

**TOWN OF GLASTONBURY  
INLAND WETLANDS AND WATERCOURSES AGENCY  
APPLICATION FOR PERMIT, revised January 12, 2022**

**Instructions:**

1. The Agency and the applicant may hold a pre-application meeting to examine the scope of a proposed regulated activity or to determine if the proposed application involves a significant activity.
2. Any person intending to undertake a regulated activity shall apply for a permit by completing the applicable parts of this 11 (11 includes State form) page application form (consisting of parts A, B, C & D).
3. For the purpose of this application:
  - a. "applicant or person" means any person, persons, firm, partnership, association, corporation, company, organization or legal entity of any kind, including municipal corporation, governmental agency or subdivision thereof; and
  - b. refer to the Town's Inland Wetlands and Watercourses Regulations for further clarification and guidance with respect to the standards and criteria used for application evaluation.
4. Nine (9) copies of all applicable completed application materials shall be submitted unless otherwise directed in writing by the Agency or its designated agent.
5. Indicate which of the following circumstances fit this application and comply with the following referenced application requirements:

<u>circumstances</u>	<u>check</u>	<u>requirements</u>
application for regulated activity	✓	complete Part A
application also involves subdivision or special permit	—	complete Part B
application involves a significant activity	—	complete Part C
renewal or extension for or amendment to an issued permit	—	complete Part D

6. Applicant's name: James D. Mysko
7. Address or descriptive location (e.g. north side of Neipsic Rd. - 1,000 feet westerly of intersection with Strickland St.) of proposed regulated activity:  
 150 Chatham Hill Road  
 South Glastonbury CT 06073

8. Title of project:  
  
Irrigation Pond outlet repair

TOWN OF GLASTONBURY  
INLAND WETLANDS AND WATERCOURSES AGENCY  
APPLICATION FOR PERMIT

**Part A -** All applications for regulated activity shall include the following information:

- a. applicant's name: James D. Jusko
- b. applicant's address: 150 Chatham Hill Road  
South Glastonbury CT 06073
- c. applicant's telephone number(s): (860) 906-4808
- d. applicant's email: j.jusko@me.com
- e. applicant's interest in the property: landowner
  
- f. landowner's name: James D. Jusko
- g. landowner's address: 150 Chatham Hill Road  
South Glastonbury CT 06073
- h. landowner's telephone number: (860) 906-4808
- i. landowner's email: j.jusko@me.com
- j. written consent (dated and signed) from the landowner that expresses his knowledge of and consent to the application if the landowner is not the applicant
- k. the total calculated area (in square feet) of wetlands and watercourses on the subject property: 80,116 square feet
- l. the total calculated area (in square feet) of regulated area that would be disturbed by the proposed regulated activities (include regulated areas that provide access to and ample space to work around the regulated activities): <100 square feet
- m. submission of the appropriate application fee based on the fee schedule established in Section 15-22 of Town Code of Ordinances; (fee schedule excerpt is attached and appears on Appendix I)
- n. written narrative of sufficient detail that sets forth the purpose and a description of the proposed activity and alternatives considered by the applicant and why the application's proposal to alter the wetlands or watercourses was chosen

TOWN OF GLASTONBURY  
INLAND WETLANDS AND WATERCOURSES AGENCY  
APPLICATION FOR PERMIT

**Part A (continued)**

- o. a location map at a scale of 1 inch = 2,000 feet identifying the geographical location of the property involved
- p. a map at a scale of 1 inch equals 100 feet identifying the geographical location of the property to be affected by the proposed activity, adjacent lands, adjacent regulated areas, such upstream and downstream areas as may be identified by the Agency or its designated agent, and other pertinent features including, but not limited to, existing and proposed property lines, roads and drives, existing buildings and their utilities, topography, soil types from the published soil survey, the limits of inland wetlands, watercourses and conservation buffer areas, existing and proposed lands protected as open space or by private conservation easements, and types of vegetative cover
- q. a site plan at a scale that provides sufficient detail showing existing and proposed conditions, including maximum building areas, in relation to regulated areas and measures proposed to mitigate the potential environmental impacts
- r. a title block and legend of symbols used for each plan or map indicating the name of the project, landowner and applicant, name and signature of the person preparing the plan or map, date prepared and subsequent revision dates, and scale
- s. certification as to each of the following:
  - (1) Is any portion of the wetland or watercourse (on which the regulated activity is proposed) located within 500 feet of the boundary of an adjoining municipality? \_\_\_\_yes no  
name of town(s):
  - (2) Will traffic (attributable to either construction activities or to the completed project on the site) use streets within the adjoining municipality to enter or exit the site? yes no  
name of town(s):
  - (3) Will sewer or water drainage from the project site flow through and affect the sewage or drainage system within the adjoining municipality? \_\_\_\_yes no  
name of town(s):
  - (4) Will water runoff from the improved site affect streets or other municipal or private property within the adjoining municipality? \_\_\_\_yes no  
name of town(s):
- t. if yes to the aforementioned q.(1) , then provide documentation (copy of return receipts) that the applicable adjacent municipal wetland agencies were duly notified pursuant to the regulations
- u. copy of the STATEWIDE INLAND WETLAND ACTIVITY REPORTING FORM (attached) with all applicable sections completed by the applicant

TOWN OF GLASTONBURY  
INLAND WETLANDS AND WATERCOURSES AGENCY  
APPLICATION FOR PERMIT

Part A (continued)

- v. names and addresses of abutting property owners as shown in the records of the tax assessor of the municipality as of a date no earlier than thirty (30) days before the date the application is submitted
- w. any other information the Agency or its designated agent deems necessary for the review and evaluation of the application.

Certification by applicant

By my (our) signature(s), I (we) hereby certify that:

- i. the applicant(s) is (are) familiar with all of the information provided in the application and is (are) aware of the penalties for obtaining a permit by deception or by inaccurate or misleading information; and
- ii. the Agency members and their designated agents are authorized to inspect the property, at reasonable times, both before and after a final decision has been issued, and after completion of the project.

Signature(s) of Applicant(s):

Date



11-21-23

TOWN OF GLASTONBURY  
INLAND WETLANDS AND WATERCOURSES AGENCY  
APPLICATION FOR PERMIT

- Part B -** All applications for a regulated activity that involve a land use proposal which is also subject to subdivision or special permit application may be required to contain the following additional information (as determined by the Agency or its designated agent):
- a. All wetland boundaries on the property shall be identified by a soil scientist and located by a Licensed Land Surveyor. All wetland soil types shall be classified by the soil scientist.
  - b. The soil scientist shall consecutively number the survey tapes that mark boundary lines of wetlands that will be or may be affected by the proposed activity. The survey tapes shall be located by a Licensed Land Surveyor and each tape location and number shall be plotted onto the site plan.
  - c. The soil scientist shall prepare a report that includes the name of the applicant and project, the location of and limits of the property investigated, the dates of the soil investigations, a brief soil description for each soil mapping unit investigated, the set of the consecutive numbers used on survey tapes to identify the wetland boundaries, and a certified statement that the wetland boundaries appearing on the site plan are to the best of his knowledge true and accurate.
  - d. All watercourses identified on the property shall be located and identified on the site plan to the satisfaction of the Agency or its designated agent.
  - e. A site plan shall be submitted at a scale of 1 inch equals 40 feet, or a scale that exhibits greater detail, indicating the following: location and limits of all regulated areas; existing and proposed conditions in relation to regulated areas; location of prominent features within regulated areas such as bedrock outcrops, stone walls, trees deemed by the Agency or its agents to be of critical value and existing buildings and drives; names of abutting property owners; soil erosion and sediment control measures; any measures to detain or retain storm water runoff or recharge groundwater; any plantings or habitat improvement; and any other measures proposed to mitigate the potential environmental impacts.
  - f. A map of sufficient scale shall be submitted indicating each surficial drainage area influencing each distinct wetland area or watercourse on the property.
  - g. A general written description of the physical and vegetative characteristics shall be submitted for each distinct wetland area.
  - h. Any other specific information reasonably requested by the Agency or its designated agent.

TOWN OF GLASTONBURY  
INLAND WETLANDS AND WATERCOURSES AGENCY  
APPLICATION FOR PERMIT

**Part C -** All applications for a regulated activity that involve a significant activity, as defined in Section 2.1.x. of the regulations, may be required to provide the following additional information (as determined by the Agency or its designate agent):

- a. Site plans for the proposed land use on the subject property which will be affected indicating details of: existing and proposed conditions; wetland, watercourse and conservation buffer zone boundaries; land contour intervals of the land and other topographic features; boundaries of land ownership; proposed regulated activities; and other pertinent features of the land use being proposed on the subject property for development. Plans shall be drawn by a licensed surveyor, professional engineer or landscape architect registered in the State of Connecticut or by such other qualified person.
- b. Engineering reports and analyses and additional drawings to fully describe the proposed project and any filling, excavation, drainage or hydraulic modifications to watercourses.
- c. Mapping of soil types consistent with the categories established by the National Cooperative Soil Survey of the U.S. Soil Conservation Service, delineation of all wetlands in the field by a soil scientist, and such field delineations incorporated onto the site plans.
- d. Description of the ecological communities and functions of the wetlands or watercourses involved with the application and the probable effects of the proposed regulated activities on these communities and wetland functions.
- e. Description of how the applicant will change, diminish or enhance the ecological communities and functions of the wetlands or watercourses involved in the application, each alternative to the proposed regulated activity, and why each alternative considered was deemed neither feasible nor prudent.
- f. Description of the chemical and physical characteristics of any proposed fill material to establish the desired type or quality of fill material to be used in all regulated areas.
- g. Measures which mitigate the impact of the proposed activity.
- h. Maps and descriptions that identify downstream and downgradient regulated areas which are off-site and their condition, existing off-site structures on adjacent properties, and watershed or drainage area boundaries which influence the subject regulated area.
- i. Any other specific information reasonably requested by the Agency or its designated agent.

TOWN OF GLASTONBURY  
INLAND WETLANDS AND WATERCOURSES AGENCY  
APPLICATION FOR PERMIT

**Part D -**

Any application to renew or extend the expiration date of a previously issued permit or amend an existing permit shall be filed with the Agency at least sixty-five (65) days prior to the expiration date for the permit in accordance with Section 8 of the regulations. Such application for renewal, extension or amendment shall include the submission of the appropriate application fee and set forth the following information:

- a. The application shall state the name, address and telephone number of the permit holder, the address or locational description of the property involved, and the dates of issuance and expiration of the permit.
- b. The application shall state the reason why the authorized activities were not initiated or completed within the time specified in the permit.
- c. The application shall describe any changes in facts or circumstances affecting the regulated areas or the property for which the permit was issued.
- d. The application shall describe the extent of work completed for the activities authorized in the permit.
- e. The application shall incorporate by reference the documentation and record of the original application

FEE SCHEDULE  
for Applications pursuant to the Inland Wetlands and  
Watercourses Regulations

Fee Schedule. Application fees shall be based on the following:

- a. Permitted Uses as of Right and Nonregulated Uses (Section 4 of the Regulations) shall be at NO CHARGE.
- b. Regulated Uses and Activities (Section 6 of the Regulations). The total fee shall be the cumulative amount of the following factors, when applicable:
  1. the total wetlands and/or watercourses area (in square feet) on the subject property multiplied by the rate of \$1.00 per 1,000 square feet; plus
  2. the total regulated area (in square feet) to be disturbed by regulated activities multiplied by the rate of \$10.00 per 1,000 square feet; plus
  3. \$400.00 if the proposed activity is declared a significant activity by the Agency.
- c. Map Amendment Petitions (Section 14.3 of the Regulations) shall be \$200.00.
- d. Renewals or Extensions of the Expiration Date to a previously issued permit (Sections 7.10 and 11.7 of the Regulations) shall be \$100.00.
- e. Amendment of a Previous Approval (Section 7.10 of the Regulations) that is not deemed a significant activity shall be the prescribed amount as determined in b.2 above.
- f. Transfer or assignment of a previously issued permit (Section 11.8 of the Regulations) shall be \$25.00.
- g. Exemption. Boards, commissions, councils and departments of the Town of Glastonbury are exempt from all fee requirements.
- h. Waiver. The applicant may petition the Agency to waiver, reduce or allow delayed payment of the fee required. Such petitions shall be in writing and shall state fully the facts and circumstances the Agency should consider in its determination under this section. The Agency may waive all or part of the application fee if the Agency determines that:
  1. the activity applied for would clearly result in a substantial public benefit to the environment or to the public health and safety and the applicant would reasonably be deterred from initiating the activity solely or primarily as a result of the amount of the application fee; or
  2. the amount of the application fee is clearly excessive in relation to the cost to the Town for reviewing and processing the application.The Agency shall state upon its record the basis for all actions pertaining to a request for a waiver.
- i. Connecticut Department of Energy & Environmental Protection Statewide Inland and Watercourses Activity Fee shall be \$60.00, required for each application.



TOWN OF GLASTONBURY - OFFICE OF COMMUNITY DEVELOPMENT  
STATE OF CONNECTICUT SIXTY DOLLAR (\$60.00) ADDITIONAL FEE REQUIRED

In accordance with Public Act 92-235 the State of Connecticut requires that any person, firm or corporation making application for approval of land use applications pay a sixty dollar (\$60.00) fee, in addition to any other fee which is required for application.

The following applications require submission of fee:

- Special Permits
- Subdivision and Resubdivision
- Change of Zone
- Planned Area Development Final Development Plan
- Inland Wetlands and Watercourses Permit
- Special Exceptions and Variances

Such fee shall be collected by the Town. Of the sixty dollars (\$60.00) collected; two dollars (\$2.00) shall be retained by the Town to cover administrative costs; and fifty-eight dollars (\$58.00) shall be deposited in the "Environmental Quality Fund established pursuant to Section 22a-27g" of the Connecticut General Statutes.

Please provide the following information and submit this form and the sixty dollar (\$60.00) fee to the Office of Community Development and/or Building Department upon submission of each application.

Name of Applicant James D. Jusko

Address 150 Chatham Hill Road  
*South* Glastonbury CT 06073

Name of Project Irrigation Pond outlet repair

Address 150 Chatham Hill Road  
*South* Glastonbury CT 06073

Type of Application:

Special Permit Section Number \_\_\_\_\_

Subdivision and Resubdivision \_\_\_\_\_

Change of Zone \_\_\_\_\_

Planned Area Development \_\_\_\_\_

Final Development Plan and/or Zone Change \_\_\_\_\_

Inland Wetlands and Watercourses Permit \_\_\_\_\_

Special Exceptions and Variances \_\_\_\_\_

Date Fee Received \_\_\_\_\_

By \_\_\_\_\_

Project Number \_\_\_\_\_

**WAYNE J. ZIROLLI, P.E. & L.S.**  
**404 Beach Street**  
**Litchfield, CT 06759-2314**  
**Mobile:203-525-4473**  
**Email: wjzengineering@optimum.net**

Jusko Property Irrigation Pond Site Inspection Report

On November 23, 2023 I inspected the Jusko Property Irrigation Pond site at the request of Paul Gondek, in preparation for the new Permit Application to the Glastonbury Inland Wetlands and Watercourses Agency for repairs to the pond outlet culvert.

The site is stable, with the erosion and sediment controls installed and functioning per the approved site plan. Lawn and vegetated areas are well established. An existing earthen berm and wood chip berm are in place below the pond outlet area. The watercourse below the outlet is armored with large boulders for over 200 linear feet. Below that the channel continues with native stone lining for another 150 linear feet, continuing as a natural stream bed to the road culvert at Matson Hill Road. The downslope edges of the haul road have a process stone berm to direct and filter stormwater flowing down the haul road. Very little process stone or sediment was noted in the stone channel below the pond outlet. The lower reaches of the watercourse past the stone armor becomes vegetated with grasses, Fragmites (Cat tails), shrubs and brush.

Repairs to the outlet culvert are required due to the buoyancy of the installed 30" HDPE pipe, which caused the inlet end of the culvert pipe to float when the pond water level was rising to the design outlet elevation. The subsequent deflection upward of the inlet end of the pipe was bending the pipe and potentially causing the pipe and/or the inlet elbow to rupture or separate, which would have resulted in a significant uncontrolled release of pond water downstream.

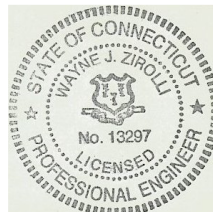
It is my opinion that the repairs need to be made in a timely manner to prevent risk to life and property downstream from potential flooding. I believe it is imperative to continue dewatering the pond to Elevation 424 until the necessary repairs to the outlet culvert are complete.

Mr. Gerald Hardisty, P.E. & L.S. of Civil Engineering Services, LLC has designed and submitted the plans and details for the required engineering repairs, consisting of a mass of reinforced concrete being cast in place, once forms for the concrete have been erected. The existing pond level is low enough to permit the required work to proceed upon approval from the Gastonbury Inland Wetlands and Watercourses Agency.

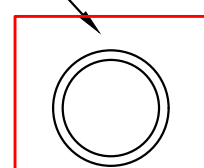
**Respectfully,**

***Wayne J. Zirolli***

Wayne J. Zirolli, P.E. & L. S.#13297

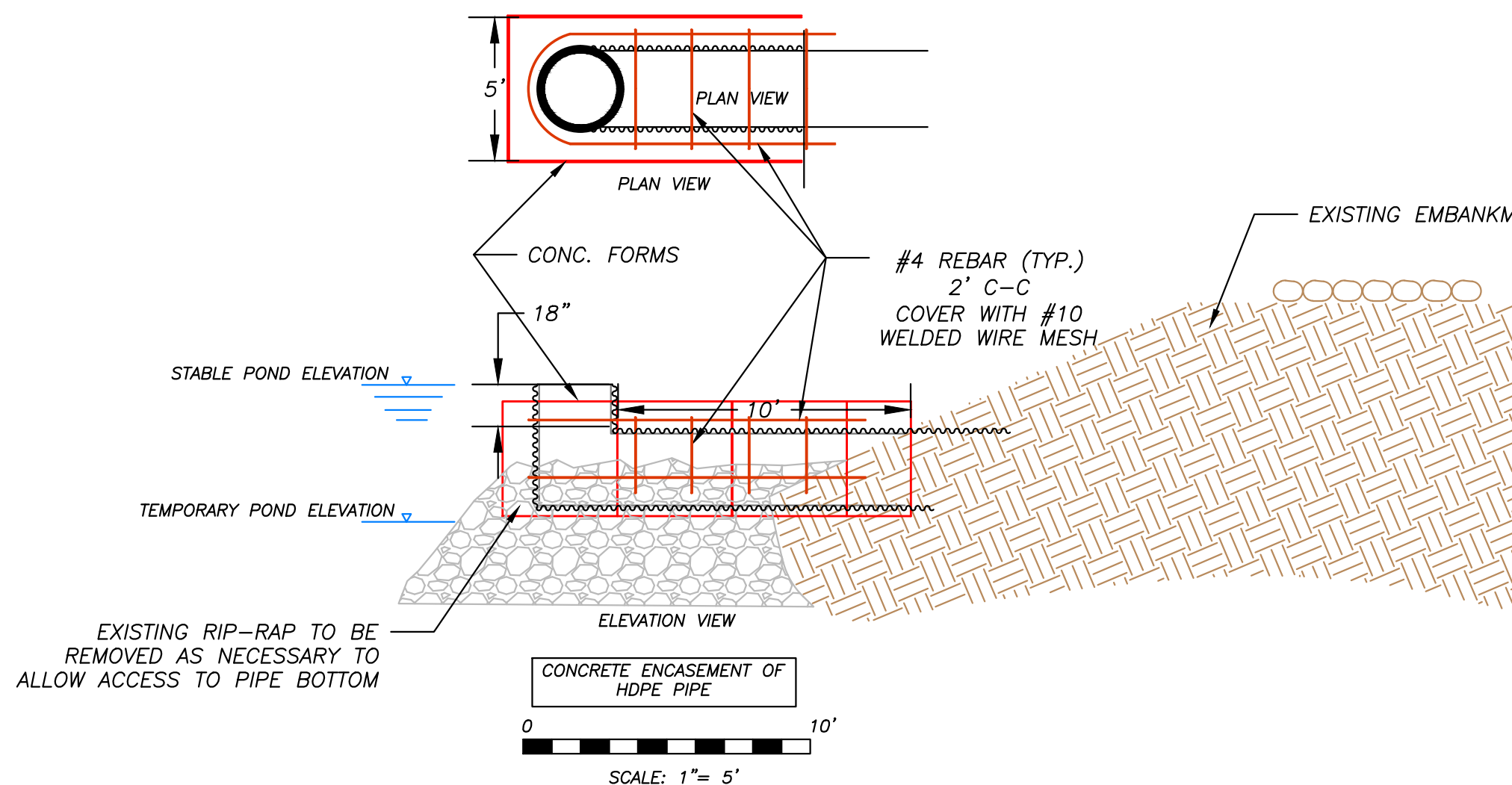


AREA = 20.0 SF - 7.07 SF  
= 12.93 SF



VOL. = 12.93 SF x 14'  
= 181.0 CU. FT. (6.7 CY)  
MASS = 181 x 150 PCF  
= 27,150 LBS concrete  
10,080 sq. in. ground  
= 2.69 psi. gnd. press.

CONCRETE TO BE 3000 PSI  
WITH 3% AIR ENTRAINMENT



The intent of this plan is to remediate the uplifting of the HDPE (plastic) pipe that acts as the outlet of the irrigation pond at 150 Chatham Hill Road.

The initial plan for the irrigation pond called for installation of a 36" culvert outlet for the pond, with a vertical segment of the culvert serving as a circular weir to provide a consistent elevation of the pond surface. The initial plan unfortunately did not consider the buoyancy of the double-walled plastic pipe.

The buoyancy of the plastic pipe is such that the inlet orifice on the vertical pipe segment is not horizontal, and there are concerns that the upward force on the pipe may impact the stability of the impounding embankment. This plan calls for temporarily lowering the water surface to expose the HDPE pipe and allow for forms to be constructed to encase the pipe in concrete. The weight and rigidity of the concrete encasement will stabilize the pipe, and allow for a level and static outlet for the pond and thereby a consistent water elevation during rainy periods.

It is our opinion that this proposed method of remediation is the least intrusive on the pond and the embankment, and that work on the remediation should start at the earliest allowable date. Any work shall be commenced only upon approval of and coordination with the Glastonbury Inland Wetlands Commission and shall be monitored by a licensed Professional Engineer.

Sequence of Construction:

1. Lower water elevation by pumping with pump discharge into the existing culvert so that water is discharged to established waterway.
2. Remove and stockpile rip-rap as necessary to gain access to bottom of culvert.
3. Construct forms and install reinforcing bars and mesh around existing culvert.
4. Pour concrete into forms, finish trowel top of poured concrete. Concrete shall be left to set a minimum of 24 hours.
5. Remove forms from culvert and from the site, redistribute rip-rap as necessary.
6. Final inspection and clean-up of site as necessary.

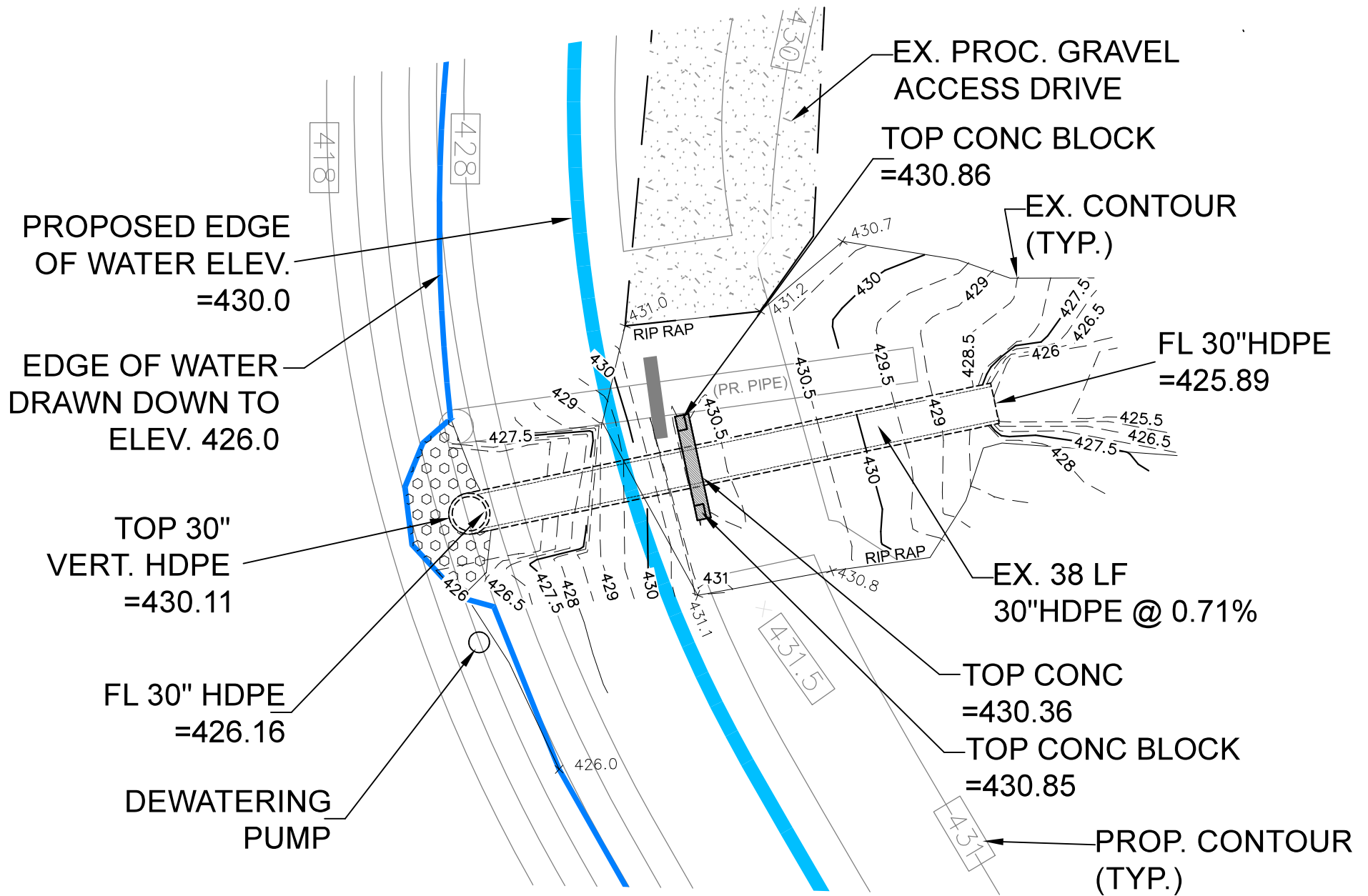
IN ORDER TO PRINT TO SCALE THIS PLAN  
IS TO BE PLOTTED ON 18" x 24" SHEET

No.	Revision/Issue	Date

IRRIGATION POND OUTLET  
REPAIR  
150 CHATHAM HILL ROAD  
GLASTONBURY CT

Project 2212 - GONDEK	
Date 11/21/23	Sheet 1 OF 1
Scale 1" = 5'	

**CIVIL  
ENGINEERING  
SERVICES, LLC.**  
137 CARROLL STREET  
VILLEJO CA 94590  
ph. (860) 234-6768

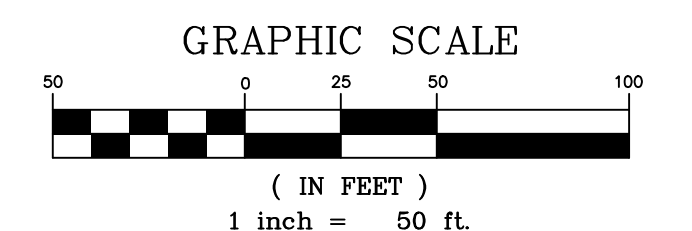
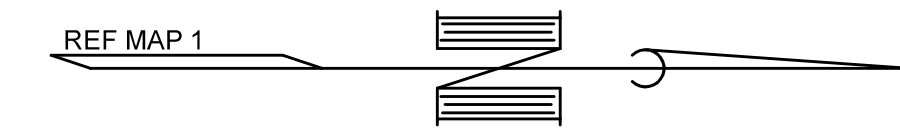
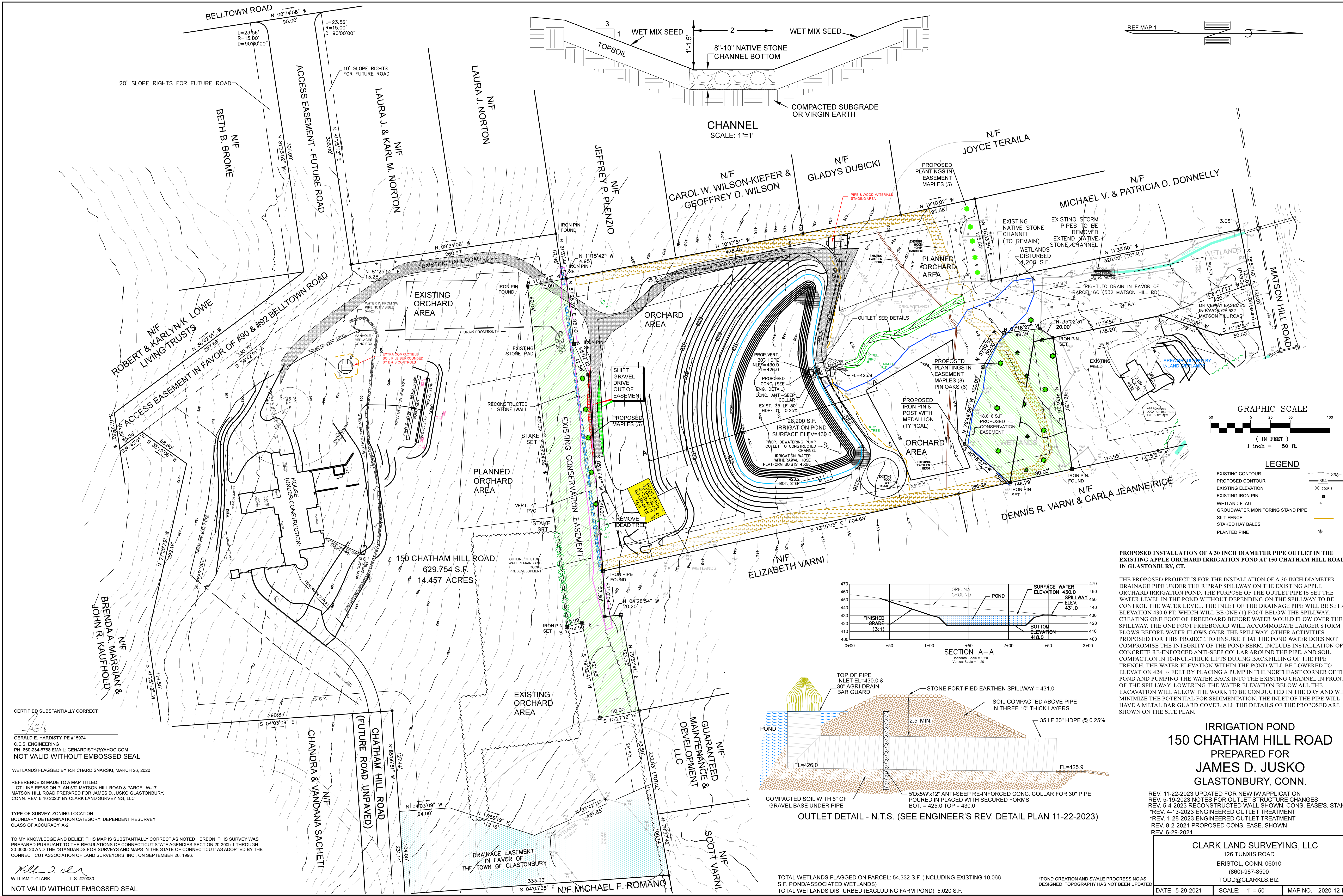


# EXISTING CONDITIONS POND OUTLET AREA - 11-21-2023

TOPOGRAPHY AND LOCATION CERTIFIED SUBSTANTIALLY CORRECT:

*William T. Clark*

WILLIAM T. CLARK LS 70080



**LEGEND**

EXISTING CONTOUR	---
PROPOSED CONTOUR	---
EXISTING ELEVATION	×
EXISTING IRON PIN	•
WETLAND FLAG	■
GROUDWATER MONITORING STAND PIPE	⊙
SILT FENCE	---
STAKED HAY BALES	---
PLANTED PINE	✦

**PROPOSED INSTALLATION OF A 30 INCH DIAMETER PIPE OUTLET IN THE EXISTING APPLE ORCHARD IRRIGATION POND AT 150 CHATHAM HILL ROAD IN GLASTONBURY, CT.**

THE PROPOSED PROJECT IS FOR THE INSTALLATION OF A 30-INCH DIAMETER DRAINAGE PIPE UNDER THE RIPRAP SPILLWAY ON THE EXISTING APPLE ORCHARD IRRIGATION POND. THE PURPOSE OF THE OUTLET PIPE IS SET THE WATER LEVEL IN THE POND WITHOUT DEPENDING ON THE SPILLWAY. THE INLET OF THE DRAINAGE PIPE WILL BE SET AT ELEVATION 430.0 FT, WHICH WILL BE ONE (1) FOOT BELOW THE SPILLWAY, CREATING ONE FOOT OF FREEBOARD BEFORE WATER WOULD FLOW OVER THE SPILLWAY. THE ONE FOOT FREEBOARD WILL ACCOMMODATE LARGER STORM FLOWS BEFORE WATER FLOWS OVER THE SPILLWAY. OTHER ACTIVITIES PROPOSED FOR THIS PROJECT, TO ENSURE THAT THE POND WATER DOES NOT COMPROMISE THE INTEGRITY OF THE POND BERM, INCLUDE INSTALLATION OF A CONCRETE RE-ENFORCED ANTI-SEEP COLLAR AROUND THE PIPE, AND SOIL COMPACTION IN 10-INCH-THICK LIFTS DURING BACKFILLING OF THE PIPE TRENCH. THE WATER ELEVATION WITHIN THE POND WILL BE LOWERED TO ELEVATION 424+/- FEET BY PLACING A PUMP IN THE NORTHEAST CORNER OF THE POND AND PUMPING THE WATER BACK INTO THE EXISTING CHANNEL IN FRONT OF THE SPILLWAY. LOWERING THE WATER ELEVATION BELOW ALL THE EXCAVATION WILL ALLOW THE WORK TO BE CONDUCTED IN THE DRY AND WILL MINIMIZE THE POTENTIAL FOR SEDIMENTATION. THE INLET OF THE PIPE WILL HAVE A METAL BAR GUARD COVER. ALL THE DETAILS OF THE PROPOSED ARE SHOWN ON THE SITE PLAN.

**IRRIGATION POND  
150 CHATHAM HILL ROAD  
PREPARED FOR  
JAMES D. JUSKO  
GLASTONBURY, CONN.**

REV. 11-22-2023 UPDATED FOR NEW IW APPLICATION  
REV. 5-19-2023 NOTES FOR OUTLET STRUCTURE CHANGES  
REV. 5-4-2023 RECONSTRUCTED WALL SHOWN, CONS. EASES, STAKED  
\*REV. 4-13-2023 ENGINEERED OUTLET TREATMENT  
\*REV. 1-28-2023 ENGINEERED OUTLET TREATMENT  
REV. 8-2-2021 PROPOSED CONS. EASE. SHOWN  
REV. 6-29-2021

**CLARK LAND SURVEYING, LLC**  
126 TUNXIS ROAD  
BRISTOL, CONN. 06010  
(860)-967-8590  
TODD@CLARKS.BIZ

DATE: 5-29-2021 SCALE: 1" = 50' MAP NO. 2020-12-P

CERTIFIED SUBSTANTIALLY CORRECT:  
*[Signature]*  
GERALD E. HARDISTY, PE #15974  
C.E.S. ENGINEERING  
PH. 860-234-6768 EMAIL: GEHARDISTY@YAHOO.COM  
NOT VALID WITHOUT EMBOSSED SEAL

WETLANDS FLAGGED BY RICHARD SNARSKI, MARCH 26, 2020

REFERENCE IS MADE TO A MAP TITLED:  
"LOT LINE REVISION PLAN 532 MATSON HILL ROAD & PARCEL W-17  
MATSON HILL ROAD PREPARED FOR JAMES D. JUSKO GLASTONBURY,  
CONN. REV. 6-10-2020" BY CLARK LAND SURVEYING, LLC

TYPE OF SURVEY: ZONING LOCATION  
BOUNDARY DETERMINATION CATEGORY: DEPENDENT RESURVEY  
CLASS OF ACCURACY: A-2

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON. THIS SURVEY WAS PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTION 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC., ON SEPTEMBER 26, 1996.

*[Signature]*  
WILLIAM T. CLARK L.S. #70080  
NOT VALID WITHOUT EMBOSSED SEAL

TOTAL WETLANDS FLAGGED ON PARCEL: 54,332 S.F. (INCLUDING EXISTING 10,666 S.F. POND/ASSOCIATED WETLANDS)  
TOTAL WETLANDS DISTURBED (EXCLUDING FARM POND): 5,020 S.F.

\*POND CREATION AND SWALE PROGRESSING AS DESIGNED. TOPOGRAPHY HAS NOT BEEN UPDATED

