



Town of Glastonbury

Community Development

TO: Town Plan and Zoning Commission

PREPARED BY: Shelley Caltagirone, Director of Community Development

DATE: September 29, 2023

RE: Town Plan and Zoning Commission

In 2022, the Town engaged FHI Studio to prepare Town Center Design Guidelines. These guidelines are required by the Town Center Village District (TCVD) regulations, adopted January 7, 2022 (BZR Section 4.19.5). The purpose of the guidelines is to establish design criteria to achieve compatibility with the objectives of the village district. These guidelines will be a reference guide for the Architectural and Site Design Review Committee (ASDRC). The ASDRC is the Town's designated authority for reviewing the architectural and site design aspects of development proposals within the TCVD and it reviews all special permit applications that require design review for multi-family, commercial, office, and industrial projects in the Town's multifamily, mixed-use, commercial, and industrial zones.

The work of FHI has been directed by a steering committee composed of Council, Town Plan & Zoning Commission (TPZ), ASDRC, and Chamber of Commerce members. Community engagement has included a public workshop attended by approximately 50 people in November 2022 and an online survey launched at the same time that received 357 responses. The draft was available for public review and comment from August 1 – September 8, 2023, during which time we received input via our comment form, email, and social media. Cumulatively, this input has shaped the design themes and priorities of the guidelines.

The Design Guidelines were reviewed by ASDRC on September 21st, where they heard further public comment. They heartily recommended adoption of the document with the following comments for consideration:

1. On page 24, require that if trees are removed that they should be replaced
2. On page 24, include shade trees in landscaping requirement for front yard
3. On page 24, remove "drought tolerant" from plant description
4. Prohibit invasive species and add link to State of CT invasive species list
5. On page 44, remove the word "display" from discouraged list describing false windows
6. On page 58, add sign lighting to guideline #1 to prevent glare and spill over light

Recommendation

If the Commission is in agreement to recommend adoption of the design guidelines with the edits recommended by ASDRC, the following motion is recommended for approval:

MOVED, that the Town Plan and Zoning Commission recommends the Glastonbury Town Center Design Guidelines final draft for adoption by the Town Council and forwards the following comments for consideration of minor revisions:

1. On page 24, require that if trees are removed that they should be replaced
2. On page 24, include shade trees in landscaping requirement for front yard
3. On page 24, remove “drought tolerant” from plant description
4. Prohibit invasive species and add link to State of CT invasive species list
5. On page 44, remove the word “display” from discouraged list describing false windows
6. On page 58, add sign lighting to guideline #1 to prevent glare and spill over light

And, that the Town Plan and Zoning Commission finds that the Glastonbury Town Center Design Guidelines final draft will support implementation of the Town Center Village District Overlay and implementation of Special Permits with Design Review for Multi-Family, Commercial, Office and Industrial projects in the F, PBD, PC, PE, PT, TC, TCMU, VC and VR Zones and applications for all projects in the ARZ, and PAD zones.

Link to Final Draft:

<https://www.glastonburyct.gov/home/showpublisheddocument/42653/638309109823470000>

Glastonbury Town Center Design Guidelines

Final Draft for Adoption



Produced By: **FHI** + **PIRIE**
studio ASSOCIATES

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Purpose and Authority of these Guidelines

Glastonbury's Town Center area has its origins as an agrarian village center. Through much of its history, this village center had limited commercial development on Main Street surrounded by clustered farm houses and expanses of farm land within reach of the Connecticut River. Rapid growth and development since the 1960's have drastically changed this landscape and the Town's residents wish to preserve and reclaim some of the qualities that connect the Town Center to its historic roots. This desire is documented in Glastonbury's 2018-2028 Plan of Conservation, which directs the Town to establish and adopt design guidelines for the Town Center.

In 2022 Glastonbury adopted a village district designation for a limited area of the Town Center as part of its Building Zone Regulations. Section 4.19.5 of those Regulations directs the Town Council to develop and adopt these Village District Design Guidelines and requires that these guidelines establish design criteria to achieve compatibility with the stated objectives of the Town Center Village District (TCVD).

These guidelines are supplemental to the Town's Building Zone Regulations. They are intended to both regulate development in Glastonbury's TCVD and act as a reference guide for the Town's Architectural and Site Design Review Committee (ASDRC) in reviewing proposed projects. The ASDRC is the Town's designated authority for reviewing the architectural and site design aspects of development proposals within the TCVD and it reviews all special permits applications that require design review for multi-family, commercial, office, and industrial projects in the Town's multifamily, mixed-use, commercial, and industrial zones.

These guidelines are applicable to new construction, substantial reconstruction, and rehabilitation of properties within the TCVD that are in view from public roadways. All projects subject to ASDRC review within the TCVD are subject to these design guidelines. These guidelines are advisory to projects outside of the TCVD that are subject to ASDRC review.

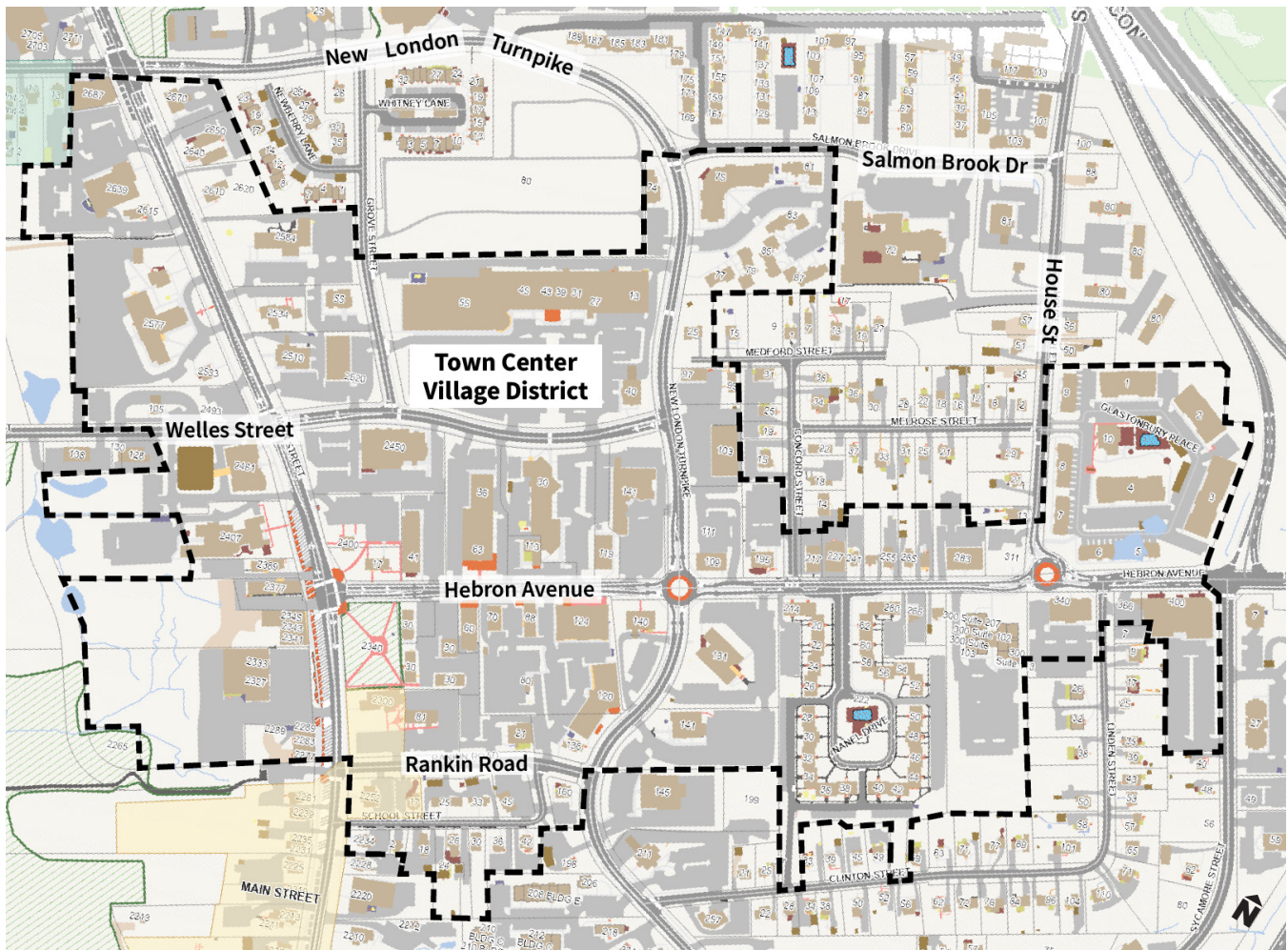


View of Main Street looking north, early 20th century. Image credit: C.O. Talcott

Town Center Village District

The TCVD was created to promote, protect, and enhance the unique and distinctive character, historic settlement pattern and architecture, and landscape of Glastonbury's Town Center and to function in support of the Town Center Zone and its purposes. The District was created as authorized by Connecticut General Statutes Chapter 124, Section 8-2j and it functions as an overlay zone. The TCVD requirements and standards are in addition to, and not in lieu of, the building zone regulations pertaining to the Town Center Zone. Specifically these guidelines are intended to implement the Village District objectives of Connecticut General Statutes Section 8-2j and achieve the following objectives within the District:

- That proposed buildings or modifications to existing buildings be harmoniously related to their surroundings, and the terrain in the district and to the use, scale and architecture of existing buildings in the district that have a functional or visual relationship to a proposed building or modification;
- That all spaces, structures and related site improvements visible from public roadways be designed to be compatible with the elements of the area of the village district in and around the proposed building or modification;
- That the color, size, height, location, proportion of openings, roof treatments, building materials and landscaping of commercial or residential property and any proposed signs and lighting be evaluated for compatibility with the local architectural motif and the maintenance of views, historic buildings, monuments and landscaping; and
- That the removal or disruption of historic traditional or significant structures or architectural elements shall be minimized.

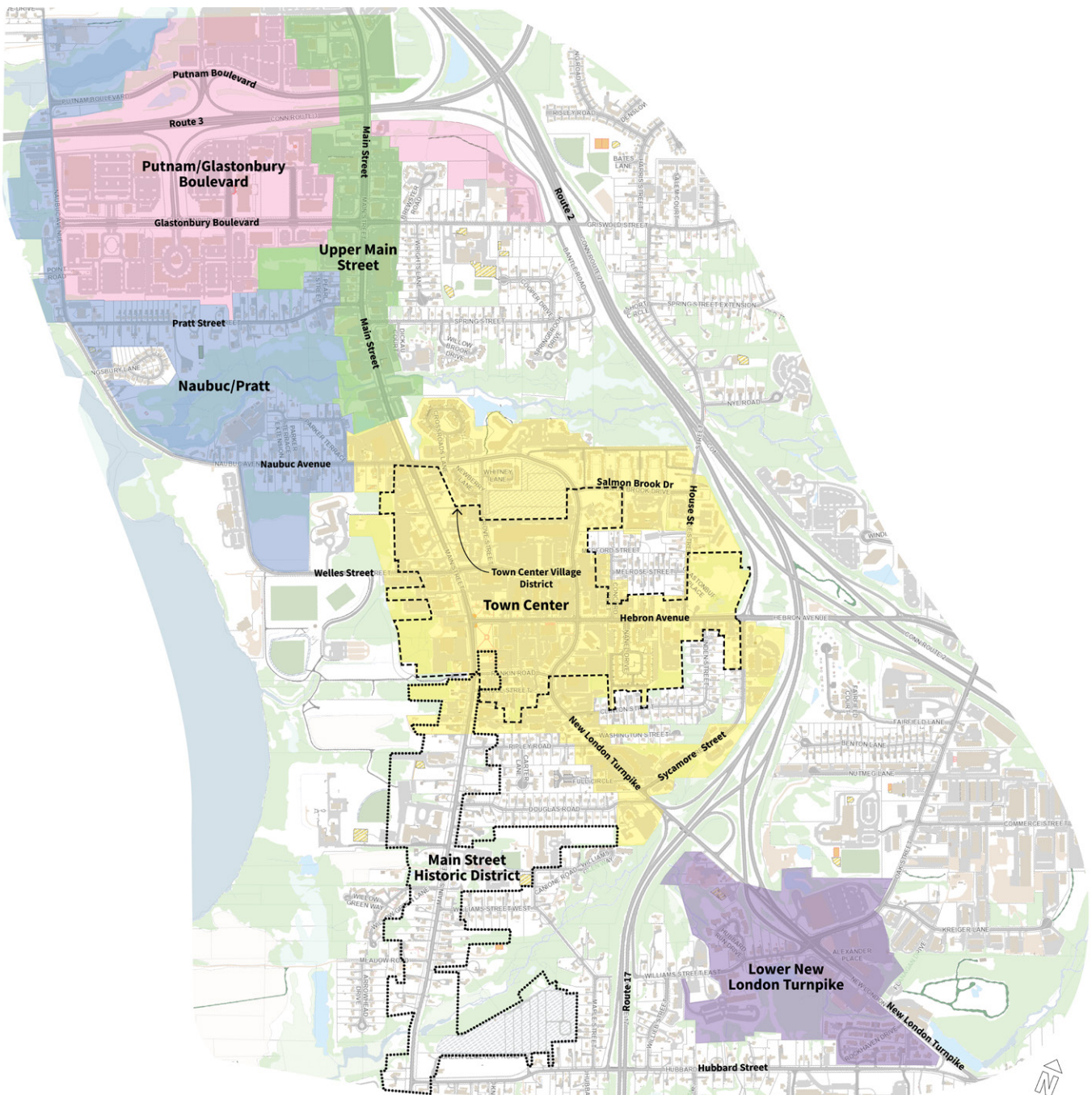


Other Regulated Areas

As described on the previous page, these guidelines are required for review of projects within the TCVD and are advisory to other areas outside of the TCVD. Those areas are listed and indicated on the map below. Each area has unique attributes and is subject to design guidelines that are tailored to those attributes. The areas include:

- Town Center (within the Town Center area is the TCVD)
- Upper Main Street
- Putnam/Glastonbury Boulevard
- Naubuc Avenue/Pratt Street
- Lower New London Turnpike

The ASDRC may also apply these guidelines to projects subject to their review located outside of areas identified on the map below.



Town Center Area Design Themes

The Town Center area is the historic commercial center of Glastonbury. Development within this area should occur at a scale that is compatible with and complementary to historic structures in the area. Pedestrian mobility is prioritized in the Town Center area and the design of streets and pedestrian facilities should provide a safe and comfortable pedestrian experience that encourages visitors and patrons of businesses to park and walk to multiple destinations. The Town Center area should be a place for residents and visitors to gather, walk, conduct errands, visit, shop, dine, and enjoy sharing a comfortable and engaging place.

The primary design themes within the Town Center area include the following:

- Buildings are of a colonial design or have colonial design elements.
- Buildings are located close to the street and oriented towards the street.
- Buildings are fenestrated at a scale and level of detail that can be appreciated by pedestrians.
- Storefronts are oriented towards pedestrians with respect to access, lighting, signage, and window displays.
- Parking areas are subordinate to the building in which they serve.
- Sidewalks line every street providing direct access to buildings and storefronts and are separated from the roadway by a landscaped area or decorative pavement.
- The pedestrian realm is a comfortable space with wide sidewalks and amenities such as street trees, pedestrian-scale ornamental lighting, occasional seating and other furnishings.
- Open spaces with seating are provided. Those spaces are adorned with a variety of plant materials and high-quality construction and pavement materials, furnishings, and decorative elements.
- Historic or iconic structures and site features, natural landscape elements, and important views are preserved to the greatest extent feasible.
- Signage is designed for, and oriented towards, pedestrians and vehicles proximate to the location.

Example from the Town Center



Parking is subordinate to building

Landscaping is provided for screening and to complement pedestrian realm

Street trees

Traditional architecture

Display window

Signage oriented to pedestrians and vehicles

Sidewalk separated from street and use of decorative pavement

Direct storefront access from public sidewalk

Upper Main Street Area Design Themes

The Upper Main Street area is a transitional zone between the Glastonbury and East Hartford town line and the Town Center Area. Land use in the area is primarily commercial and is oriented to the automobile but is also friendly to pedestrians. While this area of Main Street is not oriented towards strolling and gathering as is the Town Center, site design should provide safe, comfortable, and convenient pedestrian connections across and between properties.

The primary design themes within the Upper Main Street area include the following:

- Buildings are oriented to Main Street or cross streets but may be set back from the roadway by a landscaped area.
- Parking is subordinate to the building that it serves but primary building or storefront entrances may be oriented towards the parking area.
- Sidewalks are present throughout the area and pedestrian access should be provided between the public sidewalk and building or storefront entrances.
- A range of architectural styles are present although colonial architectural themes are dominant, with traditional roof lines and materials.
- Lighting and signage are oriented to both drivers and pedestrians.
- Landscaping is used to complement buildings, soften the landscape, and provide a more comfortable and engaging pedestrian experience.

Example from the Upper Main Street



Sidewalks connect properties

Landscaping provided in setback

Signage oriented to pedestrians and vehicles

Traditional architectural elements

Entrance is accessible from public sidewalk

Parking is subordinate to building

Putnam/Glastonbury Boulevard Area Design Themes

The Putnam/Glastonbury Boulevard Area is dominated by large-scale commercial land uses. The area is primarily oriented to the automobile but pedestrian connectivity is provided across the area and is prioritized within each site. Parking is shared by multiple buildings and businesses and parking is located primarily to the sides and rear of buildings with buildings and street trees being the dominant elements along the roadway. Buildings are generally large in scale, with large setbacks from the street, and multiple buildings may be clustered on a single site.

The primary design themes within the Putnam/Glastonbury Boulevard area include the following:

- Buildings have a visual connection to the street and are set back from the street by lawns and landscaped areas.
- Parking is located to the sides and rear of buildings and primary building or storefront entrances are generally oriented towards the parking area.
- Sidewalks are present throughout the area and pedestrian access is provided between the public sidewalk and building or storefront entrances.
- Buildings are typically large in scale and brick is the most common facade material. Sloped roofs or roof treatments are prominent.
- Lighting and signage are primarily oriented to drivers but is also provided for pedestrians.
- Landscaping is used to complement buildings, screen and shade parking areas, soften the landscape, and provide a more comfortable and engaging pedestrian experience.

Example from the Glastonbury Boulevard



Trees are a prominent feature along street and in front setback

Brick facades with sloped roofs or roof elements are typical

Lawn or landscaping occupies front setback

Sidewalks internal to and connecting sites

Parking is located to the sides and rear and is shared between buildings and businesses

Parking lots are screened and shaded by landscaping and shade trees

Naubuc Avenue/Pratt Street Area Design Themes

The Naubuc Avenue/Pratt Street area is characterized by a mixture of older residential properties and more contemporary homes, many of which have been converted to commercial uses. Because of their residential origins, buildings are small and may have additions that were added for residential or commercial purposes. Building setbacks vary with some structures close to the street and others setback from the street with lawns and landscaping in the front yard.

The primary design themes within the Naubuc Avenue/Pratt Street area include the following:

- Buildings have traditional colonial design elements and are constructed of traditional materials.
- Buildings are oriented to the street and are set back from the street by lawns and landscaped areas.
- Parking areas are relatively small, subordinate to the structure, and generally placed to the side or rear of buildings.
- Public sidewalks connecting properties are generally provided on at least one side of the roadway and access to building entrances is provided by a walkway or driveway.
- Signage and lighting are limited and oriented to drivers and pedestrians.
- Landscaping is used to complement buildings, screen and shade parking areas, soften the landscape, and provide a more comfortable and engaging pedestrian experience.

Example from Naubuc Avenue



Parking is located to the side and rear of building

Lawns and/or landscaping occupy front yard setback

Signage oriented to pedestrians and vehicles

Building is oriented to the street

Traditional colonial design elements and materials

Lower New London Turnpike Area Design Themes

The Lower New London Turnpike area is characterized by a mixture of residential and commercial uses in buildings and properties that range considerably in size. The architectural style of buildings varies from colonial to modern and industrial and complementary architectural styles may be present on a single property. Building setbacks vary with lawns and landscaping occupying front yard setbacks. The area is automobile-oriented but pedestrian facilities are provided across the area and connecting to building entrances.

The primary design themes within the Lower New London Turnpike area include the following:

- Buildings have a complementary mixture of architectural design styles.
- Buildings are generally oriented to the street and are set back from the street by lawns and landscaped areas.
- Parking is located to the sides or rear of buildings.
- Building entrances may be oriented to the street or to parking areas.
- Sidewalks are present throughout the area and pedestrian access is provided between the public sidewalk and building or storefront entrances.
- Lighting and signage are oriented to drivers but are also provided for pedestrians.
- Landscaping is used to complement buildings, screen and shade parking areas, soften the landscape, and provide a more comfortable and engaging pedestrian experience.

Example from Lower New London Turnpike



Buildings may reflect historical or current industrial uses of property

Front yard is occupied by lawn or landscaping.

Buildings are oriented to the street but primary entrance may be oriented to parking area.

A mixture of architectural styles within a development and from property to property is typical.

Organization

These guidelines are organized into the following sections:

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Application of Design Guidelines

All applications that require ASDRC review within the TCVD are subject to these guidelines. Specific guidelines may be required (compulsory) or preferred (advisory) within the TCVD. The application of these guidelines may be varied across areas outside of the TCVD consistent with the themes described on pages 4 through 8 of this document.

In all areas outside of the TCVD, these guidelines are advisory only and items that are deemed relevant to those areas are indicated as “preferred” in the tables that follow. The designation of “conditional” indicates that those items should be considered by ASDRC as a potential advisory guideline based upon the property location or conditions specific to the property or project. While these guidelines don’t have the authority to prohibit items outside of the TCVD, prohibited items are discouraged outside of the TCVD.

These guidelines are intended to allow for flexibility in design and for conditions that are unique to each site and development program. While it may not be possible for a development to conform with all required and preferred items, project designs should aim to conform to the greatest extent feasible.

Use of the Guidelines

Regulation: The guidelines on the following pages are regulated according to the following:

- **Required:** These items are compulsory within the TCVD and are generally preferred in other areas subject to ASDR review.
- **Preferred:** These items are not required but are preferred elements. The failure of a proposal within the TCVD to comply with multiple preferred elements may constitute the failure of the proposal to comply with the intent of the TCVD regulations as a whole.
- **Discouraged:** These items are discouraged in proposals. While individual items are not prohibited, the presence of multiple discouraged elements in a proposal may constitute the failure of the proposal to comply with the intent of the TCVD regulations as a whole.
- * **Prohibited:** These items are prohibited within the TCVD and are discouraged in other areas subject to ASDR review.

Images: Images and illustrations are provided for reference only. Images are numbered with corresponding relevant guidelines. The written guidelines prevail and elements of images not specifically referenced by the guidelines may not be applicable. Discouraged or prohibited items that appear in images remain discouraged or prohibited.

Nomenclature: These guidelines are organized by section (1-4) and subsection (1.1, 1.2, etc.). Specific guidelines are numbered and should be referred to as item numbers (item 1, item 2, etc.). Specific guidelines are most effectively referenced as follows using Subsection 1.1, Item 1 as an example:

“Section 1.1.1 of the Glastonbury Town Center Design Guidelines” in lieu of *“Section 1, Subsection 1, Item 1 of the...”*

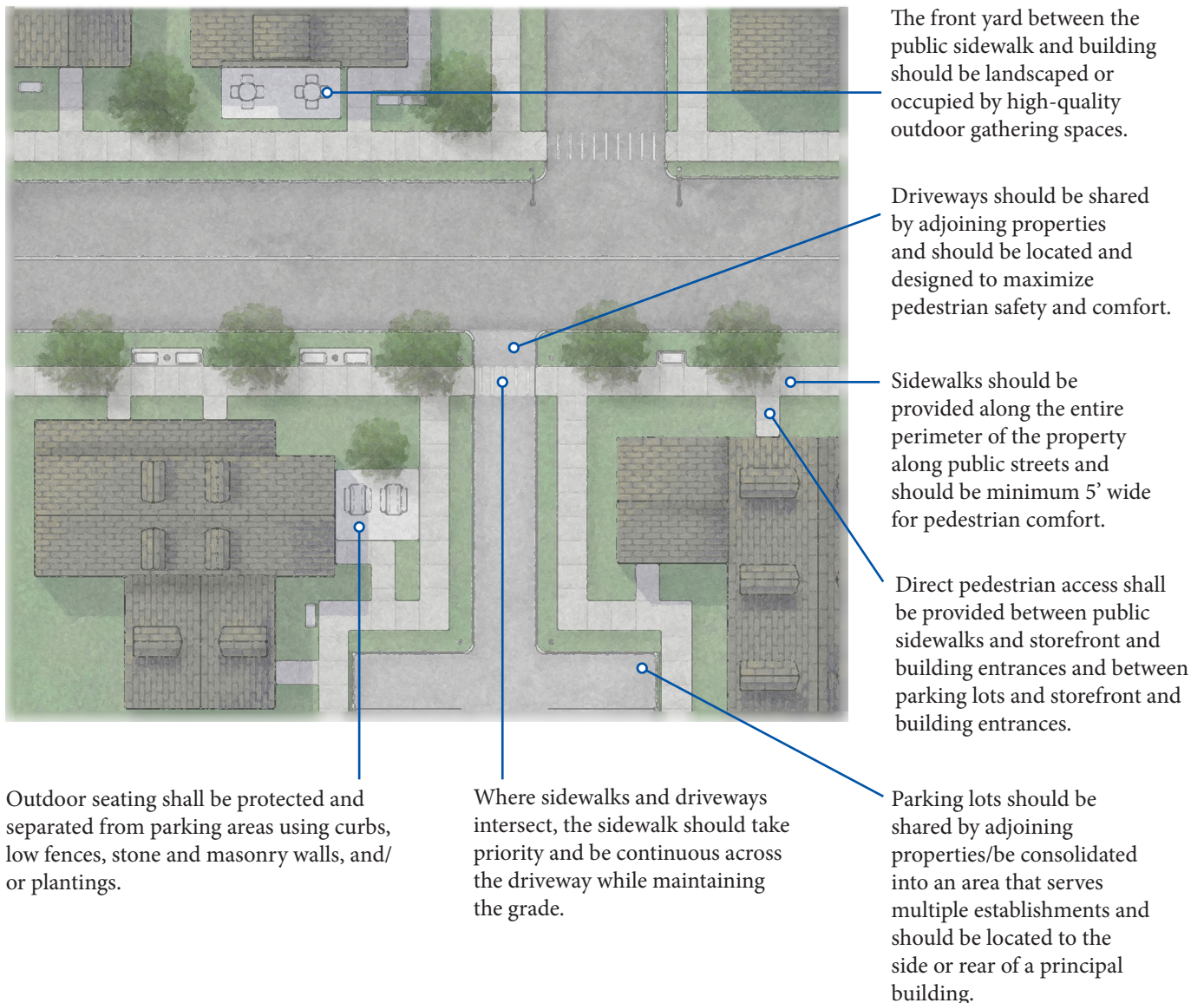
1. Site Design

Development sites should be designed and built to maximize safe and comfortable pedestrian access and circulation between buildings and the adjacent public street. Parking should appear as a subordinate use with parking areas located to the sides and rear of principal building structures. Sites should be attractively landscaped to provide pedestrian comfort, screen unsightly areas, and reduce stormwater runoff while complementing the natural landscape. Site amenities such as functional open space, outdoor lighting, outdoor seating, and other features should be provided to provide an interesting, comfortable, and secure environment.

A safe, comfortable, and engaging pedestrian experience should be provided. Sidewalks should be sufficiently wide to accommodate all users and allow pedestrians to walk side-by-side. Pavement materials should be high-quality and may be varied to create a more engaging experience. Amenities such as pedestrian-scaled lighting, street trees, a variety of landscaping, seating and other furnishing should be provided, particularly in areas with high pedestrian use. Pedestrians should be adequately separated from traffic and driveway crossings should be designed to maximize safety.

SD

The illustration below provides a summary of key themes of the site design guidelines. Specific site design guidelines begin on page 12.



1.1 General Site Design

Required

- 1 To the maximum extent possible, all significant existing natural and cultural resources and scenic views shall be preserved, protected, or restored. This includes but is not limited to, stone walls, steep slopes, large boulders or ledge outcroppings, specimen trees or stands of trees, waterbodies, scenic vistas, ridgelines or other significant geological or unique site features.
- 2 Utilities shall be situated below ground and existing overhead services relocated below ground wherever feasible.
- 3 Gas station canopies shall be designed as an integral part of the station architecture.
- 4 Gas station fueling areas including pumps and canopies shall be located at the side of the lot and the associated store or station building should be located at the front of the lot.

Preferred

- 5 The design of freestanding structures (such as kiosks, garages, storage units, recycling or trash enclosures, etc.) should be coordinated with the primary building through the repetition of form, materials, details and color.
- 6 The infill development of large parking lots of shopping centers that are set back from the street is encouraged.



Image Source: Rexbury Premier Site Furniture



Image Source: Google Earth

Application of General Site Design Guidelines

| Guideline Item | Town Center Village District | Town Center | Upper Main Street | Putnam/Glastonbury Boulevard | Naubuc Avenue/Pratt Street | Lower New London Turnpike | Other Areas |
|--------------------------------|------------------------------|-------------|-------------------|------------------------------|----------------------------|---------------------------|-------------|
| 1.1 General Site Design | | | | | | | |
| 1 | R | P | P | P | P | P | P |
| 2 | R | P | P | P | P | P | C |
| 3 | R | P | C | C | C | C | C |
| 4 | R | P | C | C | C | C | C |
| 5 | P | P | P | P | P | P | P |
| 6 | P | P | P | P | C | C | C |

R Required: The guideline is a compulsory standard.

P Preferred: The guideline is an advisory standard. Compliance is preferred but is not compulsory.

C Conditional: These items should be considered by ASDRC as a potential advisory guideline based upon the property location or conditions specific to the property or project.

SD



Image Source: Google Earth



Image Source: Timmons Group



Image Source: William Quinn & Sons



Image Source: Google Earth

1.2 Vehicular Circulation

Required

- 1 Curb cuts shall be located away from the corners of an intersection to provide safe entry and exit from the site.
- 2 Driveways that exceed 30 feet in width and are intersected by sidewalks shall incorporate pedestrian refuge islands a minimum of 5 feet wide.
- 3 Driveways shall be located to minimize conflicts with pedestrian circulation.
- 4 Driveways leading to or from drive-thrus shall be designed to avoid conflicts with pedestrians. When there is potential conflict with pedestrian circulation, techniques shall be used to improve pedestrian safety and increase driver awareness such as signage, lighting, raised crosswalks, changes in paving, or other devices.
- 5 The layout and design of vehicular and pedestrian circulation, including interior drives, parking areas, and walkways shall provide for safe interior circulation and separation of pedestrian, vehicular and service traffic.

Preferred

- 6 The number of curb cuts provided should be the minimum necessary to provide adequate site access. A single curb cut and driveway is preferred although secondary access may be provided from side roads.
- 7 The use of shared driveways by adjoining properties is encouraged as a means of reducing the number of curb cuts.
- 8 Curb cuts should only be as wide as necessary to accommodate needed lanes. Curb radii should be kept to a minimum.
- 9 Service and delivery drives, if present, should be separated from internal walkways, parking areas, or pedestrian use areas by landscaped areas or islands.

Application of Vehicular Circulation Guidelines

| Guideline Item | Town Center Village District | Town Center | Upper Main Street | Putnam/Glastonbury Boulevard | Naubuc Avenue/Pratt Street | Lower New London Turnpike | Other Areas |
|----------------------------------|------------------------------|-------------|-------------------|------------------------------|----------------------------|---------------------------|-------------|
| 1.2 Vehicular Circulation | | | | | | | |
| 1 | R | P | P | P | P | P | P |
| 2 | R | P | P | P | P | P | P |
| 3 | R | P | P | P | P | P | P |
| 4 | R | P | P | P | P | P | P |
| 5 | R | P | P | P | P | P | P |
| 6 | P | P | P | P | P | P | P |
| 7 | P | P | P | P | C | P | P |
| 8 | P | P | P | P | P | P | P |
| 9 | P | P | P | P | C | C | C |

R Required: The guideline is a compulsory standard.

P Preferred: The guideline is an advisory standard. Compliance is preferred but is not compulsory.

C Conditional: These items should be considered by ASDRC as a potential advisory guideline based upon the property location or conditions specific to the property or project.

SD

1.3 Parking Areas

Required

- 1 Landscaped islands that are equal in area to at least 10% of the parking lot pavement area shall be provided in parking lots with 40 or more spaces.
- 2 Landscaped islands and/or pedestrian access shall be provided within parking areas so as to allow no more than 20 parking spaces in a row.
- 3 Landscaped parking lot islands shall be a minimum of 9' in width and should be planted with shade trees and hardy plant materials suitable for parking lot conditions.
- 4 Parking areas of commercial, mixed-use, or multi-family buildings adjoining single-family residential properties or districts shall be sufficiently screened from those abutting properties with evergreen trees and shrubs, earthen berms, walls, or fences a minimum of four feet in height.
- 5 One shade tree per 5 parking spaces should be provided within or along the perimeter of parking areas. Up to 25% of this requirement may be met through the use of ornamental trees providing those trees do not interfere with sightlines or vehicular movement when mature. The required number of trees may be reduced if existing shade trees directly adjacent to the parking area are preserved.

Preferred

- 6 Off-street parking should be located to the side or rear of a principal building.
- 7 Parking should be consolidated into an area that serves multiple buildings or establishments.
- 8 Connections between parking lots and driveways on abutting properties should be provided and parking lots should be designed to allow for possible future connections with abutting properties.
- 9 Concrete or stone curbing is preferred at parking lot edges where curbing is required. Bituminous curbing is discouraged.

Prohibited

- ✘ The location of off-street parking within the front yard setback is prohibited.



Image Source: Cleanwater Nashville



Image Credit: Elza Hisel McCoy



Application of Parking Area Guidelines

| Guideline Item | Town Center Village District | Town Center | Upper Main Street | Putnam/Glastonbury Boulevard | Naubuc Avenue/Pratt Street | Lower New London Turnpike | Other Areas |
|--------------------------|------------------------------|-------------|-------------------|------------------------------|----------------------------|---------------------------|-------------|
| 1.3 Parking Areas | | | | | | | |
| 1 | R | P | P | P | P | P | P |
| 2 | R | P | P | P | P | P | P |
| 3 | R | P | P | P | P | P | P |
| 4 | R | P | P | P | P | P | P |
| 5 | R | P | P | P | P | P | P |
| 6 | P | P | P | P | P | P | P |
| 7 | P | P | P | P | C | C | C |
| 8 | P | P | P | P | C | C | C |
| 9 | P | P | P | P | C | C | C |

R Required: The guideline is a compulsory standard.

P Preferred: The guideline is an advisory standard. Compliance is preferred but is not compulsory.

C Conditional: These items should be considered by ASDRC as a potential advisory guideline based upon the property location or conditions specific to the property or project.

SD



1.4 Bicycle Parking

Preferred

- 1 Outside bicycle racks should be provided with a capacity of one bike per 5,000 square feet of building gross floor area or 10% of the number of automobile parking spaces (whichever is greater) and should be located no more than 100 feet from the building entrance in which the rack is intended to serve.
- 2 Bicycle racks may be located within the pedestrian area of the public right-of-way provided the location does not interfere with pedestrian mobility or other functions in that space.
- 3 Inverted U style bicycle racks, circular racks, or variants thereof are preferred over “wave” or “comb” style racks.



Image Source: Propel ATL

Application of Bicycle Parking Guidelines

| Guideline Item | Town Center Village District | Town Center | Upper Main Street | Putnam/Glastonbury Boulevard | Naubuc Avenue/Pratt Street | Lower New London Turnpike | Other Areas |
|----------------------------|------------------------------|-------------|-------------------|------------------------------|----------------------------|---------------------------|-------------|
| 1.4 Bicycle Parking | | | | | | | |
| 1 | P | P | P | P | P | P | C |
| 2 | P | P | P | P | P | P | C |
| 3 | P | P | P | P | P | P | C |

- R** Required: The guideline is a compulsory standard.
- P** Preferred: The guideline is an advisory standard. Compliance is preferred but is not compulsory.
- C** Conditional: These items should be considered by ASDRC as a potential advisory guideline based upon the property location or conditions specific to the property or project.

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1.5 Pedestrian Circulation

Required

- 1 Sidewalks shall be provided along the full perimeter of the property along public streets.
- 2 Direct pedestrian access shall be provided between public sidewalks and storefront and building entrances and between parking lots and storefront and building entrances.
- 3 Walkways shall be a minimum of five feet wide to allow two people to pass comfortably. Additional width may be necessary in certain areas with heavy pedestrian traffic or where parked cars could overhang the walkway.
- 4 Concrete, brick pavers, and other high-quality materials shall be used for walkways.

Preferred

- 5 The sidewalk materials of public sidewalks that intersect driveways near the street should continue across driveways rather than be interrupted by driveway paving.
- 6 The grade of public sidewalks should be maintained across driveways through the use of driveway ramps and aprons in favor of using pedestrian ramps to lower sidewalks to driveway grade.
- 7 Internal walkways should be connected with walkways on abutting properties as feasible.
- 8 Areas adjacent to walkways should be landscaped with trees, shrubs, flower beds, ground covers, or comparable materials as space permits.

Prohibited

- ✘ The use of asphalt for walkways is prohibited.



Image Source: Google Earth

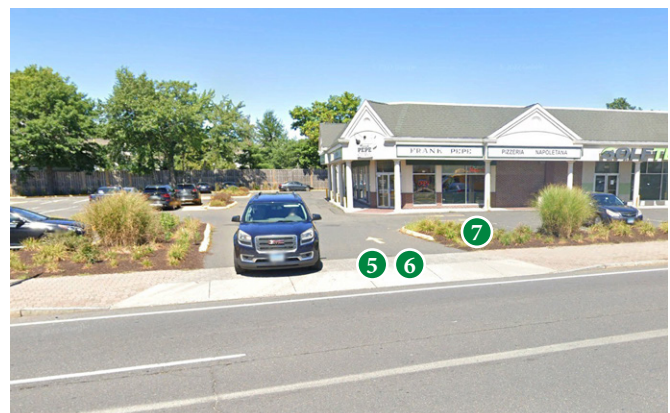
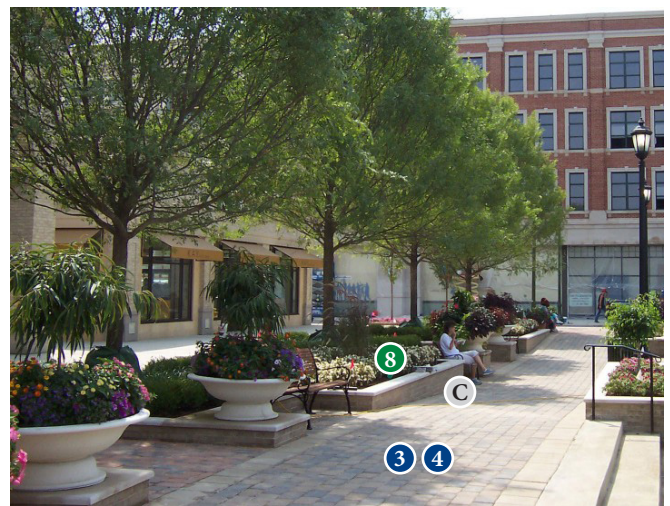


Image Source: Google Earth



Image Source: Crosskey Architects

Application of Pedestrian Circulation Guidelines

| Guideline Item | Town Center Village District | Town Center | Upper Main Street | Putnam/Glastonbury Boulevard | Naubuc Avenue/Pratt Street | Lower New London Turnpike | Other Areas |
|-----------------------------------|------------------------------|-------------|-------------------|------------------------------|----------------------------|---------------------------|-------------|
| 1.5 Pedestrian Circulation | | | | | | | |
| 1 | R | P | P | P | P | P | P |
| 2 | R | P | P | P | P | P | P |
| 3 | R | P | P | P | P | P | P |
| 4 | R | P | P | P | P | P | P |
| 5 | P | P | P | C | C | C | C |
| 6 | P | P | P | C | C | C | C |
| 7 | P | P | P | P | C | P | C |
| 8 | P | P | P | P | P | P | P |

R Required: The guideline is a compulsory standard.

P Preferred: The guideline is an advisory standard. Compliance is preferred but is not compulsory.

C Conditional: These items should be considered by ASDRC as a potential advisory guideline based upon the property location or conditions specific to the property or project.

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Image Source: Westport Downtown Merchants Association



Image Source: Boylston Properties

1.6 Outdoor Spaces

Required

- 1 The front yard between a public sidewalk and building shall be landscaped or occupied by high-quality outdoor gathering spaces.
- 2 A consistent design palette of materials shall be used across outdoor gathering spaces.
- 3 Outdoor seating areas shall be protected and separated from parking areas by curbs, low fences, stone and masonry walls, or plantings a minimum of three feet in height.
- 4 Decorative trash receptacles shall be provided where waste disposal is likely to occur.

Preferred

- 5 Functional open spaces such as patios, courtyards, or plazas should be provided in association with new development.
- 6 Outdoor spaces should be positioned to make best use of sun or shade.
- 7 The scale of outdoor areas should be commensurate with the scale of adjacent buildings.
- 8 Outdoor gathering spaces should be designed so that adjacent buildings have windows, terraces or other features that provide a visual connection between the building tenants and the open space.
 - Where plazas and outdoor gathering spaces are provided, walkways should be directed through those spaces to activate the spaces.
 - Public seating, planters, and low walls should be used to define outdoor public gathering spaces.
 - Focal elements such as sculpture, fountains, and civic art should be included in outdoor gathering areas where appropriate.

Discouraged

- Vacant public spaces that lack amenities such as seating, public art, or landscaping should be avoided.

Application of Outdoor Spaces Guidelines

| Guideline Item | Town Center Village District | Town Center | Upper Main Street | Putnam/Glastonbury Boulevard | Naubuc Avenue/Pratt Street | Lower New London Turnpike | Other Areas |
|---------------------------|------------------------------|-------------|-------------------|------------------------------|----------------------------|---------------------------|-------------|
| 1.6 Outdoor Spaces | | | | | | | |
| 1 | R | P | P | P | P | P | P |
| 2 | R | P | P | P | P | P | P |
| 3 | R | P | P | P | P | P | P |
| 4 | R | P | P | P | P | P | P |
| 5 | P | P | C | P | C | C | C |
| 6 | P | P | C | P | C | C | C |
| 7 | P | P | C | P | C | C | C |
| 8 | P | P | C | P | C | C | C |
| 9 | P | P | C | P | C | C | C |
| 10 | P | P | C | P | C | C | C |
| 11 | P | P | C | P | C | C | C |

R Required: The guideline is a compulsory standard.

P Preferred: The guideline is an advisory standard. Compliance is preferred but is not compulsory.

C Conditional: These items should be considered by ASDRC as a potential advisory guideline based upon the property location or conditions specific to the property or project.

SD

1.7 Landscaping

Required

- 1 Existing mature trees shall be preserved as feasible and incorporated in the site design.
- 2 Foundation plants shall be provided.
- 3 Ground covers such as grass and plantings shall be used for large unprogrammed areas.
- 4 Hardy plant species that are native to the region shall be included in landscaping.
- 5 Landscaping shall be used to screen unsightly areas.

Preferred

- 6 Landscaping within the front yard should be designed and programmed to maintain the visual and pedestrian connection between the street and building entrance or storefront.
- 7 Plantings, fences, walls, earthen berms, and other screening elements should be similar in form, scale and appearance to other similar elements on the site.
- 8 Low impact development strategies such as rain gardens should be used to reduce stormwater runoff.
- 9 The use of irrigation systems should be minimized in favor of the use of hardy native drought tolerant plant materials.
- 10 Trees should be selected and planted to maximize shade in summer months and access to sunlight in the winter particularly with respect to outdoor gathering spaces and along south facing building facades.

Discouraged

- Extensive area of mulch shall not be used as a substitute for vegetative ground covers.



Image Source: Hartford County ML



Image Source: Cityfeet.com



Image Source: Hartness Living

Application of Landscaping Guidelines

| Guideline Item | Town Center Village District | Town Center | Upper Main Street | Putnam/Glastonbury Boulevard | Naubuc Avenue/Pratt Street | Lower New London Turnpike | Other Areas |
|------------------------|------------------------------|-------------|-------------------|------------------------------|----------------------------|---------------------------|-------------|
| 1.7 Landscaping | | | | | | | |
| 1 | R | P | P | P | P | P | P |
| 2 | R | P | P | P | P | P | P |
| 3 | R | P | P | P | P | P | P |
| 4 | R | P | P | P | P | P | P |
| 5 | R | P | P | P | P | P | P |
| 6 | P | P | P | P | P | P | C |
| 7 | P | P | P | P | P | P | P |
| 8 | P | P | P | P | P | P | P |
| 9 | P | P | P | P | P | P | P |
| 10 | P | P | P | P | P | P | P |

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P Preferred: The guideline is an advisory standard. Compliance is preferred but is not compulsory.

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SD



Image Source: Google Earth



Image Source: Atlas Outdoor

1.8 Fences & Walls

Required

- 1 Fences and walls shall be designed and located to avoid barriers to pedestrian circulation.
- 2 Fences and walls shall not exceed 4 feet in height in any front yard.

Preferred

- 3 Fences and walls should be used to visually reinforce a space, add a decorative element, or provide screening.
- 4 Low fences and walls should be used to provide street edge definition where a building is significantly set back from the roadway or to define large areas in front of a retail building used for dining or other programming.
- 5 White fences that are at least 50% open are preferred for fences.
- 6 Stone walls are preferred for walls.

Prohibited

- * The use of chain link fence, metal mesh fence, or highway guardrails is prohibited.



Image Source: Garden Design by Tiz



Image Source: Hurricane Fence

1.9 Service Areas

Required

- 1 All service areas including waste collection and storage facilities, loading and unloading areas, loading docks, storage facilities, dumpsters, recycling areas, fueling areas and vehicle service and maintenance areas shall be located at the side or rear of the principal building and out of direct site from public sidewalks.
- 2 Where a service area may be visible from a street or public sidewalk, the service area shall be screened with a wall that is comparable in or complementary to materials and design of the adjacent building facade. Service areas visible from main entrances, abutting neighborhoods, public open spaces, and walkways shall be screened through the installation of a wall, fence, or plantings.

Application of Fences & Walls and Service Areas Guidelines

| Guideline Item | Town Center Village District | Town Center | Upper Main Street | Putnam/Glastonbury Boulevard | Naubuc Avenue/Pratt Street | Lower New London Turnpike | Other Areas |
|-----------------------------|------------------------------|-------------|-------------------|------------------------------|----------------------------|---------------------------|-------------|
| 1.8 Fences and Walls | | | | | | | |
| 1 | R | P | P | P | P | P | P |
| 2 | R | P | P | P | P | P | P |
| 3 | P | P | P | P | P | P | P |
| 4 | P | P | C | C | C | C | C |
| 5 | P | P | C | C | C | C | C |
| 6 | P | P | C | C | C | C | C |
| 1.9 Service Areas | | | | | | | |
| 1 | R | P | P | P | P | P | P |
| 2 | R | P | P | P | P | P | P |

R Required: The guideline is a compulsory standard.

P Preferred: The guideline is an advisory standard. Compliance is preferred but is not compulsory.

C Conditional: These items should be considered by ASDRC as a potential advisory guideline based upon the property location or conditions specific to the property or project.

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2. Building Orientation and Massing Guidelines

Buildings should be oriented to public streets and should appear as the principal feature of the site. Building and storefront entrances should be readily visible and accessible from the street. Buildings should be located in relationship to adjacent buildings either conforming to or complementing the development pattern established by those properties. Buildings on corner lots, particularly those located at prominent intersections, should be oriented and designed to respond to the specific characteristics of those locations.

Buildings should be scaled and detailed to human proportions with the foremost consideration being the experience of a person occupying or viewing the building. The massing of building elements should borrow from historic scales of development while acknowledging that modern buildings may be larger in scale.

The illustration below provides a summary of key themes of the building orientation and massing design guidelines. A full list of specific building orientation and massing design guidelines begins on page 30.

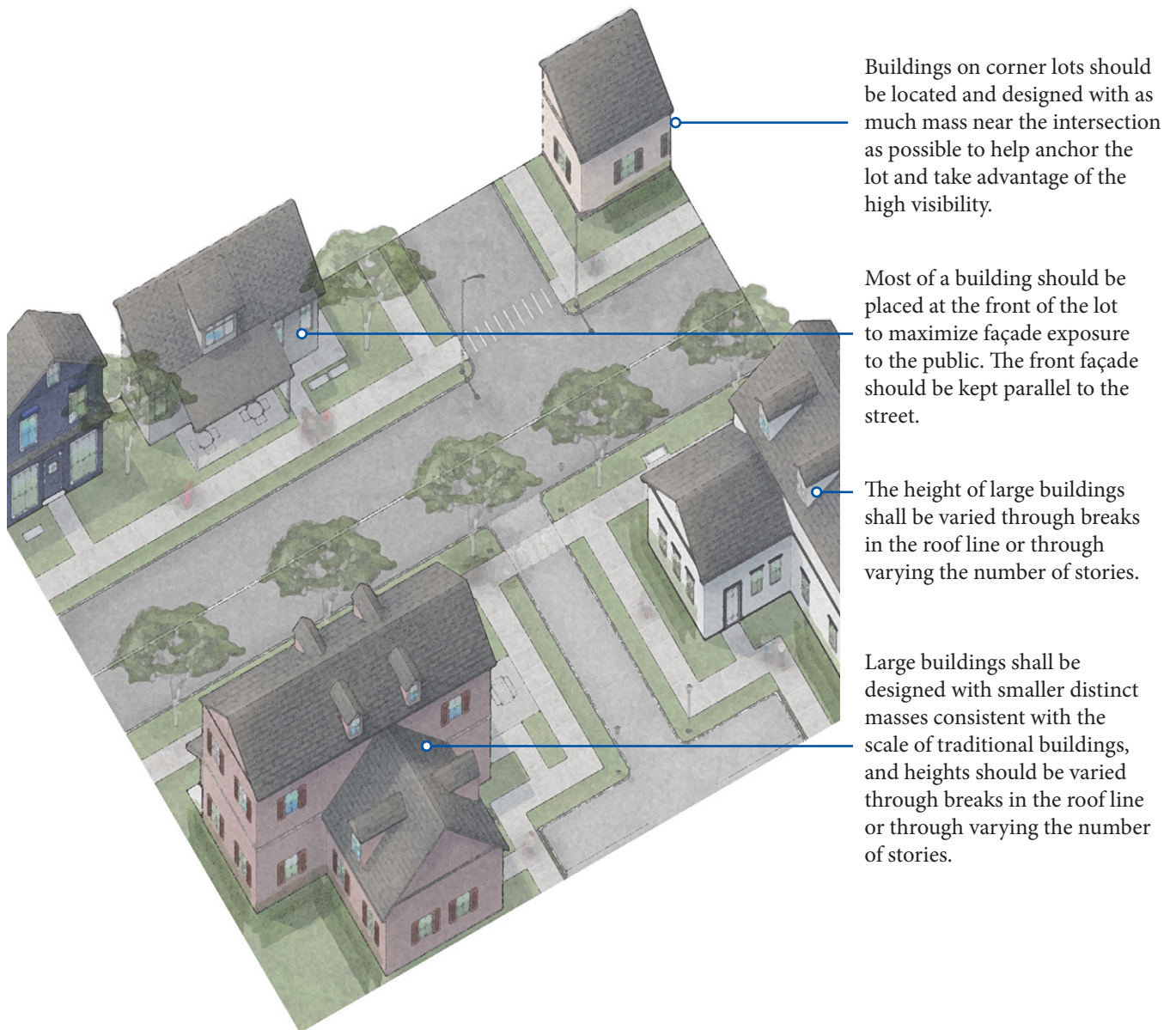




Image Source: Apartments.com



Image Source: QA+M Architects



Image Source: Smart MLS



Image Source: Apartments.com

2.1 Building Orientation & Massing

Required

- 1 Large buildings shall be designed with smaller distinct masses consistent with the scale of traditional buildings in the Town Center.
- 2 The height of large buildings shall be varied through breaks in the roof line or through varying the number of stories.

Preferred

- 3 Most of a building should be placed at the front of the lot to maximize front façade exposure to the public. The front façade should be kept parallel to the street.
- 4 Buildings on corner lots should be located and designed with as much mass near the intersection as possible to help anchor the lot and take advantage of the high visibility.
- 5 A complex of smaller buildings is preferable to a single large structure.
- 6 For sites with multiple buildings proposed, efforts should be made to vary the footprint among the building forms to minimize the overall sense of mass of the collective buildings
- 7 The height of a portion of a new building directly adjacent to a lower structure should be designed to relate to the lower structure.
- 8 The first floor should have a minimum height of 12 feet and should be taller than upper floors.
- 9 Upper stories may be set back to provide visual interest and to distinguish between street-level commercial uses and upper story residential uses.
- 10 Residential balconies should be contained within the building envelope and should not protrude beyond the building façade of lower stories.

Application of Building Orientation & Massing Guidelines

| Guideline Item | Town Center Village District | Town Center | Upper Main Street | Putnam/Glastonbury Boulevard | Naubuc Avenue/Pratt Street | Lower New London Turnpike | Other Areas |
|---|------------------------------|-------------|-------------------|------------------------------|----------------------------|---------------------------|-------------|
| 2.1 Building Orientation and Massing | | | | | | | |
| 1 | R | P | P | C | P | C | C |
| 2 | R | P | P | P | P | P | C |
| 3 | P | P | P | C | P | P | C |
| 4 | P | P | P | P | C | P | C |
| 5 | P | P | P | P | P | P | C |
| 6 | P | P | P | P | P | P | C |
| 7 | P | P | P | P | P | P | C |
| 8 | P | P | P | P | C | P | C |
| 9 | P | P | P | P | P | P | C |
| 10 | P | P | P | P | P | P | C |

R Required: The guideline is a compulsory standard.

P Preferred: The guideline is an advisory standard. Compliance is preferred but is not compulsory.

C Conditional: These items should be considered by ASDRC as a potential advisory guideline based upon the property location or conditions specific to the property or project.

BD

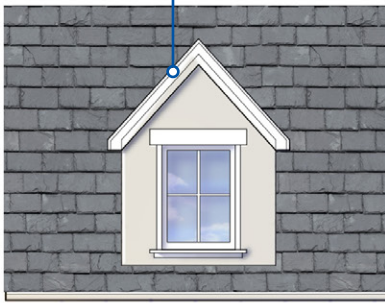
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3. Building Design Guidelines

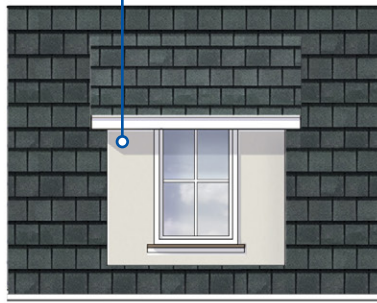
Buildings should be designed to be a meaningful contribution to Glastonbury's Town Center and surrounding areas. Building design should borrow from classic Glastonbury design traditions, celebrate the Town's past, and where appropriate introduce present day elements and materials that respond to current and future needs.

The illustration below provides a summary of key themes of the building design guidelines. A full list of specific building design guidelines begins on page 34.

Sloped roofs shall have a minimum pitch of 6 over 12. Roof pitches ranging from 8 over 12 to 12 over 12 pitch are preferred.



Subtle breaks and fluctuations in the roof line shall be incorporated to highlight important areas of the building (such as the entry) and break up longer runs of façade/ roof area.



The color of the roofing material shall complement the color and materials of the building's façade.



The use of traditional materials such as painted wood siding (shingle, clapboard, board and batten), brick, stone, or alternative materials that appear similar and have proven durability is preferred, especially on the front façade and near pedestrian areas.

All ground floor retail facades that face public areas, including streets, shall have display windows and entrances facing a public area or street. Entrances shall be accessible directly from the public sidewalks.

Architectural features such as columns, lintels, arches, etc. shall be sized and proportioned appropriately to the weight they appear to be carrying.

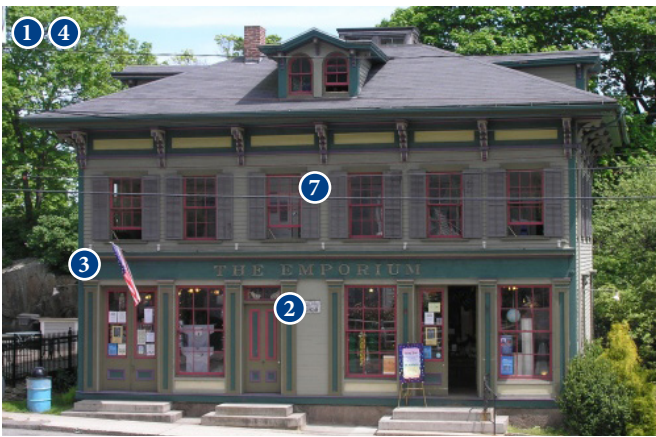


Image Source: Showcase.com



Image Source: QA+M Architecture



Image Source: New England Inns & Resorts

3.1 Building Features

Required

- 1 Building ornamentation shall be appropriate to the architectural style and shall appear integrated to the design of the building.
- 2 Articulations in the plane of the façade that express the structural units of the building such as pilasters, moldings, columns, a change in material, or an offset in the wall plane or other detailing shall be used to create an interesting design, reinforce rhythms, and cast shadows.
- 3 Horizontal articulation techniques such as moldings, a change in material, or an offset in the wall plane shall be used to distinguish lower stories from upper stories.
- 4 The size, scale, motif, and use of materials for the front façade design shall be kept consistent across the façade in order to tie the entire composition together. The use of a variety of design styles across the façade is discouraged.
- 5 Openings in masonry buildings shall express a structural lintel or arch to express how it is carrying the weight above.
- 6 The size and proportion of structural elements such as posts or columns shall be appropriate to the weight they appear to be carrying. Columns which support larger masses, such as upper floors, shall have more mass than columns supporting lighter elements such as a porch roof.
- 7 Where shutters are installed, they shall be proportional to the size of the window or door and should appear to be operable.



Image Source: Trulia

Application of Building Features Guidelines

| Guideline Item | Town Center Village District | Town Center | Upper Main Street | Putnam/Glastonbury Boulevard | Naubuc Avenue/Pratt Street | Lower New London Turnpike | Other Areas |
|------------------------------|------------------------------|-------------|-------------------|------------------------------|----------------------------|---------------------------|-------------|
| 3.1 Building Features | | | | | | | |
| 1 | R | P | P | P | P | P | P |
| 2 | R | P | P | P | P | P | P |
| 3 | R | P | P | P | P | P | P |
| 4 | R | P | P | P | P | P | P |
| 5 | R | P | P | P | P | P | P |
| 6 | R | P | P | P | P | P | P |
| 7 | R | P | P | P | P | P | P |

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P Preferred: The guideline is an advisory standard. Compliance is preferred but is not compulsory.

C Conditional: These items should be considered by ASDRC as a potential advisory guideline based upon the property location or conditions specific to the property or project.

BD

3.1 Building Features (continued)

Preferred

- 8 A strong cornice or string course should be provided between the first floor and upper floors.
- 9 Design elements should be used consistently across a building form and façade to avoid the appearance of an overly complex building form.
- 10 Higher levels of fenestration should be directed towards the first-floor level near pedestrian areas. The upper stories of a building may have decreased levels of fenestration.
- 11 Vertically proportioned elements (which are generally taller than they are wide) should be used to help give buildings a taller, lighter and more stately appearance.
- 12 The proportions of design elements such as windows, columns, or bay spacing should be kept as consistent as possible across the façade.
- 13 The use of recessed elements such as window and door insets is encouraged to create visual interest and add dimension to a façade.
- 14 Traditional architectural constructs should be used in building façades to differentiate the ‘base’, ‘middle’ and ‘top’ of the building.
- 15 Commercial building functions such as warehouse and storage spaces should be oriented to the rear of buildings that also contain more public oriented commercial uses. The design and construction of that part of the building may be more utilitarian in design.
- 16 The use of exterior shading devices is permitted to manage solar gain, particularly on south facing façades.

Discouraged or Prohibited

- Nationwide commercial chain or franchise designs that have not been adapted in accordance with these Design Guidelines are discouraged.
- * Flat façade designs and large areas of blank wall are prohibited.



Image Source: Prometheus



Image Source: Tecton Architects



Image Source: Sage Hill Apartments



Application of Building Features Guidelines (continued)

| Guideline Item | Town Center Village District | Town Center | Upper Main Street | Putnam/Glastonbury Boulevard | Naubuc Avenue/Pratt Street | Lower New London Turnpike | Other Areas |
|------------------------------|------------------------------|-------------|-------------------|------------------------------|----------------------------|---------------------------|-------------|
| 3.1 Building Features | | | | | | | |
| 8 | P | P | P | P | P | P | C |
| 9 | P | P | P | P | P | P | P |
| 10 | P | P | P | P | P | P | C |
| 11 | P | P | P | P | P | P | C |
| 12 | P | P | P | P | P | P | P |
| 13 | P | P | P | P | P | P | P |
| 14 | P | P | P | P | P | P | P |
| 15 | P | P | P | P | P | P | P |
| 16 | P | P | P | P | P | P | P |

- R** Required: The guideline is a compulsory standard.
- P** Preferred: The guideline is an advisory standard. Compliance is preferred but is not compulsory.
- C** Conditional: These items should be considered by ASDRC as a potential advisory guideline based upon the property location or conditions specific to the property or project.

BD



Image Source: Eppoliti Corporation

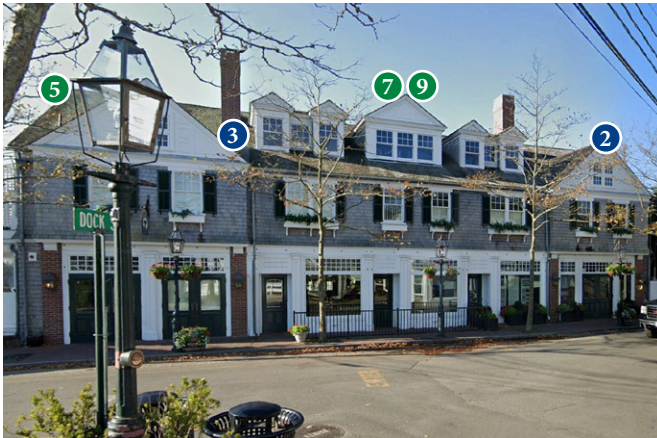


Image Source: Google Earth



Image Source: Visit Lake Norman



Image Source: Crosskey Architects

3.2 Roofs

Required

- 1 Subtle breaks and fluctuations in the roof line shall be incorporated to highlight important areas of the building (such as the entry) and break up longer runs of façade/roof area.
- 2 Sloped roofs shall have a minimum pitch of 6 over 12. Roof pitches ranging from 8 over 12 to 12 over 12 pitch are desired.
- 3 The color of the roofing material shall complement the color and materials of the building's façade.

Preferred

- 4 The use of basic gable and hip shaped roofs is encouraged.
- 5 Sloped roofs are preferred particularly on portions of a building two stories tall or higher.
- 6 Sloped roofs should overhang walls by at least 6 inches.
- 7 Projecting elements such as overhanging eaves, awnings, projecting gables, and dormers should be used to reinforce a traditional sense of scale.
- 8 Dormers or gables should be used along the front of buildings with pitched roofs to help maintain a prominent façade and to divert rainwater, snow, and ice away from entrances.
- 9 Dormers should be predominately fenestrated and should incorporate minimal wall surfaces other than architectural trim or ornament.
- 10 Flat roof structures, if used, should be capped by an articulated parapet design that acts as a structural expression of the building façade and its materials.

Discouraged or Prohibited

- The use of false roof fronts and similar applied designs is discouraged.
- ✘ The use of high gloss roofing materials is prohibited.
- ✘ The use of stripes and high-contrast geometric patterns on a roof is prohibited.

Application of Roof Guidelines

| Guideline Item | Town Center Village District | Town Center | Upper Main Street | Putnam/Glastonbury Boulevard | Naubuc Avenue/Pratt Street | Lower New London Turnpike | Other Areas |
|------------------|------------------------------|-------------|-------------------|------------------------------|----------------------------|---------------------------|-------------|
| 3.2 Roofs | | | | | | | |
| 1 | R | P | P | P | P | P | P |
| 2 | R | P | P | P | P | P | P |
| 3 | R | P | P | P | P | P | P |
| 4 | P | P | P | P | P | P | P |
| 5 | P | P | P | P | P | P | C |
| 6 | P | P | P | P | P | P | C |
| 7 | P | P | P | P | P | P | C |
| 8 | P | P | P | P | P | P | C |
| 9 | P | P | P | P | P | P | C |
| 10 | P | P | P | P | P | P | C |

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BD

3.3 Façade Materials

Required

- 1 Masonry veneers shall be full depth at corners so as to not appear as a surface veneer.

Preferred

- 2 A complementary mixture of materials is preferred over a single material on building façades.
- 3 When using more than one material on a façade, it is recommended to use one material to establish the dominant theme while using other materials to compliment or accentuate the design.
- 4 When making a transition from one material to the next, it is recommended that the change occur at a hard edge or “bump-out” in the façade. This helps to create a surface for the first material to terminate into before the second one begins.
- 5 The use of traditional materials such as painted wood siding (shingle, clapboard, board and batten), brick, stone, or alternative materials that appear similar and have proven durability is preferred, especially on the front façade and near pedestrian areas.
- 6 If stone is used, locally quarried stone is preferred.
- 7 If used, brick should be provided in traditional unit sizes.

Discouraged or Prohibited

- The use of Exterior Insulation and Finish Systems (EIFS), panelized brick veneer, cultured stone veneer, or plastic composite surfaces is discouraged.
- ✗ Large, panelized products or other materials that result in extensive featureless surfaces are prohibited.
- ✗ The use of vinyl siding is prohibited.
- ✗ With the exception of doors and windows, the use of highly reflective materials is prohibited.
- ✗ Large, exposed areas of concrete foundation visible from the street or public areas is prohibited.



Image Source: CM&B



Image Source: KBS Builders



Image Source: Gottfried & Somberg Wealth Management



Application of Façade Material Guidelines

| Guideline Item | Town Center Village District | Town Center | Upper Main Street | Putnam/Glastonbury Boulevard | Naubuc Avenue/Pratt Street | Lower New London Turnpike | Other Areas |
|-----------------------------|------------------------------|-------------|-------------------|------------------------------|----------------------------|---------------------------|-------------|
| 3.3 Façade Materials | | | | | | | |
| 1 | R | P | P | P | P | P | P |
| 2 | P | P | P | P | P | P | P |
| 3 | P | P | P | P | P | P | P |
| 4 | P | P | P | P | P | P | P |
| 5 | P | P | P | P | P | P | P |
| 6 | P | P | P | P | P | P | C |
| 7 | P | P | P | P | P | P | C |

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P Preferred: The guideline is an advisory standard. Compliance is preferred but is not compulsory.

C Conditional: These items should be considered by ASDRC as a potential advisory guideline based upon the property location or conditions specific to the property or project.

BD



Image Source: TPT Engravers



Image Source: Cityfeet.com



Image Source: Apartments.com

3.4 Entrance Location & Design

Required

- 1 The primary building entrance shall be placed at the front of the building and be clearly identifiable from the street.
- 2 Retail entrances shall be oriented to the street and primary retail entrances should not be exclusively located at the side or rear of a building.
- 3 Exterior entrances to each storefront or retail tenant shall be clearly delineated to convey a sense of individuality through the use of architectural detailing, signage, landscaping, and lighting.
- 4 Private entries for residential uses in a mixed-use building shall be located and designed so as to distinguish those entries from retail entrances.
- 5 Garage doors or vehicular entrances to a building, if present, shall be located at the side or rear of a building where feasible.

Preferred

- 6 Where it is not feasible to place a building entry directly on the front façade or oriented towards the street, attempts should be made to ensure that it is readily visible from the main road or internal street.
- 7 A corner entrance may be used to provide access from the street and from a side yard parking area.
- 8 Exterior entrances should be provided for all first-floor retail businesses.
- 9 The use of canopies or awnings, covered porches or arcades, and similar recessed front entry areas is encouraged to shelter pedestrians from adverse weather and draw attention to the point of entry.
- 10 Structures required to provide ADA compliant access to a building should be made as discrete as possible by incorporating design elements of the building that it serves and/or locating the ramp to the side or rear of a building provided that the ramp location provides convenient access for those with mobility limitations.

Application of Entrance Location & Design Guidelines

| Guideline Item | Town Center Village District | Town Center | Upper Main Street | Putnam/Glastonbury Boulevard | Naubuc Avenue/Pratt Street | Lower New London Turnpike | Other Areas |
|---|------------------------------|-------------|-------------------|------------------------------|----------------------------|---------------------------|-------------|
| 3.4 Entrance Location and Design | | | | | | | |
| 1 | R | P | P | C | P | P | C |
| 2 | R | P | P | C | P | P | C |
| 3 | R | P | P | P | P | P | C |
| 4 | R | P | P | P | P | P | P |
| 5 | R | P | P | P | P | P | C |
| 6 | P | P | P | C | P | P | C |
| 7 | P | P | P | C | P | P | C |
| 8 | P | P | P | P | P | P | C |
| 9 | P | P | P | P | P | P | P |
| 10 | P | P | P | P | P | P | C |

R Required: The guideline is a compulsory standard.

P Preferred: The guideline is an advisory standard. Compliance is preferred but is not compulsory.

C Conditional: These items should be considered by ASDRC as a potential advisory guideline based upon the property location or conditions specific to the property or project.

BD

3.5 Storefronts

Required

- 1 Storefronts shall be oriented to the street and accessible directly from public sidewalks.
- 2 All ground floor retail facades that face public areas, including streets, shall have display windows and entrances facing a public area or street.

Preferred

- 3 A majority of the ground floor elevation of a storefront should be occupied by glazing.
- 4 Entrance doors should have clear glazing and should be oriented towards a public sidewalk.

Discouraged

- The use of false display windows (windows that are not actively used to display products or provide a view into the store) is discouraged.



Image Source: Images, Greenwich



Image Source: Foamy Wader



Image Source: oldhouses.com



Application of Storefront Guidelines

| Guideline Item | Town Center Village District | Town Center | Upper Main Street | Putnam/Glastonbury Boulevard | Naubuc Avenue/Pratt Street | Lower New London Turnpike | Other Areas |
|------------------------|------------------------------|-------------|-------------------|------------------------------|----------------------------|---------------------------|-------------|
| 3.5 Storefronts | | | | | | | |
| 1 | R | P | P | P | P | P | C |
| 2 | R | P | P | P | P | P | C |
| 3 | P | P | P | P | P | P | C |
| 4 | P | P | P | P | P | P | C |

- R** Required: The guideline is a compulsory standard.
- P** Preferred: The guideline is an advisory standard. Compliance is preferred but is not compulsory.
- C** Conditional: These items should be considered by ASDRC as a potential advisory guideline based upon the property location or conditions specific to the property or project.

BD



Image Source: Promar Exteriors



Image Source: QA+M Architects



Image Source: Dominion Group

3.6 Windows

Preferred

- 1 Windows should be arranged in a regular rhythm.
- 2 Window openings should have a square or vertical (not horizontal) proportion.
- 3 The scale of large windows, particularly those oriented horizontally should be divided into vertical elements through the use of mullions or muntins.
- 4 If used, modern window types such as window walls, picture windows, awning, and casement windows should be designed and placed to establish a consistent rhythm and proportional spacing that borrows from traditional architectural styles.

Prohibited

- * Mirrored or substantially tinted door and window glass is prohibited.



Image Source: SmartMLS



Image Source: Loopnet

Application of Window Guidelines

| Guideline Item | Town Center Village District | Town Center | Upper Main Street | Putnam/Glastonbury Boulevard | Naubuc Avenue/Pratt Street | Lower New London Turnpike | Other Areas |
|--------------------|------------------------------|-------------|-------------------|------------------------------|----------------------------|---------------------------|-------------|
| 3.6 Windows | | | | | | | |
| 1 | P | P | P | P | P | P | P |
| 2 | P | P | P | P | P | P | P |
| 3 | P | P | P | P | P | P | P |
| 4 | P | P | P | P | P | P | P |

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BD

3.7 Awnings

Required

- 1 All awnings on a single building shall be of similar style, use the same type of materials, and have the same valance style.
- 2 Lettering and advertising shall be limited to the valance of the awning.

Preferred

- 3 Awnings, if used, should be an integral part of the façade design, should be located directly over doors or windows, and should fit the shape of the window or opening that it is affixed to.
- 4 The color and style of awnings should complement the façade of the building.
- 5 Awnings with simple striped patterns or subtle patterns may be permitted.
- 6 Canvas material is preferred for awnings. Awnings should not be made of reflective material such as metal or plastic.
- 7 Awnings should be a minimum of 7 feet above sidewalks or spaces accessible to people.

Prohibited

- ✗ The use of half dome and boxed awnings is prohibited.



Image Source: Carroll Awnings



Image Source: JMS Signs



Image Source: Driftwood Interiors

Application of Awning Guidelines

| Guideline Item | Town Center Village District | Town Center | Upper Main Street | Putnam/Glastonbury Boulevard | Naubuc Avenue/Pratt Street | Lower New London Turnpike | Other Areas |
|--------------------|------------------------------|-------------|-------------------|------------------------------|----------------------------|---------------------------|-------------|
| 3.7 Awnings | | | | | | | |
| 1 | R | P | P | P | P | P | P |
| 2 | R | P | P | P | P | P | C |
| 3 | P | P | P | P | P | P | P |
| 4 | P | P | P | P | P | P | P |
| 5 | P | P | P | P | P | P | P |
| 6 | P | P | P | P | P | P | C |
| 7 | P | P | P | P | P | P | P |

R Required: The guideline is a compulsory standard.

P Preferred: The guideline is an advisory standard. Compliance is preferred but is not compulsory.

C Conditional: These items should be considered by ASDRC as a potential advisory guideline based upon the property location or conditions specific to the property or project.

BD



Image Source: Imai Keller Moore Architects

3.8 Use of Color

Preferred

- 1 When multiple colors are used on the exterior of the building, only one color should be used as the main theme, with the other colors used more sparingly to create accents.
- 2 The main color theme should be a natural or muted shade. Brighter, more vibrant colors should be reserved for minor accents and highlights only and should be used sparingly.
- 3 Contrast should be used between primary and accent colors.
- 4 Trim color should complement the building's primary color or material.

Discouraged or Prohibited

- The use of color schemes associated with a brand or franchise for primary elements of a building facade is discouraged.
- ✖ The use of high intensity, highly reflective, chrome, metallic, or fluorescent colors is prohibited.



Image Credit: Linda Laben

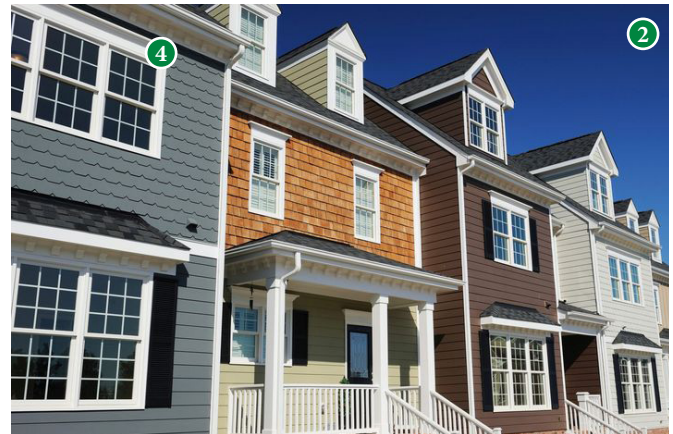


Image Credit: Eric Vaga



Image Source: QA+M Architects

Application of Use of Color Guidelines

| Guideline Item | Town Center Village District | Town Center | Upper Main Street | Putnam/Glastonbury Boulevard | Naubuc Avenue/Pratt Street | Lower New London Turnpike | Other Areas |
|-------------------------|------------------------------|-------------|-------------------|------------------------------|----------------------------|---------------------------|-------------|
| 3.8 Use of Color | | | | | | | |
| 1 | P | P | P | P | P | P | P |
| 2 | P | P | P | P | P | P | C |
| 3 | P | P | P | P | P | P | P |
| 4 | P | P | P | P | P | P | P |

- R** Required: The guideline is a compulsory standard.
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- C** Conditional: These items should be considered by ASDRC as a potential advisory guideline based upon the property location or conditions specific to the property or project.

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3.9 Mechanical Equipment

Required

- 1 Mechanical, electrical, and utility equipment shall be discretely located and screened from public view.
- 2 Where rooftop mechanical units would be visible from public view, low-profile or recessed mechanical units shall be used.
- 3 Plumbing and mechanical roof vents shall be located out of public view wherever practical.
- 4 If installed, solar panels shall be placed on a non-street facing roof or placed so as to minimize their visual impact from the street, as is feasible for their productive operation.

Preferred

- 5 Chimneys should be appropriately located and massed in proportion to the massing of the building itself, and particularly to the massing of the roof and should be located and designed to be consistent with the architectural style of the building.

Prohibited

- ✘ With exception of rooftop equipment that is screened from view, mechanical equipment shall not be located on the primary street-facing façade.



Image Source: Cityscapes



Image Source: City of Asheville



Image Source: KBS



Image Source: Industrial Louvers

Application of Mechanical Equipment Guidelines

| Guideline Item | Town Center Village District | Town Center | Upper Main Street | Putnam/Glastonbury Boulevard | Naubuc Avenue/Pratt Street | Lower New London Turnpike | Other Areas |
|---------------------------------|------------------------------|-------------|-------------------|------------------------------|----------------------------|---------------------------|-------------|
| 3.9 Mechanical Equipment | | | | | | | |
| 1 | R | P | P | P | P | P | P |
| 2 | R | P | P | P | P | P | P |
| 3 | R | P | P | P | P | P | P |
| 4 | R | P | P | P | P | P | C |
| 5 | P | P | P | P | P | P | C |

- R** Required: The guideline is a compulsory standard.
- P** Preferred: The guideline is an advisory standard. Compliance is preferred but is not compulsory.
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BD



3.10 Additions

Required

- 1 Wall plane or roof ridge offsets shall be used between additions and the original building to distinguish the addition from the original building.
- 2 Where an addition is proposed to an existing building that is not compliant with these Design Guidelines, the original building shall be upgraded to better meet these standards and the addition should be designed to complement the upgraded building while also complying with these Design Guidelines as feasible to present a design that is compatible and complementary.
- 3 Where an addition is proposed to an existing building that meets the standards of these Design Guidelines, the addition shall be designed to complement or match the materials, form, color, and detailing of the original building.
- 4 Windows in new additions shall be spaced to reflect or complement the proportions and rhythm of the windows on the existing building, though they may be diminished in scale to reflect the secondary importance of the addition to the original structure.

Preferred

- 5 Additions should be placed to the side or rear of the original building.



Image Source: Needham Dunham Architecture

Application of Addition Guidelines

| Guideline Item | Town Center Village District | Town Center | Upper Main Street | Putnam/Glastonbury Boulevard | Naubuc Avenue/Pratt Street | Lower New London Turnpike | Other Areas |
|-----------------------|------------------------------|-------------|-------------------|------------------------------|----------------------------|---------------------------|-------------|
| 3.10 Additions | | | | | | | |
| 1 | R | P | P | P | P | P | P |
| 2 | R | P | P | P | P | P | C |
| 3 | R | P | P | P | P | P | C |
| 4 | R | P | P | P | P | P | P |
| 5 | P | P | P | P | P | P | C |

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- P** Preferred: The guideline is an advisory standard. Compliance is preferred but is not compulsory.
- C** Conditional: These items should be considered by ASDRC as a potential advisory guideline based upon the property location or conditions specific to the property or project.

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4. Lighting and Sign Design Guidelines

Lighting and signage should be provided to effectively meet the needs of users. Comfort and safety should be the prevailing consideration in the design, selection, and placement of outdoor lighting. Signage should be deployed selectively to effectively communicate with drivers while placing an emphasis on pedestrians as the intended audience. Both lighting and signage should be used judiciously to enhance surroundings without distracting from built forms or natural landscapes.

The illustration below provides a summary of key themes of the lighting and sign design guidelines. A full list of specific lighting and sign design guidelines begins on page 58.

Ornamental street lights of a style selected by the town shall be located consistently in the curbside/pedestrian area of the right-of-way along the perimeter of a property.

Gooseneck, sconce, and pendant lighting styles may be used for illuminating signs and should complement the color and design of architecture of the building.

Overhanging signs shall be scaled and oriented to pedestrians and have a minimum of 7' clearance between the sign and areas accessible to pedestrians below and shall not project more than 4' from the attachment point.



Landscaping shall be used to complement ground signs and blend them into the surrounding area.

Multiple sign types and locations with a common theme are preferable to a single larger sign.

All light fixtures should be selected and oriented to reduce light pollution and prevent glare and spillover onto adjacent properties.

Window signs shall not cover more than 25% of the total window area of retail windows.

4.1 Lighting

Required

- 1 All light fixtures, whether facade or site lighting shall be dark-sky compliant and selected and oriented to reduce light pollution and prevent glare and spillover onto adjacent properties.
- 2 The alignment and spacing of light fixtures on a building façade shall follow a regular pattern that is coordinated with the design of the building and site lighting.
- 3 Light fixtures serving pedestrian areas shall be provided at a human scale and may include a combination of ground level fixtures, bollard fixtures, and light poles less than 16 feet in height.
- 4 Ornamental street lights, of a style selected by the Town, shall be located consistently in the curbside/ pedestrian area of the right-of-way along the perimeter of a property.

Preferred

- 5 Lighting should complement the intended use of a building by highlighting signage and entrances.
- 6 Mixed lighting sources such as display window lighting, sign lighting, entranceway lighting, and vehicular area lighting should be designed and used as components of a single system.
- 7 The minimum level of luminescence needed to achieve visibility, comfort, and safety for vehicular and pedestrian traffic should be used.
- 8 Lower intensity distributed light sources should be used instead of single higher intensity fixtures.
- 9 Walkway lighting should directly illuminate the walkway with enough peripheral distribution to also illuminate the immediate surroundings.
- 10 Parking area light fixtures should be decorative and the poles supporting those fixtures should be located within raised planting areas or behind curbs.
- 11 The color temperature of light fixtures should be 3,000K or less.

Discouraged or Prohibited

- The placement of parking lot light poles on raised concrete bases within parking lot pavement is discouraged.
- The use of box or cobra head lighting is discouraged.
- ✗ Flashing or color changing lights are prohibited.



Image Source: Barn Light Electric



Image Source: PSEG



Image Source: QA+M Architecture



Image Source: Hardcore Electric

Application of Lighting Guidelines

| Guideline Item | Town Center Village District | Town Center | Upper Main Street | Putnam/Glastonbury Boulevard | Naubuc Avenue/Pratt Street | Lower New London Turnpike | Other Areas |
|---------------------|------------------------------|-------------|-------------------|------------------------------|----------------------------|---------------------------|-------------|
| 4.1 Lighting | | | | | | | |
| 1 | R | P | P | P | P | P | P |
| 2 | R | P | P | P | P | P | P |
| 3 | R | P | P | P | P | P | P |
| 4 | R | P | C | C | C | C | C |
| 5 | P | P | P | P | P | P | P |
| 6 | P | P | P | P | P | P | P |
| 7 | P | P | P | P | P | P | P |
| 8 | P | P | P | P | P | P | P |
| 9 | P | P | P | P | P | P | P |
| 10 | P | P | P | P | P | P | C |
| 11 | P | P | P | P | P | P | C |

R Required: The guideline is a compulsory standard.

P Preferred: The guideline is an advisory standard. Compliance is preferred but is not compulsory.

C Conditional: These items should be considered by ASDRC as a potential advisory guideline based upon the property location or conditions specific to the property or project.



4.2 Sign Location & Scale

Preferred

- 1 Multiple sign types and locations with a common theme are preferable to a single larger sign.
- 2 Signs should be located in consideration of the rhythm and scale of other signs in the area to avoid conflict and visual clutter.
- 3 Signs should be scaled to the immediate audience. Different signs for vehicular and pedestrian traffic are encouraged.

Discouraged or Prohibited

- Bright sign background colors, including large white areas, should be avoided.
- * Signs shall not project above the façade of any building.



Image Source: Downtown Storrs

4.3 Wall Signs

Required

- 1 If used, wall signs shall be designed as an integral element of the architecture. The shape and materials of the sign should complement the architectural features on the building.
- 2 For buildings with multiple storefronts, wall signs, if used, shall be centered on structural elements that define an individual business.

Preferred

- 3 If used, wall signs should be located within the frieze of the cornice, on a covered transom, or on another flat and unadorned surface.

Prohibited

- * Wall signs shall not obscure any trim or other facade details.



Image Source: Superior Signs



Image Source: Splurge, Greenwich

Application of Sign Location & Scale and Wall Sign Guidelines

| Guideline Item | Town Center Village District | Town Center | Upper Main Street | Putnam/Glastonbury Boulevard | Naubuc Avenue/Pratt Street | Lower New London Turnpike | Other Areas |
|------------------------------------|------------------------------|-------------|-------------------|------------------------------|----------------------------|---------------------------|-------------|
| 4.2 Sign Location and Scale | | | | | | | |
| 1 | P | P | P | P | P | P | P |
| 2 | P | P | P | P | P | P | P |
| 3 | P | P | P | P | P | P | P |
| 4.3 Wall Signs | | | | | | | |
| 1 | R | P | P | P | P | P | P |
| 2 | R | P | P | P | P | P | P |
| 3 | P | P | P | P | P | P | C |

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C Conditional: These items should be considered by ASDRC as a potential advisory guideline based upon the property location or conditions specific to the property or project.

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4.4 Ground Signs

Required

- 1 Landscaping shall be used to complement ground signs and blend them into the surrounding area.

Preferred

- 2 Ground sign structural supports and exposed foundations should be constructed of or veneered with stone, brick, heavy gauge metal, or wood and should be designed as an integral or complementary component of the sign panel.
- 3 Ground signs should be oriented perpendicularly to the street, within the cone of vision of drivers on the adjacent roadway. Signs may be oriented parallel to the street if the sign is sufficiently setback from the roadway.

Discouraged

- The use of top-heavy, pole-mounted, ground signs should be avoided.



Image Source: Great Big Graphics



Image Source: Prairie Signs

4.5 Overhanging Signs

Required

- 1 Overhanging signs shall be scaled and oriented to pedestrians.
- 2 Overhanging signs shall have a minimum of 7 feet clearance between the sign and areas accessible to pedestrians below.
- 3 An overhanging sign shall project no more than four feet from the building to which it is attached.

Prohibited

- ✘ An overhanging sign shall not project above the cornice line of the building or above the sills of second story windows if present.



Image Source: Dave's Signs

Application of Ground Sign and Overhanging Sign Guidelines

| Guideline Item | Town Center Village District | Town Center | Upper Main Street | Putnam/Glastonbury Boulevard | Naubuc Avenue/Pratt Street | Lower New London Turnpike | Other Areas |
|------------------------------|------------------------------|-------------|-------------------|------------------------------|----------------------------|---------------------------|-------------|
| 4.4 Ground Signs | | | | | | | |
| 1 | R | P | P | P | P | P | P |
| 2 | P | P | P | P | P | P | P |
| 3 | P | P | P | P | P | P | P |
| 4.5 Overhanging Signs | | | | | | | |
| 1 | R | P | P | P | P | P | C |
| 2 | R | P | P | P | P | P | P |
| 3 | R | P | P | P | P | P | C |

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LS



Image Source: Affordable Signs & Banners

4.6 Window Signs

Required

- 1 Window signs, as permitted within the total sign allowance established by the Building Zone Regulations, shall not cover more than 25% of the total window area of retail windows.

Preferred

- 2 Window signs should be scaled for and oriented towards pedestrians.

Prohibited

- * Directly lit window signs such as neon signs or signs with integrated LED lighting are prohibited.

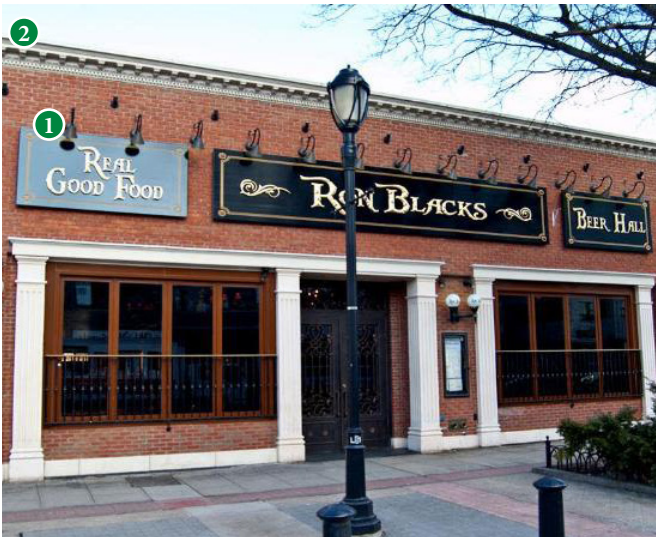


Image Source: Wescover

4.7 Sign Lighting

Preferred

- 1 Gooseneck, sconce, pendant, and letter halo lighting styles may be used for illuminating signs.
- 2 Light fixtures for externally lit signs should complement the color and design of the sign and the architecture of the building.
- 3 The illumination level on the surface of externally lit signs should be bright enough to render the sign legible and provide a noticeable contrast with the surrounding building or landscape without causing excessive glare or reflection.

Prohibited

- * Internally lit translucent plastic signs and flashing signs are prohibited.

Application of Window Sign and Sign Lighting Guidelines

| Guideline Item | Town Center Village District | Town Center | Upper Main Street | Putnam/Glastonbury Boulevard | Naubuc Avenue/Pratt Street | Lower New London Turnpike | Other Areas |
|--------------------------|------------------------------|-------------|-------------------|------------------------------|----------------------------|---------------------------|-------------|
| 4.6 Window Signs | | | | | | | |
| 1 | R | P | P | P | P | P | C |
| 2 | P | P | P | P | P | P | C |
| 4.7 Sign Lighting | | | | | | | |
| 1 | P | P | P | P | P | P | C |
| 2 | P | P | P | P | P | P | C |
| 3 | P | P | P | P | P | P | C |

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Glossary

The following terms used within these design guidelines are defined here to provide clarity.

- **Articulation:** A change in depth of the building plane, roofline, or height.
- **Colonial** (for the purposes of these guidelines colonial architecture or style shall mean): A range of architectural styles common to New England prior to 1900. Includes Georgian, Federal, Greek Revival, Gothic Revival, Italianate, Second Empire, Stick, and Queen Anne styles and the architectural elements that are characteristic of those styles.
- **Cornice:** Any horizontal member, structural or non-structural, projecting outward from the exterior walls at the roofline, including eaves and other roof overhangs.
- **Curb cut:** The opening along the curb line of a roadway where vehicles may access or leave a property.
- **Design palette:** A range of similar, compatible, or complementary materials, features, or furnishings that are applied to a single development project.
- **Display window:** A retail storefront window intended to provide a direct view of the store's interior or products displayed in the window.
- **Façade:** The exterior portion of a building exposed to public view.
- **Fenestration:** Windows and other openings on a building façade.
- **Frieze:** An architectural ornament consisting of a horizontal band typically located below a cornice.
- **Front setback:** The space between a building front and the public street. Also commonly referred to as a front yard.
- **Glazing:** The glass area of windows and doors.
- **Low impact development:** Systems and practices that use or mimic natural processes that result in the infiltration, evapotranspiration, or use of stormwater in order to protect water quality and associated aquatic habitat.
- **Massing:** The three-dimensional bulk of a structure or sections of a structure comprised of its height, length, and width (or depth).
- **Mullion:** A horizontal or vertical member that forms a division between sections of a window or door.
- **Muntin:** A slender bar or strip between adjacent panes of glass
- **Pedestrian scale:** Size and or level of detail that is intended to be comfortable to and engaging for pedestrians rather than drivers.
- **Roof pitch:** The steepness of a roof as measured in rise over run. Typically expressed as units of rise over 12 units of run.
- **Signs:** The following sign types are referenced in these guidelines and these terms are consistent with those used in Glastonbury's Building Zone Regulation:
 - **Ground sign:** A free-standing sign mounted in the ground that may promote one or more businesses.
 - **Overhanging sign:** As sign projecting from a building wall, typically perpendicular to the wall and relatively small in scale. Also known as a blade or projecting sign.
 - **Wall sign:** Sign mounted to the face of a building wall.
 - **Window:** Sign displayed in a window or applied to the window surface.
- **Structural elements:** Sections of a building that are distinct from other sections due to the distinct framing or structural engineering or those sections.
- **Transom:** A horizontal structural beam, bar, or crosspiece separating a door from a window above it.
- **Veneer:** A material applied to the exterior surface of a wall.