

Ten Copies of this Application are Required
(10 hard copies of everything you're submitting - collated)

**ZONING BOARD OF APPEALS
APPLICATION**

REFERRED TO TP&Z _____

Applicant SCOTT WELCH
Street 257 GEORGETOWN DR. Town GLASTONBURY
Phone 860.214.5678 E-mail WELCH4HIRE@GMAIL.COM
Legal Representative (if any) _____
Address _____
E-mail _____

Date Filed & Fee Paid _____
Date Hearing Scheduled _____
Sign Deposit Paid on _____
Sign Taken on _____
Photo of Sign Rec'd on _____

Legal Property Owner SCOTT & RHONDA WELCH
Exact Location of Property Involved 1966 NEW LONDON TRKE
If No Street #, Indicate Assessor's Key # _____

ZONE RR
 Residential
 Commercial

Under the provisions of Section 8-7, Connecticut General Statutes, the undersigned hereby appeals:

- For relief (a variance) from the restrictions imposed in Section(s) 7.1B.2.B.1. of the Glastonbury Zoning Regulations.
- For a special exception as provided in Section(s) 7.1B.2.B.1. of the Glastonbury Zoning Regulations.
- From an adverse ruling by _____ the Building Official, Glastonbury.
- For the approval required by the State of Connecticut agency named below.

Describe in detail (in the space provided on page 2 or on a separate sheet) a description of the project. State why this violates the Section (s) of the Glastonbury Zoning Regulations cited above. If requesting a variance, be specific in describing the aspect of the project which does not meet the requirement, and the amount of relief (variance) you are requesting. Include the nature of the hardship which compels this request.

If requesting a special exception, be specific in the description of the project. Include the special exception conditions the project will meet, as specified in the Regulation.

We / I hereby depose and say that all the above statements contained in any papers submitted herewith are true to the best of my knowledge and belief.

[Signature]
Applicant

Owner, If Not Applicant
(Required)

8.17.2023
Date

Date

SEE PERTINENT INFORMATION ON NEXT PAGE



SEE PERTINENT INFORMATION ON NEXT PAGE

1

Include TEN (10) collated copies of everything submitted including the application and a map of the property involved. Locate all structures thereon and their relation to buildings on adjacent property and to the highway with approximate distances therefrom. Floor plans of buildings which you desire to erect or to alter must be provided in sufficient detail to make intelligent presentation of your plans. Also, include ten (10) copies of all supporting documentation.

FILING FEE OF \$185.00 tendered herewith. Applicants whose cases come under Section 14-55, 14-322, Connecticut General Statutes will be charged an additional fee to pay the cost of publication and the expenses of the public hearing.

*Sign Deposit fee of \$10.00 *cash* taken at time of sign pick up*

DESCRIPTION IN DETAIL:

The special exception I am requesting as provided in Section 7.1B.2.B.1 of the GZR is because the topography of the lot requires a full height foundation wall to allow for a garage with overhead doors facing the street. Since this will be a second floor garage, I would like to install overhead doors in the rear wall of the garage for lawn equipment and storage access in lieu of the expense of a full concrete foundation and trucking in fill. This garage is for residential use only and replaces a previous barn with the same two story floor plan that was in the same location as shown on the GIS..

The relief (a variance) from the restrictions imposed in Section 7.1B.2.B.1 of the GZR is because the topography of the lot requires a full height foundation wall to allow for a garage with overhead doors facing the street. Since this will be a second floor garage, I would like to install overhead doors in the rear wall of the garage for lawn equipment and storage access in lieu of the expense of a full concrete foundation and trucking in fill. This garage is for residential use only and replaces a previous barn with the same two story floor plan that was in the same location as shown on the GIS.

PLANS FOR DETACHED GARAGE

LOCATED AT:
1966 New London Pike
Glastonbury, CT 06033
AND OWNED BY: Scott and Rhonda Welch

PLANS DESIGNED TO MEET THE
2015 INTERNATIONAL RESIDENTIAL CODE PORTION
OF THE 2018 CT STATE BUILDING CODE

DESIGN CRITERIA, per appendix V as amended
Municipality: Glastonbury

GROUND SNOW LOAD: 30 PSF
ULTIMATE WIND SPEED: 130 MPH
SEISMIC DESIGN CATEGORY: CLASS B
EXPOSURE: CLASS B
FLOOD HAZARD TO BE DETERMINED LOCALLY BY BUILDING OFFICIAL

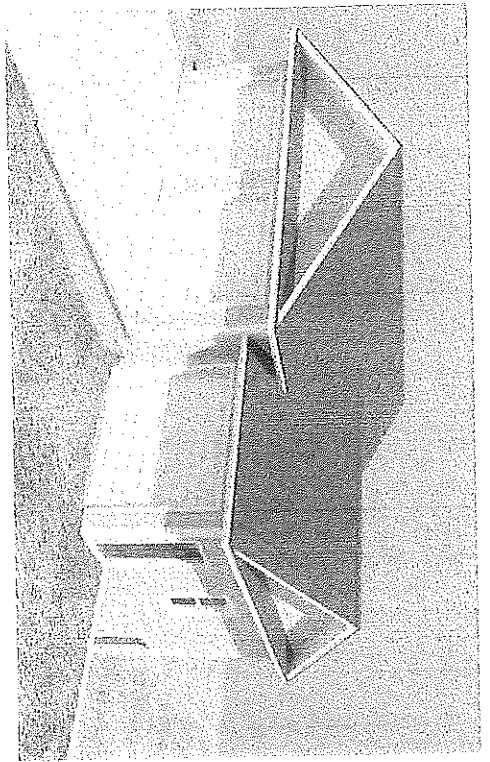
CLIMATE ZONE: 5A
WINTER DESIGN TEMPERATURE: 7°F
AIR FREEZING INDEX: 1500 OR LESS
MEAN ANNUAL TEMPERATURE

WEATHERING: SEVERE
FROST LINE: DEPTH 42 INCHES
TERMINAL: MODERATE TO HEAVY RISK
ICE SHIELD: UNDERAVEMENT REQUIRED: YES

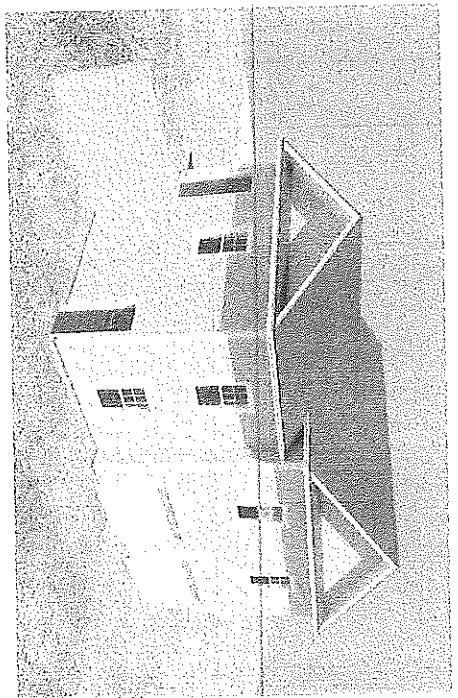
ASSIGNED SOIL LOAD BEARING PRESSURE: 3000 PSF
ALL FILL TO BE COMPACTED STONE AGGREGATE

MINIMUM CONCRETE: 28 DAY PSI STRENGTH 11 per TABLE R402.2
FOUNDATION WALLS: 3000# AIR ENTRAINMENT
BASEMENT SLAB: 2500#
GARAGE SLAB: 3500# AIR ENTRAINMENT

DESIGN LIVE LOADS, per TABLE R301.5
SLEEPING ROOMS: 30 psf
ALL OTHER ROOMS: 40 psf
ATTIC FLOOR: 10 psf
ROOF: 30 psf
DESIGN DEAD LOAD IS 10 psf min.
ALL STRUCTURAL MEMBER TO BE GRADE #2 DF OR BETTER



Street side view



Rear yard view

Revision Table		
Number	Date	Description
1	5/18/2023	Review by engineer

DRAWINGS PROVIDED BY:



Robert L. Roraback
Drafting & Design
Salem CT 06420
860 883-2445

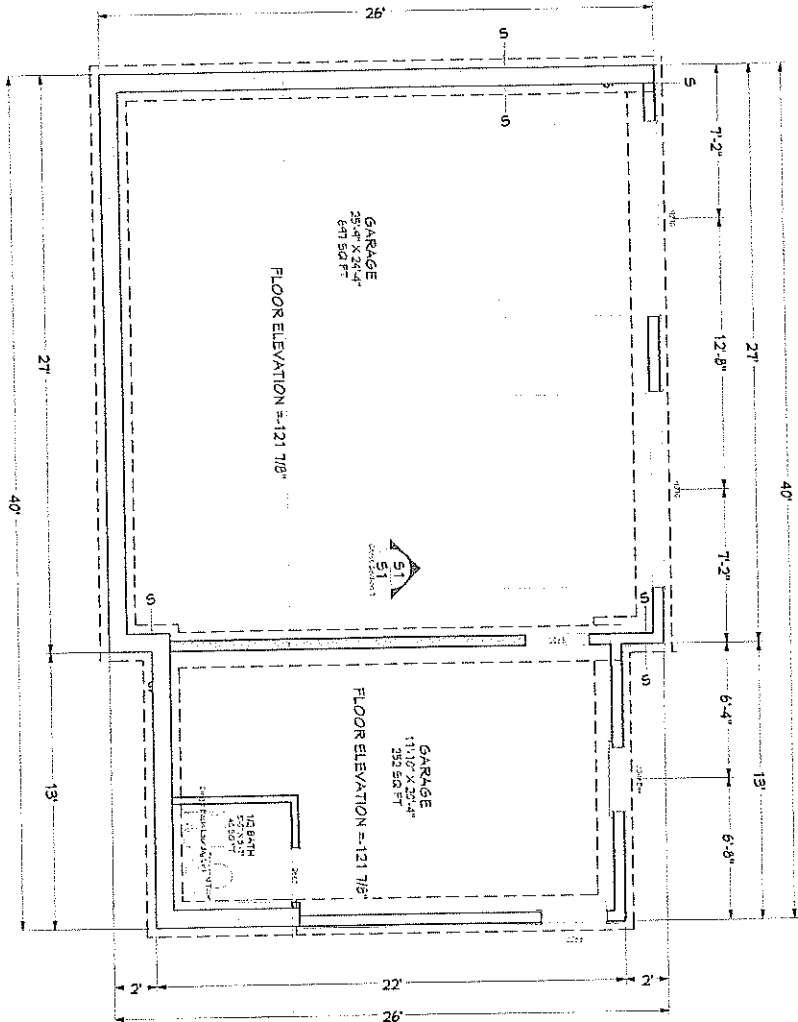
PAGE TITLE
Project Overview

PRINT DATE
5/18/2023

SCALE

SHEET:
P-1

1. Do not scale drawings, written dimensions to take precedence over scaled dimensions. It is the contractor's responsibility to check and verify all dimensions prior to construction.
2. If any discrepancies are found in the drawings, it is the contractor's responsibility to notify the designer in writing before any excavation/ construction begins or contractor assumes all responsibility for the results and all costs of rectifying the same if the proceeds without guidance from the designer.



Floor plan

Revision Table			
Number	Date	Revised By	Description
1	5/16/2023		Review by engineer

DRAWINGS PROVIDED BY:



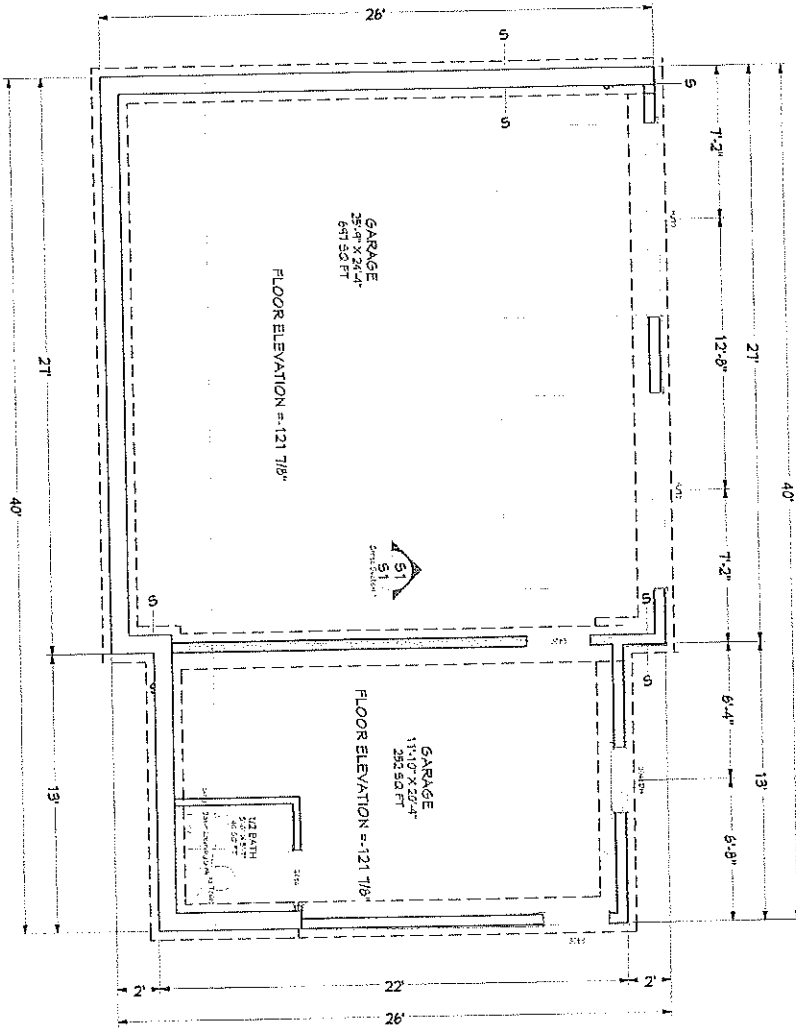
Robert L. Rotaback
 Drafting & Design
 Salem CT 06420
 860 883-2445

PAGE TITLE
 Upper level, basic floor plan

PRINT DATE:
 5/18/2023

SCALE:
 1/4" = 1'

SHEET:
 A1



Floor plan

Revision Table		
Number	Date	Description
1	5/10/2023	Revised By: Review by engineer



PAGE TITLE
Lower level, basic floor plan

DRAWINGS PROVIDED BY:



Robert L. Roraback
Drafting & Design
Salem CT 06420
860 883-2445

PRINT DATE:

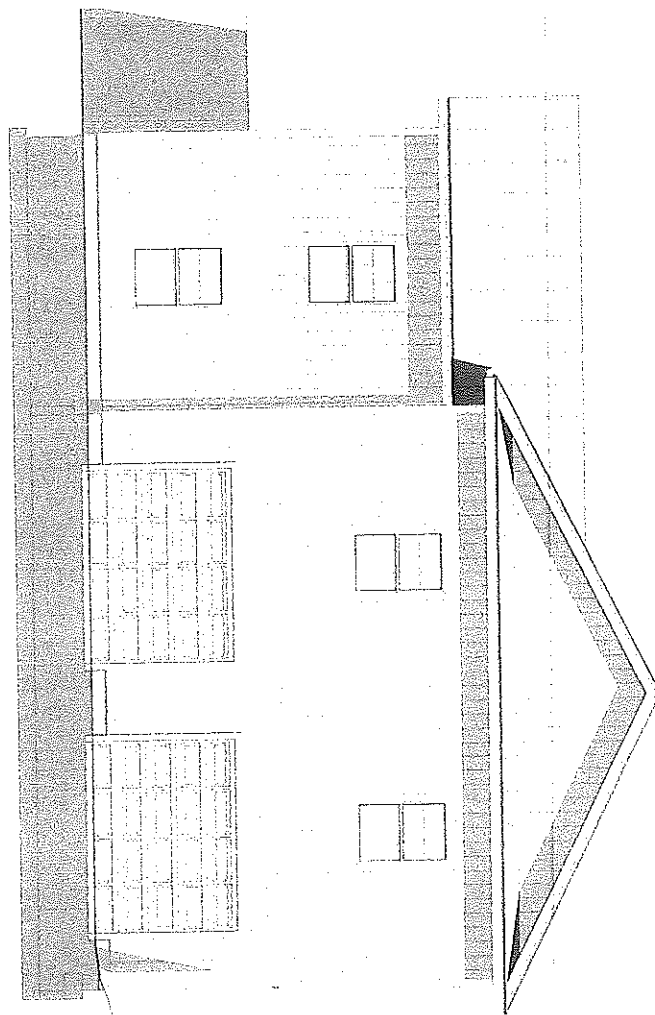
5/18/2023

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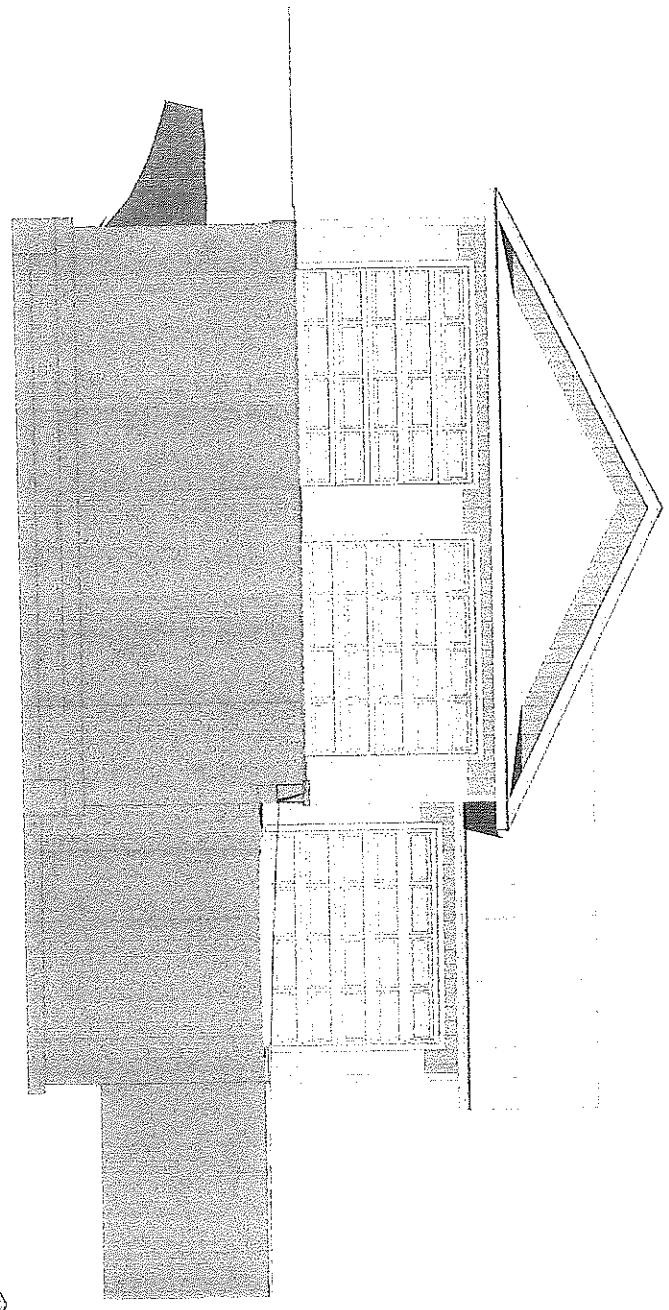
1/4" = 1'

SHEET:

A2




Exterior Elevation Back



Exterior Elevation Front

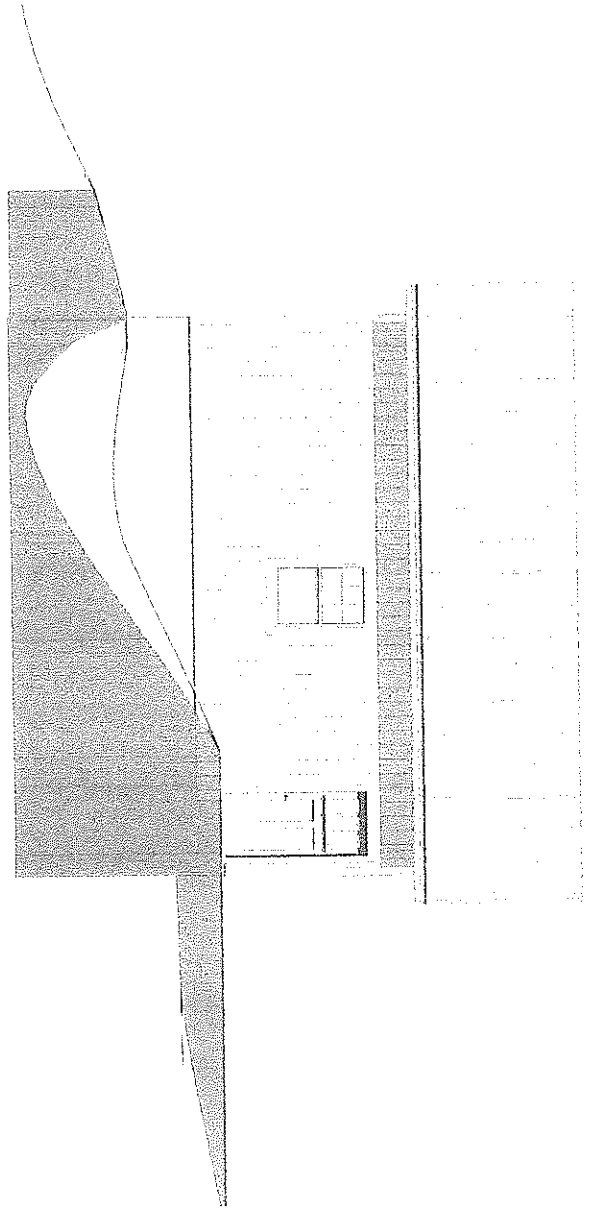
Number	Date	Revised By	Description
1	5/18/2023		Review by engineer

PAGE TITLE
Exterior elevations

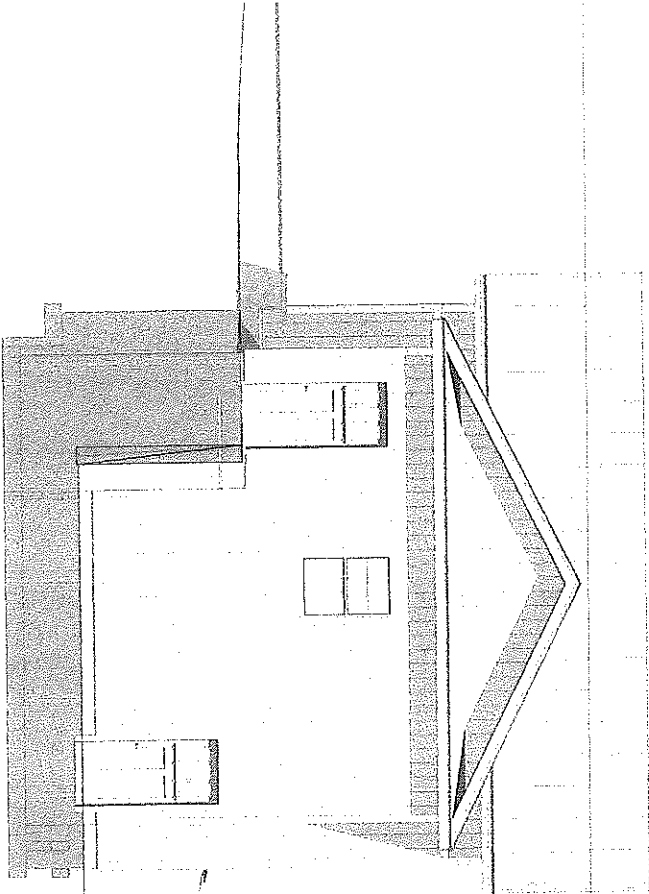
DRAWINGS PROVIDED BY:

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 Drafting & Design
 Salem CT 06420
 860 883-2445

PRINT DATE: 5/18/2023
 SCALE: 1/4" = 1'
 SHEET: A3

Revision Table		
Number	Date	Description
1	5/18/2023	Review by engineer



Exterior Elevation Left



Exterior Elevation Right

DRAWINGS PROVIDED BY:

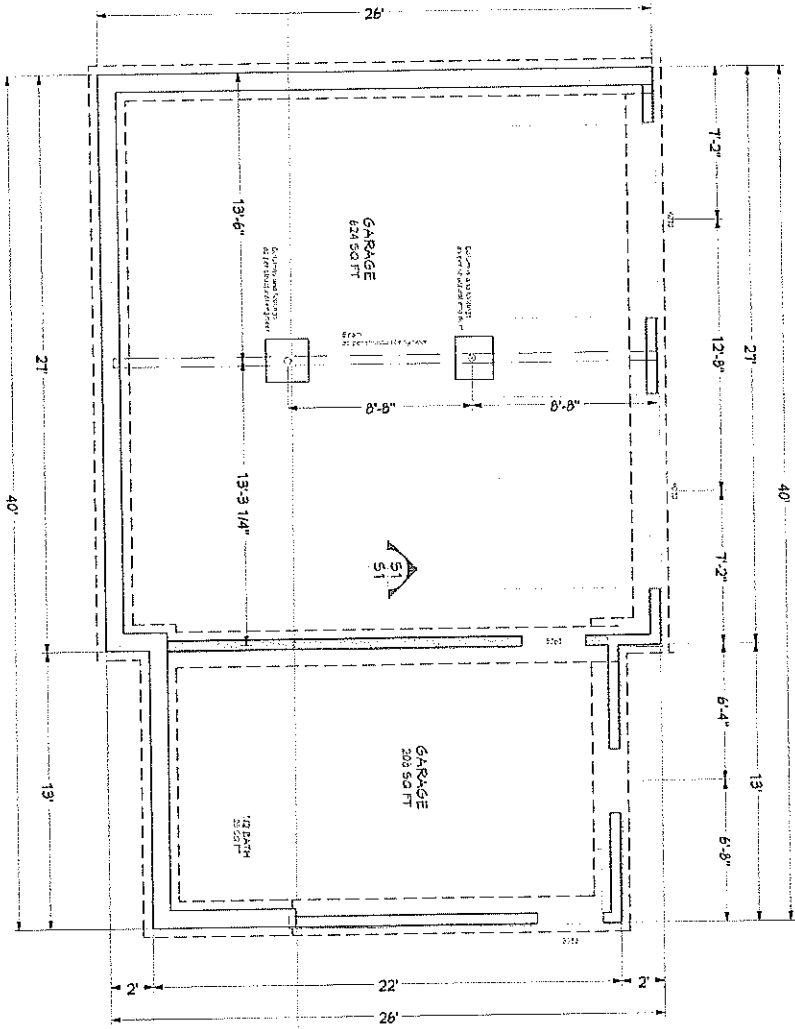


Robert L. Roraback
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 Salem CT 06420
 860 883-2445

PAGE TITLE
 Exterior elevations

PRINT DATE: 5/18/2023
 SCALE: 1/4" = 1'
 SHEET:


A4



Foundation plan

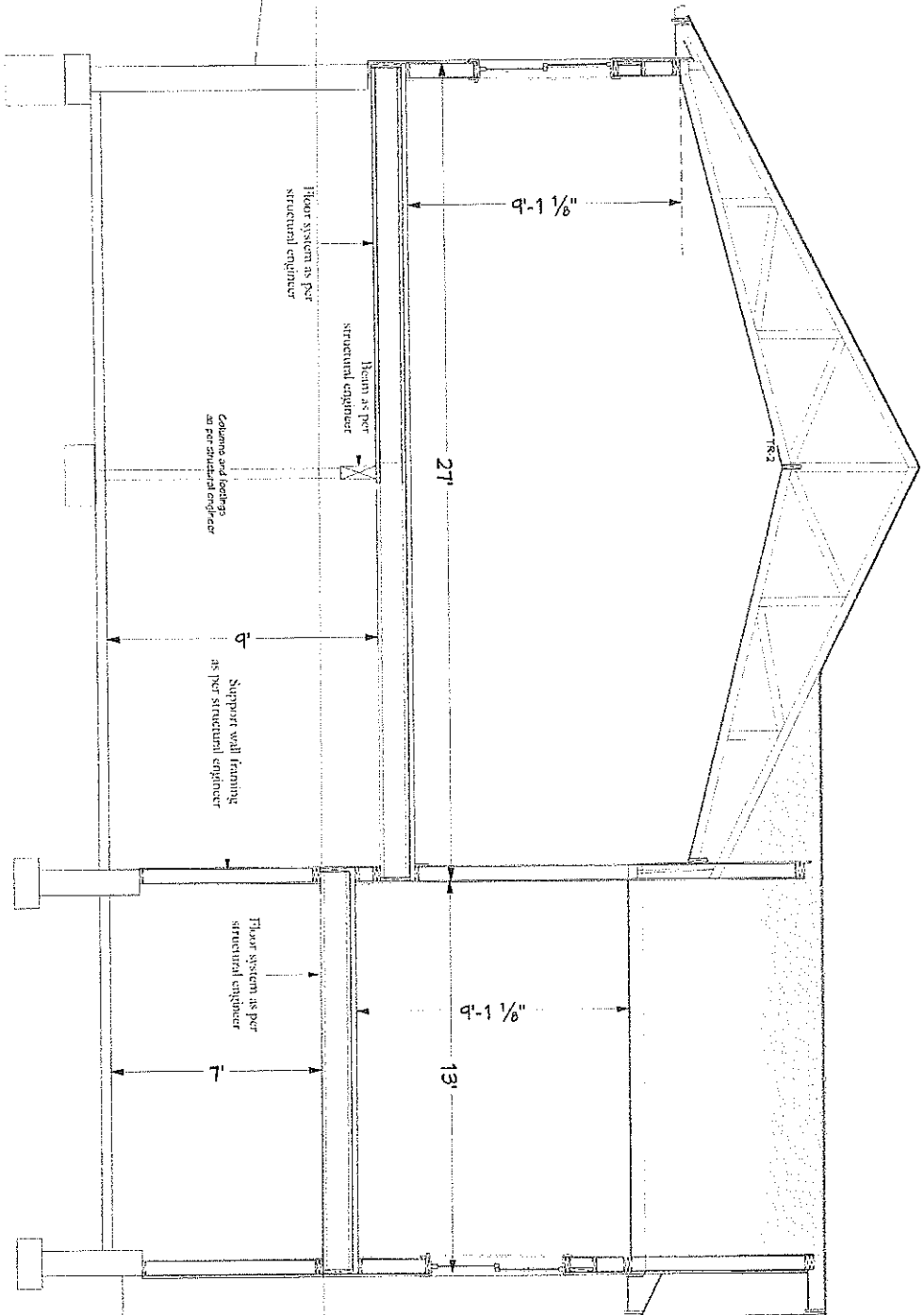
Number	Date	Revised By	Description
1	5/18/2023		Review by engineer

PAGE TITLE
Foundation plan

DRAWINGS PROVIDED BY:

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 Salem CT 06420
 860 883-2445


PRINT DATE: 5/18/2023
 SCALE: 1/4" = 1'
 SHEET: A5

Revision Table			
Number	Date	Revised By	Description
1	5/18/2023		Review by engineer



Cross Section 1

PAGE TITLE
Cross section

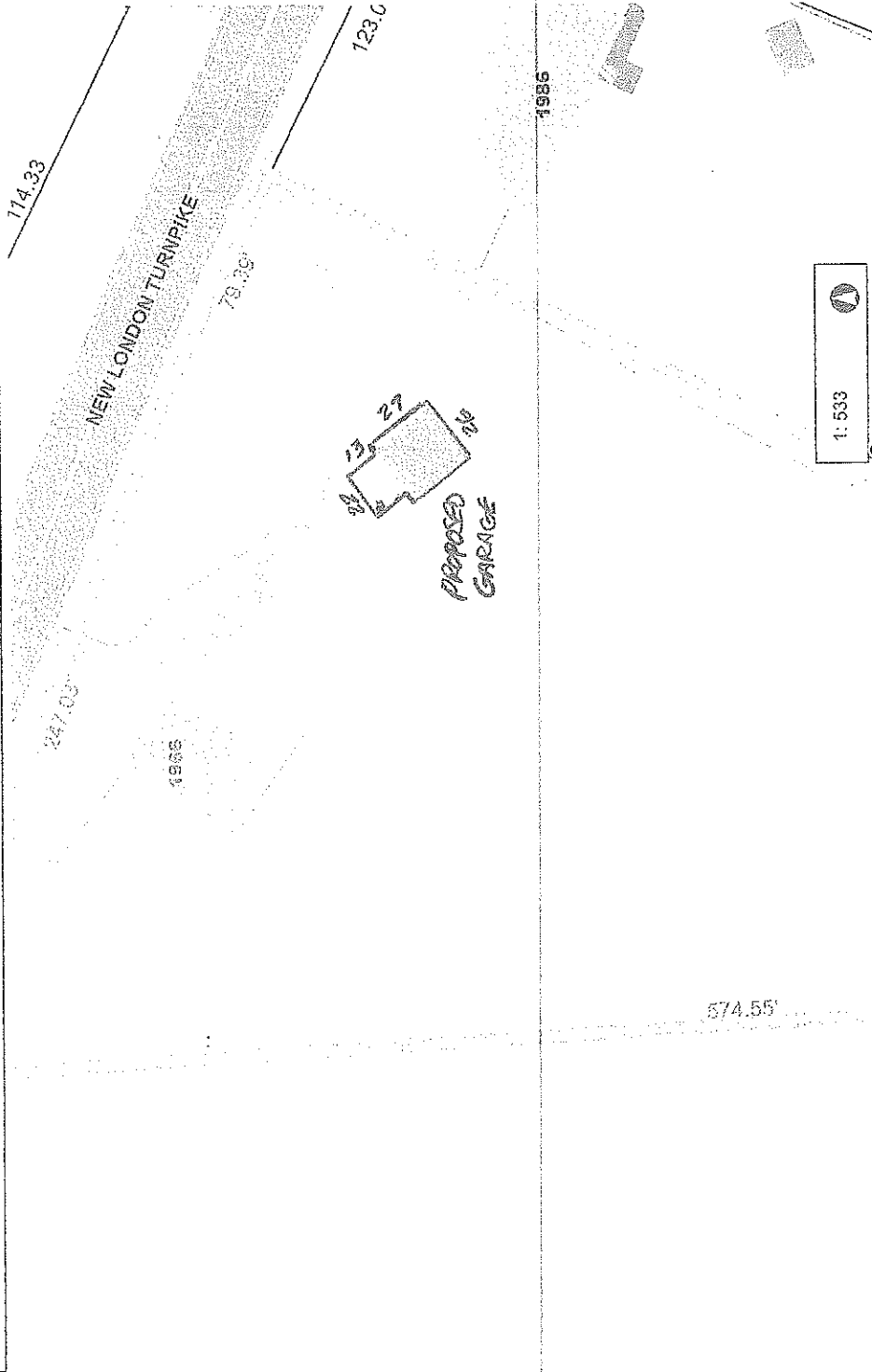
DRAWINGS PROVIDED BY:

 Robert L. Roraback
 Drafting & Design
 Salem CT 06420
 860 883-2445

PRINT DATE: 5/18/2023
 SCALE: 3/8" = 1'
 SHEET:

S1



Town of Glastonbury GIS



1: 533

88 Feet

44

0

NAD_1983_StatePlane_Connecticut_FIPS_0600_Feet
© Town of Glastonbury GIS

This map is a user generated static output from an Internet mapping site and is for reference only. Property boundaries and other data layers that appear on this map may or may not be accurate, current, or otherwise reliable. The Town of Glastonbury and the mapping companies assume no legal responsibility for the information contained in this data. THIS MAP DOES NOT REPRESENT A LEGAL BOUNDARY DETERMINATION.