONSTRUCTION
	EXISTING CONSTRUCTION TO REMAIN
	EXISTING CONSTRUCTION TO BE REMOVED
	EXISTING DOOR TO REMAIN
	NEW DOOR
	EXISTING WINDOW
	NEW WINDOW

DEMOLITION KEY NOTE

**DEMOLITION KEY NOTES:**

- 1 REMOVE PORTION OF EXISTING WOOD-FRAMED WALL AS REQUIRED FOR NEW CONSTRUCTION.
- 2 REMOVE EXISTING GARAGE IN ITS ENTIRETY.
- 3 REMOVE WINDOW AND ALL ASSOCIATED HARDWARE IN ITS ENTIRETY.
- 4 REMOVE DOOR AND ALL ASSOCIATED HARDWARE IN ITS ENTIRETY.
- 5 REMOVE PORTION OF EXISTING FRONT ENTRY ENCLOSURE AND WOOD-FRAMED STOOP. CONTRACTOR TO RETAIN EXISTING FOUNDATION AND FLOOR FRAMING.
- 6 REMOVE PORTION OF EXISTING WOOD-FRAMED DECK AS REQUIRED BY NEW CONSTRUCTION.
- 7 REMOVE PORTION OF EXISTING ASPHALT DRIVE AS REQUIRED BY NEW CONSTRUCTION.
- 8 REMOVE EXISTING CASEWORK, COUNTERTOPS, AND KITCHEN APPLIANCES. RELOCATE APPLIANCES TO NEW LOCATION.
- 9 REMOVE EXISTING SIDING, TYPICAL THROUGHOUT.

**DESIGN STANDARDS:**

**DESIGN GRAVITY LOADS**

	LIVE	DEAD
ROOF	30 PSF	15 PSF
ATTIC	10 PSF	7 PSF
FLOORS	40 PSF	15 PSF

• NOTIFY ARCHITECT OF ANY CHANGES IN DEAD LOADS PRIOR TO START OF CONSTRUCTION

• FLOORS ARE NOT DESIGNED FOR STONE FINISHES OR HYDRONIC HEATING SYSTEMS

**DESIGN WIND LOADS**

Building Category - II  
 Wind Exposure Category - B  
 Wind Speed:  
 V (ultimate) = 125 mph  
 V (asd) = 97 mph

**SNOW LOADS**

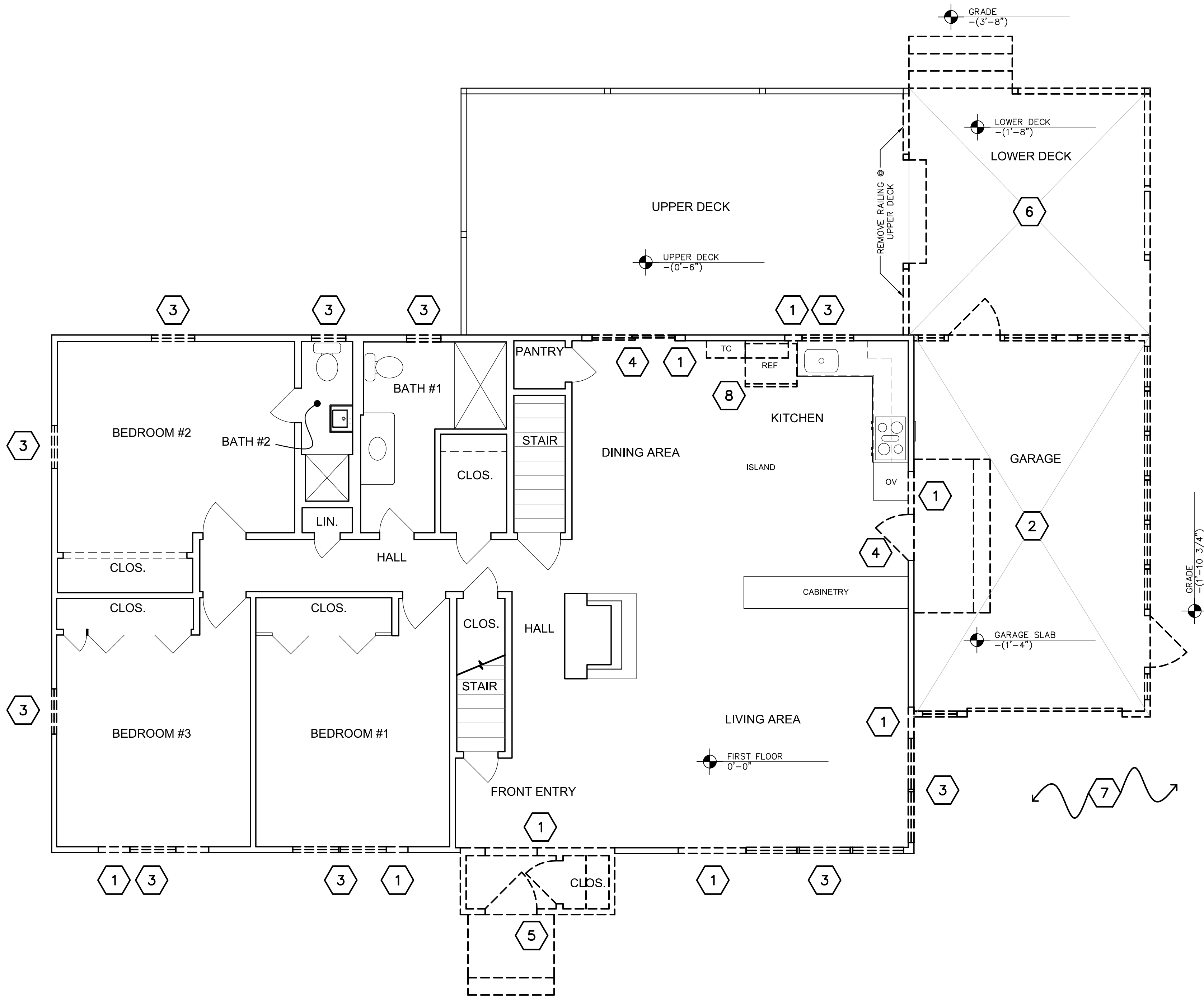
Ground Snow Load = 30 psf

**SEISMIC DESIGN LOADS**

Seismic Design Category - B

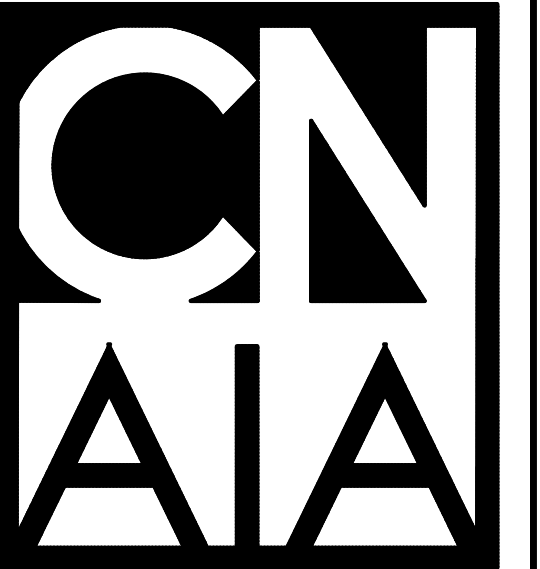
**CODE STANDARDS**

2018 CT STATE BUILDING CODE:  
 2015 International Building Code  
 2015 International Residential Code  
 of the International Code Council, Inc.  
 2015 International Existing Building Code  
 2015 International Plumbing Code  
 2015 International Mechanical Code  
 2015 International Energy Conservation Code  
 2017 NFPA 70, National Electrical Code,  
 of the National Fire Protection Association Inc.  
 2009 ICC/ANSI A17.1 Accessible and Usable Buildings and Facilities



PROJECT NORTH

00 DEMOLITION PLAN  
 1/4" = 1'-0"



Cheryl Newton  
 Architects LLC  
 39 New London Turnpike, Suite 320,  
 Glastonbury, CT 06033  
 (860) 633-2477

Revisions:  
 75% Construction Documents  
 NOT FOR CONSTRUCTION

Kriedel Residence  
 28 Thompson Street  
 South Glastonbury, CT 06073

Drawing Name:  
 Demolition Plan  
 & General Notes

Scale: As Noted

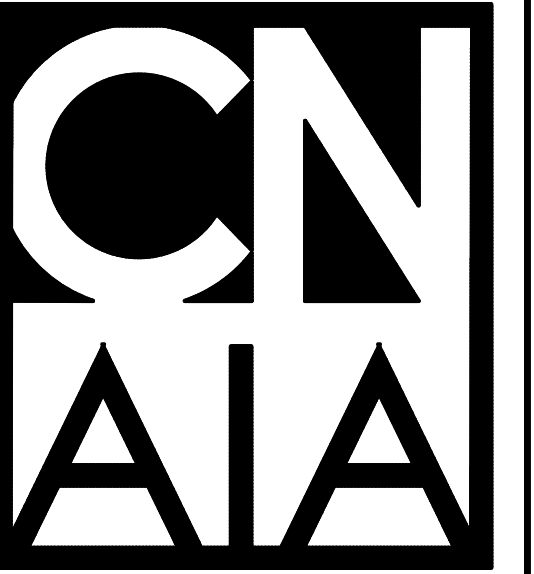
Drawn By: CN / PS

Date: February 17, 2022

Drawing Number:

**A0.1**





Cheryl Newton  
Architects LLC  
39 New London Turnpike, Suite 320,  
Glastonbury, CT 06033  
(860) 633-2477

Revisions:  
75% Construction Documents  
NOT FOR CONSTRUCTION

Kriedel Residence

28 Thompson Street  
South Glastonbury, CT 06073

Drawing Name:  
First Floor Plan

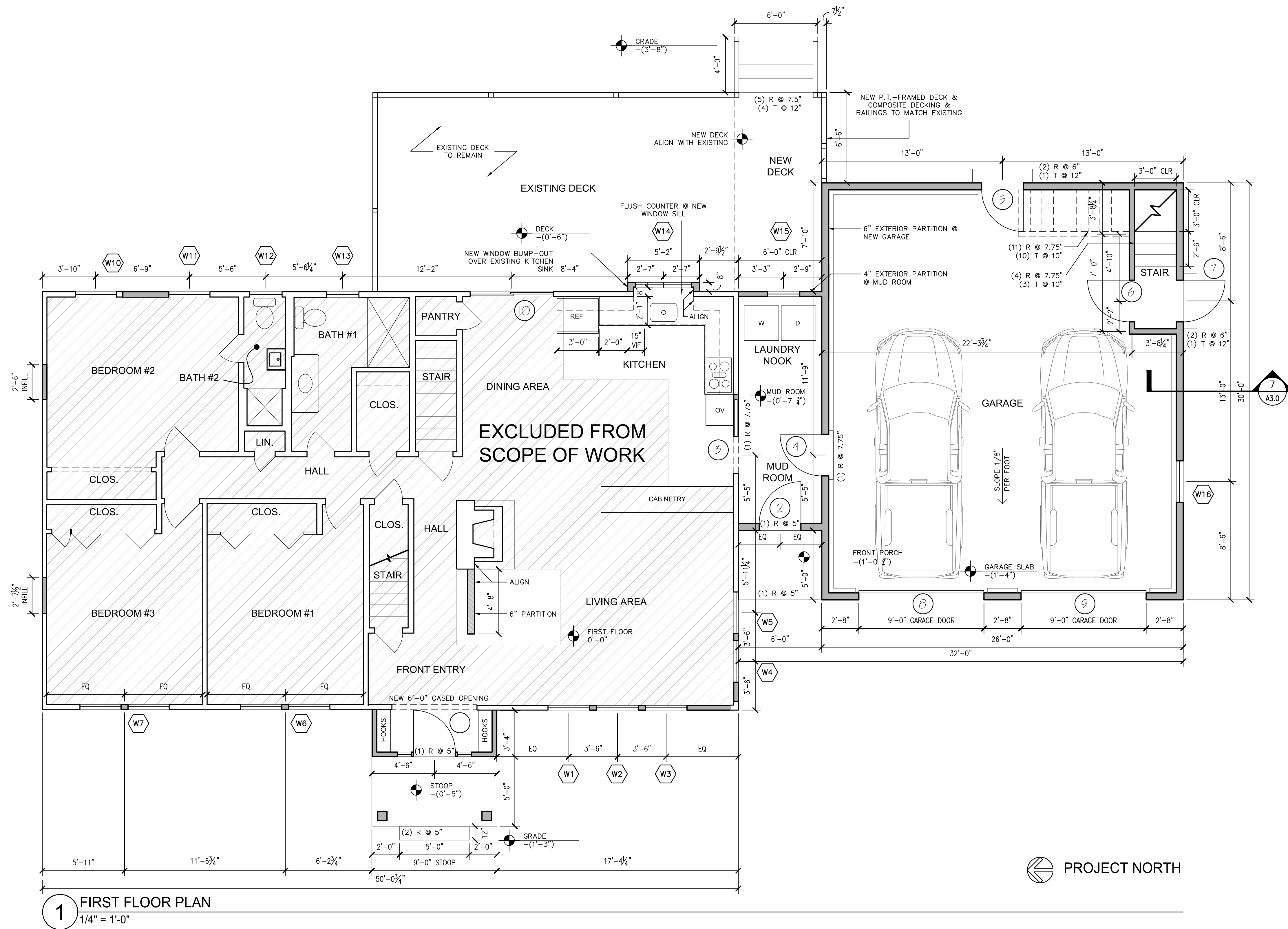
Scale: As Noted

Drawn By: CN / PS

Date: February 17, 2022

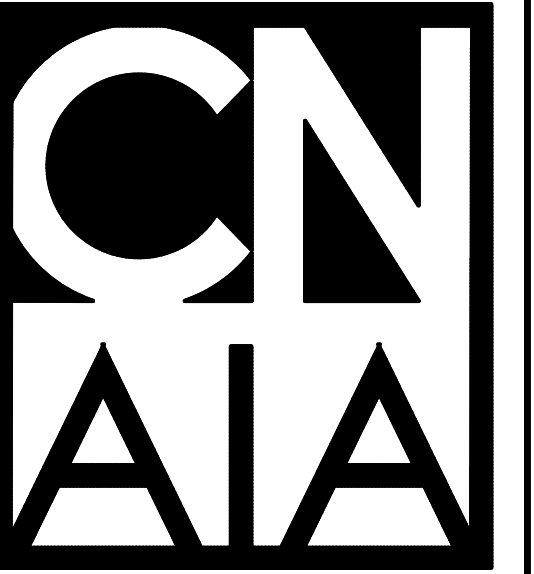
Drawing Number:

A1.1



PROJECT NORTH

1 FIRST FLOOR PLAN  
1/4" = 1'-0"



Cheryl Newton  
Architects LLC  
39 New London Turnpike, Suite 320,  
Glastonbury, CT 06033  
(860) 633-2477

Revisions:  
75% Construction Documents  
NOT FOR CONSTRUCTION

Kriedel Residence

28 Thompson Street  
South Glastonbury, CT 06073

Drawing Name:  
Second Floor  
Plan

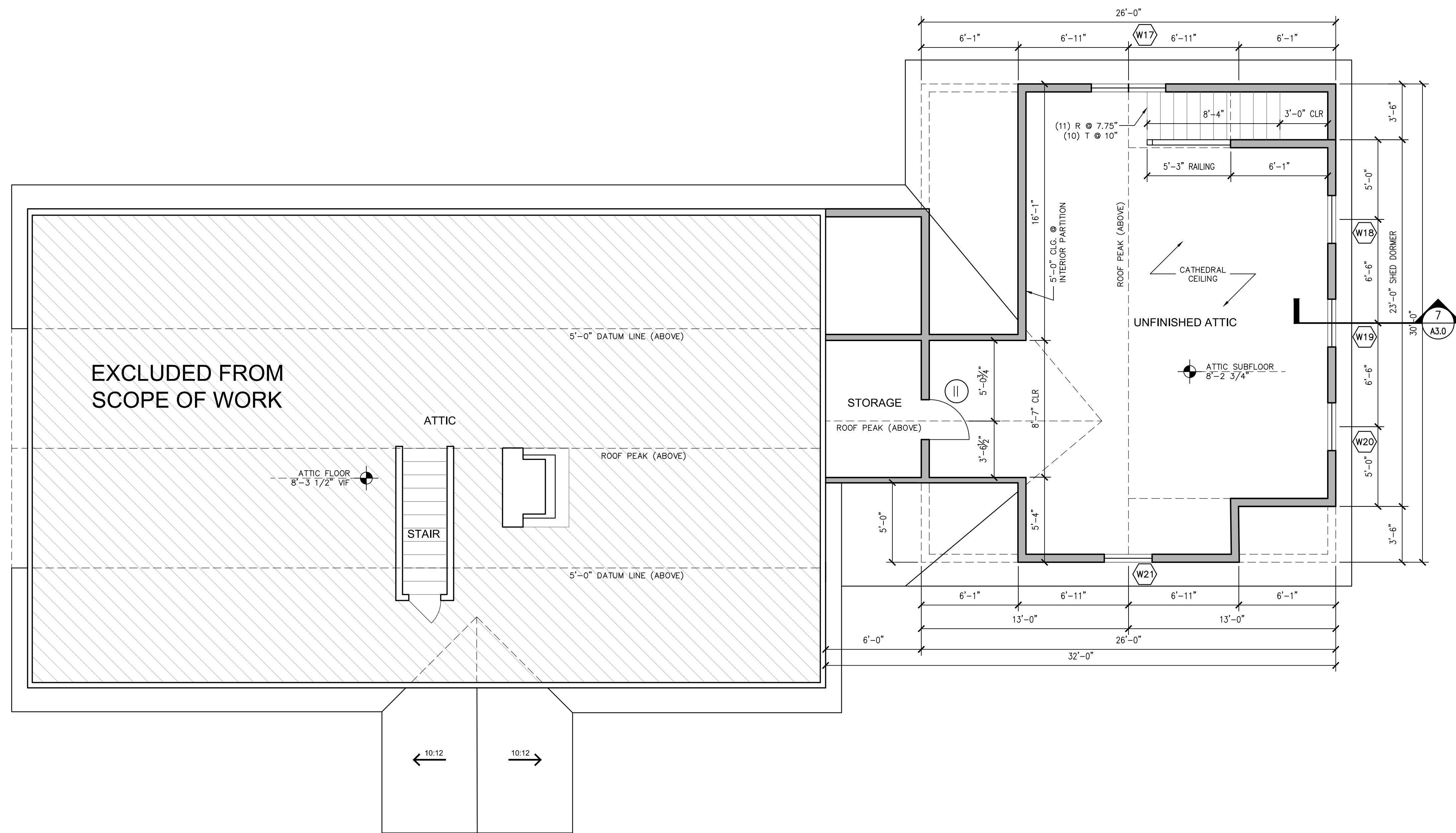
Scale: As Noted

Drawn By: CN / PS

Date: February 17, 2022

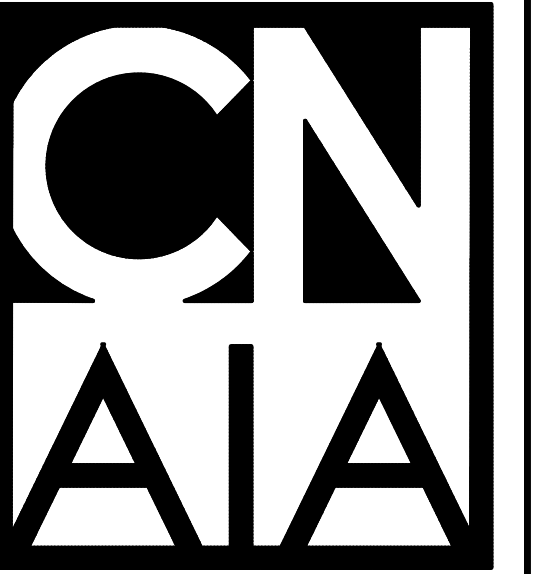
Drawing Number:

A1.2



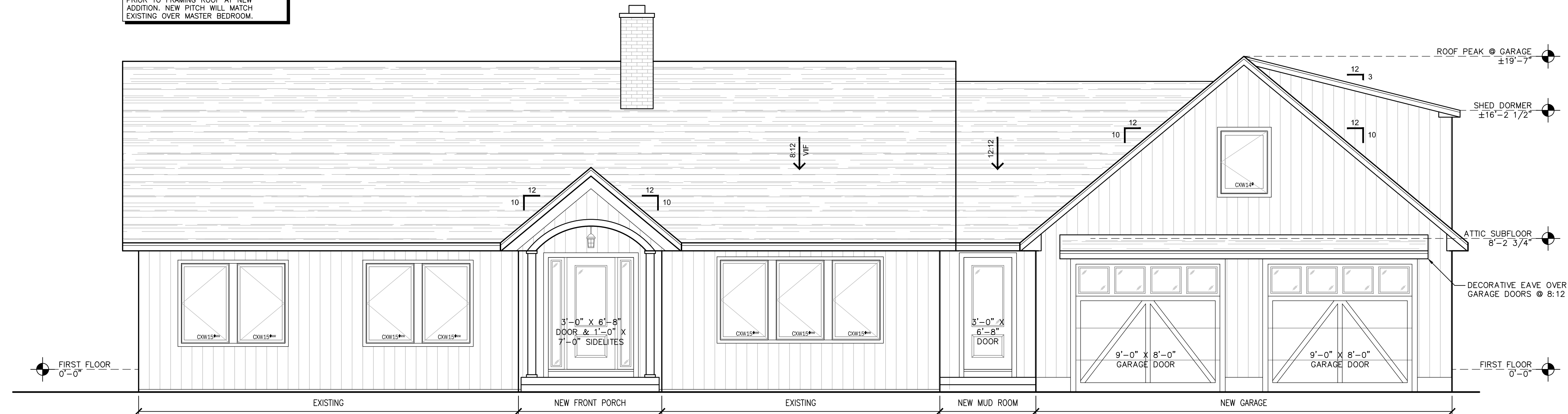
2 SECOND FLOOR PLAN  
1/4" = 1'-0"





Cheryl Newton  
Architects LLC  
39 New London Turnpike, Suite 320,  
Glastonbury, CT 06033  
(860) 633-2477

NOTE:  
CONTRACTOR TO VERIFY EX. ROOF PITCH  
PRIOR TO FRAMING ROOF AT NEW  
ADDITION. NEW PITCH WILL MATCH  
EXISTING OVER MASTER BEDROOM.



3 WEST ELEVATION  
1/4" = 1'-0"

ALL ROOFS WITH A PITCH LOWER THAN 4:12  
ICE AND WATER SHIELD UNDERLAYMENT TO BE  
INSTALLED PER SECTION R905.2, TABLE  
R905.1.1(2) FOR A LOW-PITCH ROOF.  
  
2 LAYERS OF UNDERLAYMENT ARE TO BE  
PROVIDED. 19 INCH STRIP MIN. OF  
UNDERLAYMENT FELT PARALLEL TO AND  
STARTING @ EAVES. STARTING AT THE EAVE,  
APPLY 36 IN WIDE SHEETS OF UNDERLAYMENT  
OVERLAPPING SUCCESSIVE 19 IN SHEETS.  
DISTORTIONS IN UNDERLAYMENT SHALL NOT  
INTERFERE WITH ABILITY OF THE SHINGLES TO  
SEAL.  
  
\*UNDERLAYMENT IS TO BE PROVIDED OVER  
ENTIRETY OF ROOF.

Revisions:  
75% Construction Documents  
NOT FOR CONSTRUCTION



4 EAST ELEVATION  
1/4" = 1'-0"

Kriedel Residence  
28 Thompson Street  
South Glastonbury, CT 06073

Drawing Name:  
Exterior Elevations

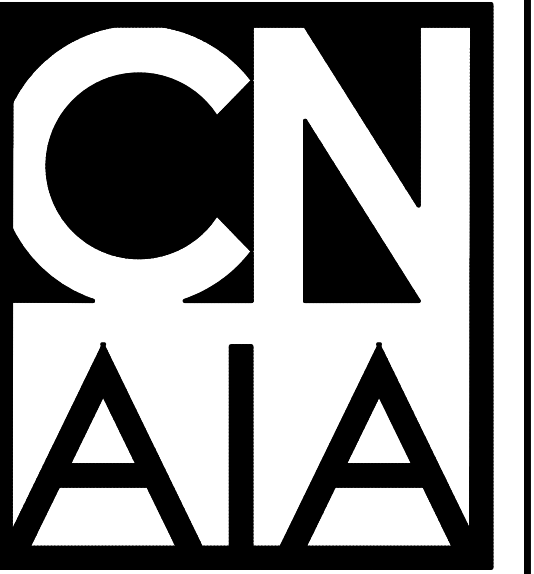
Scale: As Noted

Drawn By: CN / PS

Date: February 17, 2022

Drawing Number:

A2.0



Cheryl Newton  
Architects LLC  
39 New London Turnpike, Suite 320,  
Glastonbury, CT 06033  
(860) 633-2477

Revisions:  
75% Construction Documents  
NOT FOR CONSTRUCTION

Kriedel Residence

28 Thompson Street  
South Glastonbury, CT 06073

Drawing Name:  
South Exterior  
Elevation &  
Building Section

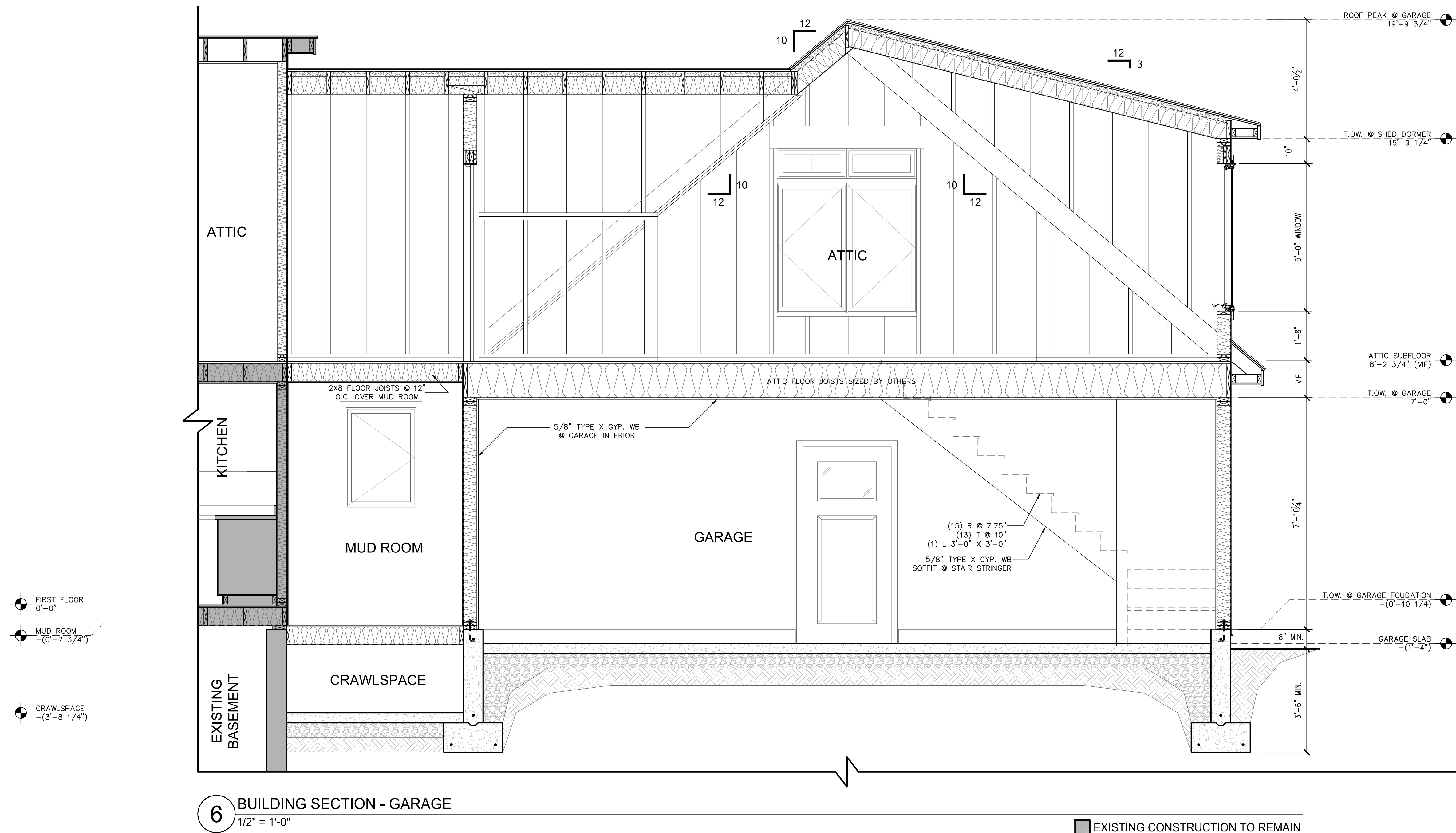
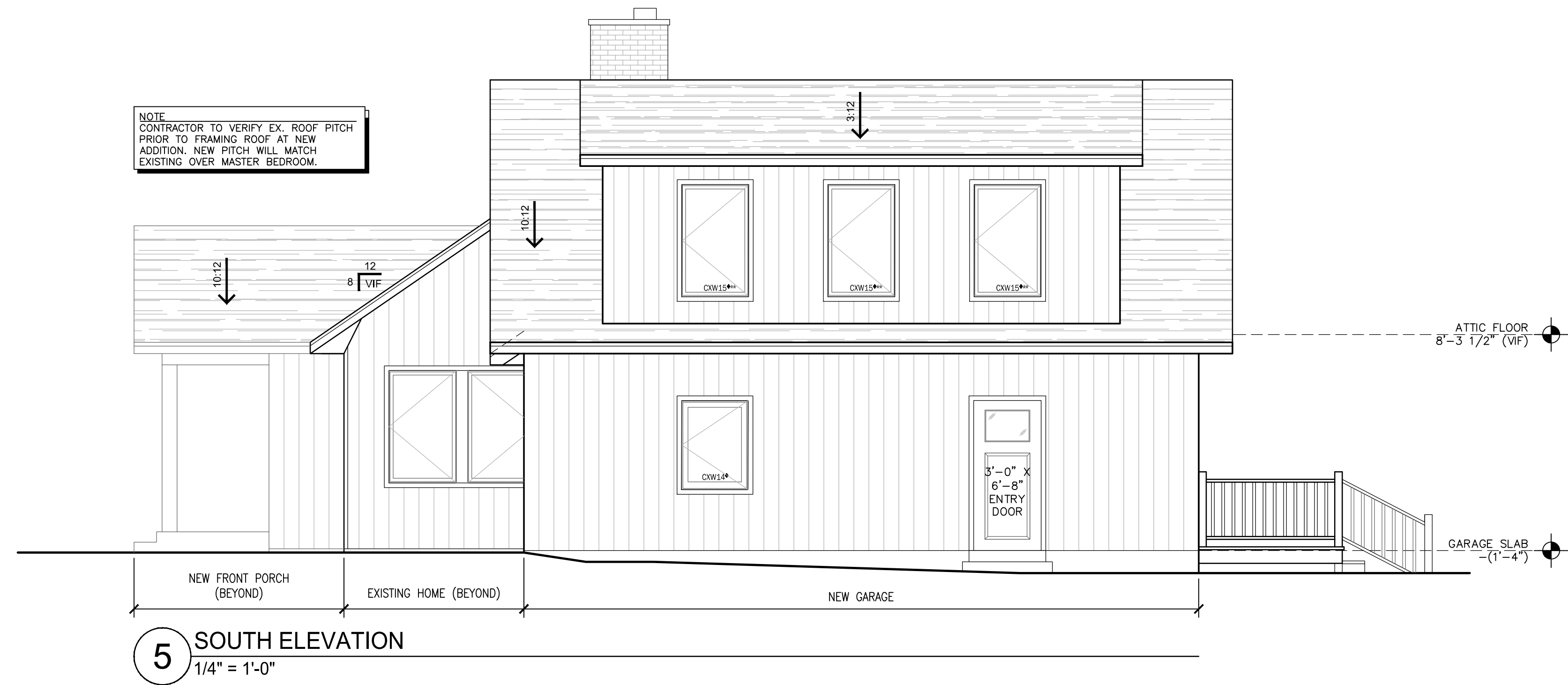
Scale: As Noted

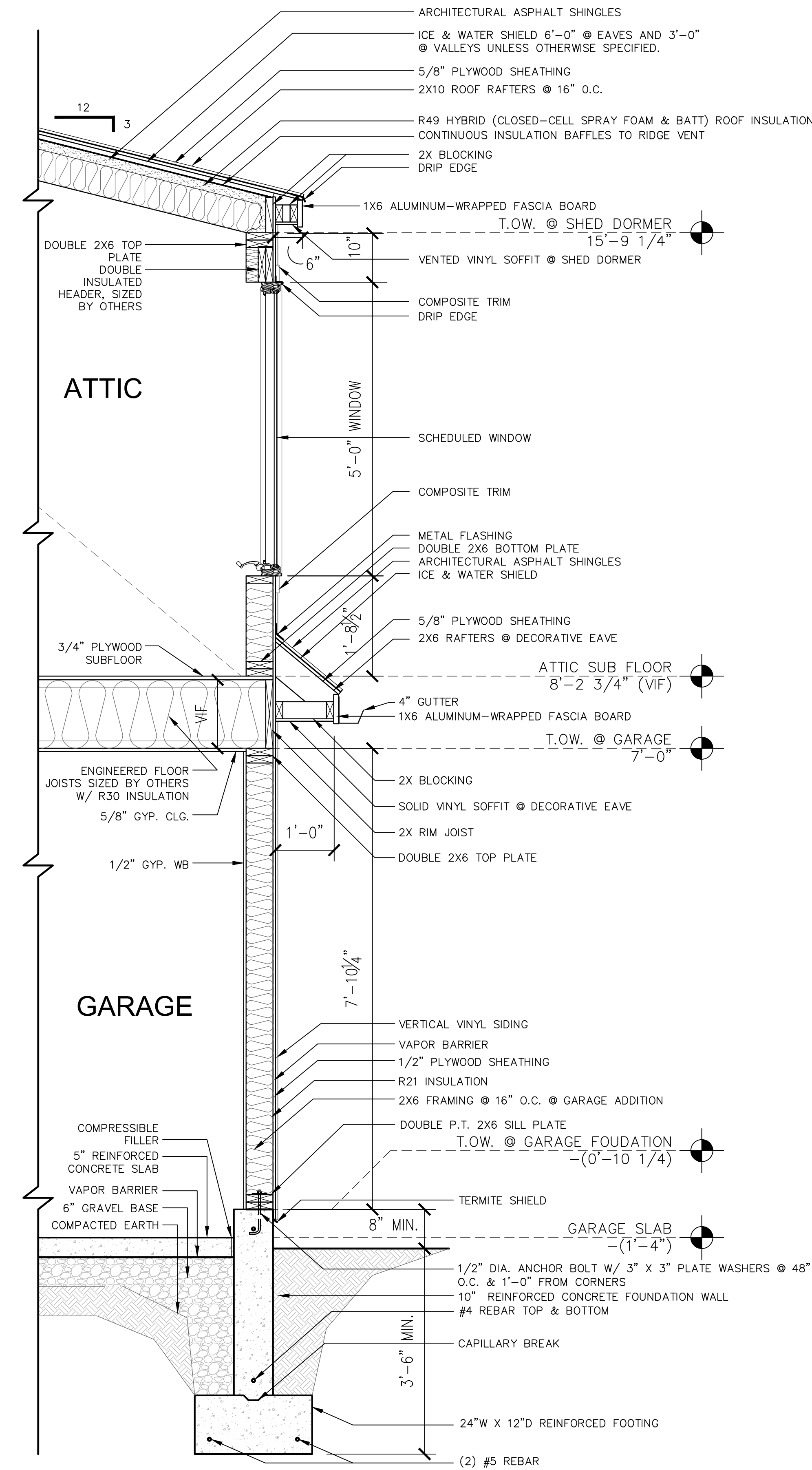
Drawn By: CN / PS

Date: February 17, 2022

Drawing Number:

A2.1





**7** TYPICAL WALL SECTION - GARAGE  
3/4" = 1'-0"

**Kriedel Residence**  
28 Thompson Street, South Glastonbury, CT 06073  
Window Schedule 01 27 22

All Windows to be Andersen 400 Series or approved equal.  
Contractor is required to coordinate all Call Numbers with Window Manufacturer.

Number	Location	Call Number	Window Sizes	Simonton ProFinish Series Description	Screen(s)	Grille Pattern	Note(s)
Window 1	Living Area	CXW15	3'-0" x 5'-0"	Casement Window	Yes	N/A	
Window 2	Living Area	CXW15	3'-0" x 5'-0"	Casement Window	Yes		
Window 3	Living Area	CXW15	3'-0" x 5'-0"	Casement Window	Yes		
Window 4	Living Area	CXW15	3'-0" x 5'-0"	Casement Window	Yes		
Window 5	Living Area	CXW15	3'-0" x 5'-0"	Casement Window	Yes		
Window 6	Bedroom #1	CXW15	(2) 3'-0" x 5'-0"	Casement Window Pair	Yes		
Window 7	Bedroom #3	CXW15	(2) 3'-0" x 5'-0"	Casement Window Pair	Yes		
Window 8	DELETED	-	-	-	-		
Window 9	DELETED	-	-	-	-		
Window 10	Bedroom #2	CXW15	3'-0" x 5'-0"	Casement Window	Yes		
Window 11	Bedroom #2	CXW15	3'-0" x 5'-0"	Casement Window	Yes		
Window 12	Bath #2	CW135	2'-4" x 3'-4"	Casement Window	Yes		
Window 13	Bath #1	CW135	2'-4" x 3'-4"	Casement Window	Yes		
Window 14	Kitchen	(2)2'-0" X 3'-8"	(2) 2'-0" x 3'-8"	Casement Window Pair	Yes		
Window 15	Mud Room	CW135	2'-4" x 3'-4"	Casement Window	Yes		
Window 16	Garage	CXW14	3'-0" x 4'-0"	Casement Window			
Window 17	Attic	(2)CW145 +CTCW2	(2)2'-4" x 4'-4"	Casement Window & Specialty	Yes		Casement Window Head Height @ 6'-0" AFF
Window 18	Attic	CXW15	3'-0" x 5'-0"	Casement Window	Yes		
Window 19	Attic	CXW15	3'-0" x 5'-0"	Casement Window	Yes		
Window 20	Attic	CXW15	3'-0" x 5'-0"	Casement Window	Yes		
Window 21	Attic	CXW14	3'-0" x 4'-0"	Casement Window	Yes		

Interior Color: White  
Exterior Color: White  
Trim Color: White  
No Grilles

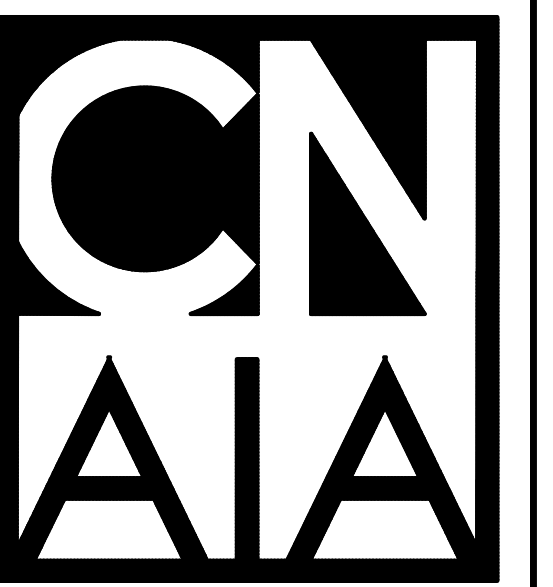
**ALL EXISTING WINDOWS ARE TO BE REPLACED. CONTRACTOR IS REQUIRED TO FRAME ALL REPLACEMENT WINDOWS AS NEW CONSTRUCTION**

**Kriedel Residence**  
28 Thompson Street, South Glastonbury, CT 06073  
Door Schedule 01 27 22

All Interior Doors to be Solid Core, unless specified otherwise.  
Contractor is required to coordinate all Call Numbers with Door Manufacturer

Number	Location	Call Number	Size	Description	Hardware			Note(s)
					Butt Hinge	Handle	Lock	
Door 1	Front Entry	-	3'-0" x 6'-8" + Sidelites	2 Panel Fiberglass Exterior Door	Yes	-	Yes	(2) 12" Sidelites, Entry Hardware & Dead Bolt
Door 2	Mud Room Entry	-	3'-0" x 6'-8"	2 Panel Fiberglass Exterior Door	Yes	-	Yes	Entry Hardware & Dead Bolt
Door 3	Kitchen	-	2'-8" x 6'-8"	6 Panel Solid-Core Pocket Door	Pocket	-	-	
Door 4	Mud Room	-	3'-0" x 6'-8"	Fire-Rated 6 Panel Solid-Core Door	Yes	-	Yes	Key & Dead Bolt
Door 5	Garage	-	3'-0" x 7'-0"	2 Panel Fiberglass Exterior Door	Yes	-	Yes	Key & Dead Bolt
Door 6	Garage Stair	-	3'-0" x 7'-0"	Fire-Rated 2 Panel Solid-Core Door	Yes	-	-	
Door 7	Garage Stair	-	3'-0" x 7'-0"	2 Panel Fiberglass Exterior Door	Yes	-	Yes	Key & Dead Bolt
Door 8	Garage	-	9'-0" x 8'-0"	Carriage Style Door	N/A	-	-	
Door 9	Garage	-	9'-0" x 8'-0"	Carriage Style Door	N/A	-	-	
Door 10	Dining Area	-	6'-0" x 6'-8"	Gliding Patio Door	Yes	-	Privacy	
Door 11	Attic	-	2'-6" x 6'-8"	6 Panel Solid-Core Door	Yes	-	-	
Door 12	DELETED	-	-	-	-	-	-	
Door 13	DELETED	-	-	-	-	-	-	

- Interior Color: White  
- Exterior Color: White (Confirm with Home Owner)  
- Hardware Finish: Polished Brass (Confirm with Home Owner)



Cheryl Newton  
Architects LLC  
39 New London Turnpike, Suite 320,  
Glastonbury, CT 06033  
(860) 633-2477

Revisions:  
75% Construction Documents  
NOT FOR CONSTRUCTION

Kriedel Residence

28 Thompson Street  
South Glastonbury, CT 06073

Drawing Name:  
Typ. Wall Section,  
Window & Door  
Schedules

Scale: As Noted

Drawn By: CN / PS

Date: February 17, 2022

Drawing Number:

**A3.0**