

**APPLICATION FOR FINAL RESUBDIVISION APPROVAL
43 GATES FARM ROAD-2 LOT RESUBDIVISION
MEETING DATE : DECEMBER 12, 2023**

**PUBLIC HEARING # 3
12/12/23 AGENDA**

To:
Town Plan and Zoning
Commission

From:
Office of Community
Development Staff

Memo Date: 12/7/23

Zoning District:
Residence AA and
Flood Zone

**Groundwater Protec-
tion Zone:**
1

Applicant/Owner:
Bryan Feery/Applicant
Betty Gates/Owner

Review Materials
Included for Commis-
sion review are the
following:

- The Subdivision Plan
- Memoranda from Town Staff

EXECUTIVE SUMMARY

- The applicant is proposing 2 frontage lots to be re-subdivided located at 43 Gates Farm Rd.
- Property is Zoned Residence AA and Flood Zone.
- No work is being conducted in the flood zone or upland review area.
- Parcel is 11.66 acres.
- Proposed lot 1 (41 Gate Farms Rd) is 1.58 acres and lot 2 (43 Gates Farms Rd) 10.08 acres
- Proposed lots meet the minimum bulk and setback standards for the Residence AA zone.
- The lots will be serviced by public water and sewer and have been approved by the Health Department in memo dated December 5, 2023 .
- Pedestrian access is served by existing sidewalk on Gates Farms Rd.



Aerial View



ADJACENT USES

Site is surrounded by residential uses to the North, West, and South. To the east the property abuts open space owned by the Town of Glastonbury.

SITE DESCRIPTION

The site is located on the east side of Gates Farms Rd. Applicant is proposing re-subdivision 11.66 acres into two frontage lots. Lot 1 (41 Gates Farm Rd) will be 1.58 acres and Lot 2 (43 Gates Farm Rd) will be 10.08 acres. Property is located in the Residence AA Zone and Flood Zone and Groundwater Protection Area-1. No work is being conducted with the flood zone or upland review area. Property will be served by public water and sewer.

PLANNING & ZONING ANALYSIS

The proposal meets all the requirements of the Town of Glastonbury Subdivision Regulations and the bulk and setback requirements for the Residence AA Zone. Applicant is proposing planting 2 street trees. Pedestrian access is served via existing sidewalk on Gates Farms Rd.

The proposed subdivision also meets all the requirements of Section 20 of the Building Zone Regulations with regard to ground water protection.

The project is consistent with the 2018—2028 Plan of Conservation and Development.

Pertinent staff correspondence and draft motions are attached.



Town of Glastonbury

COMMUNITY DEVELOPMENT • (860) 652-7510 • planning@glastonbury-ct.gov

TOWN PLAN AND ZONING COMMISSION

FINAL SUBDIVISION APPROVAL

DRAFT MOTION

BRYAN FEERY

FINE HOMES, LLC

143 TIMROD TRAIL

GLASTONBURY CT, 06033

FOR: 43 GATES FARMS RD – 2 LOT RESUBDIVISION

MOVED, that the Town Plan and Zoning Commission approve the application of Bryan Feery of Fine Homes, LLC for a final resubdivision one lot into two—43 Gates Farm Rd—Residence AA Zone & Flood Zones, in accordance with the plan set entitled “43 Gates Farm Road Resubdivision prepared by Megson, Heagle and Friend, date 10/26/23” and

1. In compliance with:
 - a. The Conservation Commission in their recommendation for approval to the Town Plan and Zoning Commission in memo dated November 13, 2023.
2. In adherence to:
 - a. The Health Department memorandum dated, December 5, 2023.
 - b. The Engineering Department to Conservation Commission memorandum, dated November 3, 2023.
 - c. The Engineering Department to TPZ memorandum, dated December 6, 2023.
 - d. The Police Department memorandum, dated December 4, 2023.
3. With the following conditions:
 - a. Prior to issuance of a Building Permit applicant shall file motion of approval and Subdivision Plan on the land records of the Town Clerk.
 - b. Prior to issuance of a Building Permit applicant shall file (2) paper copies of finalized approved plans to be filed in the Office of Community Development.
 - c. Applicant shall revise finalized plans to display correct side yard requirement on proposed lot on Northwest side as 20 ft and not 15 ft shown.
 - d. If unforeseen conditions are encountered during construction that would cause deviation from the approved plans, the applicant shall consult with the Office of Community Development to determine what further approvals, if any, are required.

TOWN PLAN & ZONING COMMISSION
DECEMBER 12, 2023

ROBERT J. ZANLUNGO CHAIRMAN

CONSERVATION COMMISSION RECOMMENDATION

To: Town Plan & Zoning Commission

From: Commission Staff

Date: November 13, 2023

Re: Recommendation to the Town Plan & Zoning Commission: 43 Gates Farm Rd, subdivision

MOVED at the November 9, 2023 regular meeting of the Conservation Commission:

MOVED, that the Conservation Commission recommends to the Town Plan & Zoning Commission approval of a re-subdivision, in accordance with plans entitled "43 Gates Farm Road resubdivision Prepared for Bryan Feery, Glastonbury, CT. Dated October 26, 2023". 7 Sheets, with the following recommendations:

1. Erosion controls shall be installed and maintained in proper working condition and shall be repaired and replaced and inspected a minimum of once per week and within 24 hours prior to a forecasted rain event, and within 24 hours of the end of a weather event producing a rainfall amount of 0.5 inch or greater, to be conducted throughout the construction phase and until the site is vegetatively stabilized.
2. The revised plan set submitted for TPZ approval shall address the November 3, 2023 Engineering Department comments, to the satisfaction of the town engineer.
3. The plot plan submitted in support of a building permit shall be consistent with the details shown on the subdivision plan.



Town of Glastonbury
Health Department

MEMORANDUM

Date: December 5, 2023

To: Town Planning & Zoning, Conservation & WPCA Commissions

From: Don Kendrick, R.S., Sanitarian 

Re: 43 Gates Farm Road Resubdivision

The Department recommends approval of this proposal using municipal sanitary sewage disposal with water supplied by the MDC.

Revised 9-22-17

November 3, 2023

MEMORANDUM

To: Suzanne Simone, Environmental Planner
Conservation Commission

From: Daniel A. Pennington, P.E., Town Engineer / Manager of Physical Services
Re: 43 Gates Farm Road Re-subdivision




The Engineering Division has reviewed plans for the proposed re-subdivision of land at 43 Gates Farm Road prepared by Megson, Heagle, and Friend Civil Engineers and Land Surveyors, LLC including plans dated October 26, 2023 and offers the following comments:

1. Retention of water quality volume is addressed through roof drywells and an underground infiltration system for the driveway. Effort should be made to capture and treat additional driveway runoff from the lower 60 feet of driveway closest to Gates Farm Road to the satisfaction of the Town Engineer. This may be accomplished by shifting the proposed catch basin and galley to a location closer to the driveway/roadway intersection.
2. Label inverts and size and type of pipe for footing and roof drains. Footing drain should not be discharged into drywells.
3. Remove all conflicting drywell details not utilized. Revise Infiltration Gallery Detail listed elevations to match plan topography.
4. Label proposed driveway as bituminous concrete and label width on all applicable sheets. Label existing barn finish floor and proposed garage finish floor elevation.
5. Label proposed sanitary sewer lateral invert at the house. Label sewer lateral as 6" SDR 35 PVC tight pipe at a minimum of 2.0%. Provide a clean-out if lateral is in excess of 75 L.F.
6. Provide approximate location of existing gas main located on westerly side of Gates Farm Road.
7. The new lot being created will be address as # 41 Gates Farm Road and should be labeled as such on all applicable sheets.
8. Depict and label identified encroachment from westerly abutter at #33 Gates Farm Road.
9. A sanitary sewer assessment will be required to be approved by the WPCA and paid once the building permit is applied for prior to connection to the public sanitary sewer system.
10. Provide additional Town of Glastonbury Standard Details as follows:
 - Sanitary Sewer Trench Detail
 - Sanitary Sewer Cleanout Detail- if required
 - BCLC Curb Detail

December 6, 2023

MEMORANDUM

To: Town Plan and Zoning Commission
Shelley Caltagirone, Director of Community Development

From: Daniel A. Pennington, Town Engineer / Manager of Physical Services 

Re: 43 Gates Farm Road Re-subdivision

The Engineering Division has reviewed plans for the proposed re-subdivision of land at 43 Gates Farm Road prepared by Megson, Heagle, and Friend Civil Engineers and Land Surveyors, LLC including plans revised November 15, 2023 and offers the following comments:

1. Retention of water quality volume is addressed through roof drywells and an underground infiltration system for the driveway. Effort should be made to capture and treat additional driveway runoff from the lower 60 feet of driveway closest to Gates Farm Road to the satisfaction of the Town Engineer.
2. Test pits are required to confirm that subsurface soil conditions are suitable for the proposed infiltration systems. Such test pits shall be performed prior to issuance of a building permit and results shall be submitted to the Engineering Division office for review and approval. Submittal shall include a statement of soil suitability or plans and computations revised as necessary to demonstrate compliance of the design with Town standards.
3. The stormwater system maintenance schedules on Sheets 6 and 7 need to state that such maintenance is the responsibility of the property owner. These maintenance narratives should be moved to the site plan to ensure that they are recorded on the land records.
4. Stormwater galleys should include an inspection manhole cover for ease of future access and maintenance.
5. Existing concrete sidewalks shall be removed across the driveway entrance as required to accommodate the proposed construction entrance. Concrete sidewalks shall be replaced across the driveway entrance in accordance with current Town standards. The Town standard sidewalk detail should be added to the plan set.
6. Label the existing barn finished floor on the plans to ensure proposed driveway grading matches floor elevation.
7. A sanitary sewer assessment must be approved by the Water Pollution Control Authority. Said assessment to be paid in conjunction with building permit application and prior to connection to the public sanitary sewer system.

8. Provide additional Town of Glastonbury Standard Details as follows:
 - Sanitary Sewer Trench Detail
 - Bituminous Concrete Lip Curb Detail
9. Applicant shall provide an electronic copy of final stamped and signed plans in PDF form to the Town Engineer.



Town of Glastonbury

GLASTONBURY POLICE DEPARTMENT • TEL (860) 633-8301 • FAX (860) 652-4290

CHIEF OF POLICE
Marshall S. Porter

CAPTAIN
Mark Catania

MEMORANDUM

TO: Town Plan and Zoning Commission

FROM: Marshall S. Porter, Chief of Police

DATE: 12/04/23

RE: 43 Gates Farm Rd Resubdivision

Members of the Police Department have reviewed the application for the resubdivision at 43 Gates Farm Rd. The Police Department has no objection to the proposal so long as the lots are numbered in accordance with section 17-19 of the Town Code of Ordinances.

MSP/ns



#43 GATES FARM ROAD RESUBDIVISION

PREPARED FOR
BRYAN FEERY
 GLASTONBURY, CONN.

THIS MAP IS NOT VALID IF MODIFIED IN ANY WAY AND/OR DOES NOT BEAR THE EMBOSSED SEAL OF THE UNDERSIGNED.

I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.

JONATHAN H. SZUREK
 P.E. # 26858

MEGSON, HEAGLE & FRIEND
 CIVIL ENGINEERS & LAND SURVEYORS, LLC
 81 RANKIN ROAD
 GLASTONBURY, CONN. 06033
 PHONE (860)-659-0587

COVER SHEET
#43 GATES FARM ROAD RESUBDIVISION
 PREPARED FOR
BRYAN FEERY
 GLASTONBURY, CONN.

INDEX TO SHEETS

COVER SHEET	SHEET 1
OVERALL PLAN	SHEET 2
SUBDIVISION PLAN	SHEET 3
TOPOGRAPHIC MAP	SHEET 4
EROSION & SEDIMENTATION CONTROL PLAN	SHEET 5
E & S NOTES AND DETAILS	SHEET 6
GENERAL NOTES & DETAILS	SHEET 7
CONDITIONS OF APPROVAL	SHEET 8

TOTAL NUMBER OF LOTS: 2
 TOTAL PARCEL AREA: 11.66 AC.
 ZONE: RESIDENCE AA / FLOOD ZONE / GW-1

NOTE:
 THE CONTRACTOR SHALL NOTIFY THE TOWN OF GLASTONBURY ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, SANITARY SEWER INSTALLATION, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, OR ANY EXCAVATION IN THE TOWN RIGHT-OF-WAY TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:00 AM-6:30 PM MONDAY THRU FRIDAY AT (860) 6327735.

TOWN PLAN & ZONING COMMISSION APPROVAL	
#43 GATES FARM ROAD RESUBDIVISION	RESIDENCE AA/FLOOD ZONE/GW-1
SUBDIVISION NAME	ZONE
BRYAN FEERY	
SUBDIVIDER	
SUBDIVISION APPROVAL DATE	PLAN & ZONING COMMISSION CHAIRMAN
COMPLETION DATE FOR SUBDIVISION IMPROVEMENTS	COMMUNITY DEVELOPMENT DIRECTOR
FILE NO.	TOWN ENGINEER



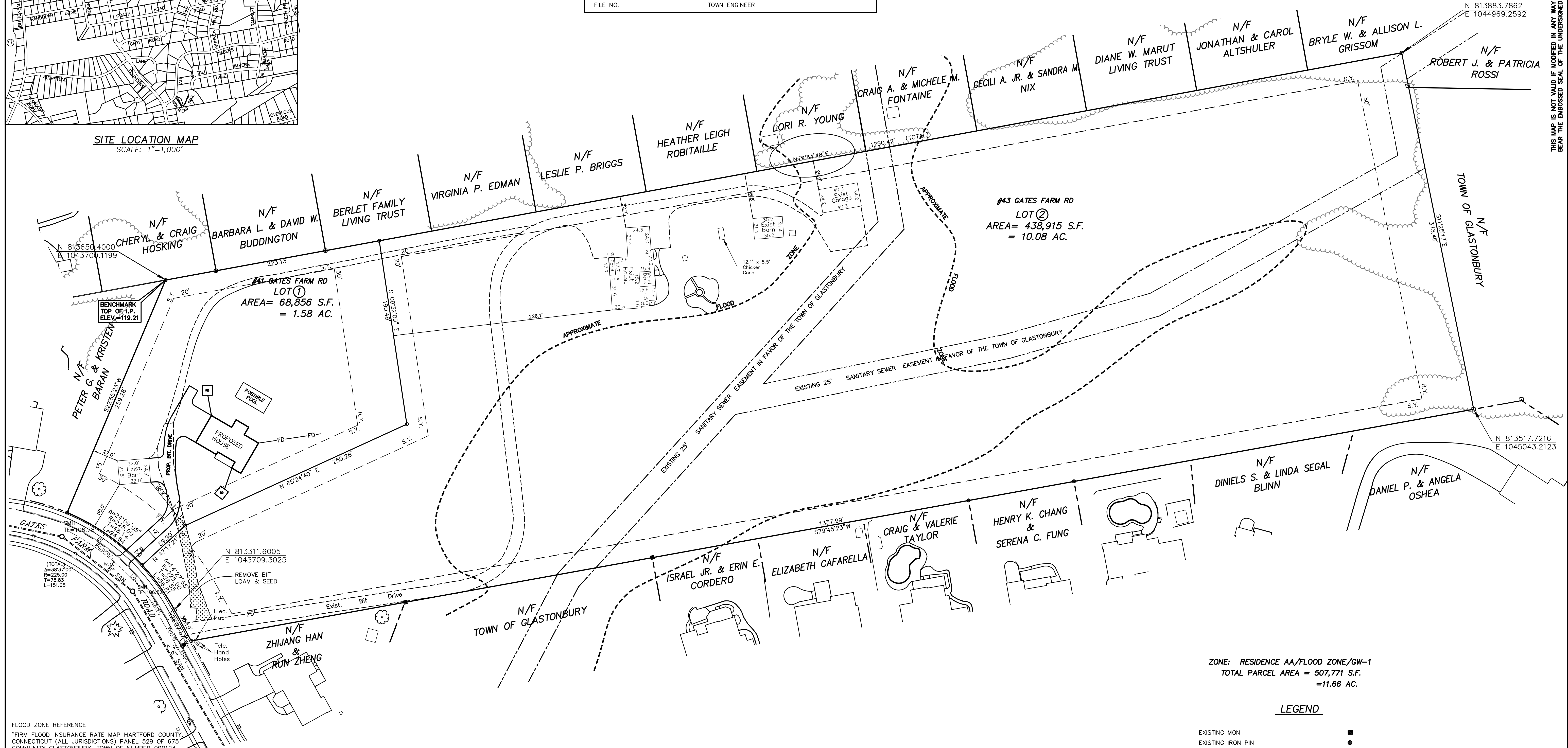
LOCATION MAP
 SCALE: 1"=1000'



SITE LOCATION MAP
SCALE: 1"=1,000'

TOWN PLAN & ZONING COMMISSION APPROVAL	
#43 GATES FARM ROAD RESUBDIVISION	RESIDENCE AA/FLOOD ZONE/GW-1
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I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.

JONATHAN H. SZCZUREK P.E. # 26858

MEGSON, HEAGLE & FRIEND
CIVIL ENGINEERS & LAND SURVEYORS, LLC
81 RANKIN ROAD
GLASTONBURY, CONN. 06033
PHONE (860)-659-0587

OVERALL SUBDIVISION MAP
#43 GATES FARM ROAD RESUBDIVISION
PREPARED FOR
BRYAN FEERY
GLASTONBURY, CONN.

FLOOD ZONE REFERENCE
*FIRM FLOOD INSURANCE RATE MAP HARTFORD COUNTY, CONNECTICUT (ALL JURISDICTIONS) PANEL 529 OF 675 COMMUNITY GLASTONBURY, TOWN OF NUMBER 090124 PANEL 0529 SUFFIX F" MAP NUMBER 09003C0529F EFFECTIVE DATE: SEPTEMBER, 26 2008 FEDERAL EMERGENCY MANAGEMENT AGENCY

REFERENCE MADE TO MAP TITLED:
"SUBDIVISION PLAN HANOVER FIELDS SUBDIVISION GLASTONBURY, CONN." BY REINO E. HYPPA & ASSOCIATES GLASTONBURY, CONN. DATE: 2-2-00 REV. 9-29-00 SCALE: 1"=40' MAP NO. 56-98-1 SHEETS 2-4 OF 20 SHEETS

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TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON. THIS SURVEY WAS PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTION 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS AND SUGGESTED METHODS AND PROCEDURES FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" REVISED OCTOBER 26, 2018 AND AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON AUGUST 29, 2019.

TYPE OF SURVEY: SUBDIVISION MAP
BOUNDARY DETERMINATION CATEGORY: RESURVEY/ORIGINAL SURVEY
CLASS OF ACCURACY: A-2

SANDS E. AESCHLIMAN L.S. # 14201

NOTE: EXISTING BARN ON LOT 1 TO REMAIN AND BE UTILIZED AS A GARAGE ONCE LOT 1 IS DEVELOPED ZBA APPROVAL MAY BE REQUIRED.

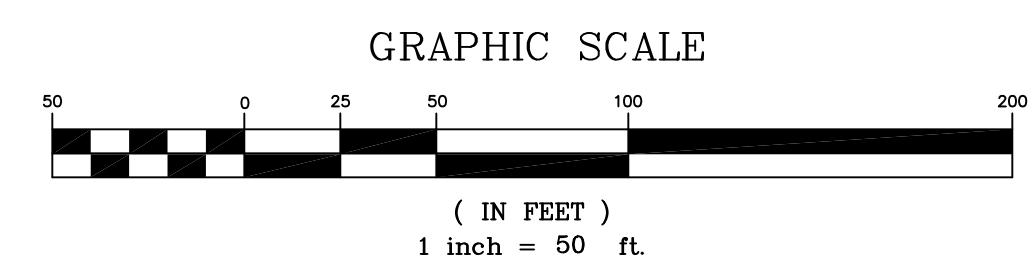
NOTE:
SUBDIVISION & ABUTTING PROPERTIES ZONED RESIDENCE AA
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BEARINGS AND COORDINATES REFER TO THE NAD 83 COORDINATE SYSTEM
VERTICAL DATUM REPRESENTS NAVD 88.

TOPOGRAPHY TAKEN FROM ACTUAL FIELD SURVEY AND TOWN OF GLASTONBURY TOPOGRAPHIC MAPS.

WARNING: THESE PLANS NOT TO BE USED FOR LOCATION OF UNDERGROUND UTILITIES - CALL BEFORE YOU DIG 1-800-922-4455 TWO WORKING DAYS BEFORE YOU DIG.

SLOPES > 20%	
AREA A:	5,161 S.F. 0.1185 AC.
AREA B:	3,312 S.F. 0.076 AC.
TOTAL:	8,473 S.F. 0.194 AC.



ZONE: RESIDENCE AA/FLOOD ZONE/GW-1
TOTAL PARCEL AREA = 507,771 S.F.
= 11.66 AC.

LEGEND

- EXISTING MON
- EXISTING IRON PIN
- EXISTING PINCH PIPE
- PROPOSED IRON PIN
- EXIST. TREE LINE
- SLOPES > 20%

REV. 11-15-23 ENGINEERING REVIEW COMMENTS

CK. BY:	JHS
DRW. BY:	PEJ
DATE:	10-26-23
SCALE:	1"=50'
SHEET	2 OF 8
MAP NO.	12-23-10A

APPLICANT:
BRYAN FEERY
143 TIMROD TRAIL
GLASTONBURY, CONN. 06033
860-508-3898



SITE LOCATION MAP
SCALE: 1"=1,000'

NOTE:
PUBLIC WATER
PUBLIC SANITARY SEWER

NOTE:
SUBDIVISION & ABUTTING PROPERTIES ZONED RESIDENCE AA

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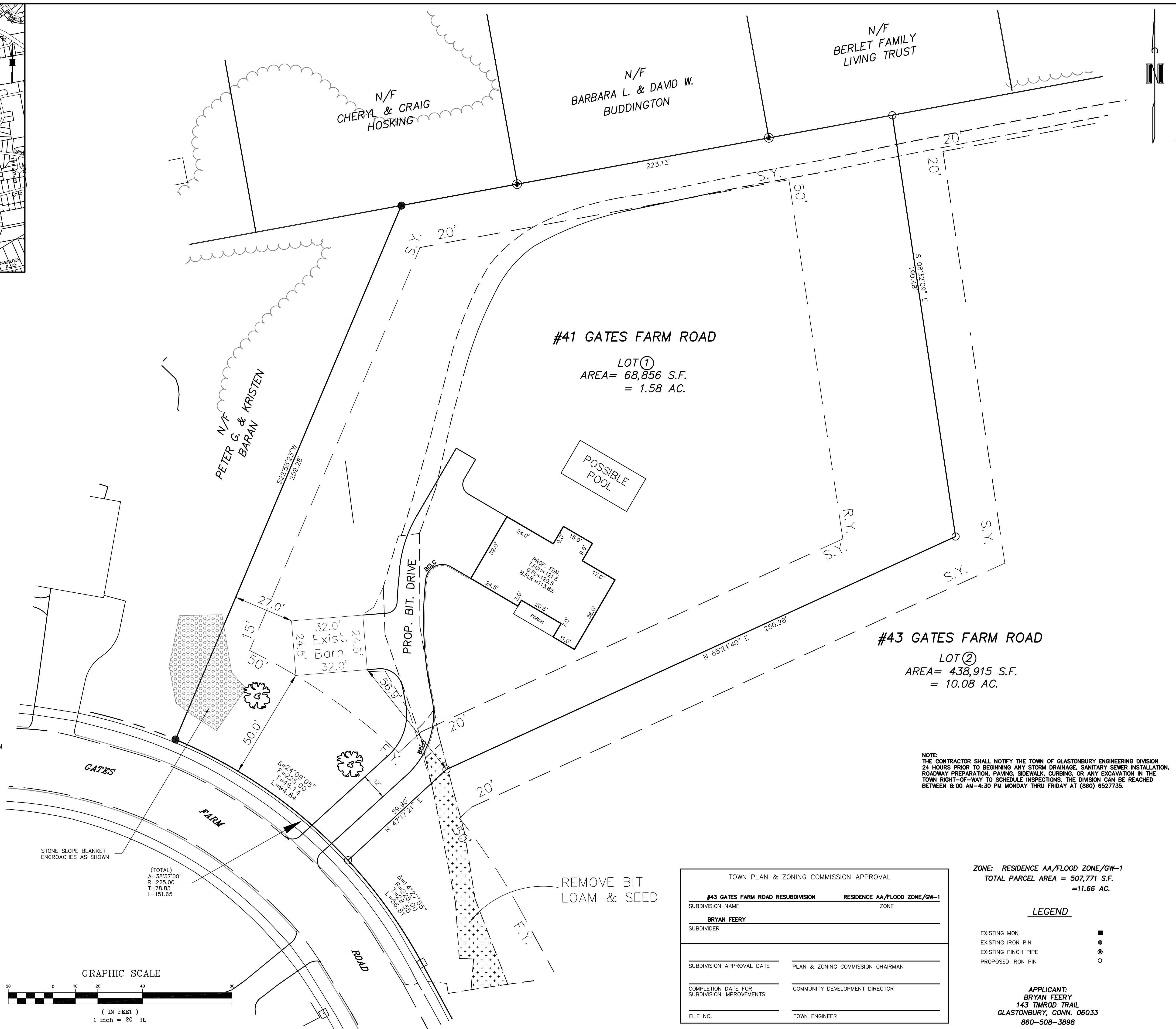
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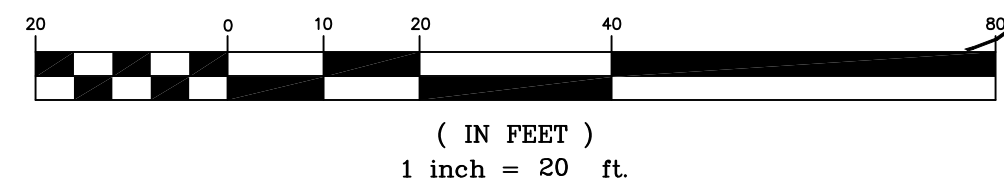
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GRAPHIC SCALE



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LEGEND

- EXISTING MON
- EXISTING IRON PIN
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TOWN PLAN & ZONING COMMISSION APPROVAL	
#43 GATES FARM ROAD RESUBDIVISION	RESIDENCE AA/FLOOD ZONE/GW-1
SUBDIVISION NAME	ZONE
BRYAN FEERY	
SUBDIVIDER	
SUBDIVISION APPROVAL DATE	PLAN & ZONING COMMISSION CHAIRMAN
COMPLETION DATE FOR SUBDIVISION IMPROVEMENTS	COMMUNITY DEVELOPMENT DIRECTOR
FILE NO.	TOWN ENGINEER

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SUBDIVISION PLAN LOT 1
#43 GATES FARM ROAD RESUBDIVISION
PREPARED FOR
BRYAN FEERY
GLASTONBURY, CONN.

REV. 11-15-23 ENGINEERING REVIEW COMMENTS

CK. BY: JHS
DRW. BY: PEJ
DATE: 10-26-23
SCALE: 1"=20'
SHEET 3 OF 8
MAP NO. 12-23-1S

NOTE:
PUBLIC WATER
PUBLIC SANITARY SEWER

43 GATES FARM RD		
TOWN OF GLASTONBURY MS4 PERMIT INFORMATION	IMPERVIOUS AREA	DIRECTLY CONNECTED IMPERVIOUS AREA
PRE-DEVELOPMENT	0.556 AC	0.071 AC
POST-DEVELOPMENT	0.628 AC	0.034 AC
NET CHANGE (+ OR -)	0.072 AC	-0.037 AC



STONE SLOPE BLANKET
ENCROACHES AS SHOWN

Approx. Loc.
Exist. San.
Lateral 102.0±

32.0'
Exist.
Barn
24.5'
32.0'

24 L.F. 4" HIGH GALLERIES
W/OV REQUIRED = 377 C.F.
W/OV PROVIDED = 422 C.F.

REMOVE BIT
LOAM & SEED

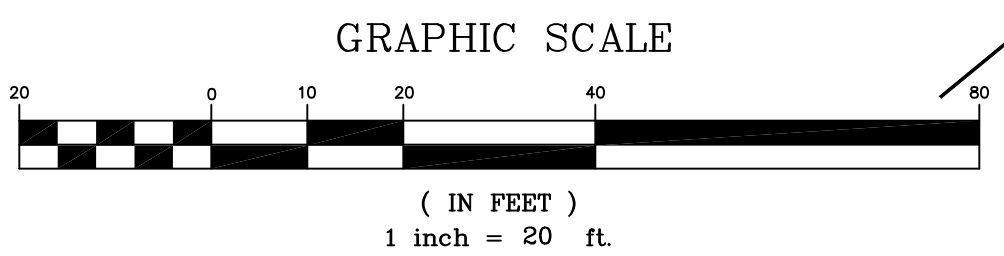
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- EXISTING PINCH PIPE
- PROPOSED IRON PIN
- PROPOSED LIMIT OF CLEARING
- EXIST. TREE LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- APPROX. LOC. 4" GAS MAIN

TOWN PLAN & ZONING COMMISSION APPROVAL	
#43 GATES FARM ROAD RESUBDIVISION	RESIDENCE AA/FLOOD ZONE/GW-1
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BRYAN FEERY	
SUBDIVIDER	
SUBDIVISION APPROVAL DATE	PLAN & ZONING COMMISSION CHAIRMAN
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FILE NO.	TOWN ENGINEER

APPLICANT:
BRYAN FEERY
143 TIMROD TRAIL
GLASTONBURY, CONN. 06033
860-508-3898



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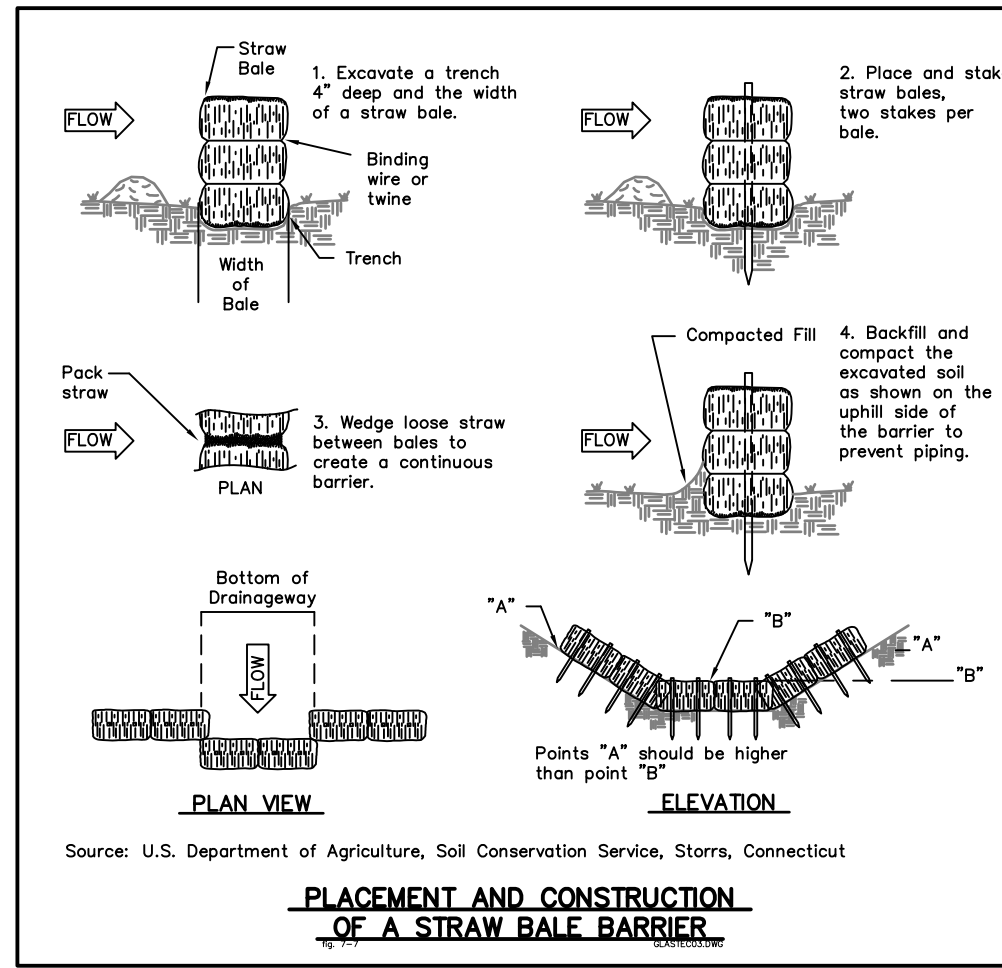
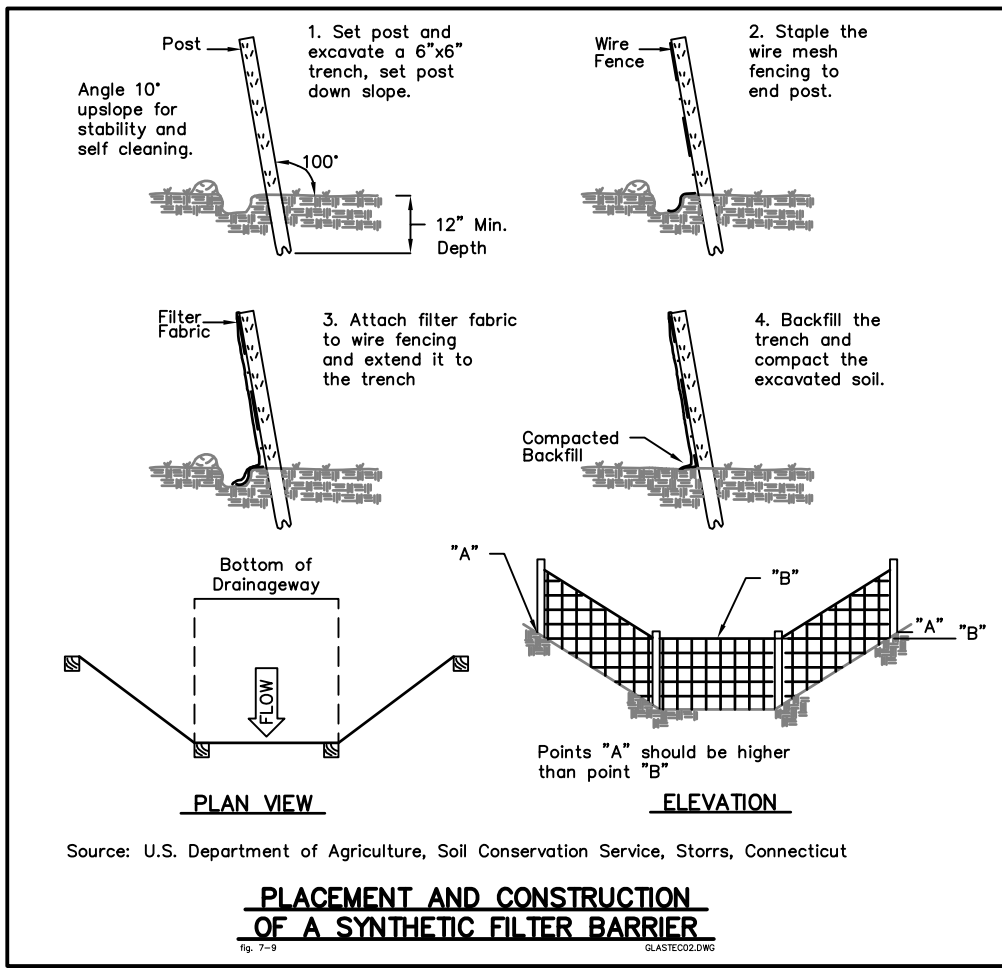
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TOPOGRAPHIC MAP
#43 GATES FARM ROAD RESUBDIVISION
PREPARED FOR
BRYAN FEERY
GLASTONBURY, CONN.

CK. BY: JHS
DRW. BY: PEJ
DATE: 10-25-23
SCALE: 1"=20'
SHEET 4 OF 8
MAP NO. 12-23-1T

REV. 11-15-23 ENGINEERING REVIEW COMMENTS

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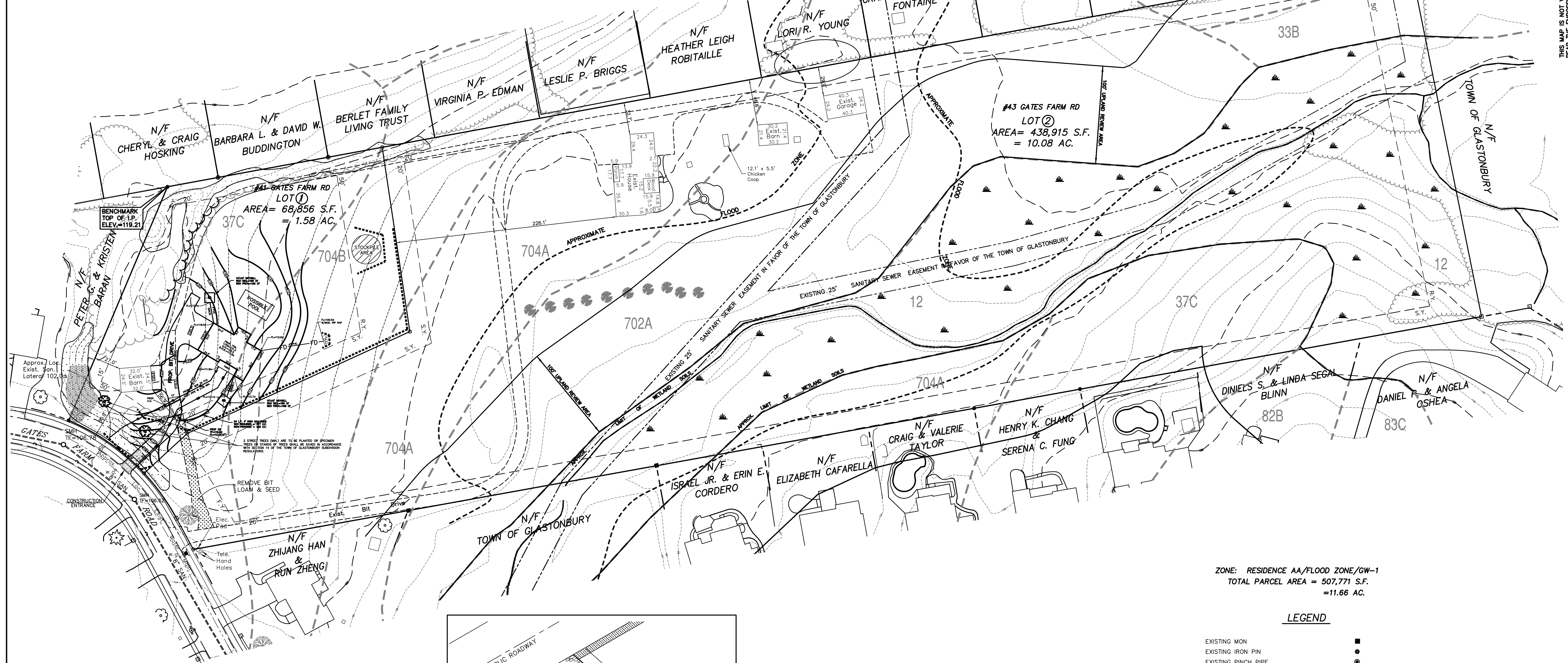
TOWN PLAN & ZONING COMMISSION APPROVAL

#43 GATES FARM ROAD RESUBDIVISION	RESIDENCE AA/FLOOD ZONE/GW-1
SUBDIVISION NAME	ZONE
BRYAN FEERY	
SUBDIVIDER	
SUBDIVISION APPROVAL DATE	PLAN & ZONING COMMISSION CHAIRMAN
COMPLETION DATE FOR SUBDIVISION IMPROVEMENTS	COMMUNITY DEVELOPMENT DIRECTOR
FILE NO.	TOWN ENGINEER

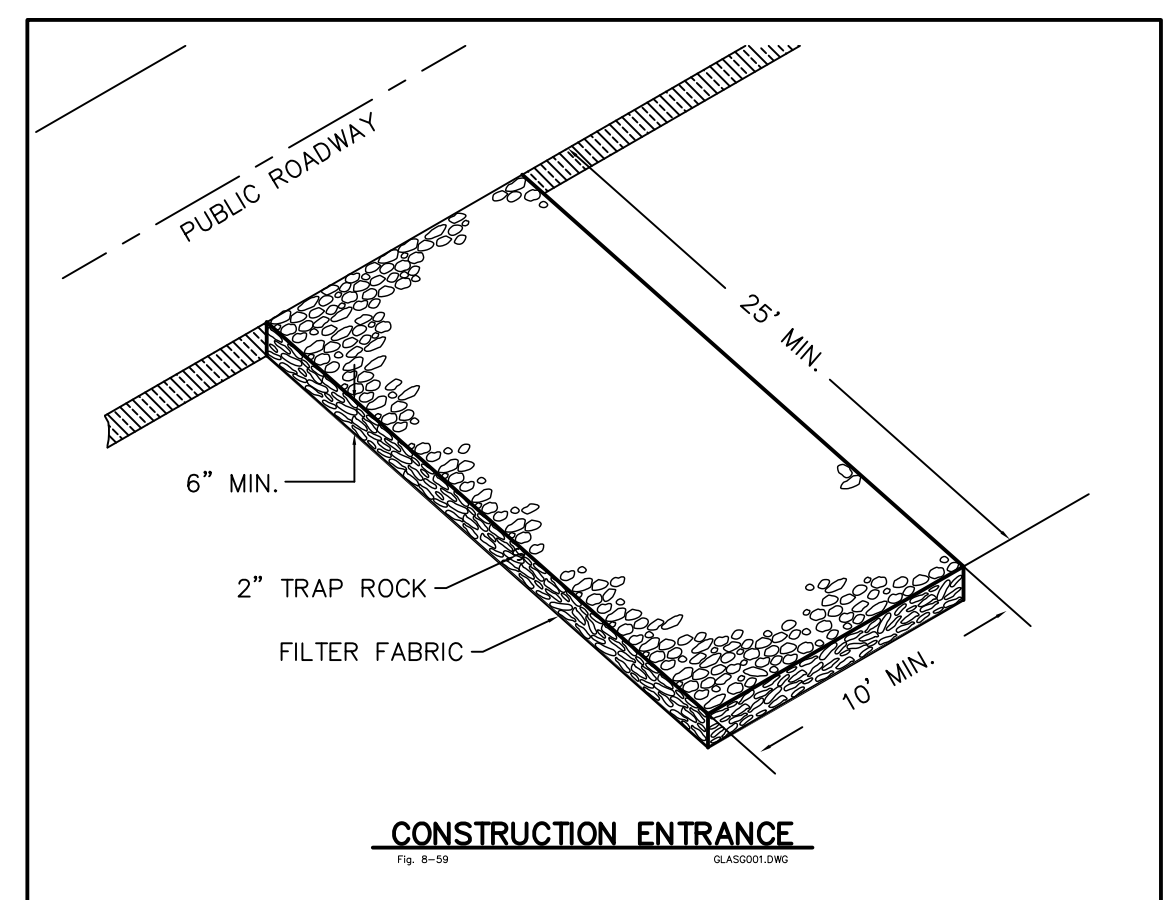
NOTE:
THE CONTRACTOR SHALL NOTIFY THE TOWN OF GLASTONBURY ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, SANITARY SEWER INSTALLATION, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, OR ANY EXCAVATION IN THE TOWN RIGHT-OF-WAY TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:00 AM-4:30 PM MONDAY THRU FRIDAY AT (860) 6527735.

SOILS LEGEND

12	RAYPOL SILT LOAM	702A	TISBURY SILT LOAM 0 TO 3 PERCENT SLOPES
33B	HARTFORD SANDY LOAM 3 TO 8 PERCENT SLOPES	704A	ENFIELD SILT LOAM 0 TO 3 PERCENT SLOPES
37C	MANCHESTER GRAVELY SANDY LOAM 3 TO 5 PERCENT SLOPES	704B	ENFIELD SILT LOAM 3 TO 8 PERCENT SLOPES
82B	BROADBROOK SILT LOAM 3 TO 8 PERCENT SLOPES		
83C	BROADBROOK SILT LOAM 8 TO 15 PERCENT SLOPES VERY STONY		

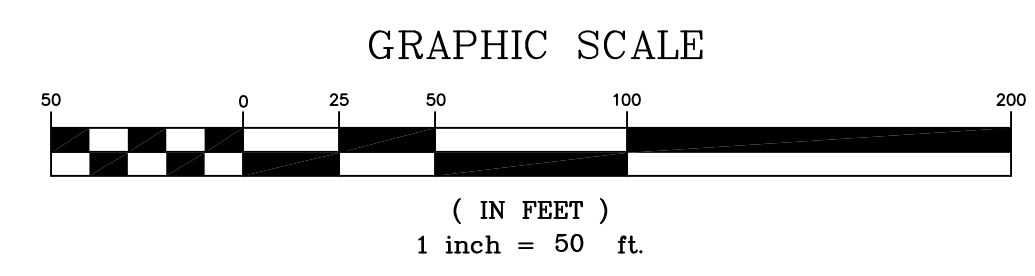


NOTE:
SUBDIVISION & ABUTTING PROPERTIES ZONED RESIDENCE AA
THE SUBDIVISION REGULATIONS OF THE TOWN OF GLASTONBURY TOWN PLAN & ZONING COMMISSION ARE A PART OF THIS PLAN AND APPROVAL OF THIS PLAN IS CONTINGENT ON COMPLIANCE WITH ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS.
BEARINGS AND COORDINATES REFER TO THE NAD 83 COORDINATE SYSTEM VERTICAL DATUM REPRESENTS NAVD 88.
TOPOGRAPHY TAKEN FROM ACTUAL FIELD SURVEY AND TOWN OF GLASTONBURY TOPOGRAPHIC MAPS.
WARNING: THESE PLANS NOT TO BE USED FOR LOCATION OF UNDERGROUND UTILITIES - CALL BEFORE YOU DIG 1-800-922-4455 TWO WORKING DAYS BEFORE YOU DIG.



SLOPES > 20%

AREA A:	5,161 S.F.	0.1185 AC.
AREA B:	3,312 S.F.	0.076 AC.
TOTAL:	8,473 S.F.	0.194 AC.



ZONE: RESIDENCE AA/FLOOD ZONE/GW-1
TOTAL PARCEL AREA = 507,771 S.F.
= 11.66 AC.

LEGEND

EXISTING MON	■
EXISTING IRON PIN	●
EXISTING PINCH PIPE	○
PROPOSED IRON PIN	○
PROP. CLEARING	○
EXIST. TREE LINE	○
SLOPES > 20%	▨
SOILS TYPE LINE	---
STAKED HAY BALES/SILT FENCE

APPLICANT:
BRYAN FEERY
143 TIMROD TRAIL
GLASTONBURY, CONN. 06033
860-508-3898

THIS MAP IS NOT VALID IF MODIFIED IN ANY WAY AND/OR DOES NOT BEAR THE EMBOSSED SEAL OF THE UNDERSIGNED.

I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.

JONATHAN H. SZCZUREK
P.E. # 26858

MEGSON, HEAGLE & FRIEND
CIVIL ENGINEERS & LAND SURVEYORS, LLC
81 RANKIN ROAD
GLASTONBURY, CONN. 06033
PHONE (860)-659-0587

EROSION & SEDIMENTATION CONTROL PLAN
#43 GATES FARM ROAD RESUBDIVISION
PREPARED FOR
BRYAN FEERY
GLASTONBURY, CONN.

REV. 11-15-23 ENGINEERING REVIEW COMMENTS

CK. BY:	JHS
DRW. BY:	PEJ
DATE:	10-26-23
SCALE:	1"=50'
SHEET	5 OF 8
MAP NO.	12-23-1ES

GENERAL

WARNING: THESE PLANS NOT TO BE USED FOR LOCATION OF UNDERGROUND UTILITIES - CALL BEFORE YOU DIG 1-800-922-4455 TWO WORKING DAYS BEFORE YOU DIG. THESE GUIDELINES SHALL APPLY TO ALL WORK CONSISTING OF ANY AND ALL TEMPORARY AND/OR PERMANENT MEASURES TO CONTROL WATER POLLUTION AND SOIL EROSION AS MAY BE REQUIRED...

TOPSOILING

- GENERAL: 1. TOPSOIL SHALL BE SPREAD OVER ALL EXPOSED AREAS IN ORDER TO PROVIDE A SOIL MEDIUM HAVING FAVORABLE CHARACTERISTICS FOR THE ESTABLISHMENT, GROWTH AND MAINTENANCE OF VEGETATION. 2. REMOVE ALL LARGE STONES, TREE LIMBS, ROOTS, AND CONSTRUCTION DEBRIS. 3. APPLY LIME ACCORDING TO SOIL TEST OR AT THE RATE OF TWO (2) TONS PER ACRE.

MATERIAL:

- 1. TOPSOIL SHOULD HAVE PHYSICAL, CHEMICAL AND BIOLOGICAL CHARACTERISTICS FAVORABLE TO THE GROWTH OF PLANTS. 2. TOPSOIL SHOULD HAVE A SANDY OR LOAMY TEXTURE. 3. AN ORGANIC MATTER CONTENT OF OVER (6-20%) IS HIGHLY DESIRABLE. AVOID LIGHT COLORED LOWER SUBSOIL MATERIAL.

APPLICATION:

- 1. AVOID SPREADING WHEN TOPSOIL IS WET OR FROZEN. 2. SPREAD TOPSOIL UNIFORMLY TO A DEPTH OF AT LEAST FOUR (4") INCHES.

EROSION CHECKS

GENERAL:

- 1. TEMPORARY PERVIOUS BARRIERS USING BALES OF HAY OR STRAW, HELD IN PLACE WITH STAKES DRIVEN THROUGH THE BALES AND INTO THE GROUND, OR SEDIMENT FILTER FABRIC FASTENED TO A FENCE POST AND BURIED INTO THE GROUND, SHALL BE INSTALLED AND MAINTAINED AS REQUIRED TO CHECK EROSION AND REDUCE SEDIMENTATION.

CONSTRUCTION:

- 1. BALES SHALL BE PLACED IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES. 2. EACH BALE SHALL BE EMBEDDED INTO THE SOIL A MINIMUM OF FOUR (4") INCHES.

INSTALLATION AND MAINTENANCE:

- 1. BALED HAY EROSION BARRIERS SHALL BE INSTALLED AT ALL STORM SEWER INLETS. 2. BALED HAY EROSION BARRIERS AND SEDIMENT FILTER FENCES SHALL BE INSTALLED AT THE LOCATIONS INDICATED ON THE PLAN AND IN ADDITIONAL AREAS AS MAY BE DEEMED APPROPRIATE DURING CONSTRUCTION. 3. ALL EROSION CHECKS SHALL BE MAINTAINED UNTIL ADJACENT AREAS ARE STABILIZED. 4. INSPECTION SHALL BE FREQUENT (AT MINIMUM MONTHLY AND BEFORE AND AFTER HEAVY RAIN) AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED. 5. EROSION CHECKS SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORMWATER FLOW OR DRAINAGE.

WINDBLOWN SEDIMENT

GENERAL:

- 1. ALL WINDBLOWN SEDIMENTS SHALL BE CONTROLLED AT ALL TIMES. THE SITE CONTRACTOR IS RESPONSIBLE FOR APPLYING DUST CONTROL AS OFTEN AS NEEDED TO PREVENT ANY WINDBLOWN SEDIMENTS FROM LEAVING THE SITE. PRE-DETERMINED TRAFFIC ROUTES FOR ALL TRAFFIC SHALL BE ESTABLISHED BY THE SITE CONTRACTOR TO STABILIZED ROUTES. TEMPORARY AND PERMANENT MULCHING AND TEMPORARY AND PERMANENT VEGETATIVE COVER SHALL BE USED TO MINIMIZE THE NEED FOR DUST CONTROL. MECHANICAL SWEEPERS SHALL BE USED ON ALL PAVED SURFACES TO PREVENT DUST BUILD UP DURING THE COURSE OF SITE WORK.

METHODS:

- 1. SPRAY ON ADHESIVES ARE ACCEPTABLE AND SHOULD BE APPLIED ACCORDING TO MANUFACTURER'S GUIDELINES. 2. WATER IS ACCEPTABLE BUT MUST BE APPLIED IN HOT, DRY WEATHER. 3. CALCIUM CHLORIDE IS ACCEPTABLE BUT MUST BE APPLIED AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. 4. CRUSHED STONE OR COARSE GRAVEL CAN ALSO BE USED.

GENERAL:

- 1. THE RESHAPING OF THE GROUND SURFACE BY EXCAVATION AND FILLING OR A COMBINATION OF BOTH, TO OBTAIN PLANNED GRADES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING BASIC CRITERIA: A) THE CUT FACE OF EARTH EXCAVATION SHALL NOT BE STEEPER THAN TWO HORIZONTAL TO ONE VERTICAL (2:1). B) THE PERMANENT EXPOSED FACES OF FILLS SHALL NOT BE STEEPER THAN TWO HORIZONTAL TO ONE VERTICAL (2:1). C) THE CUT FACE OF ROCK EXCAVATION SHALL NOT BE STEEPER THAN ONE HORIZONTAL TO FOUR VERTICAL (1:4). D) NO FILL SHOULD BE PLACED WHERE IT WILL SLIDE, OR WASH UPON THE PREMISES OF ANOTHER OWNER OR UPON ADJACENT WETLANDS, WATERCOURSE OR WATERBODY. E) INSTALLATION OF SEDIMENT AND EROSION CONTROLS SUCH AS HAY BALES AND SILT FENCES SHALL BE ESTABLISHED PRIOR TO COMMENCING LAND DISTURBANCE ACTIVITIES. ALL SEDIMENT AND EROSION CONTROL STRUCTURES MUST BE MONITORED AND MAINTAINED BY THE CONTRACTOR UNTIL THE SOIL SURFACE IS STABILIZED. F) IF NECESSARY, LATERAL WATER DIVERSIONS SHALL BE INSTALLED ACROSS THE GRADED ROADWAY TO PREVENT DOWNSLOPE OUTFLOW AND EROSION. G) HAY BALES SHALL BE STAKED AND SILT FENCES SHALL BE PROPERLY SECURED. SEDIMENT WILL BE REMOVED FROM ALL CATCHMENTS AS NECESSARY. H) PRIOR TO ANY REGRADING, STONE APRON SHALL BE PLACED BY THE ENTRANCE TO THE WORK AREA IN ORDER TO REDUCE MUD AND OTHER SEDIMENTS FROM LEAVING THE SITE. I) PROVISIONS SHOULD BE MADE TO CONDUCT SURFACE WATER SAFELY TO STORM DRAINS, TO PREVENT SURFACE RUNOFF FROM DAMAGING CUT FACES AND FILL SLOPES. J) EXCAVATIONS SHOULD NOT BE MADE SO CLOSE TO PROPERTY LINES AS TO ENDANGER ADJOINING PROPERTY WITHOUT PROTECTING SUCH PROPERTY FROM EROSION, SLIDING, SETTling OR CRACKING.

LAND GRADING

GENERAL:

- 1. THE RESHAPING OF THE GROUND SURFACE BY EXCAVATION AND FILLING OR A COMBINATION OF BOTH, TO OBTAIN PLANNED GRADES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING BASIC CRITERIA: A) THE CUT FACE OF EARTH EXCAVATION SHALL NOT BE STEEPER THAN TWO HORIZONTAL TO ONE VERTICAL (2:1). B) THE PERMANENT EXPOSED FACES OF FILLS SHALL NOT BE STEEPER THAN TWO HORIZONTAL TO ONE VERTICAL (2:1). C) THE CUT FACE OF ROCK EXCAVATION SHALL NOT BE STEEPER THAN ONE HORIZONTAL TO FOUR VERTICAL (1:4). D) NO FILL SHOULD BE PLACED WHERE IT WILL SLIDE, OR WASH UPON THE PREMISES OF ANOTHER OWNER OR UPON ADJACENT WETLANDS, WATERCOURSE OR WATERBODY. E) INSTALLATION OF SEDIMENT AND EROSION CONTROLS SUCH AS HAY BALES AND SILT FENCES SHALL BE ESTABLISHED PRIOR TO COMMENCING LAND DISTURBANCE ACTIVITIES. ALL SEDIMENT AND EROSION CONTROL STRUCTURES MUST BE MONITORED AND MAINTAINED BY THE CONTRACTOR UNTIL THE SOIL SURFACE IS STABILIZED. F) IF NECESSARY, LATERAL WATER DIVERSIONS SHALL BE INSTALLED ACROSS THE GRADED ROADWAY TO PREVENT DOWNSLOPE OUTFLOW AND EROSION. G) HAY BALES SHALL BE STAKED AND SILT FENCES SHALL BE PROPERLY SECURED. SEDIMENT WILL BE REMOVED FROM ALL CATCHMENTS AS NECESSARY. H) PRIOR TO ANY REGRADING, STONE APRON SHALL BE PLACED BY THE ENTRANCE TO THE WORK AREA IN ORDER TO REDUCE MUD AND OTHER SEDIMENTS FROM LEAVING THE SITE. I) PROVISIONS SHOULD BE MADE TO CONDUCT SURFACE WATER SAFELY TO STORM DRAINS, TO PREVENT SURFACE RUNOFF FROM DAMAGING CUT FACES AND FILL SLOPES. J) EXCAVATIONS SHOULD NOT BE MADE SO CLOSE TO PROPERTY LINES AS TO ENDANGER ADJOINING PROPERTY WITHOUT PROTECTING SUCH PROPERTY FROM EROSION, SLIDING, SETTling OR CRACKING.

TOWN PLAN & ZONING COMMISSION APPROVAL. #43 GATES FARM ROAD RESUBDIVISION. RESIDENCE AA/FLOOD ZONE/GW-1. SUBDIVISION NAME: BRYAN FEERY. SUBDIVIDER: BRYAN FEERY. SUBDIVISION APPROVAL DATE: [Blank]. PLAN & ZONING COMMISSION CHAIRMAN. COMPLETION DATE FOR SUBDIVISION IMPROVEMENTS: [Blank]. COMMUNITY DEVELOPMENT DIRECTOR. FILE NO.: [Blank]. TOWN ENGINEER.

TEMPORARY VEGETATIVE COVER

GENERAL:

- 1. TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED ON ALL UNPROTECTED AREAS THAT PRODUCE SEDIMENT AREAS WHERE FINAL GRADING HAS BEEN COMPLETED AND AREAS WHERE THE ESTIMATED PERIOD OF BARE SOIL EXPOSURE IS LESS THAN 12 MONTHS. SITE PREPARATION: 1. INSTALL REQUIRED SURFACE WATER CONTROL MEASURES. 2. REMOVE LOOSE ROCK, STONE, AND CONSTRUCTION DEBRIS FROM AREA. 3. APPLY LIME ACCORDING TO SOIL TEST OR AT A RATE OF ONE (1) TON OF GROUND DOLOMITIC LIMESTONE PER ACRE (5 LBS. PER 100 SQUARE FEET).

- 4. APPLY FERTILIZER ACCORDING TO SOIL TEST OR AT THE RATE OF 300 LBS. OF 10-10-10 PER ACRE (7 LBS. PER 1,000 SQUARE FEET.) 5. UNLESS HYDROSEEDING, WORK IN LIME AND FERTILIZER TO A DEPTH OF FOUR (4") INCHES USING A DISK OR ANY SUITABLE EQUIPMENT. 6. TILLAGE SHOULD ACHIEVE A REASONABLY UNIFORM, LOOSE SEEDBED. WORK ON CONTOUR IF SITE IS SLOPING.

ESTABLISHMENT:

- 1. USE ANNUAL RYEGRASS AT A RATE OF 40 LBS./AC. OR SUITABLE EQUIVALENT AS SPECIFIED IN THE "GUIDELINES". 2. SEEDING TO BE DONE FROM APRIL 1ST TO JUNE 15 OR AUGUST 1ST TO OCTOBER 1ST. WINTER STABILIZATION PLANTINGS TO BE NO LATER THAN OCTOBER 1ST. THIS INCLUDES STOCKPILE AREAS. 3. APPLY SEED UNIFORMLY ACCORDING TO THE RATE INDICATED BY BROADCASTING, DRILLING, OR HYDRAULIC APPLICATION. 4. UNLESS HYDROSEEDING, COVER RYEGRASS SEEDS WITH NOT MORE THAN 1/4 INCH OF SOIL WITH SUITABLE EQUIPMENT. COVER SUDANGRASS AND SMALL GRAINS WITH 1/2 INCH SOIL. 5. MULCH IMMEDIATELY AFTER SEEDING, IF REQUIRED, ACCORDING TO THE GUIDELINES IN THE "GUIDELINES".

PERMANENT VEGETATIVE COVER

GENERAL:

- 1. PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED AS VARIOUS SECTIONS OF THE PROJECT ARE COMPLETED IN ORDER TO STABILIZE THE SOIL, REDUCE DOWNSTREAM DAMAGE FROM SEDIMENT AND RUNOFF AND TO ENHANCE THE AESTHETIC NATURE OF THE SITE. IT WILL BE APPLIED TO ALL CONSTRUCTION AREAS SUBJECT TO EROSION WHERE FINAL GRADING HAS BEEN COMPLETED AND A PERMANENT COVER IS NEEDED.

SITE PREPARATION:

- 1. INSTALL REQUIRED SURFACE WATER CONTROL MEASURES. 2. REMOVE LOOSE ROCK, STONE AND CONSTRUCTION DEBRIS FROM AREA. 3. PERFORM ALL PLANTING OPERATIONS PARALLEL TO THE CONTOURS OF THE SLOPE. 4. APPLY TOPSOIL AS INDICATED ELSEWHERE HEREIN. 5. APPLY FERTILIZER ACCORDING TO SOIL TEST OR:

- SPRING SEEDING: WORK DEEPLY IN SOIL, BEFORE SEEDING, 300 LBS OF 10-10-10 FERTILIZER PER ACRE (7 LBS PER 1,000 SQUARE FEET); THEN SIX (6) TO EIGHT (8) WEEKS LATER APPLY ON THE SURFACE AN ADDITIONAL 300 LBS OF 10-10-10 FERTILIZER PER ACRE. - FALL SEEDING: WORK DEEPLY IN SOIL, BEFORE SEEDING, 600 LBS OF 10-10-10 FERTILIZER PER ACRE (14 LBS PER 1,000 SQUARE FEET).

ESTABLISHMENT:

- 1. SMOOTH AND FIRM SEEDBED WITH CULTIPACKER OR OTHER SIMILAR EQUIPMENT PRIOR TO SEEDING (EXCEPT WHEN HYDROSEEDING). 2. SELECT ADAPTED SEED MIXTURE AS FOLLOWS. NOTE RATES AND THE SEEDING DATES.

SUNNY TO PARTIALLY SUNNY SITES

Table with 3 columns: Species, Rate, and Notes. Includes Kentucky Bluegrass (20/0.50), Creeping Red Fescue (20/0.10), and Perennial Ryegrass (05/0.10).

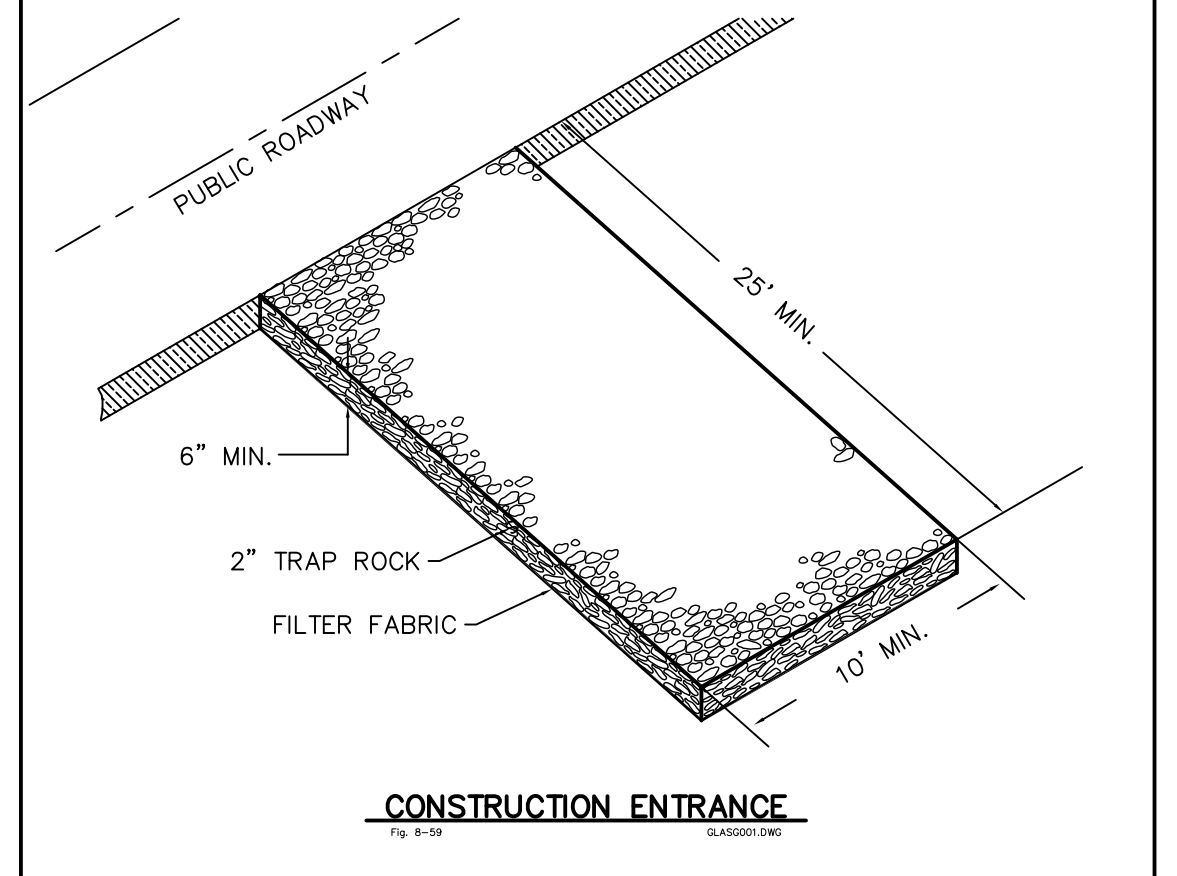
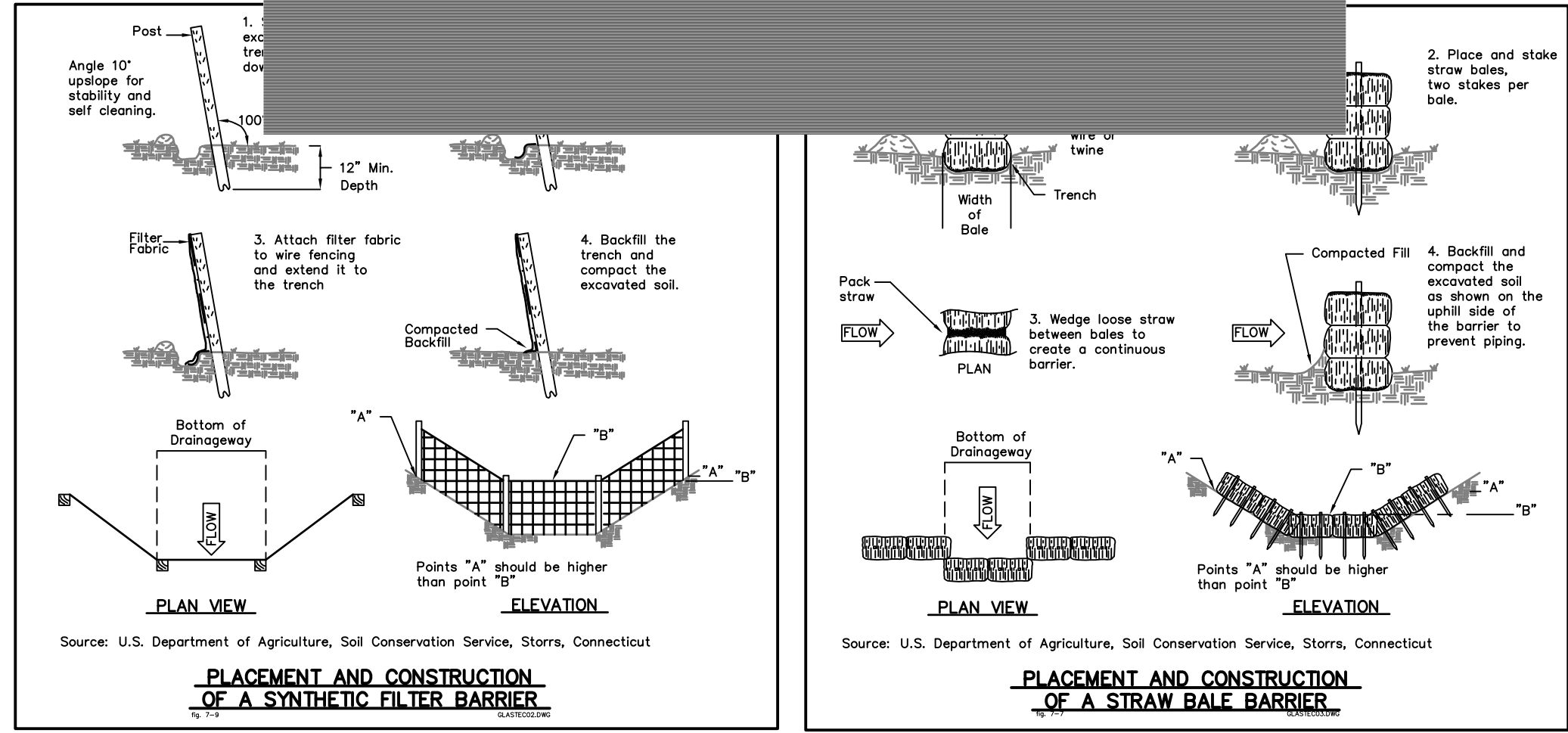
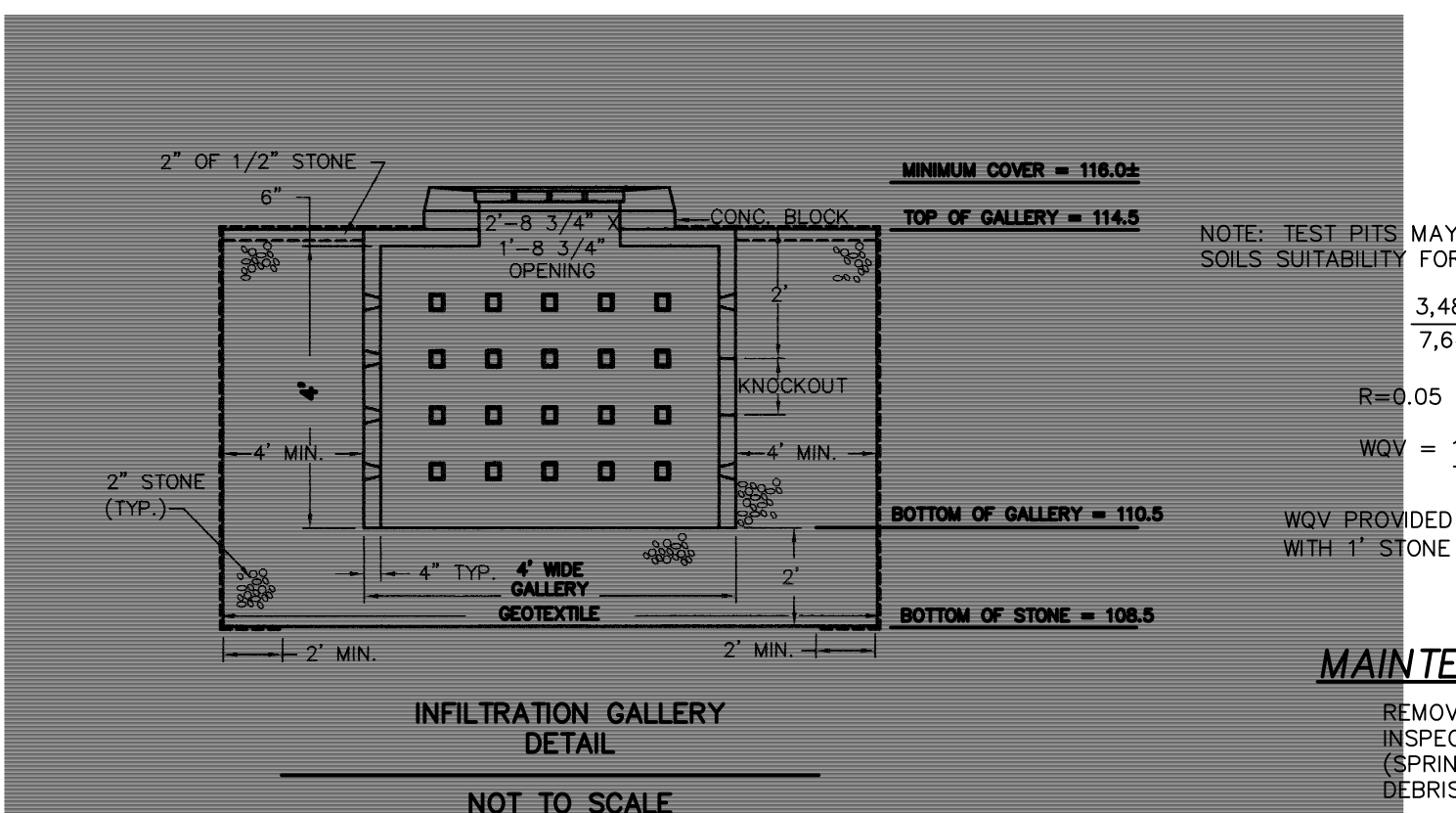
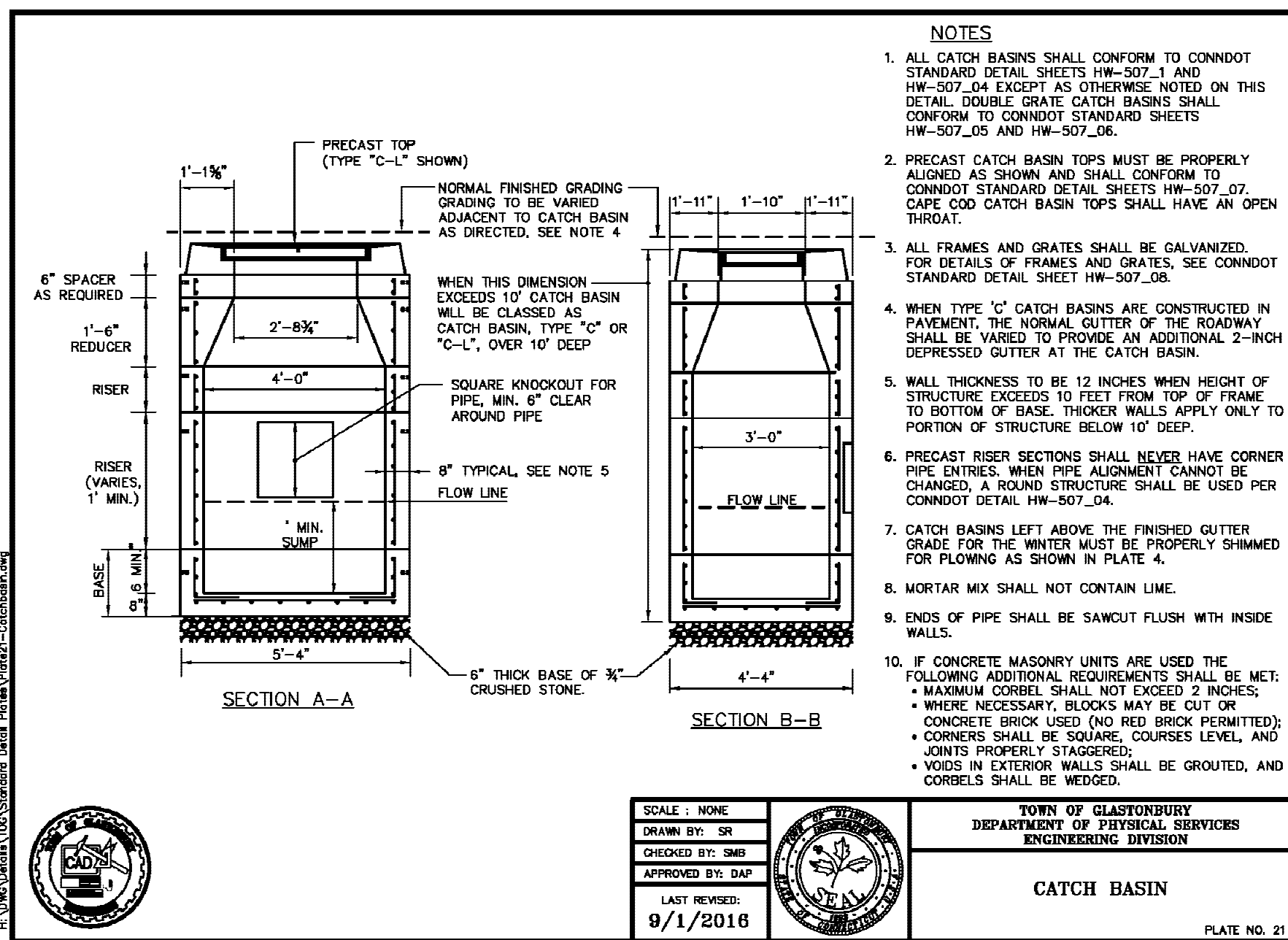
SHADY SITES

Table with 3 columns: Species, Rate, and Notes. Includes Creeping Red Fescue (50/1.00) and Perennial Ryegrass (05/0.10).

DROUGHTY SITES

Table with 3 columns: Species, Rate, and Notes. Includes Creeping Red Fescue (40/1.00) and Tall Fescue (20/0.50).

- 3. FINAL SEEDING SHALL TAKE PLACE PRIOR TO OCTOBER 1ST AS SEEDING AFTER THIS DATE RUNS A DISTINCT CHANCE OF FAILURE DUE TO ADVERSE WEATHER. ANY AREAS THAT ARE DISTURBED BETWEEN OCTOBER 1ST AND APRIL 1ST SHALL BE STABILIZED BY NON-VEGETATIVE MEANS SUCH AS HEAVY MULCHING WITH A BINDER OR JUTE MATTING WHICH WILL HAVE TO BE REMOVED BEFORE FINAL SEEDING AND THEN REPLACED AFTER FINAL SEEDING. 4. APPLY SEED UNIFORMLY ACCORDING TO RATE INDICATED, BY BROADCASTING, DRILLING, OR HYDRAULIC APPLICATION. 5. COVER GRASS AND LEGUME SEEDS WITH NOT MORE THAN 1/4 INCH OF SOIL WITH SUITABLE EQUIPMENT (EXCEPT WHEN HYDROSEEDING). 6. MULCH IMMEDIATELY AFTER SEEDING, IF REQUIRED, ACCORDING TO THE GUIDELINES IN THE "GUIDELINES". 7. USE PROPER INOCULATION ON ALL LEGUME SEEDINGS, USE FOUR (4) TIMES NORMAL RATE WHEN HYDROSEEDING.



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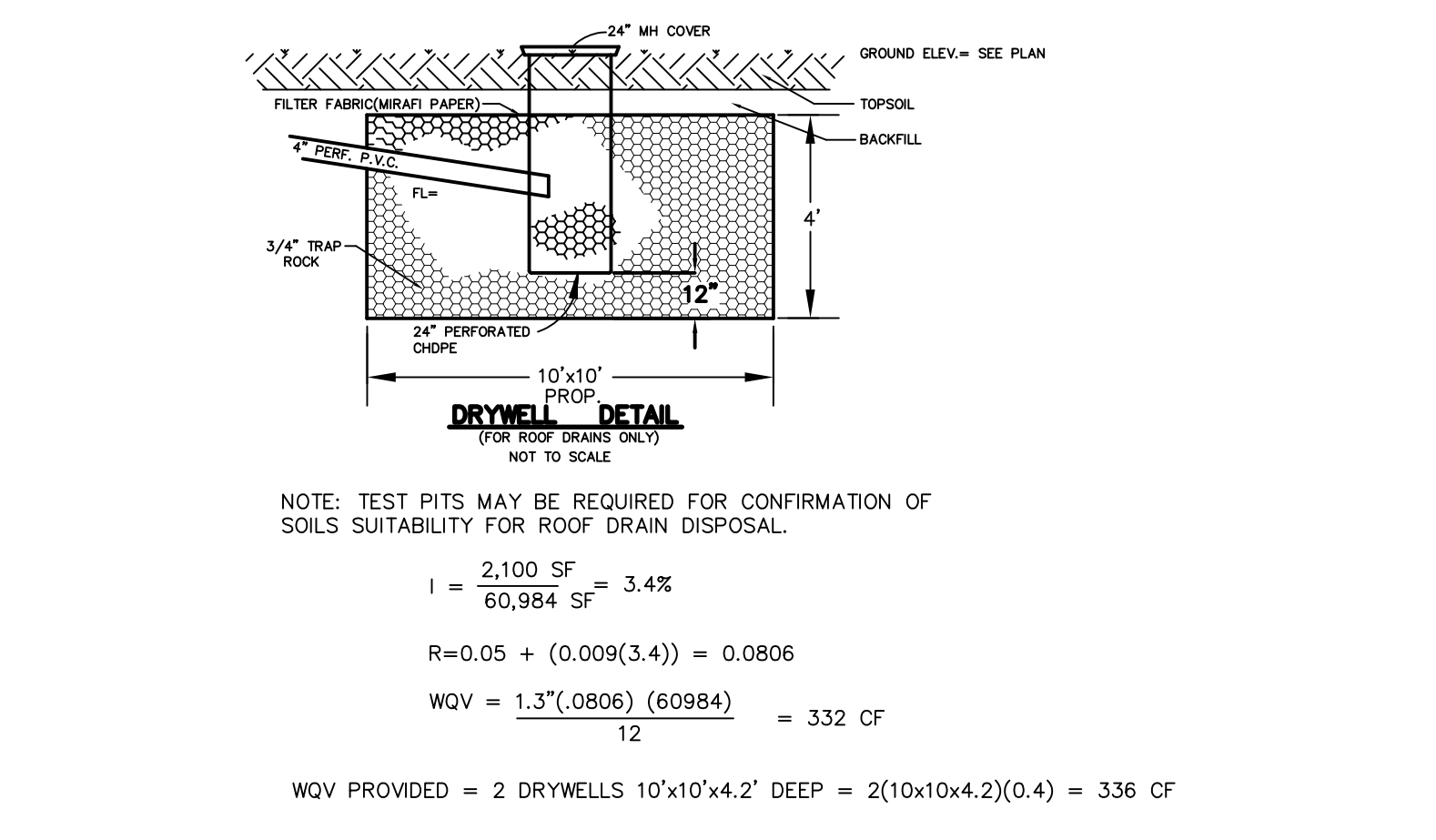
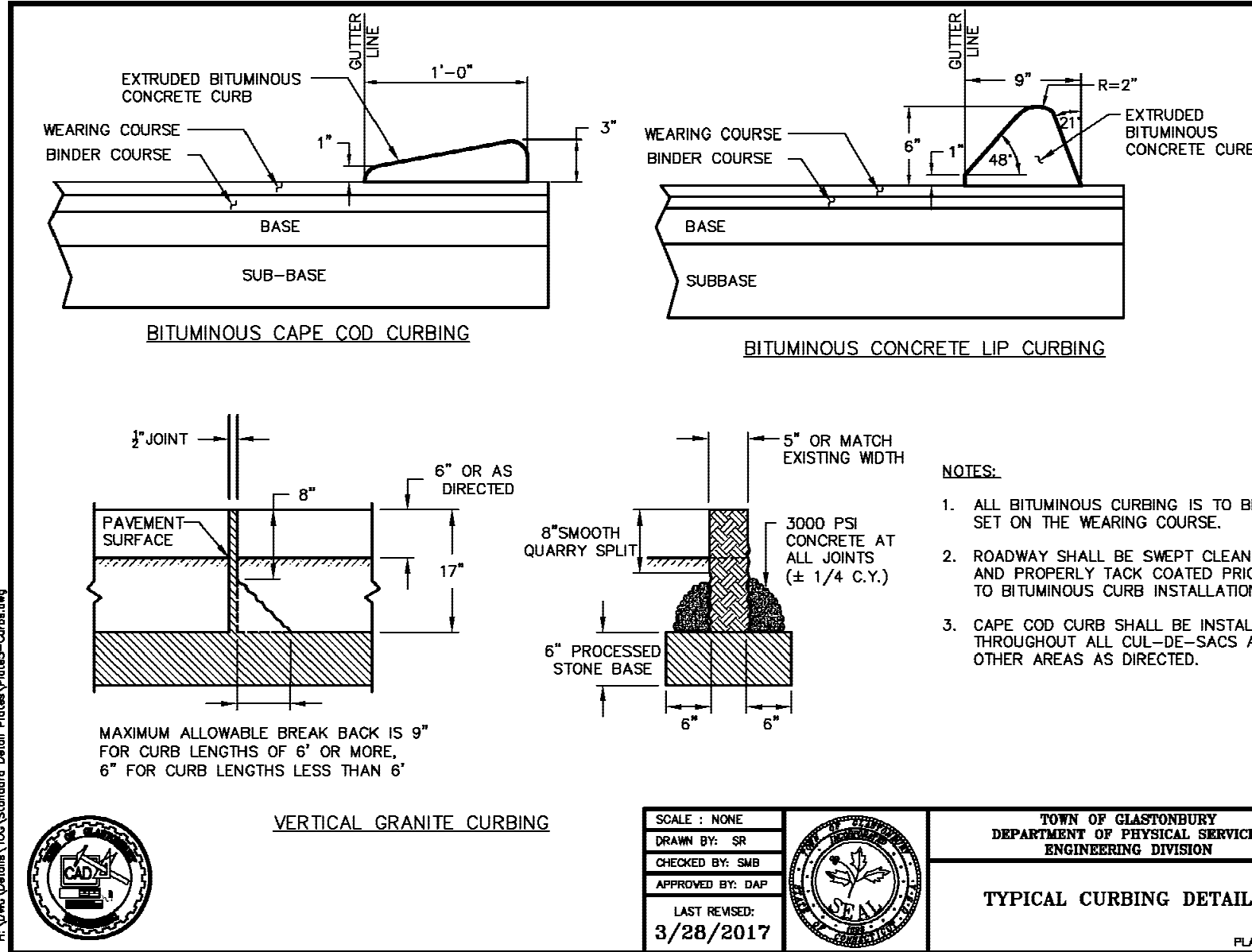
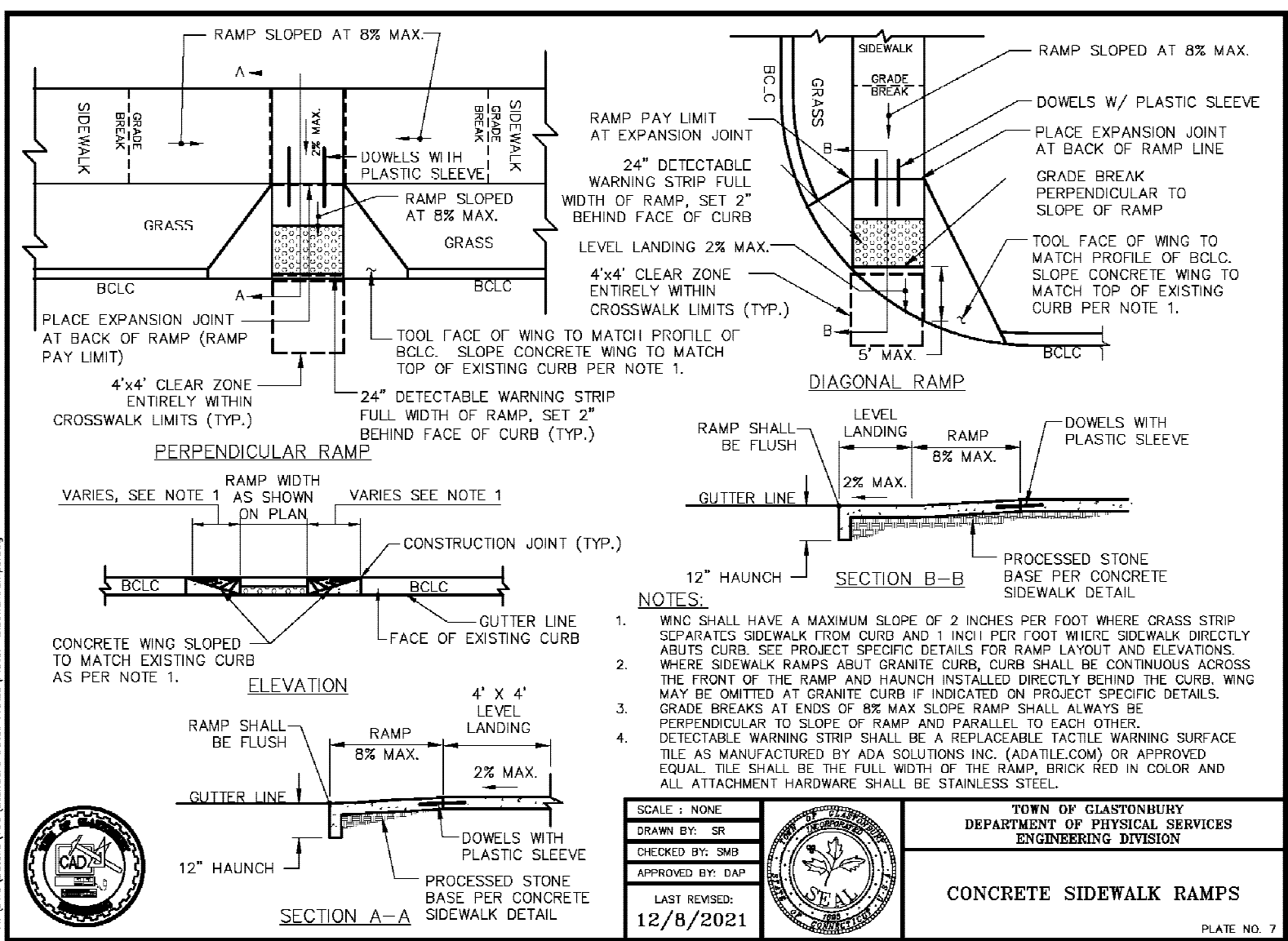
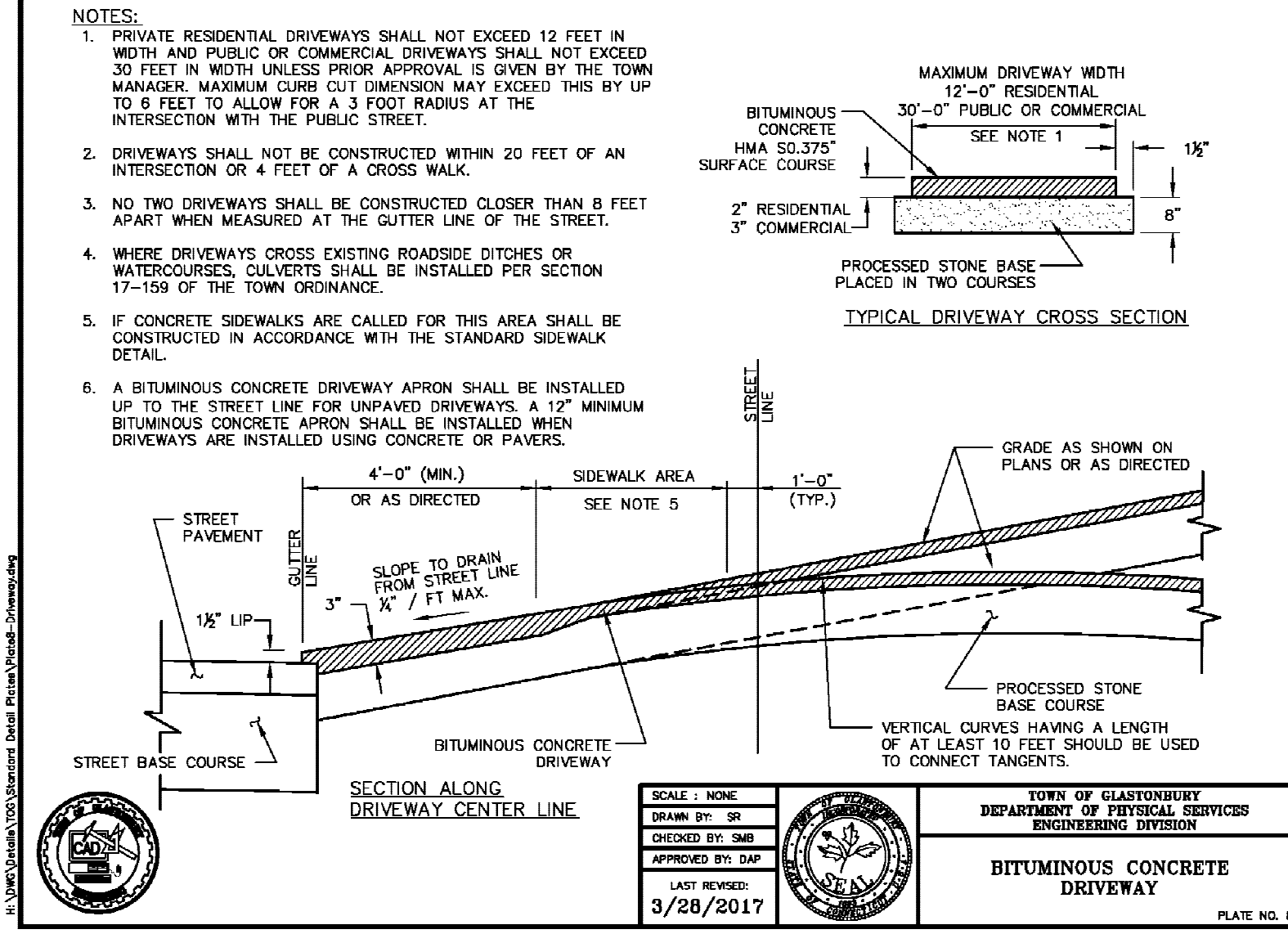
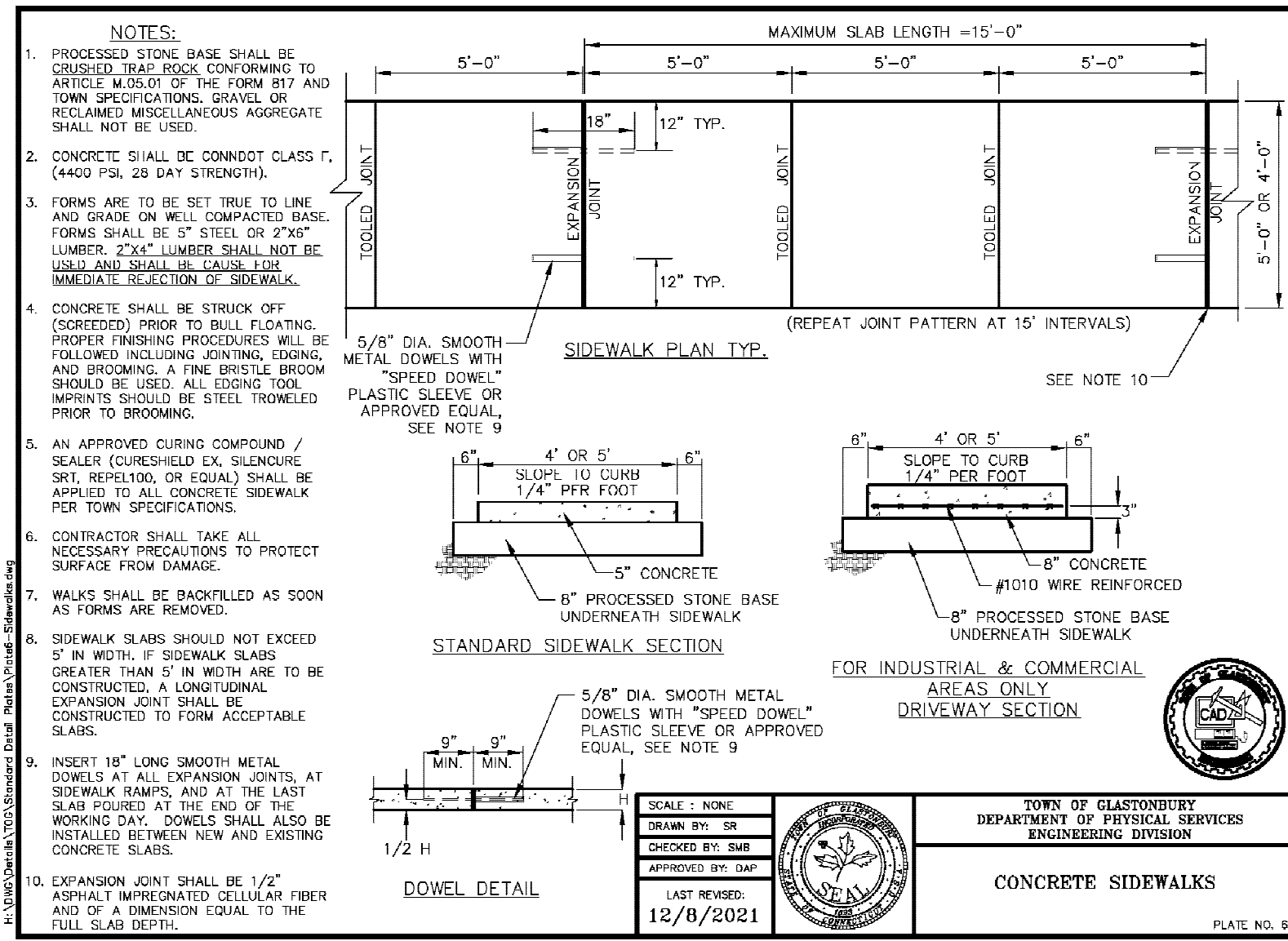
I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.

JONATHAN H. SCZUREK P.E. # 26858

MEGSON, HEAGLE & FRIEND CIVIL ENGINEERS & LAND SURVEYORS, LLC 81 RANKIN ROAD GLASTONBURY, CONN. 06033 PHONE (860)-659-0587

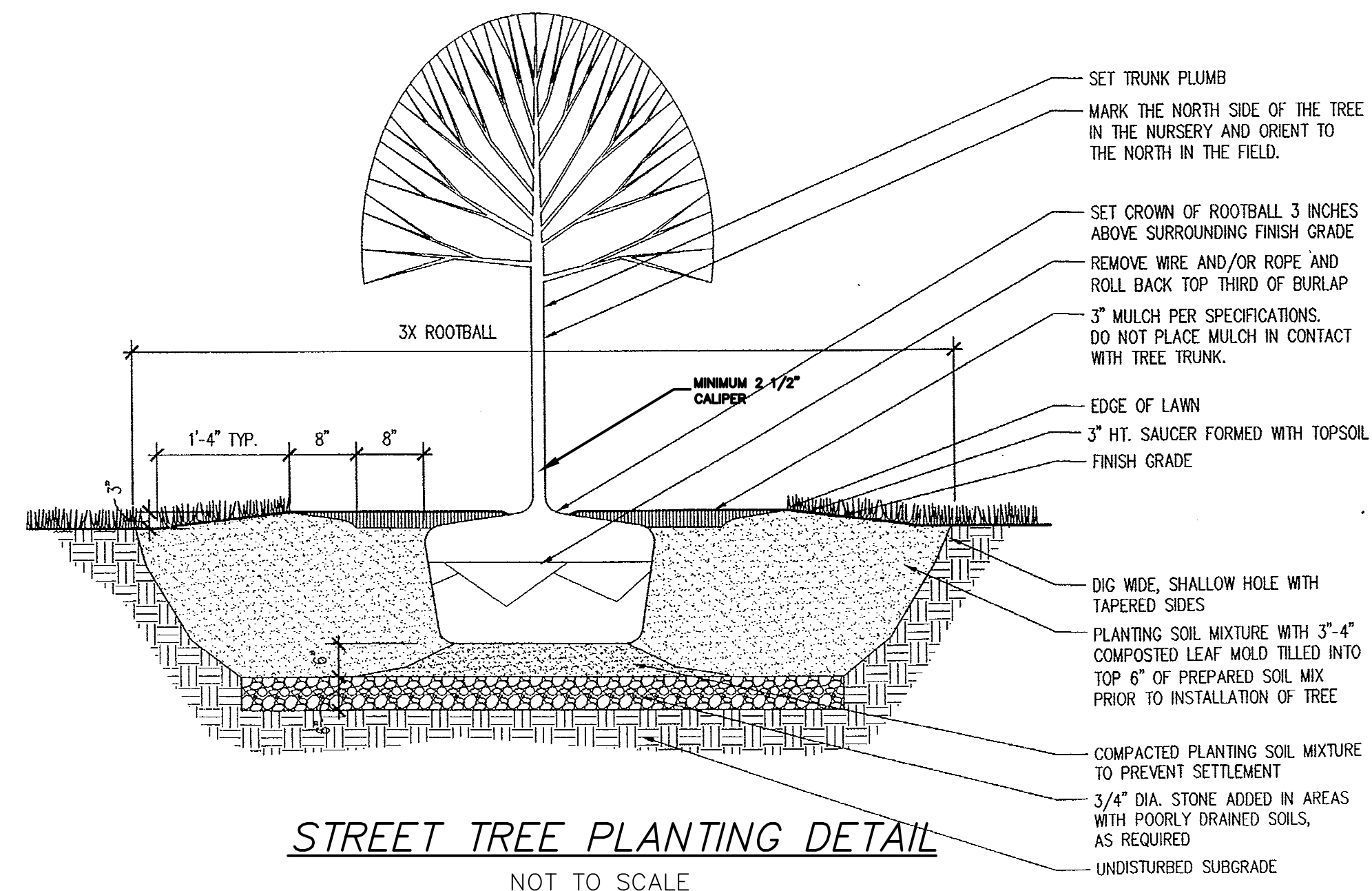
EROSION & SEDIMENTATION NOTES & DETAILS #43 GATES FARM ROAD RESUBDIVISION PREPARED FOR BRYAN FEERY GLASTONBURY, CONN.

REVISIONS table with columns: REV, DATE, DESCRIPTION. REV 11-15-23 ENGINEERING REVIEW COMMENTS. CK. BY: JHS. DRW. BY: PEJ. DATE: 10-26-23. SCALE: NONE. SHEET 6 OF 8. MAP NO. 12-23-1ESN.



MAINTENANCE SCHEDULE

REMOVE MANHOLE COVER AND INSPECT TWO TIMES PER YEAR (SPRING & FALL) REMOVE ANY DEBRIS AS REQUIRED.

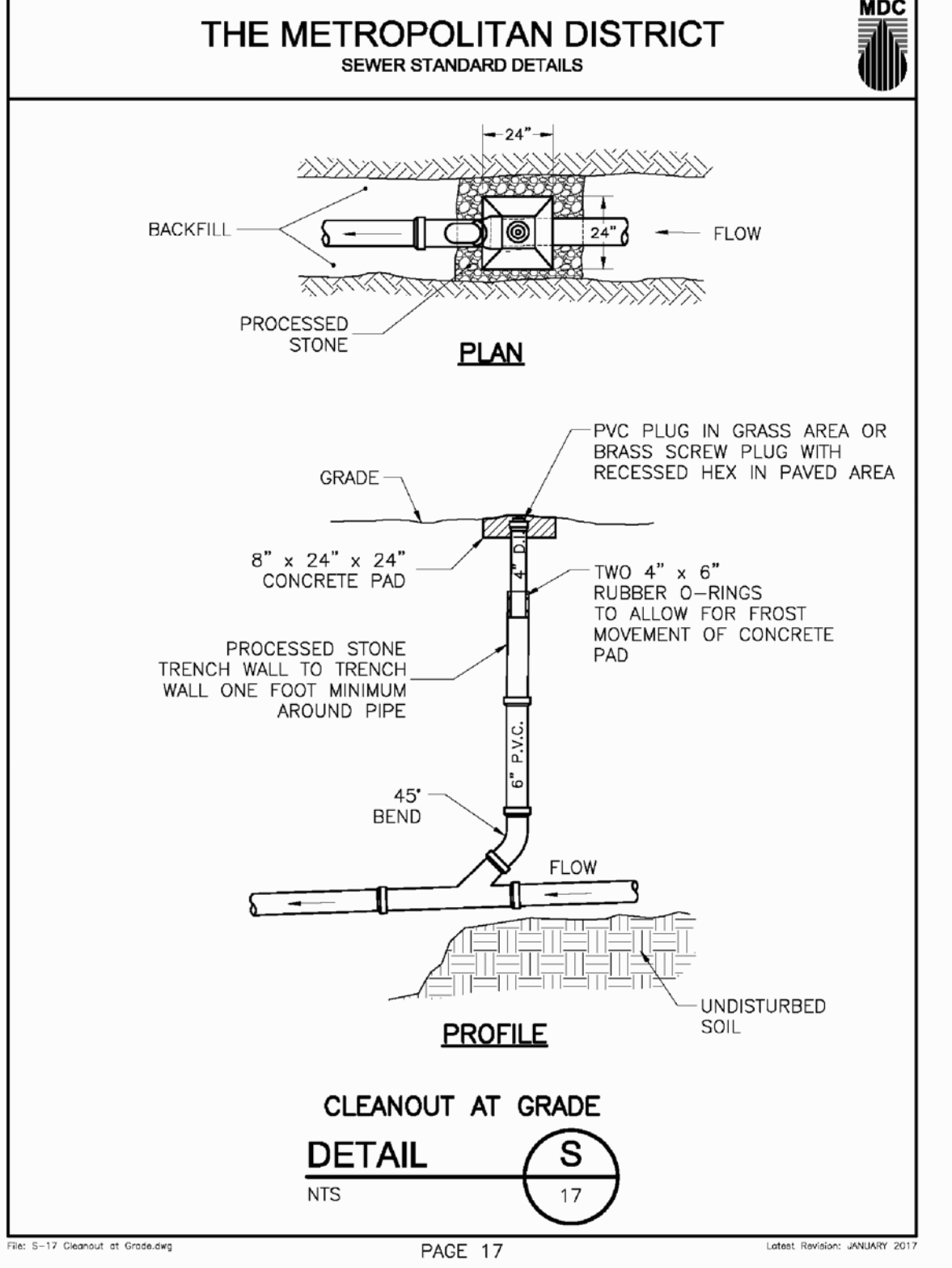


STREET TREE PLANTING DETAIL

NOT TO SCALE

SUITABLE STREET TREE SPECIES:
JAPANESE MAPLE (ACER PALMATUM)
FLOWERING DOGWOOD (CORNUS FLORIDA)
PIN OAK (QUERCUS COCCINEA)

FINAL LOCATIONS AND TYPES OF STREET TREES SHALL BE SHOWN ON PLOT PLAN FOR BUILDING PERMIT AND APPROVED BY THE ENVIRONMENTAL PLANNER PRIOR TO ISSUANCE OF A BUILDING PERMIT.



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81 RANKIN ROAD
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GENERAL NOTES & DETAILS
#43 GATES FARM ROAD RESUBDIVISION
PREPARED FOR
BRYAN FEERY
GLASTONBURY, CONN.

REV. 11-15-23 ENGINEERING REVIEW COMMENTS

CK. BY: JHS

DRW. BY: PEJ

DATE: 10-26-23

SCALE: NONE

SHEET 7 OF 8

MAP NO. 12-23-1GN