

Ten Copies of this Application are Required

**ZONING BOARD OF APPEALS
APPLICATION**

REFERRED TO TP&Z _____

Applicant Amer Skopic & Carrie Skopic

Street 107 Stonepost Road Town Glastonbury

Phone 757-553-0311 E-mail askopic@une.edu

Legal Representative (if any) Meghan Hope

Address Alter & Pearson 701 Hebron Ave, Glastonbury

E-mail mhope@alterpearson.com

Date Filed & Fee Paid _____
Date Hearing Scheduled _____
Sign Deposit Paid on _____
Sign Taken on _____
Photo of Sign Rec'd on _____

Legal Property Owner Amer & Carrie Skopic

Exact Location of Property Involved 119 Ledgewood Drive
Street # Street

If No Street #, Indicate Assessor's Key # _____

ZONE <u>AA</u>
<input checked="" type="checkbox"/> Residential
<input type="checkbox"/> Commercial

Under the provisions of Section 8-7, Connecticut General Statutes, the undersigned hereby appeals:

- For relief (**a variance**) from the restrictions imposed in Section(s) 4.4.7 & 4.4.8 of the Glastonbury Zoning Regulations.
- For a **special exception** as provided in Section(s) _____ of the Glastonbury Zoning Regulations.
- From an **adverse ruling** by _____ the Building Official, Glastonbury.
- For the approval required by the State of Connecticut agency named below.

Describe in detail (in the space provided on page 2 or on a separate sheet) a description of the project. State why this violates the Section (s) of the Glastonbury Zoning Regulations cited above. If requesting a **variance**, be specific in describing the aspect of the project which does not meet the requirement, and the amount of relief (variance) you are requesting. Include the nature of the hardship which compels this request.

If requesting a **special exception**, be specific in the description of the project. Include the special exception conditions the project will meet, as specified in the Regulation.

We / I hereby depose and say that all the above statements contained in any papers submitted herewith are true to the best of my knowledge and belief.

Carrie E. Skopi
Applicant

Owner, If Not Applicant
(Required)

7-11-2023
Date

Date

SEE PERTINENT INFORMATION ON NEXT PAGE

Include TEN (10) collated copies of everything submitted including the application and a map of the property involved. Locate all structures thereon and their relation to buildings on adjacent property and to the highway with approximate distances therefrom. Floor plans of buildings which you desire to erect or to alter must be provided in sufficient detail to make intelligent presentation of your plans. Also, include ten (10) copies of all supporting documentation.

FILING FEE OF \$185.00 tendered herewith. Applicants whose cases come under Section 14-55, 14-322, Connecticut General Statutes will be charged an additional fee to pay the cost of publication and the expenses of the public hearing.

*Sign Deposit fee of \$10.00 *cash* taken at time of sign pick up*

DESCRIPTION IN DETAIL:

The applicant was before the Inland Wetlands & Watercourses Agency in the spring of 2023 requesting a wetland permit on an existing lot of record at 119 Ledgewood Drive. At the hearing the commission members suggested requesting a variance of sections 4.4.7 side yard setback and section 4.4.8 rear yard setback to move the proposed house location further away from the wetland areas on the site. The applicant is requesting a 40 ft rear yard setback and a 15' side yard setback.

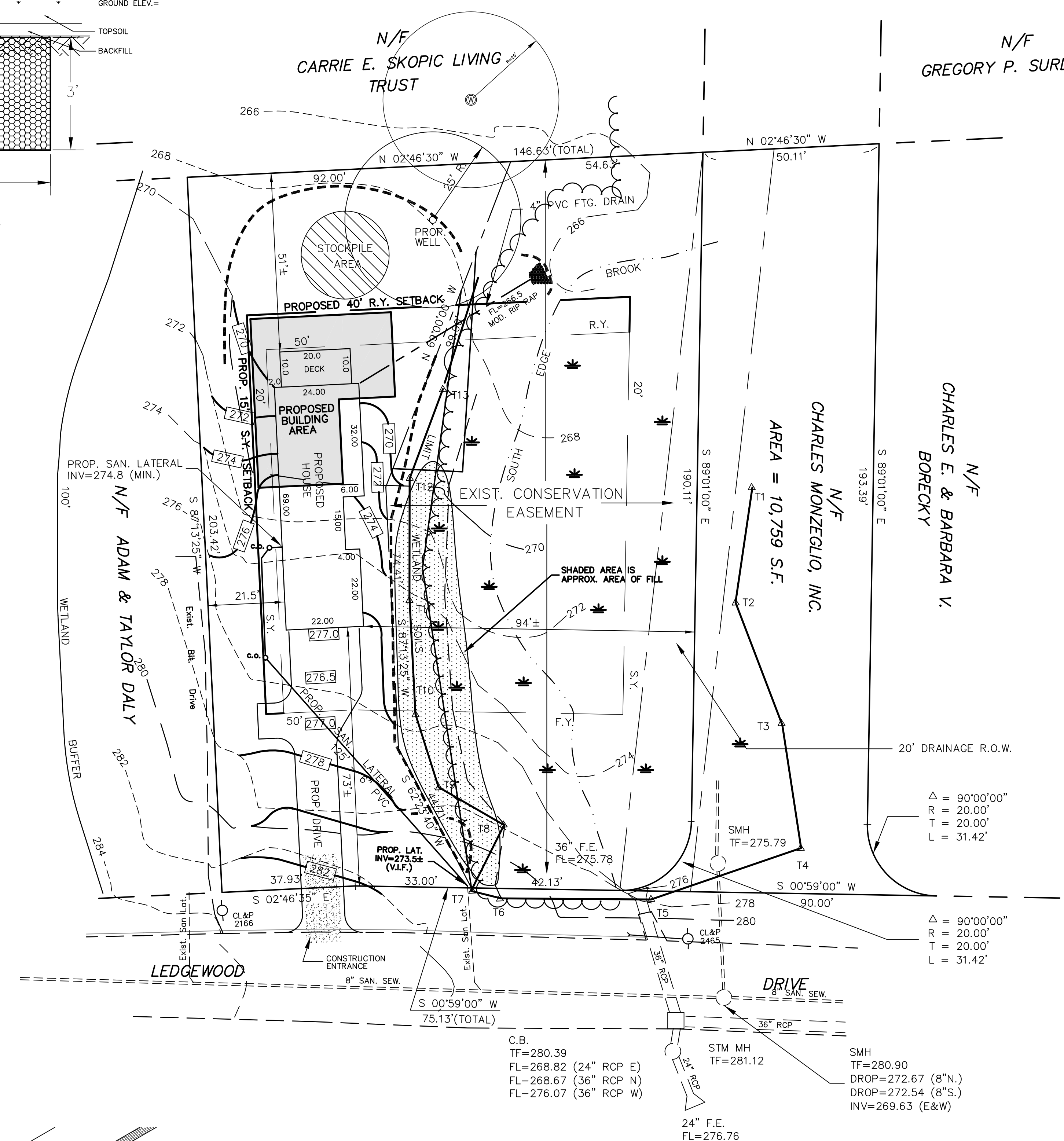
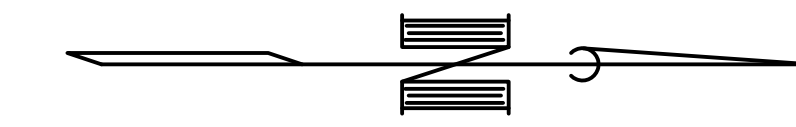
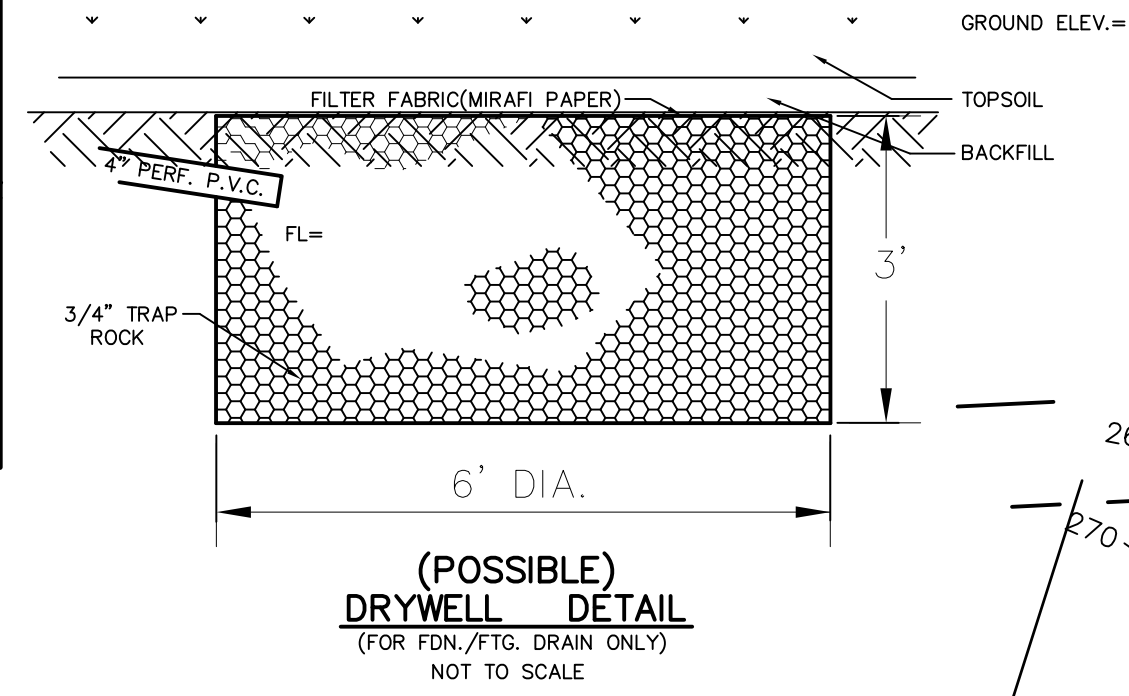
Ten collated copies of this Application and all supporting documentation are required



LOCATION MAP
SCALE: 1" = 1000'

PUBLIC SANITARY SEWER
TOP OF FOUNDATION = 278.0
GARAGE FLOOR = 277.0
BASEMENT FLOOR = 270.3±

* NOTE: FOOTING DRAINS MAY BE REQUIRED IF SOIL CONDITIONS WARRANT. INSPECT AND DETERMINE NEED AT THE TIME OF FOOTING PLACEMENT. IF REQUIRED AND OUTLET INTO A DRYWELL, RIP RAP OUTLET OR STREET STORM DRAINAGE SYSTEM CANNOT BE ACHIEVED BY GRAVITY A SUMP PUMP WILL BE REQUIRED.

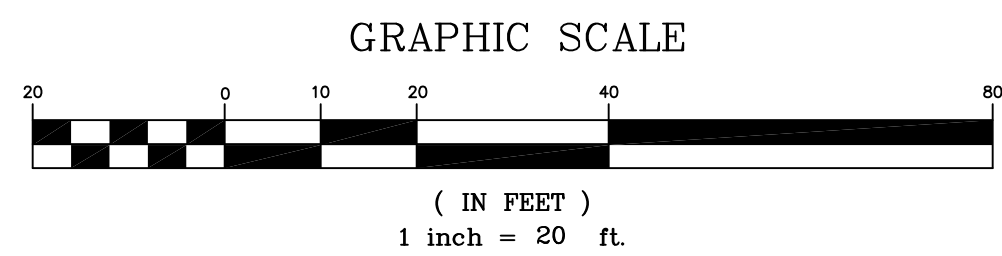
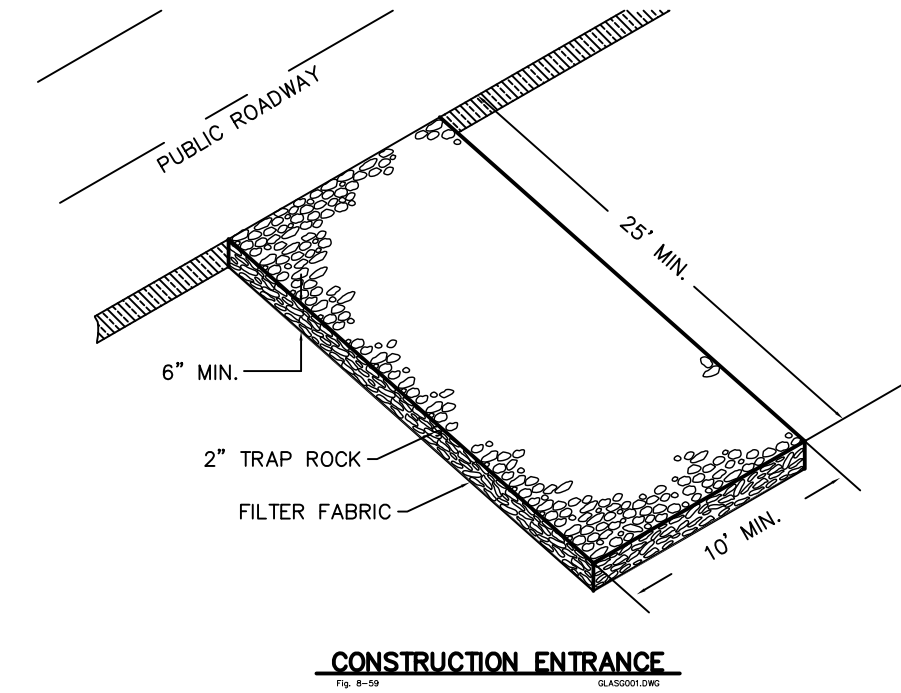


HOUSE SITE DEVELOPMENT
PLOT PLANS FOR EACH LOT SHALL INDICATE PROPOSED SEDIMENTATION AND EROSION CONTROLS. THE PROPOSED HOUSE LOCATION, LOT GRADING, LIMIT OF TREE CLEARING, DRIVEWAY DESIGN, AND SITE DRAINAGE PLAN SHALL ALSO BE SHOWN. THESE PLANS SHALL BE SUBJECT TO REVIEW AND APPROVAL BY THE TOWN.
ALL DRIVEWAY SHOULDERS SHOULD BE STABILIZED IMMEDIATELY UPON COMPLETION OF ROUGH GRADING. SHOULDER SEED BED PREPARATION SHOULD FOLLOW THE GENERAL NOTES PROVIDED. HAY BALES OR FILTER FABRIC SHOULD BE USED TO ENTRAP ANY SEDIMENT GENERATED FROM EXPOSED SOIL SURFACES. DRIVEWAY ROADBEDS SHALL BE STABILIZED WITH COMPACTED ROAD AGGREGATE AS SOON AS POSSIBLE.
TOPSOIL AND EXCAVATED SUBSOIL FROM THE FOUNDATION AREA SHOULD BE STOCKPILED WITHIN THE AREA OF DISTURBANCE IF NOT USED FOR ON SITE REGRADING. EACH STOCKPILE MUST BE ADEQUATELY RINGED WITH SEDIMENT CONTROL MATERIALS (I.E. HAY BALES AND/OR FILTER FABRIC FENCE.)
ANY ADDITIONAL STOCKPILING OF LUMBER OR BUILDING MATERIALS SHOULD ALSO BE CONFINED TO THE AREA OF DISTURBANCE. SIMILARLY, VEHICULAR MOVEMENT SHOULD BE DIRECTED TO ESTABLISHED PARKING AREAS.
CONTRACTOR SHALL PROVIDE DUMPSTERS AT EACH HOUSE SITE DURING CONSTRUCTION FOR DISPOSAL OF CONSTRUCTION WASTE MATERIALS. THERE SHALL BE NO OUTSIDE STOCKPILES OF CONSTRUCTION WASTE MATERIALS OR DEBRIS.
THE BUILDING LOT SHALL BE LOAMED, SEEDED AND MULCHED WITH STRAW PRIOR TO ISSUANCE OF A C.O. IF THE SEASON DOES NOT PERMIT SEEDING - THEN THE LOT MUST BE STABILIZED WITH STRAW OR NETTING TO PREVENT WINTER AND SPRING EROSION. THE ENVIRONMENTAL PLANNER WILL CHECK LOTS FOR NON-COMPLIANCE WITH EROSION CONTROLS AND STABILIZATION REQUIREMENTS. IF NECESSARY, THE C.O. WILL BE WITHHELD UNTIL THE LOT IS DEEMED STABLE.
PLEASE NOTE - THE BUILDER/OWNER IS RESPONSIBLE FOR ALL EROSION CONTROL AND STABILIZATION REQUIREMENTS. PLEASE REVIEW THE APPROVED PLOT PLAN FOR EROSION CONTROL REQUIREMENTS INDICATED IN YELLOW.

CONTOURS TAKEN FROM ACTUAL FIELD SURVEY.
ALL PROPOSED ELEVATIONS ARE IN RELATION TO CONTOURS SHOWN. FINAL ELEVATIONS MAY BE ADJUSTED AS FIELD CONDITIONS WARRANT. VERIFY ALL GRADES IN FIELD.
NOTE: VERIFY ALL UTILITY LOCATIONS IN THE FIELD PRIOR TO START OF ANY WORK (SEE NOTE BELOW).
WARNING: THESE PLANS NOT TO BE USED FOR LOCATION OF UNDERGROUND UTILITIES - CALL BEFORE YOU DIG 1-800-922-4455 TWO WORKING DAYS BEFORE YOU DIG.
NOTE: VERIFY FOUNDATION DIMENSIONS IN FIELD PRIOR TO CONSTRUCTION.
NOTE: LOT MAY BE SUBJECT TO A CL&P EASEMENT.
VERIFY FOUNDATION DIMENSIONS PRIOR TO CONSTRUCTION.

REFERENCE MADE TO MAPS TITLED:
"PROPOSED RESUBDIVISION OF PROPERTY OF CHARLES MONZEGLIO GLASTONBURY, CONN." BY STANLEY J. MARNICI C.E. & L.S. GLASTONBURY, CONN. DATE: 4-30-59 REV. 7-16-59 SCALE: 1"=50'
"LOT 63 LEDGEWOOD DRIVE PREPARED FOR CHARLES MONZEGLIO GLASTONBURY, CONN." BY MEGSON & HEAGLE C.E. & L.S. GLASTONBURY, CONN. DATE: 11-8-95 REV. 4-4-02 SCALE: 1"=20' MAP NO. 130-95-1
"LOT 63 LEDGEWOOD DRIVE PREPARED FOR CHARLES MONZEGLIO GLASTONBURY, CONN." BY MEGSON & HEAGLE C.E. & L.S. GLASTONBURY, CONN. DATE: 6-26-06 REV. 11-9-09 SCALE: 1"=20' MAP NO. 130-95-1P

THIS MAP IS NOT VALID IF MODIFIED IN ANY WAY AND/OR DOES NOT BEAR THE EMBOSSED SEAL OF THE UNDERSIGNED.
NOTE: VARIANCE REQUIRED FOR 40' REAR YARD AND 15' SIDE YARD SETBACK AS SHOWN.
NO ZONING VIOLATIONS
TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON. THIS SURVEY WAS PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTION 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS AND SUGGESTED METHODS AND PROCEDURES FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" REVISED OCTOBER 26, 2018 AND AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON AUGUST 29, 2019.
TYPE OF SURVEY: ZONING LOCATION SURVEY
BOUNDARY DETERMINATION CATEGORY: RESURVEY
CLASS OF ACCURACY: A-2
Sanku E. Abdulliman
SANDS E. AESCHLIMAN L.S. # 14201



LEGEND
STAKED HAY BALES

LOT AREA = 28,678 S.F.

OWNER:
AMER & CARRIE SKOPIC
107 STONEPOST ROAD
GLASTONBURY, CONN. 06033
(757)553-0311

I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.
JOSHUA H. SZCUREK
JOSHUA H. SZCUREK P.E. # 26858

MEGSON, HEAGLE & FRIEND
CIVIL ENGINEERS & LAND SURVEYORS, LLC
81 RANKIN ROAD
GLASTONBURY, CONN. 06033
PHONE (860)-659-0587

LOT #63
#119 LEDGEWOOD DRIVE
PREPARED FOR
AMER & CARRIE SKOPIC
GLASTONBURY, CONN.

CK. BY: JHS
DRW. BY: PEJ
DATE: 3-10-23
SCALE: 1"=20'
SHEET 1 OF 1
MAP NO. 30-22-1WP

REV. 8-22-23 PROPOSED BUILDING AREA SHOWN - VARIANCE REQUIRED
REV. 6-15-23