

SECTION 12 SPECIAL PERMIT WITH DESIGN REVIEW
 115 SEQUIN DR
 FOR CONSTRUCTION OF NEW WAREHOUSE BUILDING
 MEETING DATE : DECEMBER 12, 2023

PUBLIC HEARING #1
 12/12/23 AGENDA

To:
 Town Plan and Zoning
 Commission

From:
 Office of Community
 Development Staff

Memo Date: 12/7/23

Zoning District:
 Planned Commerce
 Zone (PC)

Applicant / Owner:
 EDI Holdings, LLC

EXECUTIVE SUMMARY

- The applicant is proposing constructing 2750 sq ft warehouse building to be used for storage of materials with office space for a landscape contractor. The property is 4.13 acres and is zoned Planned Commerce.
- Applicant meets all the bulk requirements for the Planned Commerce Zone.
- The applicant is proposing to clear 1/3 of the site to develop the site.
- Exterior storage bays will be used to store topsoil, mulch, stone and other landscape materials.
- ASDRC reviewed the proposed project at their regularly scheduled meeting on November 21, 2023. The Committee forwarded a favorable recommendation in their ASDRC Review Committee Report dated 11/21/23.
- The Plans Review Subcommittee reviewed the plans at their October 11, 2023 meeting.
- The Conservation Commission / Inland Wetlands and Watercourses Agency reviewed the application at their April 27, 2023 and forwarded favorable recommendation to TPZ in their memo dated 5/2/23.



Aerial view of 115 Sequin Drive

REVIEW

Included for Commission review are the following:

- Town of Glastonbury staff memoranda
- Project narrative memoranda prepared by the applicant
- Site Plans
- Architectural elevations and signage details
- Review of Groundwater Protection Permit

SITE DESCRIPTION

The site is a 4.13 acre site located in the Planned Commerce Zone in a predominantly industrial area at the end of a culdesac located on Sequin Drive. The site is vacant with slopes running west to east. No wetlands are located on the site.

ADJACENT USES

North—Industrial Uses

East—Residential Uses (buffered by rising slopes and 2/3 of back acreage being left uncleared)

West— Industrial Uses

South—Industrial Uses

PROPOSAL

Applicant is proposing construction of a 2750 sq ft warehouse with 750 sq ft of office for landscape contractor. Applicant will have retaining walls patio area and showroom to display construction materials and how they can be attractively incorporated into a proposed site. Parking and exterior storage bin area will be used to park equipment, vehicles, and landscape material such as topsoil, mulch, and stone. Applicant proposes ornamental fence in the front of the site with black powder coated chain link fence to the side and rear of the property for security purposes. The site will feature landscaping around the building and entrance drive and open areas to enhance the aesthetics of the industrial site.

PARKING AND SITE CIRCULATION

Applicant proposes access via a single drive located at the end of the culdesac with parking and storage located and tucked to the rear of the building to minimize visibility of landscape equipment and storage areas. Applicant has met the parking requirement in Section 9.11 for the proposed use locating 4 parking spaces to the rear of the site.

LIGHTING

Applicant proposes 4 wall mounted and one light pole to illuminate the parking and storage areas behind the proposed building. All proposed lighting is dark sky compliant with full cut off fixtures and the applicant has provided a photometric lighting plan demonstrating no light spillage on to neighboring properties and acceptable lighting intensity levels.

ARCHITECTURE AND LANDSCAPING

Applicant received approval from ASDRC at their meeting on 11/21/23. The committee forwarded a favorable recommendation and comments in their ASDRC Review Committee Report dated 11/21/23.

SIGNAGE

Applicant proposes installing a 5ft high 18 sq ft detached sign located at the front of the site to identify the location of the business. The proposed signage meets the requirements of Section 10 Sign Regulations.

GROUNDWATER PROTECTION PERMIT

The proposed site is located in Groundwater Protection Area 1 (GW-1). Applicant has met the standards per Section 20.16 for a lawn care service with no hazardous materials being stored and less than 11 gallon fuel containers. There are no floor drains being proposed in the building and the applicant has met the nitrogen loading calculations as well. Therefore, it is not necessary for the applicant to apply for Special Permit as all required standards have been met.

PLANNING AND ZONING ANALYSIS

The proposed development meets all bulk requirements of the zone and the proposed use of the site for a landscape contractor is a suitable use for the industrial area located in a Planned Commerce Zone. The project is also in accordance with the 2018—2028 Plan of Conservation & Development.

Pertinent staff correspondence is attached.

TOWN PLAN AND ZONING COMMISSION
DRAFT MOTION

SECTION 12 SPECIAL PERMIT
WITH DESIGN REVIEW

APPLICANT/OWNER: EDI HOLDINGS, LLC
78 TOWHEE LANE
GLASTONBURY, CT 06033

FOR: 115 SEQUIN DRIVE

MOVED, that the Town Plan & Zoning Commission approve the applications of EDI Holdings, LLC for a Section 12 Special Permit with Design Review – for a warehouse building with office space & storage bays – 115 Sequin Drive – Planned Commerce Zone, in accordance with plan set entitled Proposed Warehouse 115 Sequin Drive, prepared BSC Group revision date November 17, 2023.

And

1. In compliance with:
 - a. The recommendations from ASDRC in their Committee Report dated 11/21/23.
 - b. The conditions set forth by the Conservation Commission / Inland Wetlands and Watercourses Agency, in their recommendation for approval to the Town Plan and Zoning Commission and the Wetlands Permit in their memo dated May 2, 2023.
2. In adherence to:
 - a. The Town Engineer's memorandum dated December 6, 2023.
 - b. The Director of Health's memorandum dated December 5, 2023.
 - c. The Police Chief's memorandum dated December 4, 2023.
3. All construction shall be performed in accordance with the following:
 - a. 2002 Connecticut Guidelines for Soil Erosion and Sedimentation Control, as amended
 - b. The Connecticut Stormwater Quality Manual, as amended
 - c. All stormwater discharge permits required by the Connecticut Department of Energy and Environmental Protection (DEEP) pursuant to CGS 22a-430 and 22a-430b
 - d. Section 19 of the Town of Glastonbury Building-Zone Regulations, as amended and any additional mitigation measures to protect and/or improve water quality as deemed necessary by the Town.
4. This is a Section 12 Special Permit with Design Review. If unforeseen conditions are encountered during construction that would cause deviation from the approved plans, the applicant shall consult with the Office of Community Development to determine what further approvals, if any, are required.

APPROVED: TOWN PLAN & ZONING COMMISSION
DECEMBER 12, 2023

ROBERT J. ZANLUNGO, CHAIRMAN



Town of Glastonbury

FIRE MARSHAL'S OFFICE • (860) 652-7526 • FireMarshal@glastonbury-ct.gov

Date: December 8, 2023

To: Office of Community Development

Re: TPZ agenda December 12, 2023

The fire marshal's office has no current comments for the items (1-5) of the agenda at this stage. We look forward to further review as plans develop for items 1, 3, and 4. Items 2 and 5 will not likely be in our jurisdiction.

Sincerely,

Michael Makuch
Fire Marshal



Architectural & Site Design Review Committee Report

MEETING DATE: 11/21/23

APPLICANT: Matt Stephan, BSC Group

PROPERTY ADDRESS: 115 Sequin Dr

ZONE: Planned Commerce (PC)

APPLICATION TYPE: Regulatory Advisory Courtesy

REVIEW TYPE: Preliminary/Conceptual Review Final Review

DESIGN AREA: Town Center Village District Town Center Upper Main Street

Putnam/Glastonbury Blvd Naubuc Ave/ Pratt St Lower New London Tpke

Reserved Land Other Area

ADSRC MEMBERS PRESENT:

M. Branse B. Davis D. DeVries-Dalton D. Flinchum J. Kamm

A. Luzi R. Shipman

APPLICATION: New Construction Addition Exterior Renovation Demolition

Other: _____

ACTION: ASDRC forwards a favorable recommendation with regard to architectural and landscape design as noted

ASDRC forwards a non-favorable recommendation with regard to architectural and landscape design as noted

Additional design studies/information requested

Other: _____

COMMENTS and RECOMMENDATIONS:

- Add 8-10 trees, of less than 2.5-inch caliper, to re-naturalize the regraded areas;
- The natural dumpster enclosure shall match the color palette of the building;
- A double row of trees, of less than 2.5-inch caliper, shall be installed along the entrance drive.

MEMORANDUM

To: Town Plan & Zoning Commission

From: Suzanne Simone, Environmental Planner (8)

Date: May 2, 2023

Re: Recommendation to the Town Plan & Zoning Commission: 115 Sequin Drive

MOVED at the April 27, 2023 regular meeting of the Conservation Commission:

MOVED, that the Conservation Commission recommends to the Town Plan & Zoning Commission approval of a Special Permit for a proposed warehouse building with material storage and office space with associated stormwater management at 115 Sequin Drive, in accordance with plans entitled "Proposed Warehouse, 115 Sequin Drive, Glastonbury CT, Dated March 23, 2023, 9 Sheets (Sheets C-3.0 and C-6.0 Revised April 19, 2023)", with the following recommendations:

1. Erosion controls shall be installed correctly and maintained in proper working condition and shall be repaired and replaced as needed until the site is vegetatively stabilized.
2. The temporary stockpile area (TSA) shall be encircled with silt fence and shall be seeded if the soil is planned to remain for longer than 21 days.
3. The driveway shall be paved within one year of certificate of occupancy issuance.
4. The crushed stone pad for outdoor storage in the southeast corner of the driveway shall be monitored and maintained to prevent sedimentation and erosion. The crushed stone in this area shall be evaluated once per year to evaluate if replacement of stone is required in order to have this area function as designed.
5. Future landscape plans shall incorporate native plant species listed in the Connecticut Botanical Society *Native and Naturalized Vascular Plants of Connecticut Checklist*.
<https://sites.google.com/a/conncoll.edu/vascular-plants-of-connecticut-checklist/home/electronic-versions-of-connecticut-checklist?authuser=0>
6. Future lighting fixtures shall be installed to prevent light trespass into the existing on site conservation easement (east) and neighboring conservation easement (south), and shall be verified by documentation on a photometric plan, available upon request by town officials.
7. The Construction Sequence and Erosion Control Plan shall be adhered to.

December 6, 2023

MEMORANDUM

To: Town Plan and Zoning Commission
Shelley Caltagirone, Director of Community Development

From: Daniel A. Pennington, P.E. Town Engineer / Manager of Physical Services 

Re: Proposed Warehouse Building - 115 Sequin Drive
Section 12 Special Permit

The Engineering Division has reviewed the plans for the proposed warehouse building located at 115 Sequin Drive revised November 17, 2023, and the related Stormwater Management Report revised November 2023 prepared by BSC Group and offers the following comments:

1. The detention basin should be labeled with required and provided water quality volumes (WQV) on the plans. The detention basin outlet structure detail should be adjusted to reflect the correct WQV elevation for the lowest weepholes for consistency with computations. The flow line for the 4" underdrain should also be labeled on the detail.
2. The MS4 compliance table on sheet 4 needs to be revised for consistency with the Stormwater Management Report.
3. The existing 18-inch RCP stub from the catch basin in the cul-de-sac should be removed and a new 12-inch RCP extended to the detention pond outlet structure to ensure a good long-term connection to the town drainage system. The proposed reducer and connection between differing pipe types will likely be problematic.
4. The grass swale on the site plan should refer to the proposed erosion control mat lining and associated details in the plans set.
5. The proposed reclaimed asphalt pavement in the area of the proposed ADA parking and access route to the building may not provide a uniform surface that complies with ADA. It is suggested that the applicant considers using hot-mix asphalt in this area to ensure compliance with ADA. The durability of proposed pavement markings on reclaimed asphalt is also questionable.
6. The proposed concrete block material storage area has a height that exceeds 4 feet and must be an engineered wall. Appropriate details should be included for the proposed wall to clarify design intent. Flow lines for the proposed underdrain behind the wall should also be labeled on the plans, including the outlet elevation.

7. Offsets for the proposed building foundation to the property lines must be depicted on the site plan.
8. Property corners need to be labeled with NAD 83 coordinates.
9. Applicant shall submit PDF copies of final approved plans and stormwater management report to the Engineering Division for our records.



Town of Glastonbury
Health Department

Memo

December 5, 2023

To: Shelley Caltagirone, Director Planning and Land Use Services

Fr: Wendy S. Mis, Director of Health 

Re: 115 Sequin Drive
Application for Special Permit with Design Review- warehouse, office, storage bays

This office has received and reviewed the plan submitted for 115 Sequin Drive.

The property is serviced by public water and sewer. No public health impact is anticipated, and approval with respect to CT Public Health Code is forwarded for Commission consideration.



Town of Glastonbury

GLASTONBURY POLICE DEPARTMENT • TEL (860) 633-8301 • FAX (860) 652-4290

CHIEF OF POLICE
Marshall S. Porter

CAPTAIN
Mark Catania

MEMORANDUM

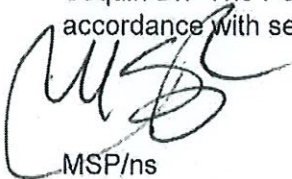
TO: Town Plan and Zoning Commission

FROM: Marshall S. Porter, Chief of Police

DATE: 12/04/2023

RE: Special Permit- Warehouse, 115 Sequin Dr.

Members of the Police Department have reviewed the application for the warehouse construction at 115 Sequin Dr. The Police Department has no objection to the proposal so long as the lots are numbered in accordance with section 17-19 of the Town Code of Ordinances.



MSP/ns



TO: Town Plan & Zoning Commission

FROM: ALTER & PEARSON, LLC

DATE: December 8, 2023

RE: Project Narrative for §12 Special Permit with Design Review Proposed Warehouse and Associated Site Improvements – 115 Sequin Drive (Planned Commerce Zone)

The Applicant is a Glastonbury resident who has operated EDI Masonry and Landscaping, LLC for the past ten years. At the end of 2022, the Applicant purchased 115 Sequin Drive so that it could relocate its business from Rocky Hill, to Glastonbury. The Applicant's goals in selecting this site are:

1. To have its business located in Glastonbury;
2. To have a secure site that could accommodate both indoor and outdoor storage of business equipment and supplies; and
3. To have a showcase area for its masonry and landscaping work.

The Site is located on the end of Sequin Drive, easterly of the cul-de-sac and totals 4.13± acres (179,975± s.f.). The Site is currently vacant, and slopes up from the west to the east, with an elevation of 115± at the street and an elevation of 190± at the easterly property line. The Applicant is proposing to regrade only the portion of the Site needed to accommodate the proposed improvements; therefore, *only* 1.4± acres (60,984±s.f.) of the 4.13± acre (179,975± s.f.) Site will be disturbed.

One curb cut is proposed at the cul-de-sac and an 18 ft. wide driveway provides access to the proposed 2,750 s.f. warehouse. Four (4) parking spaces are proposed at the northeast side of the proposed warehouse adjacent to the proposed dumpster pad with enclosure. Four material storage areas, each 13 ft. x 15 ft., are proposed easterly of the warehouse, together with an outdoor storage area which is proposed southeast of the warehouse. The outdoor showcase area is positioned between the parking spaces and the street and includes a patio, seating wall, firepit and landscaping. Two decorative field stone retaining walls (24 inches in height) are southwest of the proposed warehouse. A detention basin is proposed in the front yard. A decorative aluminum fence is proposed along the frontage of the lot (approximately 54 ft.-87 ft. behind the back of the street curb), and a black chain link fence is proposed along the side property lines at the limit of clearing. Dark sky compliant lights are proposed including one light pole in the parking lot (15 ft. mounting height), together with fixed (non-adjustable) building mounted wall packs (12' mounting height) and a decorative light under the entry portico.

Please see the attached Rendered Site Plan with Aerial Context, together with a Rendered Site Plan with Building Rendering. A detailed description of the architectural components of the proposed warehouse, prepared by Cheryl Newton, AIA, is attached to this narrative. The Applicant attended three meetings with the ASDRC and received a positive recommendation (5-1-0) on November 21, 2023, with the following suggestions: (1) Add 8-10 trees, of less than 2.5-inch caliper, to re-naturalize the regraded areas, (2) the dumpster enclosure shall match the color palette of the building, and (3) a double row of trees, of less than 2.5-inch caliper, shall be installed along the entrance drive. The Applicant consents that these items be incorporated as conditions of any approval by the Town Plan Zoning Commission, and has included a redlined version of the landscape plan indicating the locations it will incorporate the landscaping suggestions.



Cheryl Newton Architects LLC

September 18, 2023

SCOPE OF WORK SUMMARY

EDI Masonry and Landscaping

115 Sequin Drive, Glastonbury CT

The building is designed to reflect the owner's vision of a beautiful business headquarters that is warm, with natural colors and masonry to accentuate EDI's business values of customer centered design and quality masonry installation.

115 Sequin Drive was purchased to provide a secure location to protect vehicles and inventory, centralize operations with materials readily available on site, showcase the company's custom masonry capabilities, and

Key elements of the design include:

- a. Natural earthtone colors of tan siding with dark bronze windows and roofing. (samples available)
- b. Stone masonry base around the perimeter of the building.
- c. Oversized windows to balance the scale and proportions of the building.
- d. Timber Framed Entrance Canopy

The 2750 SF custom prefabricated metal structure is 14'-6 3/4" at the top of wall, and the 5:12 roof pitch brings the peak of the building to 24'-7 1/2" at the highest point. Two windows that are 6'-0" wide and 7'-0" tall flanking the 6'-0" wide x 8'-0" Tall pair of glass entrance doors. Overhead doors at the back of the building are 12'-0" wide x 12'-0" tall, and painted dark bronze to match the trim. One additional 3'-0" wide x 7'-0" tall egress door from the garage area is also.

We believe the warm earth tone colors and custom masonry details will blend in naturally with the surrounding trees that have been preserved on site to create a delightful experience for our customers.

Sincerely,

A handwritten signature in cursive script that reads "Cheryl Newton, AIA".

Cheryl Newton, AIA



Context Plan

115 Sequin Drive Development

Glastonbury, CT

date 10/12/2023 | scale 1"=20' | 0' 5' 10' 20' 40'



Cheryl Newton
Architects LLC
www.cnarchitects.com



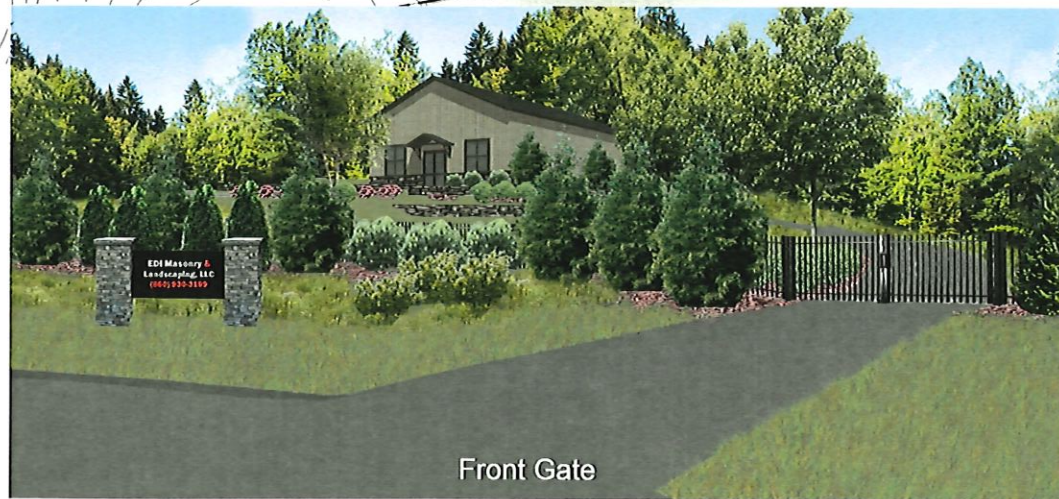
655 WINDING BROOK DRIVE, GLASTONBURY, CT 06033
(860) 652-8227

CIVIL ENGINEERING, LANDSCAPE ARCHITECTURE, SURVEYING,
PLANNING, GIS, AND ECOLOGICAL SCIENCES



PLANT SCHEDULE

| TREES | CODE | QTY | BOTANICAL / COMMON NAME | CONT. | GAL. | HT. |
|---------------|------|-----|--|-------|-------------|----------|
| | AB | 9 | ABIES BALSAMEA / BALSAM FIR | B & B | | 4'-6" |
| | AC | 6 | AMELANCHER CANADENSIS / CANADIAN SERVICEBERRY | B & B | | 4'-6" |
| | BN | 2 | BETULA NIGRA / RIVER BIRCH MULTI-TRUNK | B & B | | 6'-8" |
| | CT | 8 | CHAMAECYPARIS THYODES / ATLANTIC WHITE CYPRESS | B & B | | 4'-6" |
| | JE | 6 | JUNIPERUS VIRGINIANA / EASTERN RED CEDAR | B & B | | 4'-6" |
| | LS | 3 | LIQUIDAMBAR STYRACIFLUA / SWEET GUM | B & B | 2.5-3' CAL. | |
| | PT | 3 | PINUS STROBUS 'TORULOSA' / TORULOSA WHITE PINE | B & B | | 4'-5" |
| | OR | 1 | QUERCUS RUBRA 'AUREA' / AUREA RED OAK | B & B | 2.5-3' CAL. | |
| | TS | 4 | THUJA OCCIDENTALIS 'SMARAGD' / EMERALD GREEN ARBORVITAE | B & B | | 4'-6" |
| SHRUBS | CODE | QTY | BOTANICAL / COMMON NAME | CONT. | HT. | |
| | Co | 20 | CORNUS AMOMUM / SILKY DOGWOOD | 3 GAL | | 18"-24" |
| | lg | 14 | ILEX GLABRA / HICKBERRY HOLLY | 3 GAL | | 15'-18" |
| | Ir | 9 | ILEX VERTICILLATA 'RED SPRITE' / RED SPRITE WINTERBERRY | 2 GAL | | 12'-15" |
| | Jh | 17 | JUNIPERUS HORIZONTALIS / CREEPING JUNIPER | 2 GAL | | |
| | K | 13 | KALMIA LATIFOLIA 'LITTLE LINDA' / MINIATURE PINK MOUNTAIN LAUREL | 2 GAL | | 15'-18" |
| | Sp | 3 | SALIX DISCOLOR / PUSSY WILLOW | 3 GAL | | 18"-24" |
| | Sn | 3 | SAMBUCUS NIGRA / BLACK ELDERBERRY | 3 GAL | | 18"-24" |
| | Vd | 3 | VIBURNUM DENTATUM 'ARROWWOOD' / ARROWWOOD VIBURNUM | 3 GAL | | 18"-24" |
| GROUND COVERS | CODE | QTY | BOTANICAL / COMMON NAME | CONT. | | |
| | Ph | 31 | PANICUM VIRGATUM 'NORTHWIND' / NORTHWIND SWITCH GRASS | 1 GAL | | 36" o.c. |
| | Pf | 8 | PANICUM VIRGATUM 'RED FLAME' / RED FLAME SWITCH GRASS | 1 GAL | | 36" o.c. |



Front Gate



Outdoor Showcase Area



Site Plan

115 Sequin Drive Development

Glastonbury, CT

date 10/12/2023 scale 1"=20' 0' 5' 10' 20' 40'

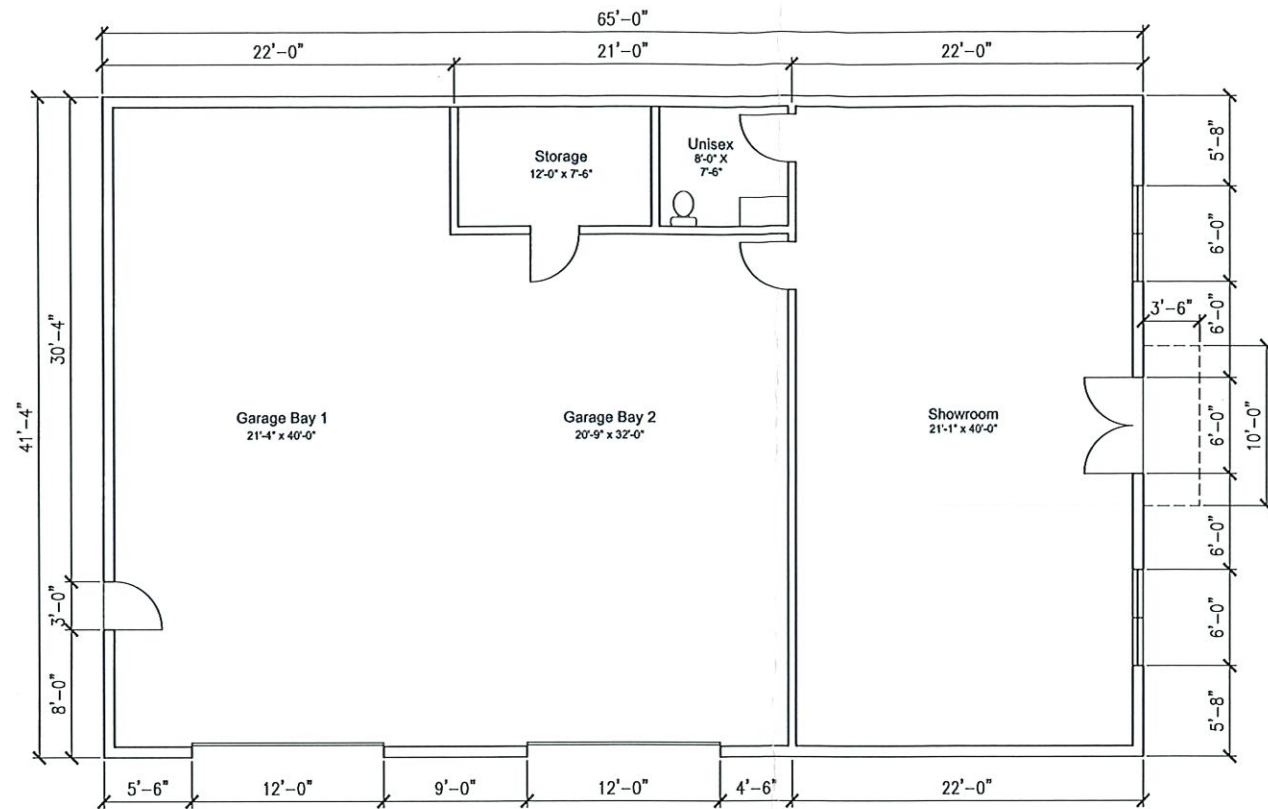


Cheryl Newton Architects LLC
www.cnarchitects.com

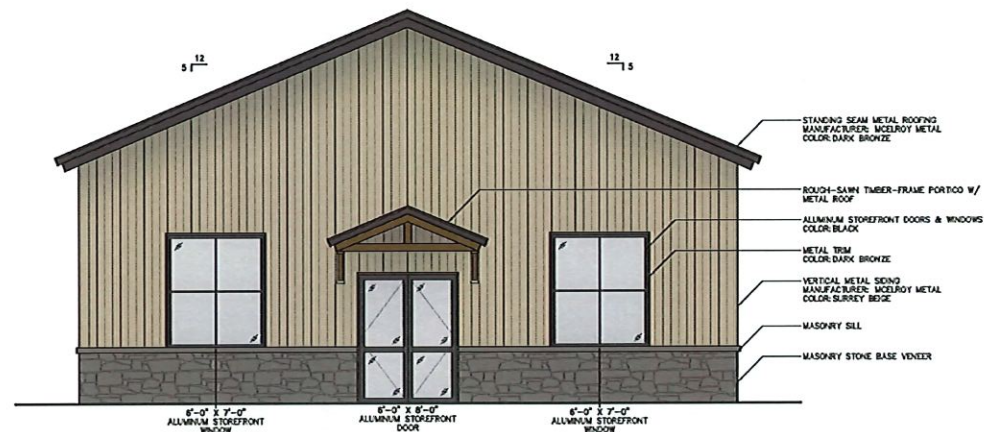


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(860) 652-8227

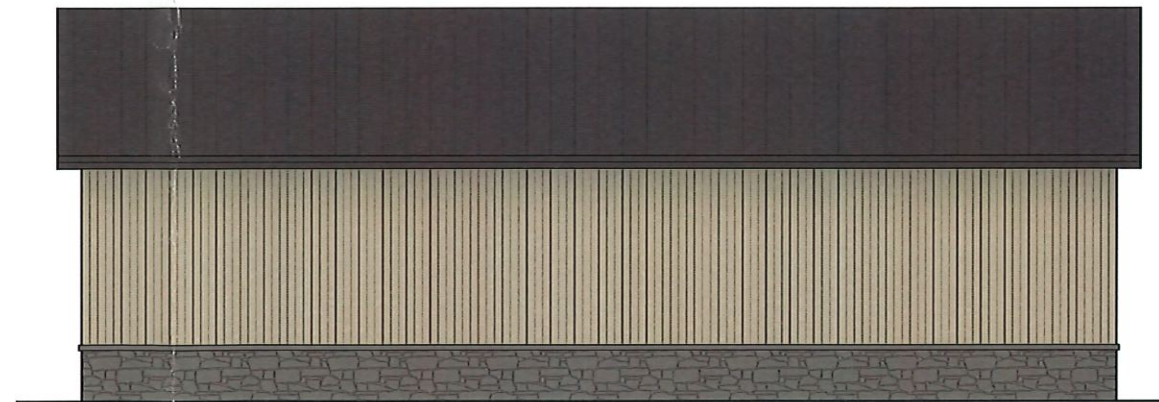
CIVIL ENGINEERING, LANDSCAPE ARCHITECTURE, SURVEYING,
PLANNING, GIS, AND ECOLOGICAL SCIENCES



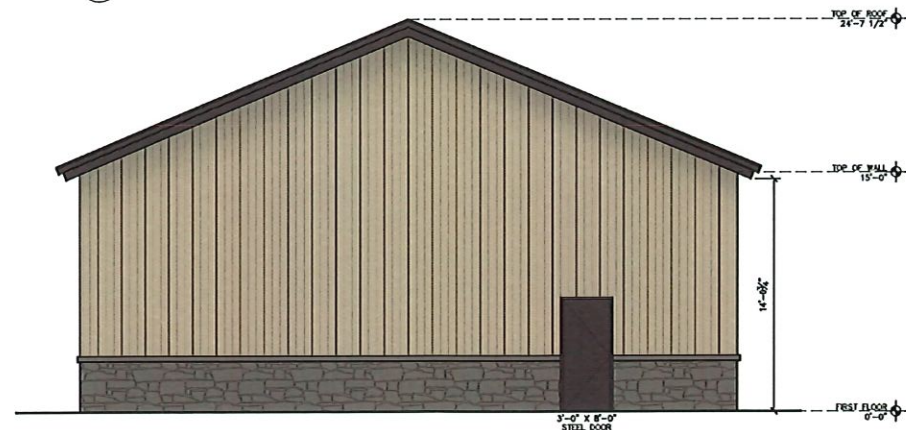
1 FIRST FLOOR PLAN
3/16" = 1'-0"



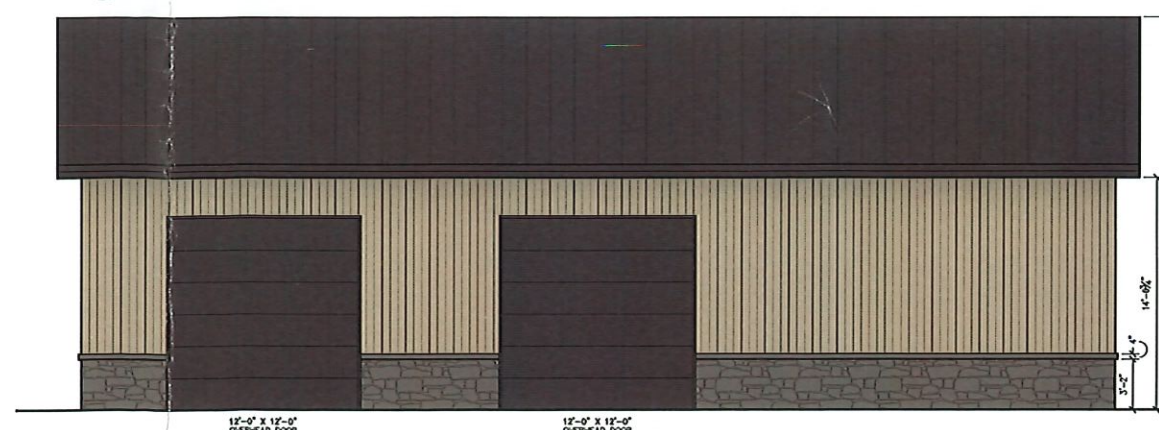
2 EXTERIOR ELEVATION - EAST
3/16" = 1'-0"



3 EXTERIOR ELEVATION - SOUTH
3/16" = 1'-0"



4 EXTERIOR ELEVATION - WEST
3/16" = 1'-0"



5 EXTERIOR ELEVATION - NORTH
3/16" = 1'-0"



Cheryl Newton
Architects LLC
39 New London Turnpike, Suite 320
Glastonbury, CT 06033
(860)633-2477

Revisions:
Issued for Review
NOT FOR CONSTRUCTION

EDI MASONRY AND LANDSCAPING

115 Sequin Drive
Glastonbury, CT 06033

Drawing Name:
First Floor Plan &
Exterior Elevations

Scale: As Noted

Drawn By: CN / PS

Date: October 31, 2023

Drawing Number:

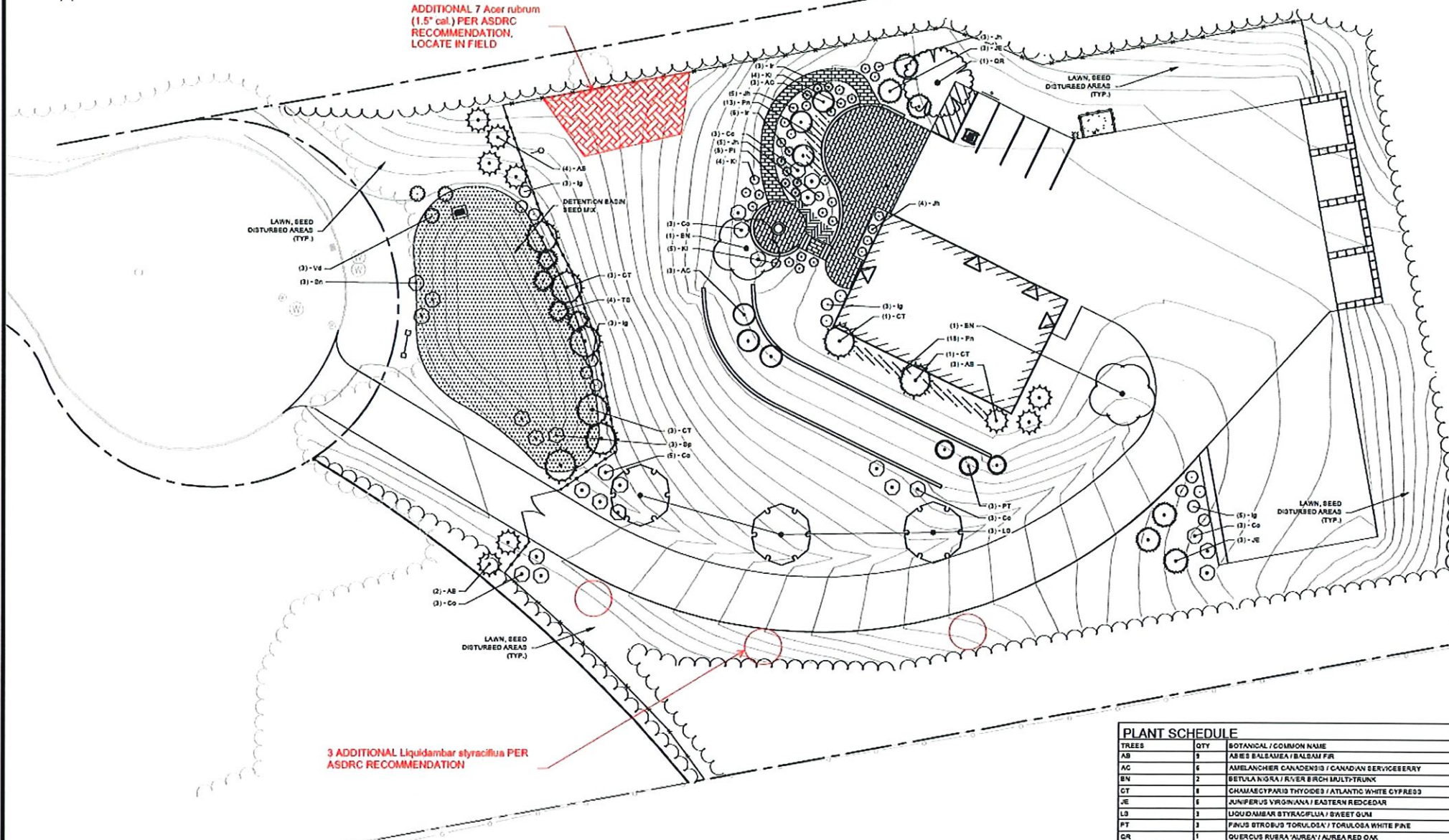
A1

PLANTING NOTES:

- THE CONTRACTOR SHALL CLEARLY MARK LIMITS OF CLEARING AND LIMITS OF TREE REMOVAL, SELECTIVE PRUNING AND THINNING FOR REVIEW BY THE LANDSCAPE ARCHITECT PRIOR TO ANY CLEARING OPERATIONS. ALL TREE WORK SHALL BE EXECUTED BY A LICENSED ARBORIST.
- THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT EXISTING VEGETATION THAT IS DESIGNATED, "TO REMAIN".
- ALL TREES TO BE SAVED SHALL BE PROTECTED. SEE SPECIFICATION FOR TREE PROTECTION REQUIREMENTS.
- EXISTING ON-SITE TOPSOIL MAY BE REUSED UPON APPROVAL BY THE LANDSCAPE ARCHITECT. EXISTING TOPSOIL SHALL BE TESTED AND ANALYZED FOR NUTRIENTS, ORGANIC MATTER, PH, AND SOIL TEXTURE. - SEE SPECIFICATIONS.
- REMOVE ALL ROCKS AND DEBRIS FROM SOIL SURFACE AND GRADE TO AN EVEN SURFACE - SEE SPECIFICATIONS.
- COMPLETE QUANTITIES OF PLANTS FOR EACH AREA TO BE AVAILABLE ON-SITE AT THE TIME OF PLANTING FOR FIELD LAYOUT BY OWNER'S REPRESENTATIVE. NO PARTIAL LAYOUT AND PLANTING OF AREAS WILL BE ACCEPTABLE.
- ALL PLANT MATERIAL SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED BY THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. - SEE SPECIFICATION FOR DETAILED REQUIREMENTS.
- ANY PROPOSED SUBSTITUTIONS OF PLANT MATERIAL SHALL BE MADE WITH MATERIAL EQUIVALENT TO THE DESIRED MATERIAL IN OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE. NO SUBSTITUTION OF PLANT SPECIES OR VARIETIES WILL BE ACCEPTABLE WITHOUT LANDSCAPE ARCHITECT'S WRITTEN APPROVAL.
- OWNER'S REPRESENTATIVE TO APPROVE PLANT MATERIAL PRIOR TO DELIVERY TO SITE AND AGAIN AT THE PROJECT SITE PRIOR TO PLANTING.
- VERIFY ALL EXISTING UTILITY LINES PRIOR TO PLANTING AND REPORT ANY CONFLICTS TO THE OWNER OR HIS REPRESENTATIVE.
- NO PLANTING SHALL OCCUR PRIOR TO ACCEPTANCE OF FINAL GRADING.
- INSTALL PLANTS WITH ROOT FLARED FLUSH WITH GRADE. IMMEDIATELY REPLANT PLANTS WHICH SETTLE OUT OF PLUMB OR BELOW FINISH GRADE.
- SEE SPECIFICATIONS FOR PLANTING MAINTENANCE AND GUARANTEE REQUIREMENTS.
- THE LANDSCAPE ARCHITECT OR ENGINEER RESERVES THE RIGHT TO ADJUST FINAL GRADES IN THE FIELD TO SAVE EXISTING VEGETATION.
- PLANT QUANTITIES NOTED IN THE PLANT SCHEDULE ARE APPROXIMATE AND ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FURNISHING AND INSTALLATION OF ALL PLANT MATERIALS NOTED ON THE PLANTING PLAN.
- CAUTION SHALL BE USED NOT TO EXTEND MULCH LAYER ABOVE SOIL LEVEL AT TRUNKS/STEMS OF INSTALLED PLANT MATERIAL.
- PROVIDE FOUR FOOT DIAMETER MULCH CIRCLE AROUND ALL INDIVIDUAL TREE PLANTINGS AND CONTINUOUS MULCH BED AROUND SHRUB, PERENNIAL AND GROUND COVER PLANTINGS, UNLESS OTHERWISE NOTED. DO NOT MOUND SOIL OR MULCH AT TRUNKS.
- ALL PLANTING SHALL BE DONE UNDER FULL SUPERVISION OF CERTIFIED ARBORIST, NURSERYMAN, OR LICENSED LANDSCAPE ARCHITECT.
- LOOSE OR CRACKED ROOTBALLS SHALL BE REJECTED.

ADDITIONAL 7 *Acer rubrum*
(1.5" cal.) PER ASDRC
RECOMMENDATION.
LOCATE IN FIELD

3 ADDITIONAL *Liquidambar styraciflua* PER
ASDRC RECOMMENDATION



PLANT SCHEDULE

| TREES | QTY | BOTANICAL / COMMON NAME | CONT | CAL | HT |
|--------------|------|--|---|--------------|----------|
| AB | 9 | ABIES BALSAEAMICA / BALDAM FIR | 8 & 8 | | 4'-6" |
| AC | 6 | AMELANCHIER CANADENSIS / CANADIAN SERVICEBERRY | 8 & 8 | | 4'-6" |
| BN | 2 | BETULA NIGRA / RIVER BIRCH MULTI-TRUNK | 8 & 8 | | 6'-8" |
| CT | 8 | CAMPAPECYPARIS THYOIDES / ATLANTIC WHITE CYPRESS | 8 & 8 | | 4'-6" |
| JE | 6 | JUNIPERUS VIRGINIANA / EASTERN RED CEDAR | 8 & 8 | | 4'-6" |
| L3 | 3 | LIQUIDAMBAR STYRACIFLUA / SWEET GUM | 8 & 8 | 2.5'-3' CAL. | |
| PT | 3 | PINUS STROBUS TORULOSA / TORULOSA WHITE PINE | 8 & 8 | | 4'-8" |
| QR | 1 | QUERCUS RUBRA 'AUREA' / AUREA RED OAK | 8 & 8 | 2.5'-3' CAL. | |
| TS | 4 | THUJA OCCIDENTALIS 'SMARAGD' / EMERALD GREEN ARBORVITAE | 8 & 8 | | 4'-6" |
| SHRUB | QTY | BOTANICAL / COMMON NAME | CONT | HT. | |
| Ca | 20 | CORNUS AMOMUM / SWEET DOGWOOD | 3 GAL | 18"-24" | |
| W | 14 | LEX GLABRA / INEBERRY HOLLY | 3 GAL | 15"-18" | |
| F | 9 | LEX VERTICILLATA 'RED SPRITE' / RED SPRITE WINTERBERRY | 2 GAL | 12"-15" | |
| Jh | 17 | JUNIPERUS HORIZONTALIS / CREEPING JUNIPER | 2 GAL | | |
| K | 13 | KALMIA LATIFOLIA LITTLE LINDA / MINIATURE PINK MOUNTAIN LAUREL | 2 GAL | 15"-18" | |
| Sp | 3 | SALIX DISCOLOR / PUSSY WILLOW | 3 GAL | 18"-24" | |
| Sn | 3 | SAMBUCUS NIGRA / BLACK ELDERBERRY | 3 GAL | 18"-24" | |
| Vd | 3 | VIBURNUM DENTATUM 'ARROWWOOD' / ARROWWOOD VIBURNUM | 3 GAL | 18"-24" | |
| GROUND COVER | CODE | QTY | BOTANICAL / COMMON NAME | CONT | HT. |
| | Ph | 31 | PANICUM VIRGATUM 'NORTHWIND' / NORTHWIND SWITCH GRASS | 1 GAL | 35" o.c. |
| | P | 8 | PANICUM VIRGATUM 'RED FLAME' / RED FLAME SWITCH GRASS | 1 GAL | 35" o.c. |

ISSUED FOR PERMITTING

Approved by the Town Planning and Zoning Commission under
Petition # _____ at meeting on _____
(Date) (Chairman's Signature)
Pursuant to Section 8-31 of the Connecticut General Statutes, all
work in connection with this approved Site Plan shall be
completed by: _____



RACHEL N. SALCH, P.L.A. No. 1438

**PROPOSED
WAREHOUSE**

115 SEQUIN DRIVE
IN
GLASTONBURY
CONNECTICUT

PLANTING PLAN

MAY 4, 2023

REVISIONS:

| NO. | DATE | DESCRIPTION |
|-----|------------|------------------------------|
| 1 | 09/07/2023 | REVISED PER ASDRC COMMENTS |
| 2 | 11/01/2023 | REVISED PER ASDRC COMMENTS |
| 3 | 11/17/2023 | PLANNING & ZONING SUBMISSION |

PREPARED FOR:
EDI HOLDINGS LLC
78 TOWHEE LANE
GLASTONBURY, CT 06033



655 Winding Brook Drive
Glastonbury, Connecticut 06033
860 652 8227

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SCALE: 1" = 20'
0 10 20 40 FEET
FILE: 8387700-PLANT.DWG
DWG. NO: _____
JOB. NO: 83877.00 L-1.0

PROPOSED WAREHOUSE - MAY 4, 2023