CROSBY II SUBDIVISION

539 & 551 MANCHESTER ROAD

PREPARED FOR

REJEAN JACQUES

GLASTONBURY, CONN.

LOCATION MAP
SCALE: 1"=1000'

INDEX TO SHEETS

ZONE: RURAL RESIDENCE
GROUNDWATER PROTECTION ZONE 1
TOTAL PARCEL AREA: 449,240 S.F. – 10.313 AC.
TOTAL NUMBER OF LOTS: 7

TOWN PLAN & ZONING COMMISSION APPROVAL

CROSBY II SUBDIVISION SUBDIVISION NAME	RURAL RESIDENCE/GW-1 ZONE
REJEAN JACQUES SUBDIVIDER	
SUBDIVISION APPROVAL DATE	PLAN & ZONING COMMISSION CHAIRMAN
COMPLETION DATE FOR SUBDIVISION IMPROVEMENTS	COMMUNITY DEVELOPMENT DIRECTOR
FILE NO.	TOWN ENGINEER

APPLICANT/OWNER:
REJEAN JACQUES
1048 HOPEWELL ROAD
SOUTH GLASTONBURY, CT 06489
860-952-4741

I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.

MARK W. FRIEND P.E. # 15818

MEGSON, HEAGLE & FRIEND
CIVIL ENGINEERS & LAND SURVEYORS, LLC
81 RANKIN ROAD
GLASTONBURY, CONN. 06033
PHONE (860)-659-0587

COVER SHEET
CROSBY II SUBDIVISION
PREPARED FOR
REJEAN JACQUES
GLASTONBURY, CONN

CK. BY:	MWF
DRW. BY:	BTC
DATE:	2-28-23
SCALE:	NONE
SHEET	1 OF 11
MAP NO.	30-21-1C

REV. 5-5-23 TOWN STAFF COMMENTS

P:\2021\PRDJ\2021\dwg\base\03021-PT.dwg 5/5/2023 10:37:45 AM UEDT

LOCATION MAP

SCALE: 1"=1000'

NOTES:

SUBDIVISION ZONED RURAL RESIDENCE ZONE.
ABUTTING PROPERTIES ZONED RURAL RESIDENCE

BEARINGS AND COORDINATES REFER TO THE NAD 83 COORDINATE SYSTEM.

TOTAL AREA = 449,229.25 S.F. – 10.313 AC.

THE SUBDIVISION REGULATIONS OF THE TOWN OF GLASTONBURY TOWN PLAN & ZONING COMMISSION ARE A PART OF THIS PLAN AND APPROVAL OF THIS PLAN IS CONTINGENT ON COMPLIANCE WITH ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS.

WARNING: THESE PLANS NOT TO BE USED FOR LOCATION OF UNDERGROUND UTILITIES – CALL BEFORE YOU DIG 1–800–922–4455 TWO WORKING DAYS BEFORE YOU DIG.

SLOPE RIGHTS TO BE RESERVED ON ALL LOTS UNTIL FINAL GRADING HAS BEEN ACHIEVED AS SHOWN ON TOPOGRAPHIC MAP SHEET 3 OF 12

RIGHTS TO DRAIN FROM LOT TO LOT RESERVED ON ALL LOTS

TEMPORARY R.O.W. WHICH TERMINATES AUTOMATICALLY WHEN ROAD EXTENSION IS ACCEPTED BY THE TOWN OF GLASTONBURY. PAVEMENT REMOVAL, GRADING, SEEDING, AND ALL OTHER WORK INCIDENTAL TO REMOVING THE CUL–DE–SAC IS THE RESPONSIBILITY OF THE DEVELOPER EXTENDING THE STREET.

EXISTING RIGHT TO PASS OVER THE DRIVEWAY LEADING TO NEIPSIC ROAD AS DESCRIBED IN VOL. 130/PG. 590

N 813022.07
E 1057797.75

N/F
STATE OF CONECTICUT
(ROUTE 2)

N/F
CROSBY HOMESTEAD LLC
79 CROSBY ROAD

N/F
PAUL J KOCHANEK
76 CROSBY ROAD

N/F
FREDERICK & CYNTHIA
BULACH
589 MANCHESTER ROAD

#551 MANCHESTER ROAD
① AREA 59,118 S.F. 1.357 AC.

#89 CROSBY ROAD
⑦ AREA 40,244 S.F. 0.924 AC.

#90 CROSBY ROAD
③ AREA 51,449 S.F. 1.181 AC.

#84 CROSBY ROAD
② AREA 55,018 S.F. 1.263 AC.

#97 CROSBY ROAD
⑥ AREA 89,362 S.F. 2.052 AC.

#96 CROSBY ROAD
④ AREA 51,560 S.F. 1.184 AC.

#105 CROSBY ROAD
⑤ AREA 88,738 S.F. 2.037 AC.

N/F
GREGORY L & NANCY H
MURRY
495 MANCHESTER ROAD

N/F
ERNEST J & JEAN T
GASPARINI
527 MANCHESTER ROAD

N 812536.81
E 1058398.45

N 812483.45
E 1057558.15

N 813031.09
E 1058817.16

CROSBY ROAD
MANCHESTER ROAD
FISHER HILL ROAD
CONN. RTE. 83
SNET 1016
SNFT 1019
CL&P 699
CL&P 700

AREA OF PROPOSED R.O.W.
13,751 S.F.
0.316 AC.
Δ=264°04'23"
R=55.00'
T=61.01'
L=253.49'

REMOVE EXIST. WOOD FENCE WITHIN R.O.W.

PROP. FIRE TANK EASEMENT

ORIGINAL PROPERTY LINE
EXIST. WHEEL TRACKS

551 MANCHESTER ROAD
539 MANCHESTER ROAD

EXIST. WHEEL TRACKS

EXIST. GRAVEL

EXIST. HOUSE FFL=389.86

EXIST. BARN T.FDN=389.00

EXIST. GAR. FFL 389.80

TO BE REMOVED

EXIST. CONC. WALK

EXIST. RET. WALL

ORIGINAL PROPERTY LINE

EXISTING DEBRIS TO BE BURIED AND COVERED

LOCATION OF MINOR SURFACE DEBRIS (TO REMAIN)

LOCATION OF SURFACE DEBRIS

Approx. Loc. Old Abandoned Vehicle • (TO REMAIN)

100' UPLAND REVIEW AREA

PROPOSED CONSERVATION EASEMENT

EXIST. WHEEL TRACKS

WF–1 WF–2 WF–3 WF–4 WF–5 WF–6 WF–7 WF–8 WF–9 WF–10

TP–L1 TP–L2 TP–L3 TP–L4 TP–L5 TP–L6 TP–L7 TP–L8 TP–L9

THIS MAP IS NOT VALID IF MODIFIED IN ANY WAY AND/OR DOES NOT BEAR THE EMBOSSED SEAL OF THE UNDERSIGNED.

NO ZONING VIOLATIONS

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON. THIS SURVEY WAS PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTION 20–300b–1 THROUGH 20–300b–20 AND THE "STANDARDS AND SUGGESTED METHODS AND PROCEDURES FOR SURVEYS AND MAPS IN THE THE STATE OF CONNECTICUT" REVISED OCTOBER 26, 2018 AND AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON AUGUST 29, 2019.

TYPE OF SURVEY ZONING LOCATION SURVEY
BOUNDARY DETERMINATION CATEGORY: RESURVEY
CLASS OF ACCURACY: A–2

SANDS E. AESCHLIMAN L.S. # 14201

REFERENCE MADE TO MAP TITLED:

"SUBDIVISION PLAN CROSBY HOMESTEAD SUBDIVISION PREPARED FOR CROSBY HOMESTEAD, LLC. GLASTONBURY, CONN." DATE: 12–10–04 REV. 1–18–05 LOT GRADING & DRAINAGE EASEMENTS, REV. 2–7–05 REVIEW COMMENTS, REV. 3–28–05 CONSERVATION CONDITIONS OF APPROVAL, 5–25–05 CONIDITONS OF APPROVAL SCALE; 1"=40' SHEETS 1 & 2 OF 2. MAP NO. 175–03–1S.

ASSUMED STREETLINE
STREETLINE BASED ON ACTUAL CENTERLINE OF PAVEMENT OF MANCHESTER ROAD (ROUTE 83) ASSUMED TO BE 60' RIGHT OF WAY WIDTH.

LEGEND

EXISTING MONUMENT	■
EXISTING IRON PIPE	○ I.PIPE
PROPOSED IRON PIN	○
PROPOSED MONUMENT	□
EXISTING WETLANDS SOILS	

APPLICANT/OWNER:
REJEAN JACQUES
1048 HOPEWELL ROAD
SOUTH GLASTONBURY, CT 06489
860–952–4741

GRAPHIC SCALE

40 0 20 40 80 160

(IN FEET)
1 inch = 40 ft.

TOWN PLAN & ZONING COMMISSION APPROVAL

CROSBY II SUBDIVISION SUBDIVISION NAME	RURAL RESIDENCE/GW–1 ZONE
REJEAN JACQUES SUBDIVIDER	
SUBDIVISION APPROVAL DATE	PLAN & ZONING COMMISSION CHAIRMAN
COMPLETION DATE FOR SUBDIVISION IMPROVEMENTS	COMMUNITY DEVELOPMENT DIRECTOR
FILE NO.	TOWN ENGINEER

MEGSON, HEAGLE & FRIEND
CIVIL ENGINEERS & LAND SURVEYORS, LLC
81 RANKIN ROAD
GLASTONBURY, CONN. 06033
PHONE (860)–659–0587

SUBDIVISION PLAN
CROSBY II SUBDIVISION
PREPARED FOR
REJEAN JACQUES
GLASTONBURY, CONN

REV. 5–5–23 TOWN STAFF COMMENTS

CK. BY:	MWF
DRW. BY:	BTC
DATE:	2–28–23
SCALE:	1"=40'
SHEET	2 OF 11
MAP NO.	30–21–1S

P:\2021\PROJ\03021\dwg\Vesek\03021-PT.dwg 5/5/2023 10:37:45 AM LEBT

GENERAL NOTES

ALL CONSTRUCTION METHODS TO CONFORM TO CONN. D.O.T. FORM 818 AND/OR THE TOWN STANDARD SPECIFICATIONS.

ALL UTILITIES TO BE INSTALLED UNDERGROUND.

THE LOCATION OF ALL EXISTING UTILITIES SHOWN IS APPROXIMATE. THE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THE LOCATION OF EXISTING UTILITIES IN THE FIELD PRIOR TO CONSTRUCTION AND FOR COORDINATING CONNECTION OF PROPOSED AND EXISTING UTILITIES.

ANY UNSUITABLE MATERIAL IN PAVEMENT AREAS TO BE REMOVED AND REPLACED WITH SUITABLE MATERIAL AS DIRECTED BY THE TOWN.

TOWN MAY REQUIRE CHANGES TO THE PLAN TO ADDRESS PROBLEMS THAT MAY RESULT IN THE FIELD.

ALL UNDERGROUND UTILITIES TO BE INSTALLED/DIRECTED BY APPROPRIATE AUTHORITIES.

ALL UNDERGROUND UTILITIES MUST BE INSTALLED BEFORE ROADWAY PAVEMENT.

ALL CATCH BASIN GRATES SHALL BE TYPE A BICYCLE FRIENDLY GRATES.

FOUNDATION DRAINS AND ROOF LEADER INFILTRATOR SYSTEMS SHALL BE DEPICTED ON ALL PLOT PLANS.

ALL LOTS WITH FOOTING DRAINS THAT CONNECT TO CATCH BASINS WILL REQUIRE A "PRIVATE DRAINAGE PERMISSION RELEASE OF CLAIM" WAIVER FROM THE TOWN OF GLASTONBURY ONCE THE ROAD IS FINALLY ACCEPTED.

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TOPOGRAPHY TAKEN FROM ACTUAL FIELD SURVEY AND TOWN OF GLASTONBURY TOPOGRAPHIC MAPS.

VERTICAL DATUM REPRESENTS NAVD 88.

ALL PROPOSED SIDEWALK CONSTRUCTION SHALL BE CONSTRUCTED TO THE TOWN OF GLASTONBURY STANDARDS UTILIZING CLASS F CONCRETE. ALL PROPOSED SIDEWALKS SHALL BE TREATED WITH A CONCRETE SEALER.

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SWIMMING POOLS AND SHEDS PROPOSED WITHIN ANY FRONT YARD WILL REQUIRE A VARIANCE FROM ZBA.

STREET TREE LOCATION & SPECIES SHALL BE DETERMINED AT THE TIME OF PLOT PLAN SUBMITTAL.

LAYOUT OF HOUSES SHALL CONSIDER AN ORIENTATION THAT UTILIZES PASSIVE SOLAR DESIGN. GEOTHERMAL TECHNIQUES SHOULD ALSO BE CONSIDERED. THESE SHOULD BE CONSIDERED AT TIME OF PLOT PLAN SUBMITTAL.

INFILTRATION TRENCH DESIGNS

LOT 2

ASSUMED IMPERVIOUS AREA (PAVEMENT) = 2,200 S.F.
TOTAL AREA =2,200 S.F.
REQUIRED WQV = 175 C.F.
PROPOSED INFILTRATION TRENCH VOLUME = 176 C.F.

LOTS 3 & 7

ASSUMED IMPERVIOUS AREA (PAVEMENT) = 1,200 S.F.
TOTAL AREA = 1,200 S.F.
REQUIRED WQV = 103 C.F.
PROPOSED INFILTRATION TRENCH VOLUME = 106 C.F.

LOTS 4, 5 & 6

ASSUMED IMPERVIOUS AREA (PAVEMENT) = 1,920 S.F.
TOTAL AREA = 1,920 S.F.
REQUIRED WQV = 152 C.F.
PROPOSED INFILTRATION TRENCH VOLUME = 154 C.F.

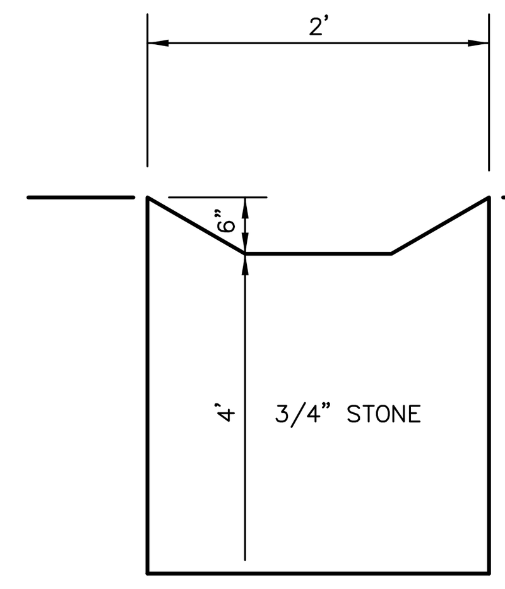
ROOF INFILTRATION DESIGN ALL LOTS

ASSUMED ROOF AREA = 3,500 S.F./LOT
STORAGE = 1" OF RAINFALL
3500 X 1" X 1FT./12" = 292 C.F.
(TOTAL VOLUME OF INFILTRATION CHAMBERS = 295 C.F. VOLUME TO BE ADJUSTED BASED ON FINAL ROOF AREA AT THE TIME OF PLOT PLAN SUBMISSION)

MAINTENANCE OF UNDERGROUND INFILTRATION UNITS

- CLEAN GUTTERS OF BIANNUAL BASIS
- CLEAN STORM FILTER UNITS ON A BIANNUAL BASIS

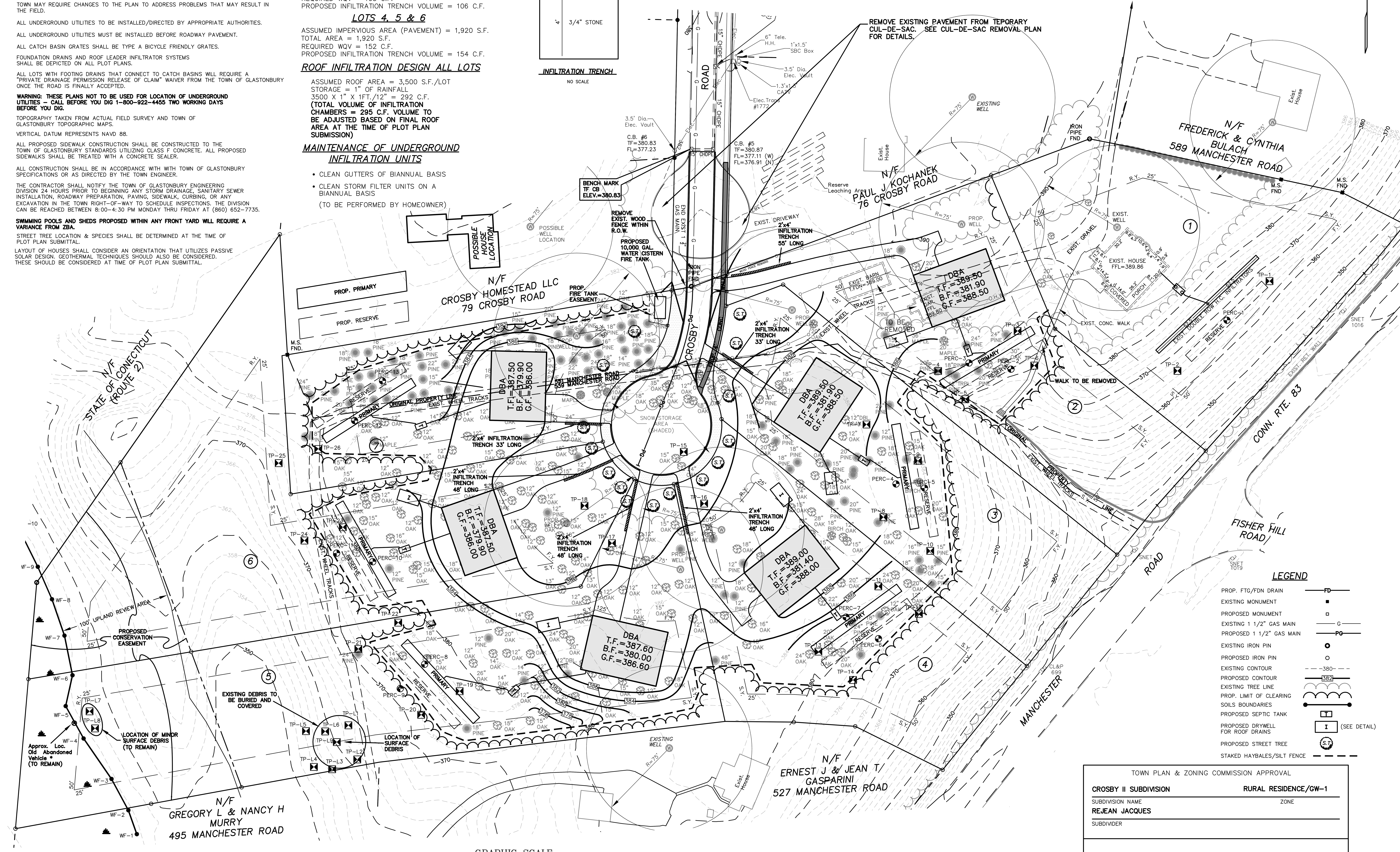
(TO BE PERFORMED BY HOMEOWNER)



INFILTRATION TRENCH

NO SCALE

TOWN OF GLASTONBURY MS4 PERMIT INFORMATION	IMPERVIOUS AREA	DIRECTLY CONNECTED IMPERVIOUS AREA
PRE-DEVELOPMENT	0.06 AC	0.06 AC
POST-DEVELOPMENT	1.04 AC	0.06 AC
NET CHANGE (+ OR –)	0.98 AC	0.00 AC



* NOTE EXISTING DEBRIS & VEHICLE TO BE REMOVED AT TIME OF HOUSE CONSTRUCTION AND DISPOSED OF PROPERLY.

GRAPHIC SCALE

40 0 20 40 80 160

(IN FEET)
1 inch = 40 ft.

I HAVE REVIEWED THE WETLAND BOUNDARIES AS SHOWN ON THIS PLAN AND AM OF THE OPINION THAT THEY REPRESENT THE SOIL BOUNDARIES MARKED BY ME IN THE FIELD

[illegible]
MARK W. FRIEND
SOIL SCIENTIST

APPLICANT/OWNER:
REJEAN JACQUES
1048 HOPEWELL ROAD
SOUTH GLASTONBURY, CT 06489
860-952-4741

LEGEND

PROP. FTG/FDN DRAIN	—FD—
EXISTING MONUMENT	■
PROPOSED MONUMENT	□
EXISTING 1 1/2" GAS MAIN	— G —
PROPOSED 1 1/2" GAS MAIN	—PG—
EXISTING IRON PIN	●
PROPOSED IRON PIN	○
EXISTING CONTOUR	– – –380– – –
PROPOSED CONTOUR	—382—
EXISTING TREE LINE	⌒⌒⌒
PROP. LIMIT OF CLEARING	⌒⌒⌒
SOILS BOUNDARIES	●—●
PROPOSED SEPTIC TANK	T
PROPOSED DRYWELL FOR ROOF DRAINS	I (SEE DETAIL)
PROPOSED STREET TREE	S.T.
STAKED HAYBALES/SILT FENCE	— — —

TOWN PLAN & ZONING COMMISSION APPROVAL

CROSBY II SUBDIVISION	**RURAL RESIDENCE/GW-1**
SUBDIVISION NAME	ZONE
REJEAN JACQUES	
SUBDIVIDER	
SUBDIVISION APPROVAL DATE	PLAN & ZONING COMMISSION CHAIRMAN
COMPLETION DATE FOR SUBDIVISION IMPROVEMENTS	COMMUNITY DEVELOPMENT DIRECTOR
FILE NO.	TOWN ENGINEER

I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.

[illegible]
MARK W. FRIEND P.E. # 15818

MEGSON, HEAGLE & FRIEND
CIVIL ENGINEERS & LAND SURVEYORS, LLC
81 RANKIN ROAD
GLASTONBURY, CONN. 06033
PHONE (860)-659-0587

TOPOGRAPHIC MAP
CROSBY II SUBDIVISION
PREPARED FOR
REJEAN JACQUES
GLASTONBURY, CONN

REV. 5-5-23 EXISTING WELL LOCATION LOT 1

CK. BY:	MWF
DRW. BY:	BTC
DATE:	2-28-23
SCALE:	1"=40'
SHEET	3 OF 11
MAP NO.	30-21-1T

P:\2021\PROJ\03021\dwg\base\03021-PT.dwg 5/5/2023 10:37:45 AM UEDT

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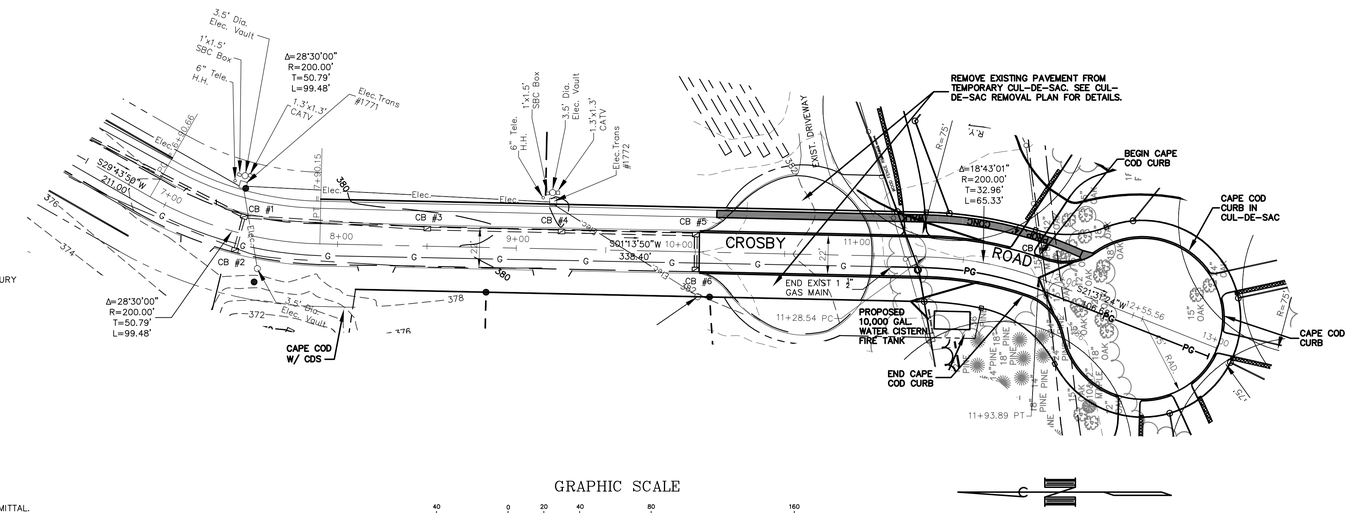
STREET TREE LOCATION & SPECIES SHALL BE DETERMINED AT THE TIME OF PLOT PLAN SUBMITTAL.



TOWN PLAN & ZONING COMMISSION APPROVAL

CROSBY II SUBDIVISION	RURAL RESIDENCE/GW–1
SUBDIVISION NAME	ZONE
REJEAN JACQUES	
SUBDIVIDER	
SUBDIVISION APPROVAL DATE	PLAN & ZONING COMMISSION CHAIRMAN
COMPLETION DATE FOR SUBDIVISION IMPROVEMENTS	COMMUNITY DEVELOPMENT DIRECTOR
FILE NO.	TOWN ENGINEER

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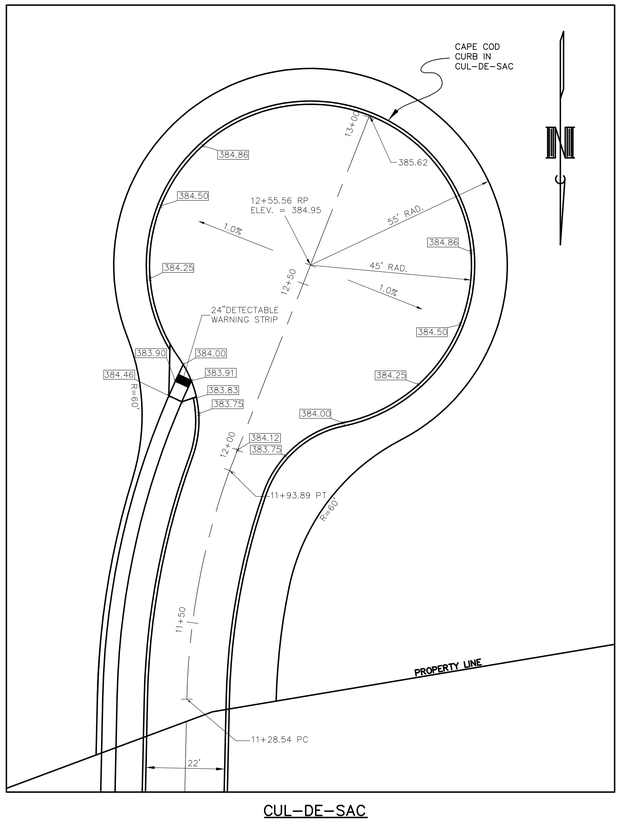
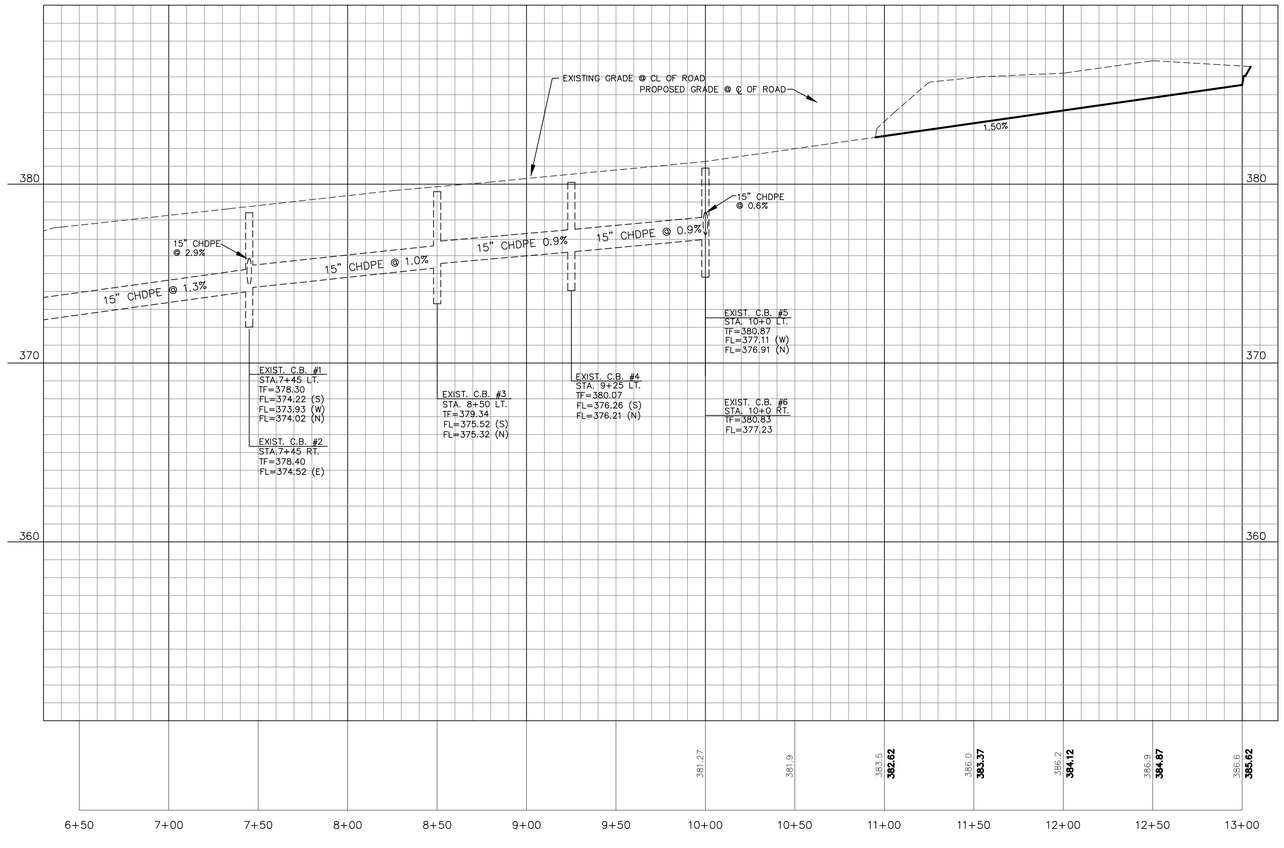


CUL–DE–SAC GRADING DETAIL
SCALE: 1"=20'



SCALE: 1"=40' HORIZ.
SCALE: 1"=4' VERT.

LEGEND

EXISTING 1 1/2" GAS MAIN —— G ——
PROPOSED 1 1/2" GAS MAIN —— PG ——
PROPOSED ELEVATION 384.50

APPLICANT/OWNER:
REJEAN JACQUES
1048 HOPEWELL ROAD
SOUTH GLASTONBURY, CT 06489
860–952–4741

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PLAN & PROFILE
CROSBY II SUBDIVISION
PREPARED FOR
REJEAN JACQUES
GLASTONBURY, CONN

REV. 5–5–23 TOWN STAFF COMMENTS

CK. BY:	MWF
DRW. BY:	BTC
DATE:	2–28–23
SCALE:	SHOWN
SHEET	4 OF 11
MAP NO.	30–21–1P

P:\2021\PROJ\021\021.dwg layout\021-PT.dwg 5/5/2023 10:37:45 AM JEFF

TOWN PLAN & ZONING COMMISSION APPROVAL

CROSBY II SUBDIVISION SUBDIVISION NAME	RURAL RESIDENCE/GW-1 ZONE
REJEAN JACQUES SUBDIVIDER	
SUBDIVISION APPROVAL DATE	PLAN & ZONING COMMISSION CHAIRMAN
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NOTE:
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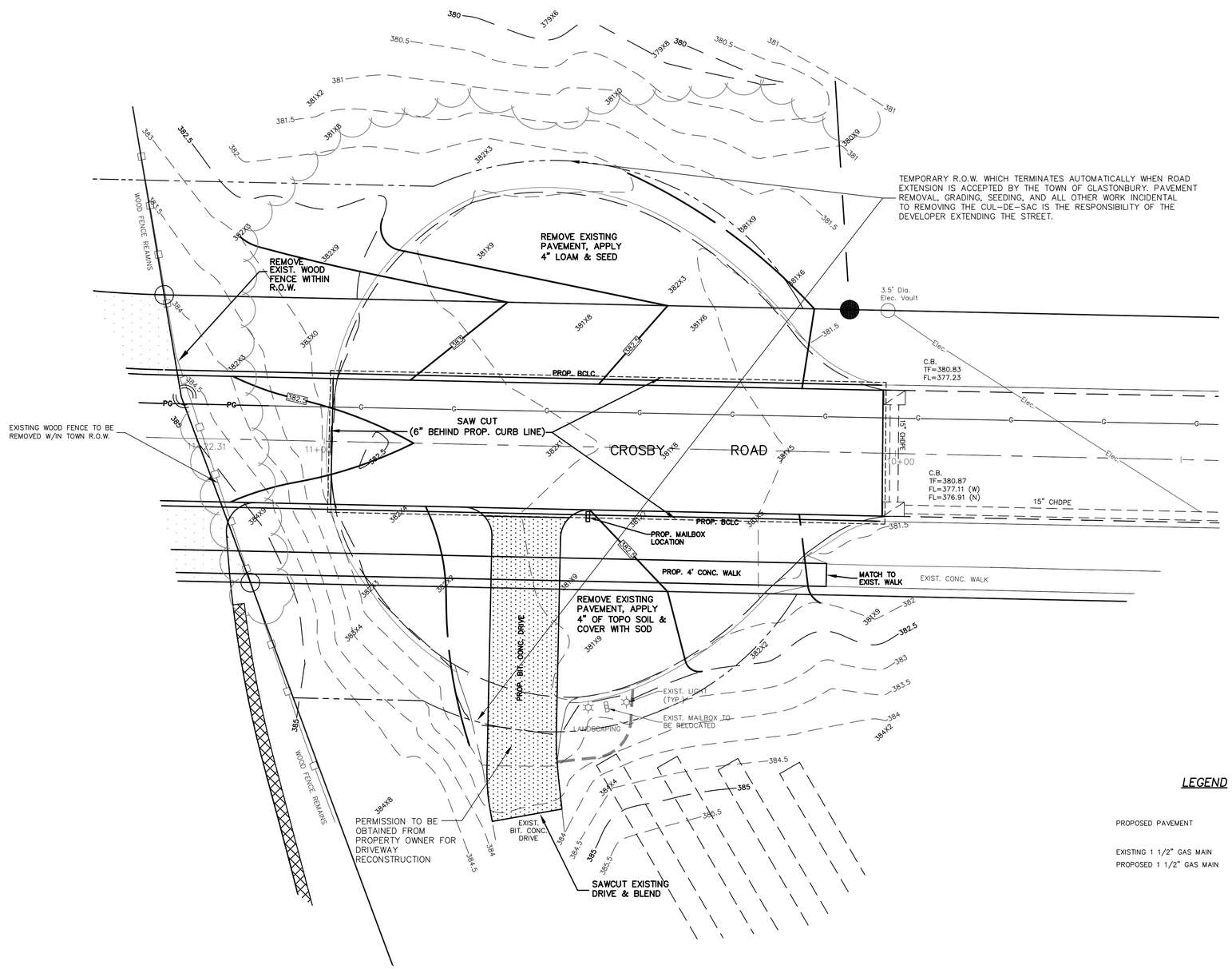

LEGEND

PROPOSED PAVEMENT

EXISTING 1 1/2" GAS MAIN — G —

PROPOSED 1 1/2" GAS MAIN — PG —

GRAPHIC SCALE

10 0 5 10 20 40

(IN FEET)
1 inch = 10 ft.

APPLICANT/OWNER:
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CUL-DE-SAC REMOVAL PLAN

CROSBY II SUBDIVISION

PREPARED FOR

REJEAN JACQUES

GLASTONBURY, CONN

CK. BY:	MWF
DRW. BY:	BTC
DATE:	2-28-23
SCALE:	1"=10'
SHEET	5 OF 11
MAP NO.	30-21-1CDS

REV. 5-5-23 TOWN STAFF COMMENTS

P:\GBEN\PROJ\GB021\dwg\base\GB021-PT.dwg 5/5/2023 10:37:45 AM ALEBT

TOWN PLAN & ZONING COMMISSION APPROVAL

CROSBY II SUBDIVISION	RURAL RESIDENCE/GW-1
SUBDIVISION NAME	ZONE
REJEAN JACQUES	
SUBDIVIDER	
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COMPLETION DATE FOR SUBDIVISION IMPROVEMENTS	COMMUNITY DEVELOPMENT DIRECTOR
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TOPOGRAPHY TAKEN FROM ACTUAL FIELD SURVEY AND TOWN OF GLASTONBURY TOPOGRAPHIC MAPS.

VERTICAL DATUM REPRESENTS NAVD 88.

WARNING: THESE PLANS NOT TO BE USED FOR LOCATION OF UNDERGROUND UTILITIES – CALL BEFORE YOU DIG 1-800-922-4455 TWO WORKING DAYS BEFORE YOU DIG.

NOTE: ALL PROPOSED SIDEWALK CONSTRUCTION SHALL BE CONSTRUCTED TO THE TOWN OF GLASTONBURY STANDARDS UTILIZING CLASS F CONCRETE. ALL PROPOSED SIDEWALKS SHALL BE TREATED WITH A CONCRETE SEALER.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH WITH TOWN OF GLASTONBURY SPECIFICATIONS OR AS DIRECTED BY THE TOWN ENGINEER.

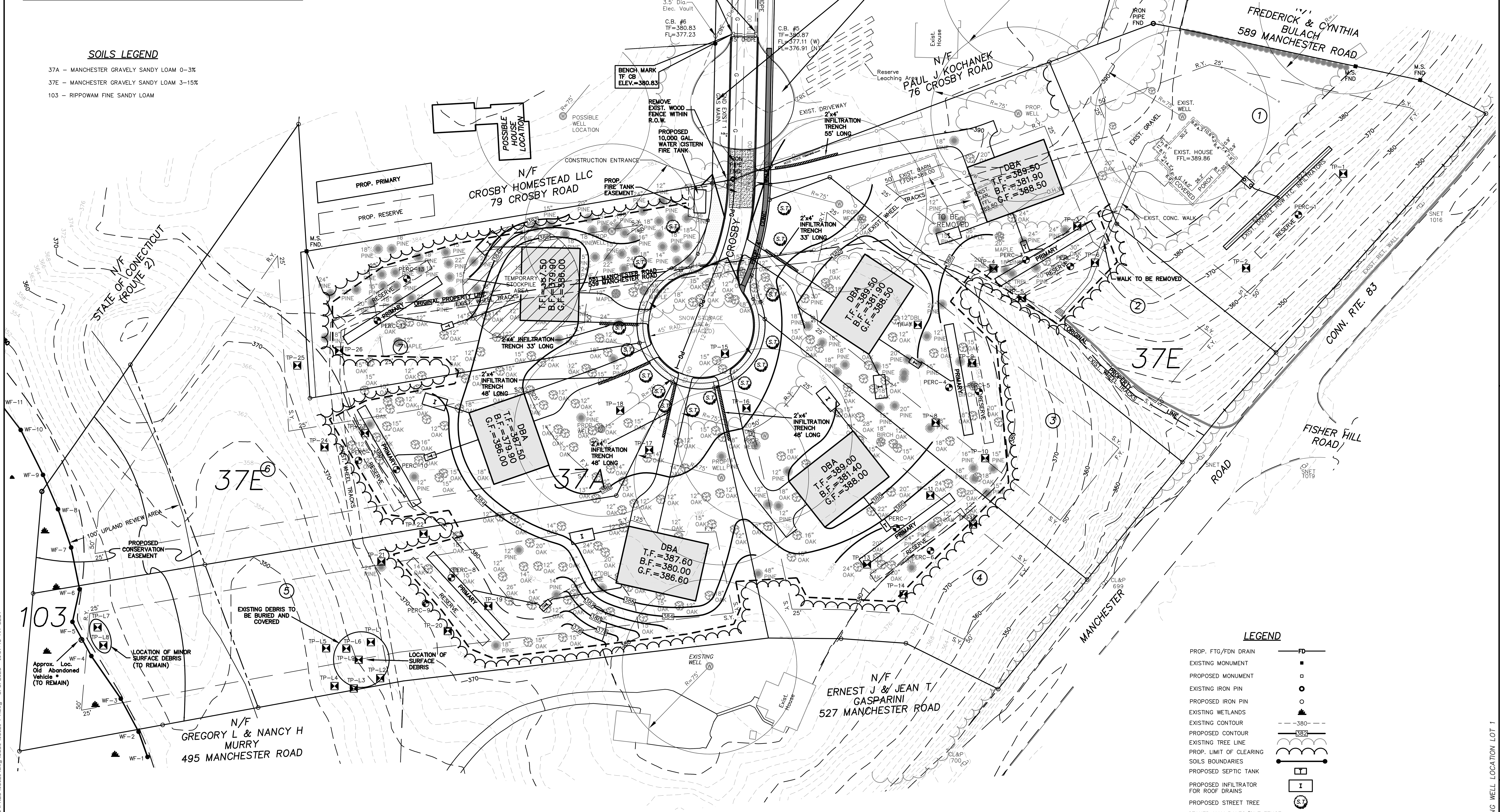
NOTE: THE CONTRACTOR SHALL NOTIFY THE TOWN OF GLASTONBURY ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, SANITARY SEWER INSTALLATION, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, OR ANY EXCAVATION IN THE TOWN RIGHT-OF-WAY TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:00-4:30 PM MONDAY THRU FRIDAY AT (860) 652-7735.

SOILS LEGEND

37A – MANCHESTER GRAVELY SANDY LOAM 0-3%

37E – MANCHESTER GRAVELY SANDY LOAM 3-15%

103 – RIPPOWAM FINE SANDY LOAM



LEGEND

PROP. FTG/FDN DRAIN	—FD—
EXISTING MONUMENT	■
PROPOSED MONUMENT	□
EXISTING IRON PIN	●
PROPOSED IRON PIN	○
EXISTING WETLANDS	
EXISTING CONTOUR	– – –380– – –
PROPOSED CONTOUR	—382—
EXISTING TREE LINE	
PROP. LIMIT OF CLEARING	
SOILS BOUNDARIES	●—●
PROPOSED SEPTIC TANK	T
PROPOSED INFILTRATOR FOR ROOF DRAINS	I
PROPOSED STREET TREE	S.T.
STAKED HAY BALES/SILT FENCE	▬ ▬ ▬
ANTI-TRACKING PAD	▨

GRAPHIC SCALE

40 0 20 40 80 160

(IN FEET)
1 inch = 40 ft.

I HAVE REVIEWED THE WETLAND BOUNDARIES AS SHOWN ON THIS PLAN AND AM OF THE OPINION THAT THEY REPRESENT THE SOIL BOUNDARIES MARKED BY ME IN THE FIELD

[illegible]
MARK W. FRIEND
SOIL SCIENTIST

APPLICANT/OWNER:
REJEAN JACQUES
1048 HOPEWELL ROAD
SOUTH GLASTONBURY, CT 06489
860-952-4741

P:\2021\PROJ\03021\dwg\base\03021-PT.dwg 5/5/2023 10:37:45 AM UEDT

I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.

[illegible]
MARK W. FRIEND P.E. # 15818

MEGSON, HEAGLE & FRIEND
CIVIL ENGINEERS & LAND SURVEYORS, LLC
81 RANKIN ROAD
GLASTONBURY, CONN. 06033
PHONE (860)-659-0587

STORMWATER POLLUTION CONTROL PLAN
CROSBY II SUBDIVISION
PREPARED FOR
REJEAN JACQUES
GLASTONBURY, CONN

REV. 5-5-23 EXISTING WELL LOCATION LOT 1

CK. BY:	MWF
DRW. BY:	BTC
DATE:	2-28-23
SCALE:	1"=40'
SHEET	6 OF 11
MAP NO.	30-21-1SW

GENERAL

THESE GUIDELINES SHALL APPLY TO ALL WORK CONSISTING OF ANY AND ALL TEMPORARY AND/OR PERMANENT MEASURES TO CONTROL WATER POLLUTION AND SOIL EROSION AS MAY BE REQUIRED, DURING THE CONSTRUCTION OF THE PROJECT.

IN GENERAL, ALL CONSTRUCTION ACTIVITIES SHALL PROCEED IN SUCH A MANNER SO AS NOT TO POLLUTE ANY WETLANDS, WATERCOURSE, WATERBODY, AND CONDUIT CARRYING WATER, ETC. THE CONTRACTOR SHALL LIMIT, INSOFAR AS POSSIBLE, THE SURFACE AREA OF EARTH MATERIALS EXPOSED BY CONSTRUCTION METHODS, AND IMMEDIATELY PROVIDE PERMANENT AND TEMPORARY POLLUTION CONTROL MEASURES TO PREVENT CONTAMINATION OF ADJACENT WETLANDS, WATERCOURSES AND WATERBODIES, AND TO PREVENT, INSOFAR AS POSSIBLE, EROSION ON THE SITE.

CONSTRUCTION METHODS, IN GENERAL, SHALL BE IN ACCORDANCE WITH THE PROVISIONS SET FORTH IN THE "CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" (2002) BY THE CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION.

PROJECT DESCRIPTION

This project generally consists of the construction of a residential subdivision consisting of 7 building lots. The total parcel area is 10.31 acres. A small area of wetland is located onsite. An extension of the cul-de sac approximately 200 feet in length and 22 feet wide is proposed to access the lots. The lots will be served with wells and onsite septic systems. The stormwater system consists of groundwater recharge units to collect rain water from the roofs and an existing stormwater management basin to treat the roadway runoff. This basin is designed to treat stormwater quality as well as mitigate any impacts from increased peak flows. It is sized in accordance with the Connecticut Water Quality Standards. Stormwater leaving the site will be adequately treated to prevent any degradation of downstream areas.

SITE DISTURBANCE

This site will have a disturbed area of approximately 0.40 acres for construction of the road and 4.5 acres for house construction. Total impervious cover will be 0.9 acres.

AVERAGE RUNOFF COEFFICIENT AFTER CONSTRUCTION IS 0.39

SITE SPECIFIC EROSION AND SEDIMENTATION ISSUES

1. AVOID STEEPER SLOPES ON PROPERTY.
2. PREVENTION OF SEDIMENTATION ONTO NEIGHBORING PROPERTIES.
3. PREVENTION OF SEDIMENTATION TRACKING ONTO CROSBY ROAD.
4. UTILIZATION OF TEMPORARY EROSION CONTROLS FOR WINTER STABILIZATION.

PROJECT PHASING

This project is relatively small in size so phasing will be limited. Construction of the 200' road will be the first phase of construction followed by construction of the houses.

HOUSE SITE DEVELOPMENT

ALL DRIVEWAY SHOULDERS SHOULD BE STABILIZED IMMEDIATELY UPON COMPLETION OF ROUGH GRADING. SHOULDER SEED BED PREPARATION SHOULD FOLLOW THE GENERAL NOTES PROVIDED. HAY BALES OR SILT FENCE SHOULD BE USED TO ENTRAP ANY SEDIMENT GENERATED FROM EXPOSED SOIL SURFACES. DRIVEWAY ROADBEDS SHALL BE STABILIZED WITH COMPACTED ROAD AGGREGATE AS SOON AS POSSIBLE.

TOPSOIL AND EXCAVATED SUBSOIL FROM THE FOUNDATION AREA SHOULD BE STOCKPILED WITHIN THE AREA OF DISTURBANCE IF NOT USED FOR ONSITE REGRADING. EACH STOCKPILE MUST BE ADEQUATELY RINGED WITH SEDIMENT CONTROL MATERIALS (I.E. HAY BALES AND/OR SILT FENCE.)

ANY ADDITIONAL STOCKPILING OF LUMBER OR BUILDING MATERIALS SHOULD ALSO BE CONFINED TO THE AREA OF DISTURBANCE. SIMILARY, VEHICULAR MOVEMENT SHOULD BE DIRECTED TO ESTABLISHED PARKING AREAS.

SOIL BOUNDARIES AND SOIL TYPES TAKEN FROM THE MAP AND GEOGRAPHIC CENTER, UNIVERSITY OF CONNECTICUT . SOIL BOUNDARIES HAVE BEEN ADJUSTED IN RELATION TO EXISTING TOPOGRAPHY AND KNOWN SOIL CONDITIONS, SUCH AS WETLAND BOUNDARIES.

STUMPAGE AND DEBRIS SHALL NOT BE BURIED ON SITE. BLASTED ROCK THAT CANNOT BE USED AS LANDSCAPE BACKDROP OR AS STABILIZATION MATERIAL SHALL BE TAKEN OFF SITE TO A SUITABLE LOCATION.

STREET TREE TYPE, MINIMUM 2 1/2" CALIPER SIZE AND LOCATION TO BE DETERMINED AT TIME OF PLOT PLAN SUBMITTAL.

PLOT PLANS FOR EACH LOT SHALL INDICATE PROPOSED SEDIMENTATION AND EROSION CONTROLS. ALSO THE PROPOSED HOUSE LOCATION, LOT GRADING, LIMIT OF TREE CLEARING, DRIVEWAY DESIGN, AND SITE DRAINAGE PLAN SHALL BE SHOWN. THESE PLANS SHALL BE SUBJECT TO REVIEW AND APPROVAL BY THE TOWN.

UPON APPROVAL OF INDIVIDUAL SITE PLAN DEVELOPMENT, THE LIMITS OF DEVELOPMENT SHOULD BE ESTABLISHED IN THE FIELD FOR EACH PROPOSED RESIDENTIAL STRUCTURE. DISTURBANCE LIMITS OF 25–30 FEET BEYOND THE PHYSICAL DIMENSIONS OF THE STRUCTURE ARE RECOMMENDED.

LAND GRADING

GENERAL:

1. THE RESHAPING OF THE GROUND SURFACE BY EXCAVATION AND FILLING OR A COMBINATION OF BOTH, TO OBTAIN PLANNED GRADES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING BASIC CRITERIA:

A) THE CUT FACE OF EARTH EXCAVATION SHALL NOT BE STEEPER THAN TWO HORIZONTAL TO ONE VERTICAL (2:1).

B) THE PERMANENT EXPOSED FACES OF FILLS SHALL NOT BE STEEPER THAN TWO HORIZONTAL TO ONE VERTICAL (2:1).

C) THE CUT FACE OF ROCK EXCAVATION SHALL NOT BE STEEPER THAN ONE HORIZONTAL TO FOUR VERTICAL (1:4).

D) NO FILL SHOULD BE PLACED WHERE IT WILL SLIDE, OR WASH UPON THE PREMISES OF ANOTHER OWNER OR UPON ADJACENT WETLANDS, WATERCOURSE OR WATERBODY.

E) INSTALLATION OF SEDIMENT AND EROSION CONTROLS SUCH AS HAY BALES AND SILT FENCES SHALL BE ESTABLISHED PRIOR TO COMMENCING LAND DISTURBANCE ACTIVITIES. ALL SEDIMENT AND EROSION CONTROL STRUCTURES MUST BE MONITORED AND MAINTAINED BY THE CONTRACTOR UNTIL THE SOIL SURFACE IS STABILIZED.

F) IF NECESSARY, LATERAL WATER DIVERSIONS SHALL BE INSTALLED ACROSS THE GRADED ROADWAY TO PREVENT DOWNSLOPE OUTWASH AND EROSION AS SHOWN ON THE "STORM WATER POLLUTION CONTROL PLANS."

G) HAY BALES SHALL BE STAKED AND SILT FENCES SHALL BE PROPERLY SECURED. SEDIMENT WILL BE REMOVED FROM ALL CATCHMENTS AS NECESSARY.

H) PRIOR TO ANY REGRADING, STONE APRON SHALL BE PLACED BY THE ENTRANCE TO THE WORK AREA IN ORDER TO REDUCE MUD AND OTHER SEDIMENTS FROM LEAVING THE SITE.

I) PROVISIONS SHOULD BE MADE TO CONDUCT SURFACE WATER SAFELY TO STORM DRAINS, TO PREVENT SURFACE RUNOFF FROM DAMAGING CUT FACES AND FILL SLOPES.

J) EXCAVATIONS SHOULD NOT BE MADE SO CLOSE TO PROPERTY LINES AS TO ENDANGER ADJOINING PROPERTY WITHOUT PROTECTING SUCH PROPERTY FROM EROSION, SLIDING, SETTLING OR CRACKING.

WINDBLOWN SEDIMENT

GENERAL:

1. ALL WINDBLOWN SEDIMENTS SHALL BE CONTROLLED AT ALL TIMES. THE SITE CONTRACTOR IS RESPONSIBLE FOR APPLYING DUST CONTROL AS OFTEN AS NEEDED TO PREVENT ANY WINDBLOWN SEDIMENTS FROM LEAVING THE SITE. PREDETERMINED TRAFFIC ROUTES FOR ALL TRAFFIC SHALL BE ESTABLISHED BY THE SITE CONTRACTOR TO STABILIZED ROUTES. TEMPORARY AND PERMANENT MULCHING AND TEMPORARY AND PERMANENT VEGETATIVE COVER SHALL BE USED TO MINIMIZE THE NEED FOR DUST CONTROL. MECHANICAL SWEEPERS SHALL BE USED ON ALL PAVED SURFACES TO PREVENT DUST BUILD UP DURING THE COURSE OF SITE WORK.

METHODS:

1. NON ASPHALTIC SOIL THICKENERS ARE ACCEPTABLE AND SHOULD BE APPLIED ACCORDING TO MANUFACTURER'S GUIDELINES.

2. WATER IS ACCEPTABLE BUT MUST BE APPLIED OFTEN IN HOT, DRY WEATHER.

3. CRUSHED STONE OR COARSE GRAVEL CAN ALSO BE USED.

TOPSOILING

GENERAL:

1. TOPSOIL SHALL BE SPREAD OVER ALL EXPOSED AREAS IN ORDER TO PROVIDE A SOIL MEDIUM HAVING FAVORABLE CHARACTERISTICS FOR THE ESTABLISHMENT, GROWTH AND MAINTENANCE OF VEGETATION.

2. REMOVE ALL LARGE STONES, TREE LIMBS, ROOTS, AND CONSTRUCTION DEBRIS.

3. APPLY LIME ACCORDING TO SOIL TEST OR AT THE RATE OF TWO (2) TONS PER ACRE.

MATERIAL:

1. TOPSOIL SHOULD HAVE PHYSICAL, CHEMICAL AND BIOLOGICAL CHARACTERISTICS FAVORABLE TO THE GROWTH OF PLANTS.

2. TOPSOIL SHOULD HAVE A SANDY OR LOAMY TEXTURE.

3. AN ORGANIC MATTER CONTENT BETWEEN 6 & 20 PERCENT IS HIGHLY DESIRABLE. AVOID LIGHT COLORED LOWER SUBSOIL MATERIAL.

APPLICATION:

1. AVOID SPREADING WHEN TOPSOIL IS WET OR FROZEN.

2. SPREAD TOPSOIL UNIFORMLY TO A DEPTH OF AT LEAST FOUR (4") INCHES.

EROSION CHECKS

GENERAL:

1. TEMPORARY PERVIOUS BARRIERS USING BALES OF HAY OR STRAW, HELD IN PLACE WITH STAKES DRIVEN THROUGH THE BALES AND INTO THE GROUND, OR SEDIMENT FILTER FABRIC FASTENED TO A FENCE POST AND BURIED INTO THE GROUND, SHALL BE INSTALLED AND MAINTAINED AS REQUIRED TO CHECK EROSION AND REDUCE SEDIMENTATION.

CONSTRUCTION:

1. BALES SHALL BE PLACED IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.

2. EACH BALE SHALL BE EMBEDDED INTO THE SOIL A MINIMUM OF FOUR (4") INCHES.

3. BALES SHALL BE SECURELY ANCHORED IN PLACE BY WOOD STAKES OR REINFORCEMENT BARS DRIVEN THROUGH THE BALES AND INTO THE GROUND. THE FIRST STAKE IN EACH BALE SHALL BE ANGLED TOWARD THE PREVIOUSLY LAID BALE TO FORCE BALES TOGETHER.

4. FILTER FABRIC SHALL BE SECURELY FASTENED AT THE TOP OF A THREE (3') FOOT HIGH FENCE AND BURIED A MINIMUM OF FOUR (4") INCHES INTO THE SOIL. SEAMS BETWEEN SECTIONS OF FILTER FABRIC SHALL OVERLAP A MINIMUM OF TWO (2') FEET.

INSTALLATION AND MAINTENANCE:

1. BALED HAY EROSION BARRIERS SHALL BE INSTALLED AT ALL STORM SEWER INLETS.

2. BALED HAY EROSION BARRIERS AND SEDIMENT FILTER FENCES SHALL BE INSTALLED AT THE LOCATIONS INDICATED ON THE PLAN AND IN ADDITIONAL AREAS AS MAY BE DEEMED APPROPRIATE DURING CONSTRUCTION.

3. ALL EROSION CHECKS SHALL BE MAINTAINED UNTIL ADJACENT AREAS ARE STABILIZED.

4. INSPECTION SHALL BE FREQUENT (AT MINIMUM MONTHLY AND BEFORE AND AFTER HEAVY RAIN) AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.

5. EROSION CHECKS SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORMWATER FLOW OR DRAINAGE.

TEMPORARY VEGETATIVE COVER

GENERAL:

1.
TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED ON ALL UNPROTECTED AREAS THAT PRODUCE SEDIMENT, AREAS WHERE FINAL GRADING HAS BEEN COMPLETED AND AREAS WHERE THE ESTIMATED PERIOD OF BARE SOIL EXPOSURE IS LESS THAN 12 MONTHS.

SITE PREPARATION:

1. INSTALL REQUIRED SURFACE WATER CONTROL MEASURES.

2. REMOVE LOOSE ROCK, STONE, AND CONSTRUCTION DEBRIS FROM AREA.

3. APPLY LIME ACCORDING TO SOIL TEST OR AT A RATE OF ONE (1) TON OF GROUND DOLOMITIC LIMESTONE PER ACRE (5 LBS. PER 100 SQUARE FEET).

4. APPLY FERTILIZER ACCORDING TO SOIL TEST OR AT THE RATE OF 300 LBS. OF 10–10–10 PER ACRE (7 LBS. PER 1,000 SQUARE FEET.)

5. UNLESS HYDROSEEDED, WORK IN LIME AND FERTILIZER TO A DEPTH OF FOUR (4") INCHES USING A DISK OR ANY SUITABLE EQUIPMENT.

6. TILLAGE SHOULD ACHIEVE A REASONABLY UNIFORM, LOOSE SEEDBED. WORK ON CONTOUR IF SITE IS SLOPING.

ESTABLISHMENT:

1. USE ANNUAL RYEGRASS AT A RATE OF 40 LBS/AC. OR SUITABLE EQUIVALENT AS SPECIFIED IN THE "GUIDELINES".

2. SEEDING TO BE DONE FROM APRIL 1ST TO JUNE 15 OR AUGUST 1ST TO OCTOBER 1ST. WINTER STABILIZATION PLANTINGS TO BE NO LATER THAN OCTOBER 1ST. THIS INCLUDES STOCKPILE AREAS.

3. APPLY SEED UNIFORMLY ACCORDING TO THE RATE INDICATED BY BROADCASTING, DRILLING, OR HYDRAULIC APPLICATION.

4. UNLESS HYDROSEEDED, COVER RYEGRASS SEEDS WITH NOT MORE THAN 1/4 INCH OF SOIL WITH SUITABLE EQUIPMENT. COVER SUDANGRASS AND SMALL GRAINS WITH 1/2 INCH SOIL.

5. MULCH IMMEDIATELY AFTER SEEDING, IF REQUIRED, ACCORDING TO THE GUIDELINES IN THE "GUIDELINES".

TOWN PLAN & ZONING COMMISSION APPROVAL

CROSBY II SUBDIVISION	**RURAL RESIDENCE/GW-1**
SUBDIVISION NAME	ZONE
REJEAN JACQUES	
SUBDIVIDER	
SUBDIVISION APPROVAL DATE	PLAN & ZONING COMMISSION CHAIRMAN
COMPLETION DATE FOR SUBDIVISION IMPROVEMENTS	COMMUNITY DEVELOPMENT DIRECTOR
FILE NO.	TOWN ENGINEER

PERMANENT VEGETATIVE COVER

GENERAL:

1. PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED AS VARIOUS SECTIONS OF THE PROJECT ARE COMPLETED IN ORDER TO STABILIZE THE SOIL, REDUCE DOWNSTREAM DAMAGE FROM SEDIMENT AND RUNOFF AND TO ENHANCE THE AESTHETIC NATURE OF THE SITE. IT WILL BE APPLIED TO ALL CONSTRUCTION AREAS SUBJECT TO EROSION WHERE FINAL GRADING HAS BEEN COMPLETED AND A PERMANENT COVER IS NEEDED.

SITE PREPARATION:

1. INSTALL REQUIRED SURFACE WATER CONTROL MEASURES.

2. REMOVE LOOSE ROCK, STONE AND CONSTRUCTION DEBRIS FROM AREA.

3. PERFORM ALL PLANTING OPERATIONS PARALLEL TO THE CONTOURS OF THE SLOPE.

4. APPLY TOPSOIL AS INDICATED ELSEWHERE HEREIN.

5. APPLY FERTILIZER ACCORDING TO SOIL TEST OR:

– SPRING SEEDING:
WORK DEEPLY IN SOIL, BEFORE SEEDING, 300 LBS OF 10–10–10 FERTILIZER PER ACRE (7 LBS PER 1,000 SQUARE FEET); THEN SIX (6) TO EIGHT (8) WEEKS LATER APPLY ON THE SURFACE AN ADDITIONAL 300 LBS OF 10–10–10 FERTILIZER PER ACRE.

– FALL SEEDING:
WORK DEEPLY IN SOIL, BEFORE SEEDING, 600 LBS OF 10–10–10 FERTILIZER PER ACRE (14 LBS PER 1,000 SQUARE FEET).

ESTABLISHMENT:

1. SMOOTH AND FIRM SEEDBED WITH CULTIPACKER OR OTHER SIMILAR EQUIPMENT PRIOR TO SEEDING (EXCEPT WHEN HYDROSEEDING).

2. SELECT ADAPTED SEED MIXTURE AS FOLLOWS. NOTE RATES AND THE SEEDING DATES.

SUNNY TO PARTIALLY SUNNY SITES	LBS/AC	LBS/1000S.F.
KENTUCKY BLUEGRASS	20	0.50
CREEPING RED FESCUE	20	0.50
PERENNIAL RYEGRASS	05	0.10
TOTAL	45	1.10
SHADY SITES		
CREEPING RED FESCUE	50	1.00
PERENNIAL RYEGRASS	05	0.10
TOTAL	55	1.10
DROUGHTY SITES		
CREEPING RED FESCUE	40	1.00
TALL FESCUE	20	0.50
TOTAL	60	1.50

DETENTION BASIN

APPLY NEW ENGLAND WET MIX– 18 LBS/AC
1 LB/2500 S.F.

3. FINAL SEEDING SHALL TAKE PLACE PRIOR TO OCTOBER 1ST AS SEEDING AFTER THIS DATE RUNS A DISTINCT CHANCE OF FAILURE DUE TO ADVERSE WEATHER. ANY AREAS THAT ARE DISTURBED BETWEEN OCTOBER 1ST AND APRIL 1ST SHALL BE STABILIZED BY NON–VEGETATIVE MEANS SUCH AS HEAVY MULCHING WITH A BINDER OR JUTE MATTING WHICH WILL HAVE TO BE REMOVED BEFORE FINAL SEEDING AND THEN REPLACED AFTER FINAL SEEDING.

4. APPLY SEED UNIFORMLY ACCORDING TO RATE INDICATED, BY BROADCASTING, DRILLING, OR HYDRAULIC APPLICATION.

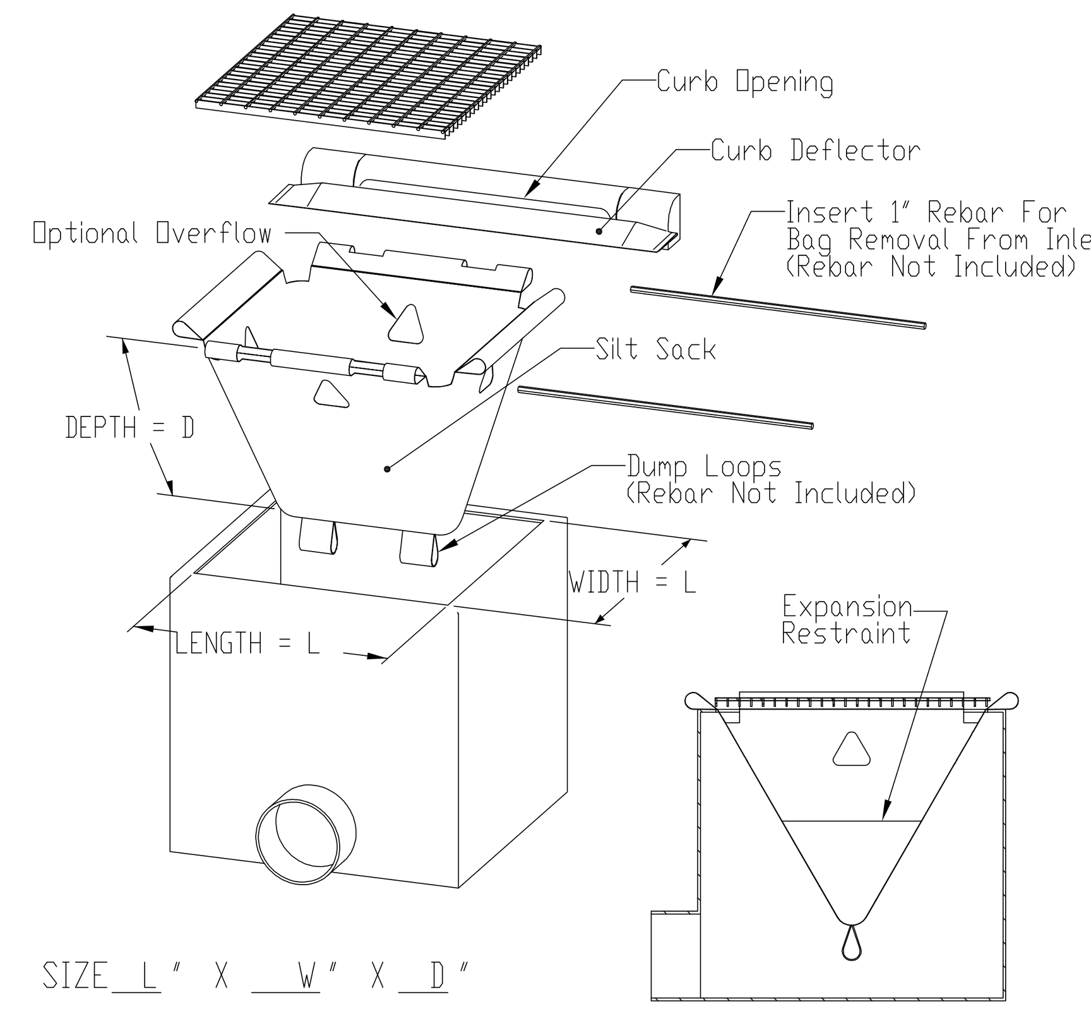
5. COVER GRASS AND LEGUME SEEDS WITH NOT MORE THAN 1/4 INCH OF SOIL WITH SUITABLE EQUIPMENT (EXCEPT WHEN HYDROSEEDING).

6. MULCH IMMEDIATELY AFTER SEEDING, IF REQUIRED, ACCORDING TO THE GUIDELINES IN THE "GUIDELINES".

7. USE PROPER INOCULANT ON ALL LEGUME SEEDINGS, USE FOUR (4) TIMES NORMAL RATE WHEN HYDROSEEDING.

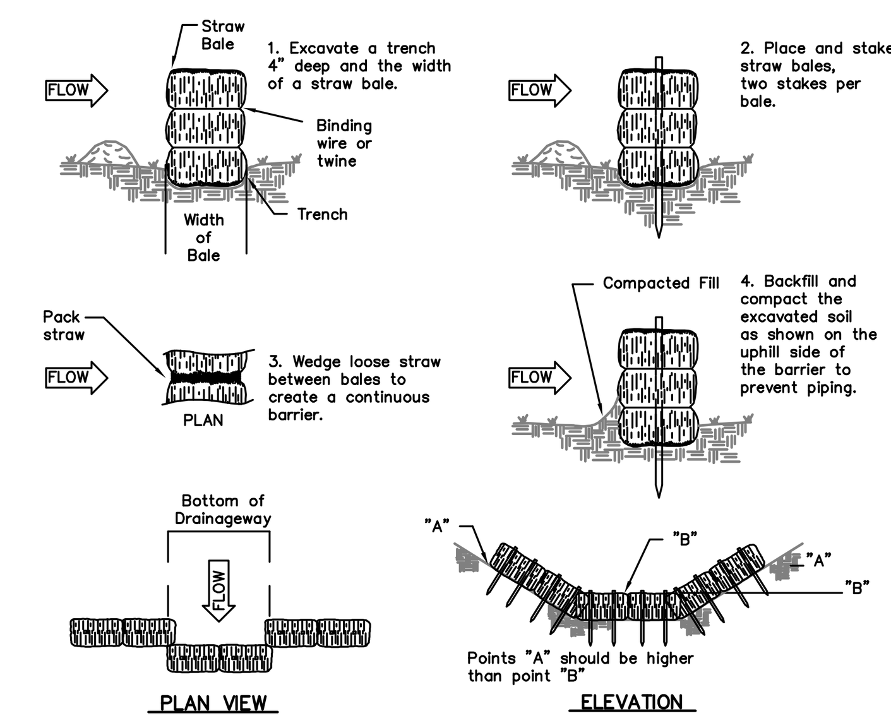
WORKING HOURS WILL BE FROM MONDAY THROUGH SATURDAY FROM 7 AM TO 5 PM

Silt Sack - Type B



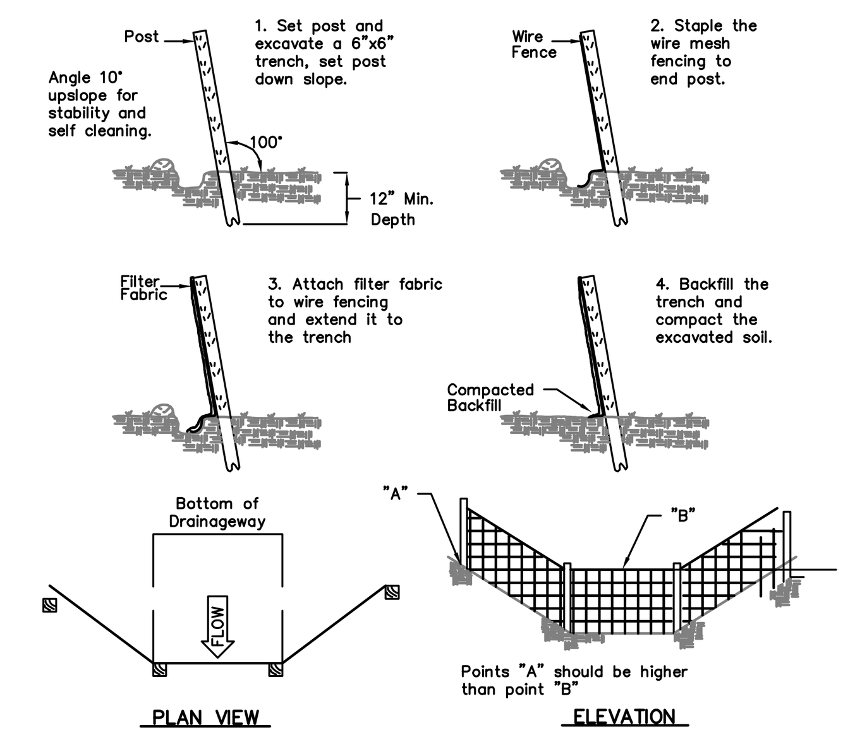
SIZE_L" X __W" X _D"

ACF ENVIRONMENTAL
2831 Cardwell Road
Richmond, VA 23234
WWW.ACFENVIRONMENTAL.COM



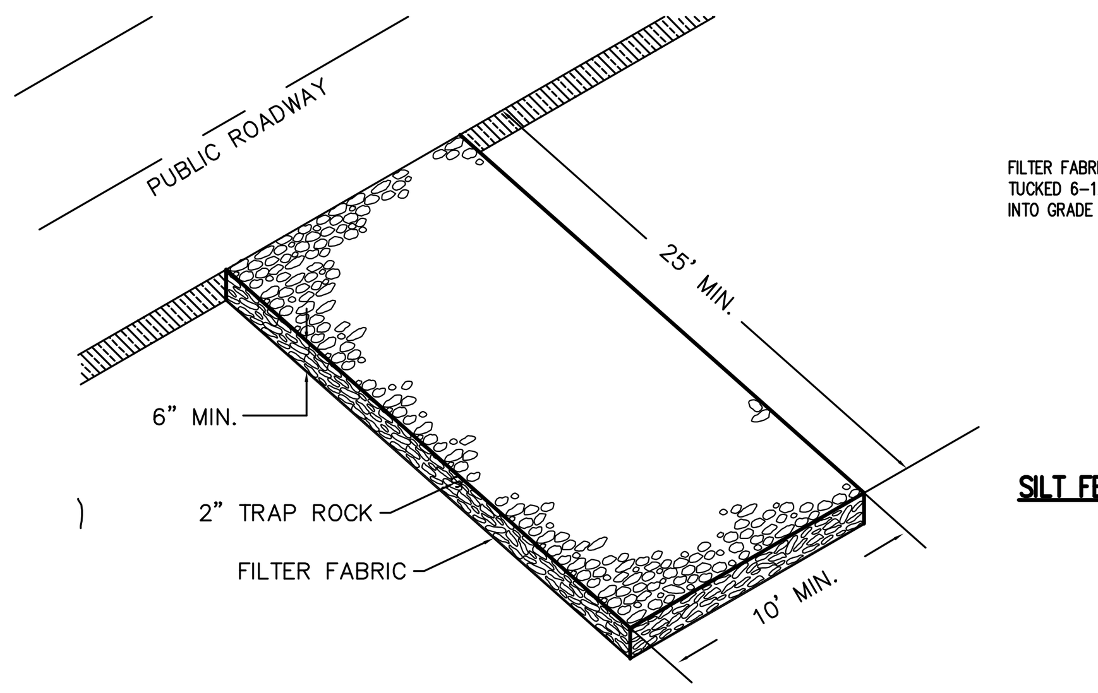
Source: U.S. Department of Agriculture, Soil Conservation Service, Storrs, Connecticut

PLACEMENT AND CONSTRUCTION OF A STRAW BALE BARRIER



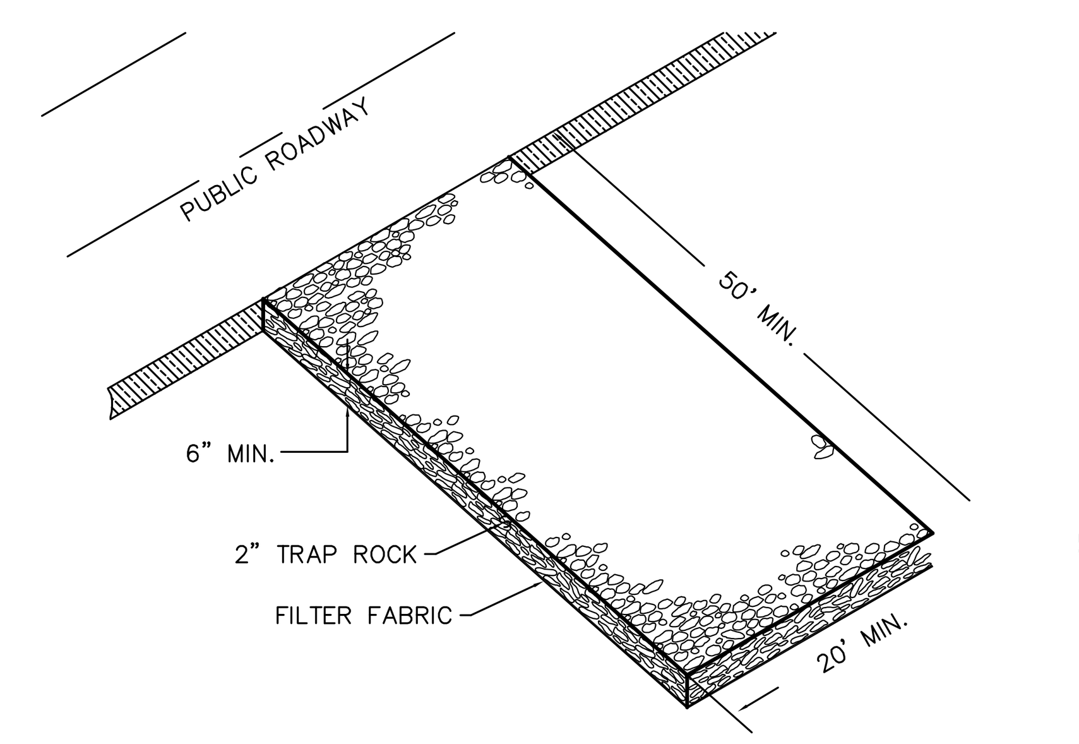
Source: U.S. Department of Agriculture, Soil Conservation Service, Storrs, Connecticut

PLACEMENT AND CONSTRUCTION OF A SYNTHETIC FILTER BARRIER



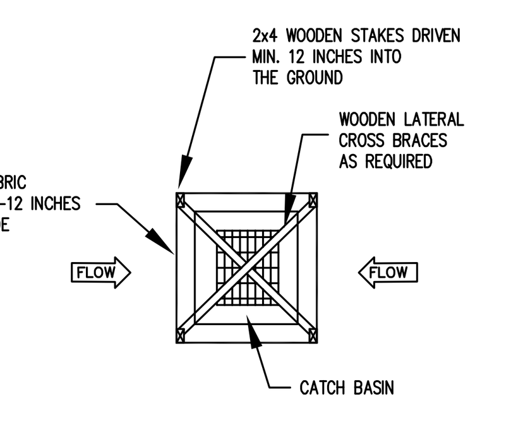
CONSTRUCTION ENTRANCE

(FOR INDIVIDUAL SITE DEVELOMENT)

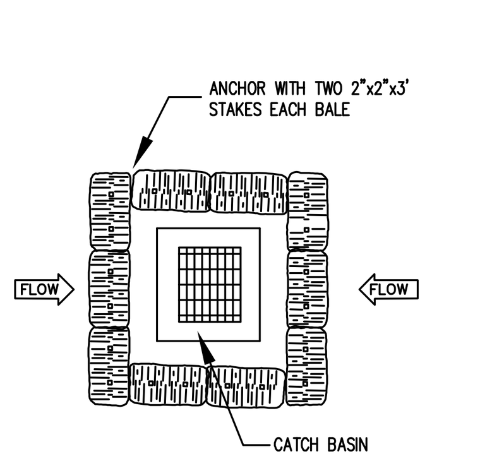


CONSTRUCTION ENTRANCE

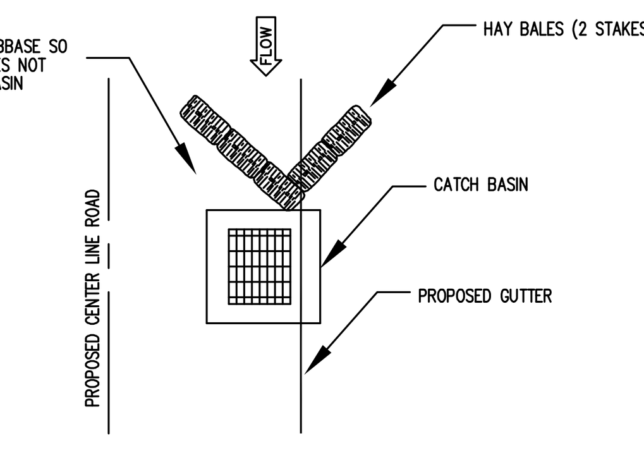
(FOR ROAD CONSTRUCTION)



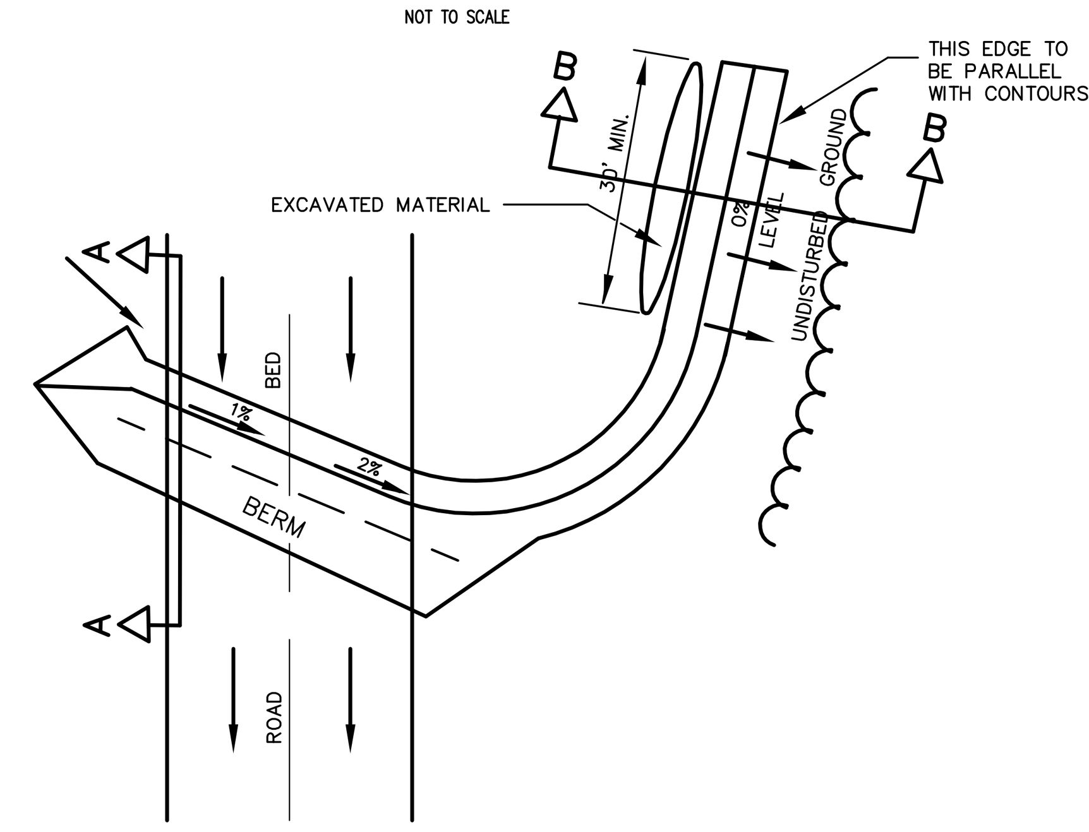
SILT FENCE INSTALLATION AT CATCH BASINS
NOT TO SCALE

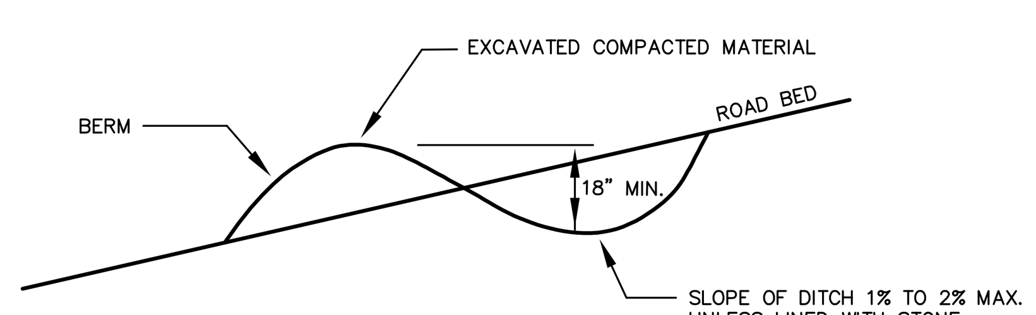


HAY BALE INSTALLATION AT CATCH BASINS
NOT TO SCALE

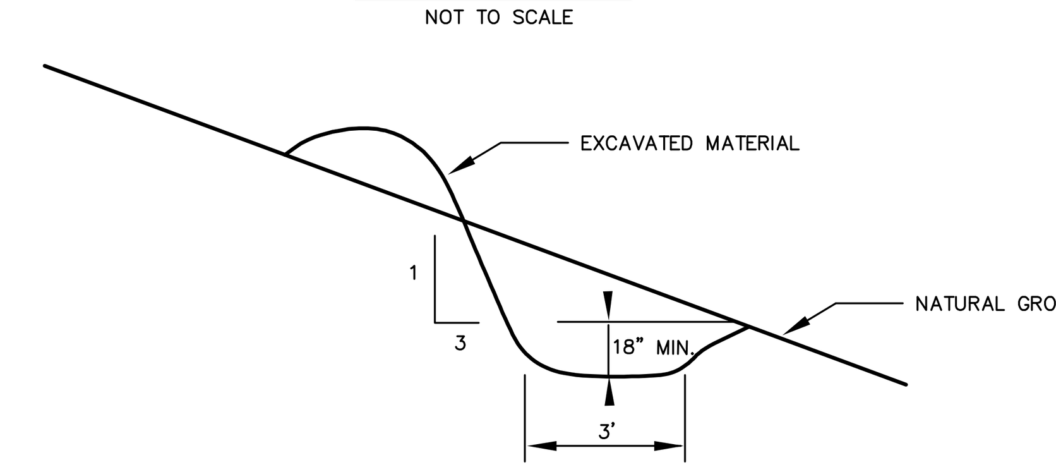


CATCH BASIN PROTECTION ON SLOPE
NOT TO SCALE





CROSS SECTION A–A
NOT TO SCALE



CROSS SECTION B–B
NOT TO SCALE

TYPICAL TEMPORARY WATER – BAR AND LEVEL SPREADER DETAIL
NOT TO SCALE

NOTE: WATER–BARS TO BE USED AT DISCRETION OF TOWN OF GLASTONBURY CONSERVATION ENFORCEMENT OFFICER AS FIELD CONDITIONS WARRANT.

LONG–TERM STORMWATER MAINTENANCE SCHEDULE

TO BE COMPLETED TWO TIMES PER YEAR, ONCE IN SPRING (NOT LATER THAN APRIL 30) AND ONCE IN FALL (NO LATER THAN OCTOBER 30). THE MAINTENANCE ACTIONS SHALL TAKE PLACE A MINIMUM OF 48 HOURS AFTER ANY RAINFALL.

LOCATION	ACTION
STREETS	SWEEP USING TANDEM OR REGENERATIVE-AIR TYPE SWEEPER. NOTE: IF DE-ICING AGENT OR OTHER ALTERNATIVE TO CONVENTIONAL SAND AND SALT APPLICATION IS USED, NEED FOR STREET SWEEPING MAY BE REDUCED OR ELIMINATED.
CATCH BASINS	CLEAR DEBRIS FROM GRATES. CLEAN SUMPS WHEN THEY ARE MORE THAN 1/2 FULL.
SEDIMENTATION STRUCTURE	INSPECT FOR ACCUMULATION OF SEDIMENT AND FLOATING DEBRIS. CLEAN CHAMBER WHEN SUMP IS MORE THAN 1/2 FULL.
STORMWATER TREATMENT BASINS	VERIFY THAT OUTLET STRUCTURES ARE NOT OBSTRUCTED. CLEAR DEBRIS FROM GRATES. VERIFY THAT POND WATER LEVELS ARE NORMAL. INSPECT FOR SEDIMENT ACCUMULATION AND REMOVE AS NECESSARY. VERIFY THAT STABILIZATION MEASURES (RIP RAP ETC.) ARE IN PLACE. MAKE REPAIRS AS REQUIRED.
UNDERGROUND INFILTRATION SYSTEM	INSPECT FOR ACCUMULATION OF SEDIMENT AND FLOATING DEBRIS IN ISOLATOR ROWS. CLEAN CHAMBERS AS REQUIRED.
OUTLET PROTECTION INCLUDES RIP RAP APRONS AND LEVEL SPREADERS	VERIFY THAT OUTLETS ARE NOT OBSTRUCTED. CLEAR AS REQUIRED. INSPECT FOR SEDIMENT ACCUMULATION AND REMOVE AS NECESSARY. VERIFY THAT RIP RAP APRONS ARE IN PLACE. MAKE REPAIRS AS REQUIRED.

MAINTENANCE OF THE PUBLIC STORMWATER MANAGEMENT SYSTEM IS THE RESPOSIBILITY OF THE TOWN OF GLASTONBURY.

I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.

[illegible]

MARK W. FRIEND P.E. # 15818

MEGSON, HEAGLE & FRIEND
CIVIL ENGINEERS & LAND SURVEYORS, LLC
81 RANKIN ROAD
GLASTONBURY, CONN. 06033
PHONE (860)–659–0587

STORMWATER POLLUTION CONTROL NOTES & DETAILS
CROSBY II SUBDIVISION
PREPARED FOR
REJEAN JACQUES
GLASTONBURY, CONN

REV. 5–5–23 TOWN STAFF COMMENTS

CK. BY:	MWF
DRW. BY:	BTC
DATE:	2–28–23
SCALE:	NONE
SHEET	7 OF 11
MAP NO.	30–21–1SWN

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TOWN PLAN & ZONING COMMISSION APPROVAL

CROSBY II SUBDIVISION	**RURAL RESIDENCE/GW-1**
SUBDIVISION NAME	ZONE
REJEAN JACQUES	
SUBDIVIDER	

SUBDIVISION APPROVAL DATE	PLAN & ZONING COMMISSION CHAIRMAN
COMPLETION DATE FOR SUBDIVISION IMPROVEMENTS	COMMUNITY DEVELOPMENT DIRECTOR
FILE NO.	TOWN ENGINEER

NOTE:
TOPOGRAPHY TAKEN FROM ACTUAL FIELD SURVEY AND TOWN OF GLASTONBURY TOPOGRAPHIC MAPS.

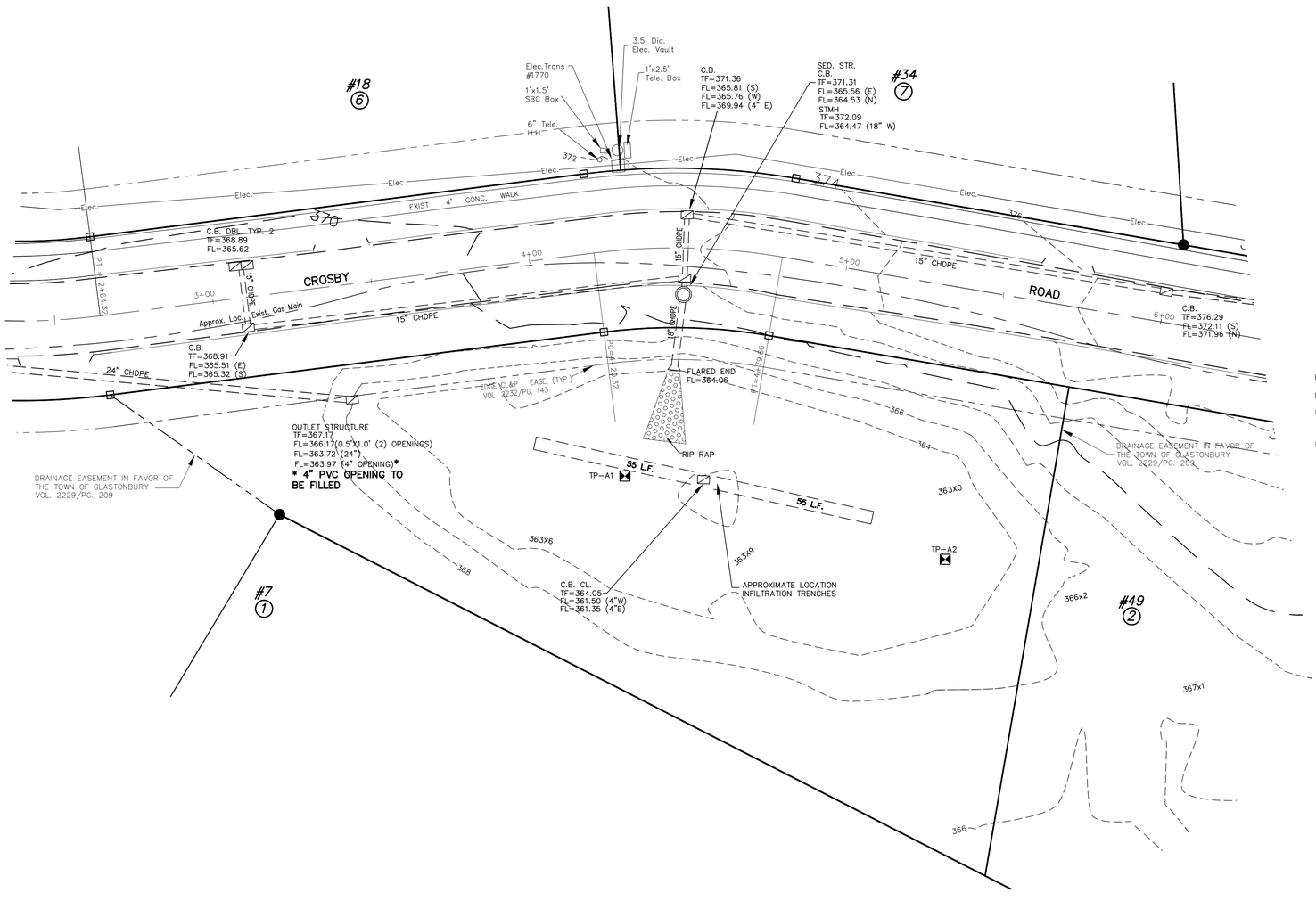
VERTICAL DATUM REPRESENTS NAVD 88.

WARNING: THESE PLANS NOT TO BE USED FOR LOCATION OF UNDERGROUND UTILITIES – CALL BEFORE YOU DIG 1-800-922-4455 TWO WORKING DAYS BEFORE YOU DIG.

NOTE: ALL PROPOSED SIDEWALK CONSTRUCTION SHALL BE CONSTRUCTED TO THE TOWN OF GLASTONBURY STANDARDS UTILIZING CLASS F CONCRETE. ALL PROPOSED SIDEWALKS SHALL BE TREATED WITH A CONCRETE SEALER.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH WITH TOWN OF GLASTONBURY SPECIFICATIONS OR AS DIRECTED BY THE TOWN ENGINEER.

NOTE: THE CONTRACTOR SHALL NOTIFY THE TOWN OF GLASTONBURY ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, SANITARY SEWER INSTALLATION, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, OR ANY EXCAVATION IN THE TOWN RIGHT-OF-WAY TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:00-4:30 PM MONDAY THRU FRIDAY AT (860) 652-7735.



LEGEND

EXISTING MONUMENT	▫
EXISTING IRON PIN	●
EXISTING SPOT ELEVATION	368X7
EXISTING CONTOUR	-380-
PROPOSED CONTOUR	382

TEST PIT DATA

TEST PITS DONE ON 12-22-04.
WITNESSED BY TOM MOCKO

TEST PIT A1
DEPTH OF HOLE: 120"
GROUNDWATER: NONE
MOTTLING: NONE
MATERIAL:
0" – 10" TOPSOIL
10" – 36" FINE SANDY LOAM
36" – 120" SANDY GRAVEL

TEST PIT A2
DEPTH OF HOLE: 128"
GROUNDWATER: NONE
MOTTLING: NONE
MATERIAL:
0" – 12" TOPSOIL
12" – 36" FINE SILTY LOAM
36" – 41" COARSE SAND
41" – 52" FINE GRAY SILTY SAND
52" – 128" SANDY GRAVEL

GRAPHIC SCALE

40 0 20 40 80 160
(IN FEET)
1 inch = 40 ft.

APPLICANT/OWNER:
REJEAN JACQUES
1048 HOPEWELL ROAD
SOUTH GLASTONBURY, CT 06489
860-952-4741

I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.

MARK W. FRIEND P.E. # 15818

MEGSON, HEAGLE & FRIEND
CIVIL ENGINEERS & LAND SURVEYORS, LLC
81 RANKIN ROAD
GLASTONBURY, CONN. 06033
PHONE (860)-659-0587

STORMWATER MANAGEMENT BASIN MODIFICATION PLAN
CROSBY II SUBDIVISION
PREPARED FOR
REJEAN JACQUES
GLASTONBURY, CONN

CK. BY:	MWF
DRW. BY:	BTC
DATE:	2-28-23
SCALE:	1"=20'
SHEET	8 OF 11
MAP NO.	30-21-1BM

REV. 5-5-23 TOWN STAFF COMMENTS

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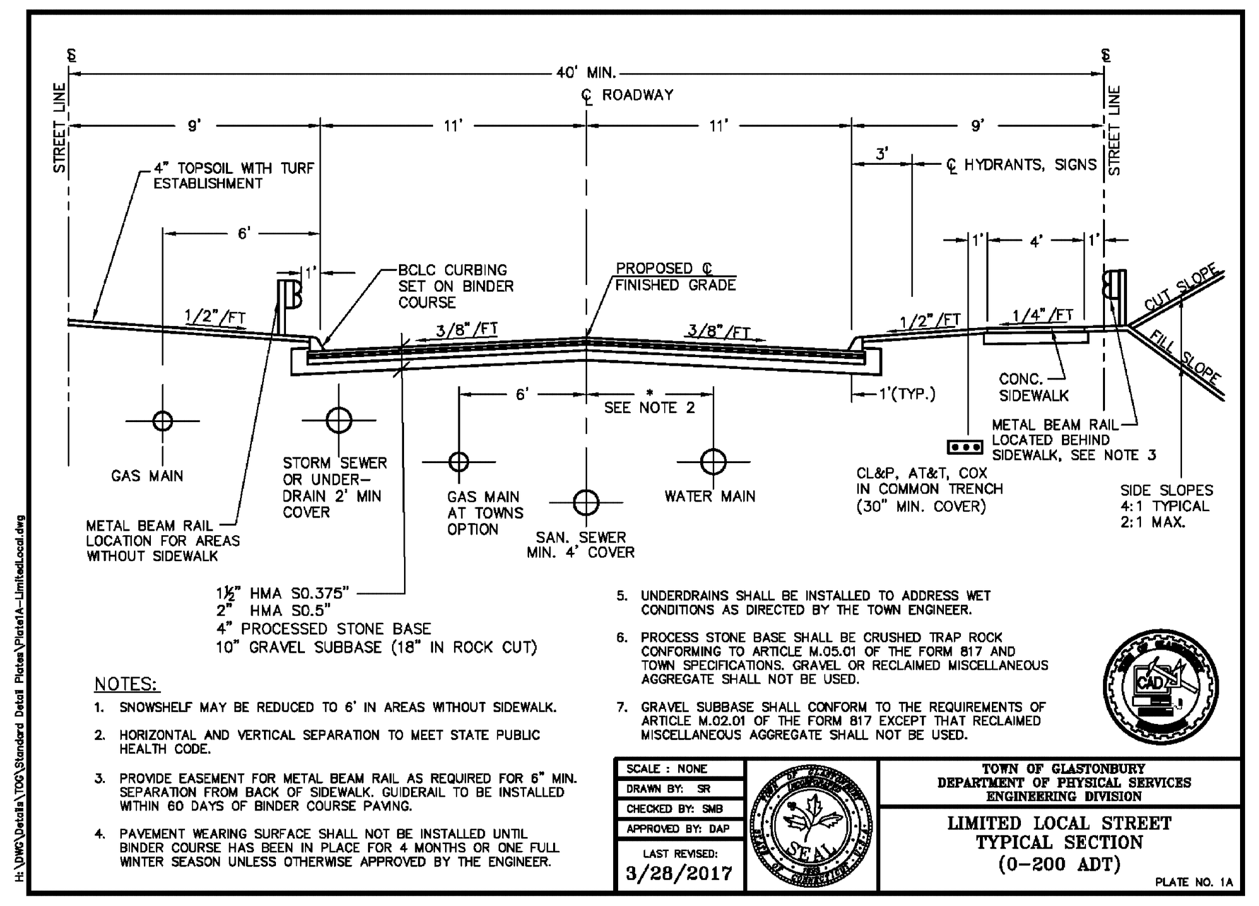
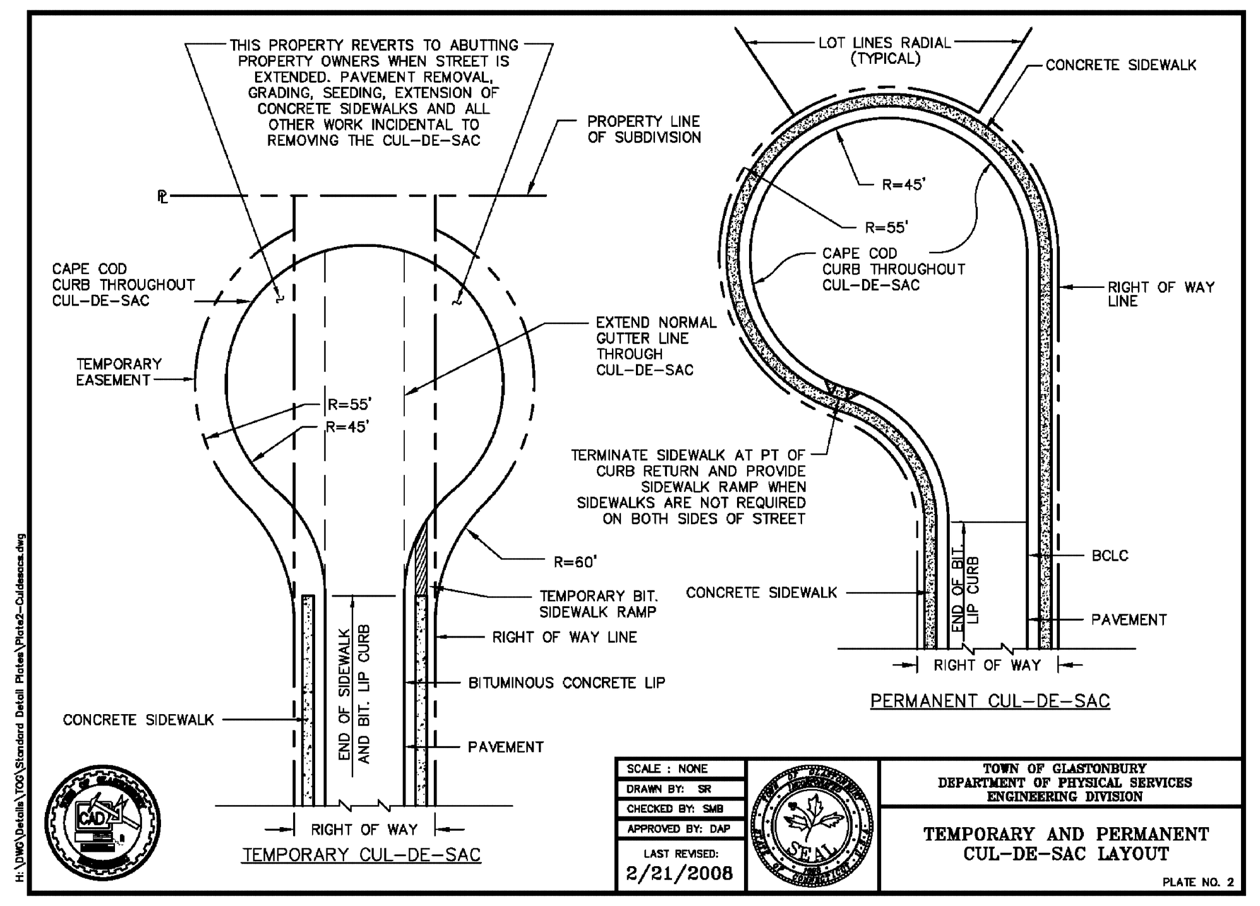
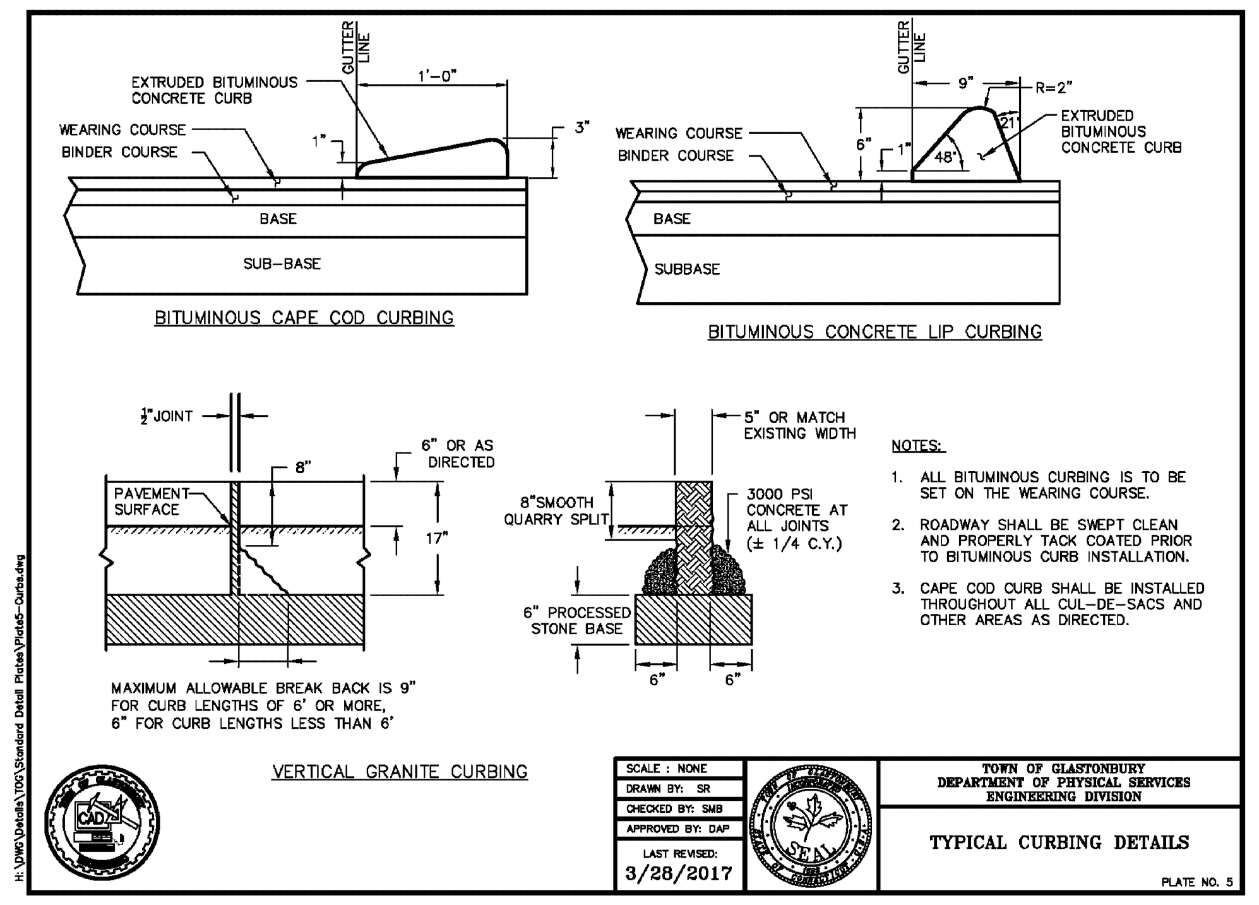
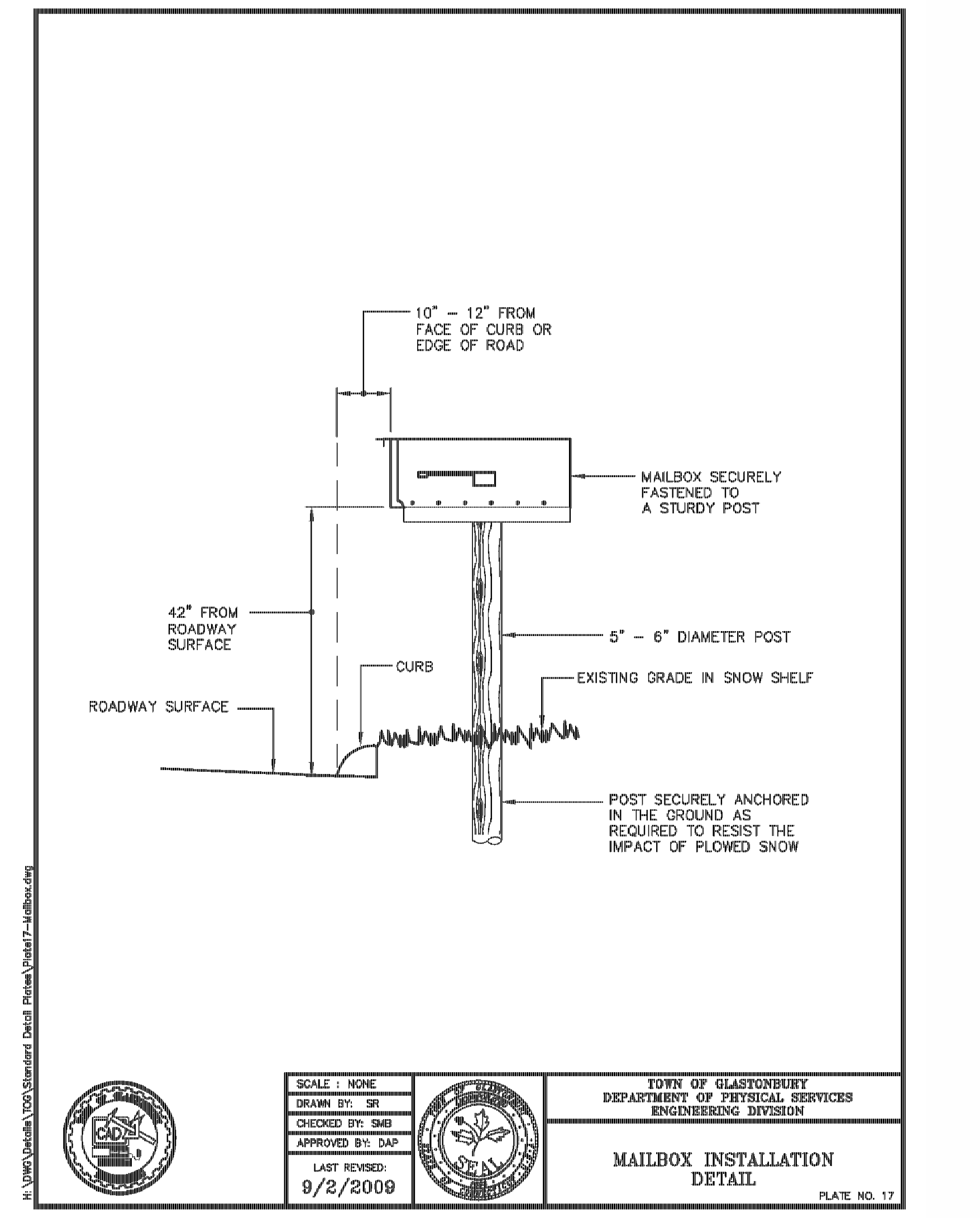
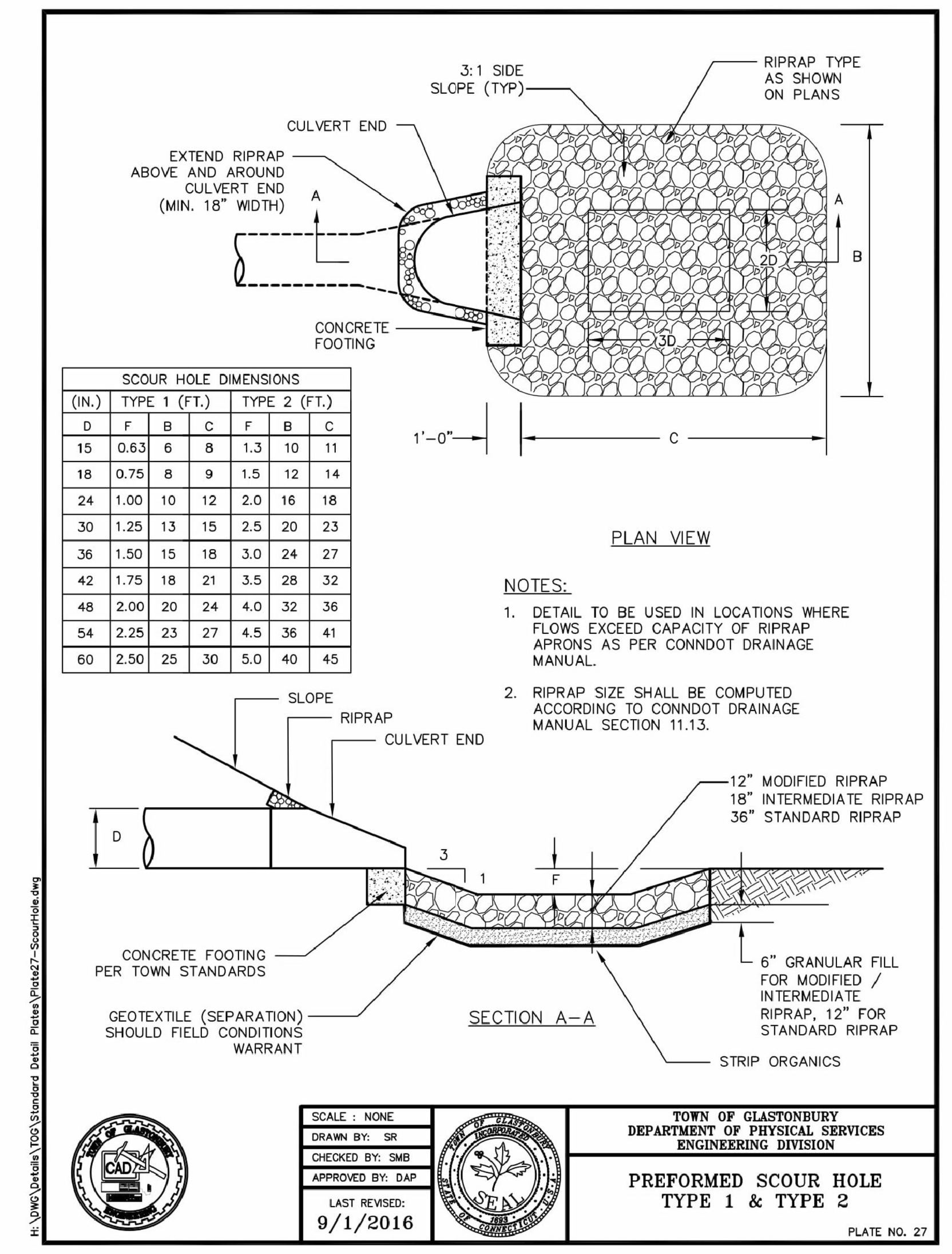


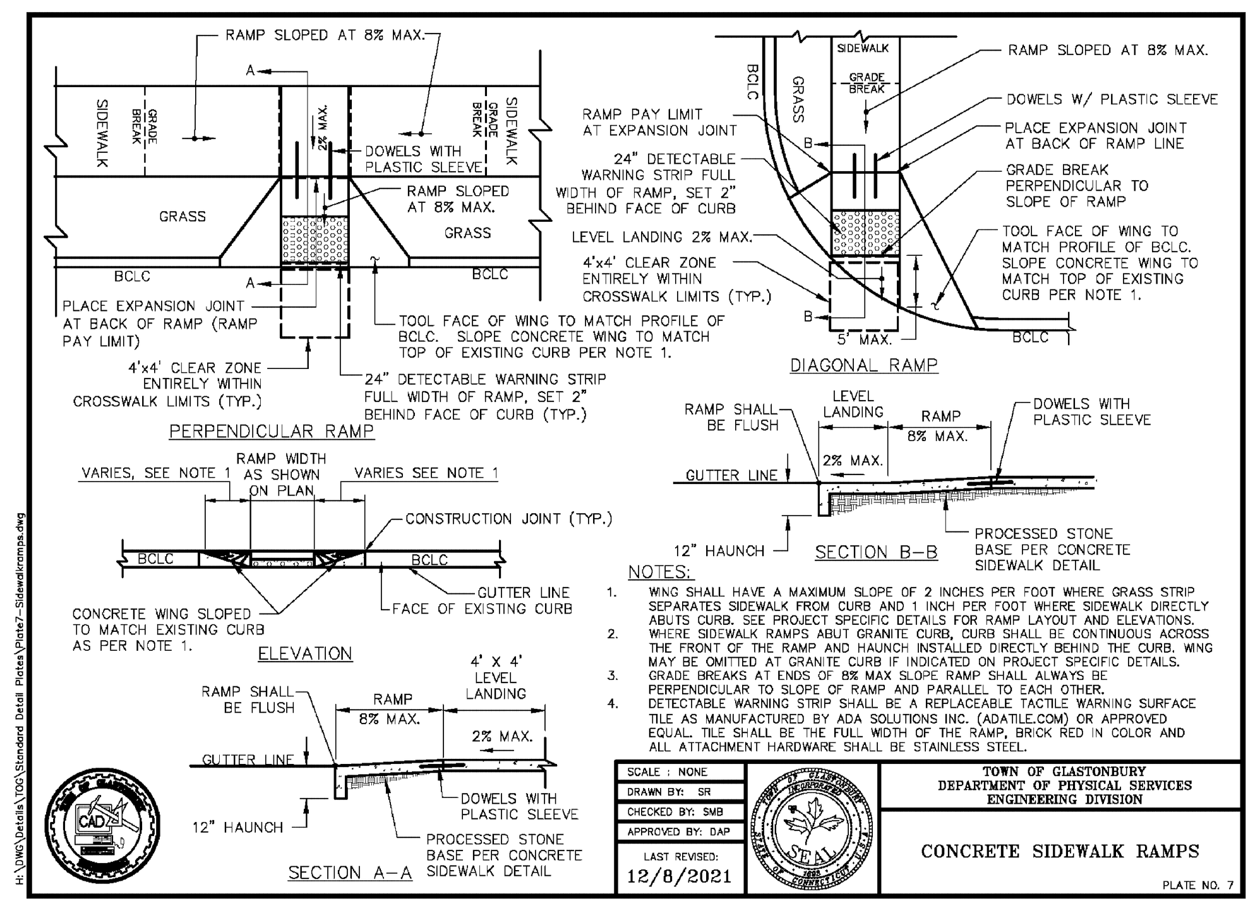


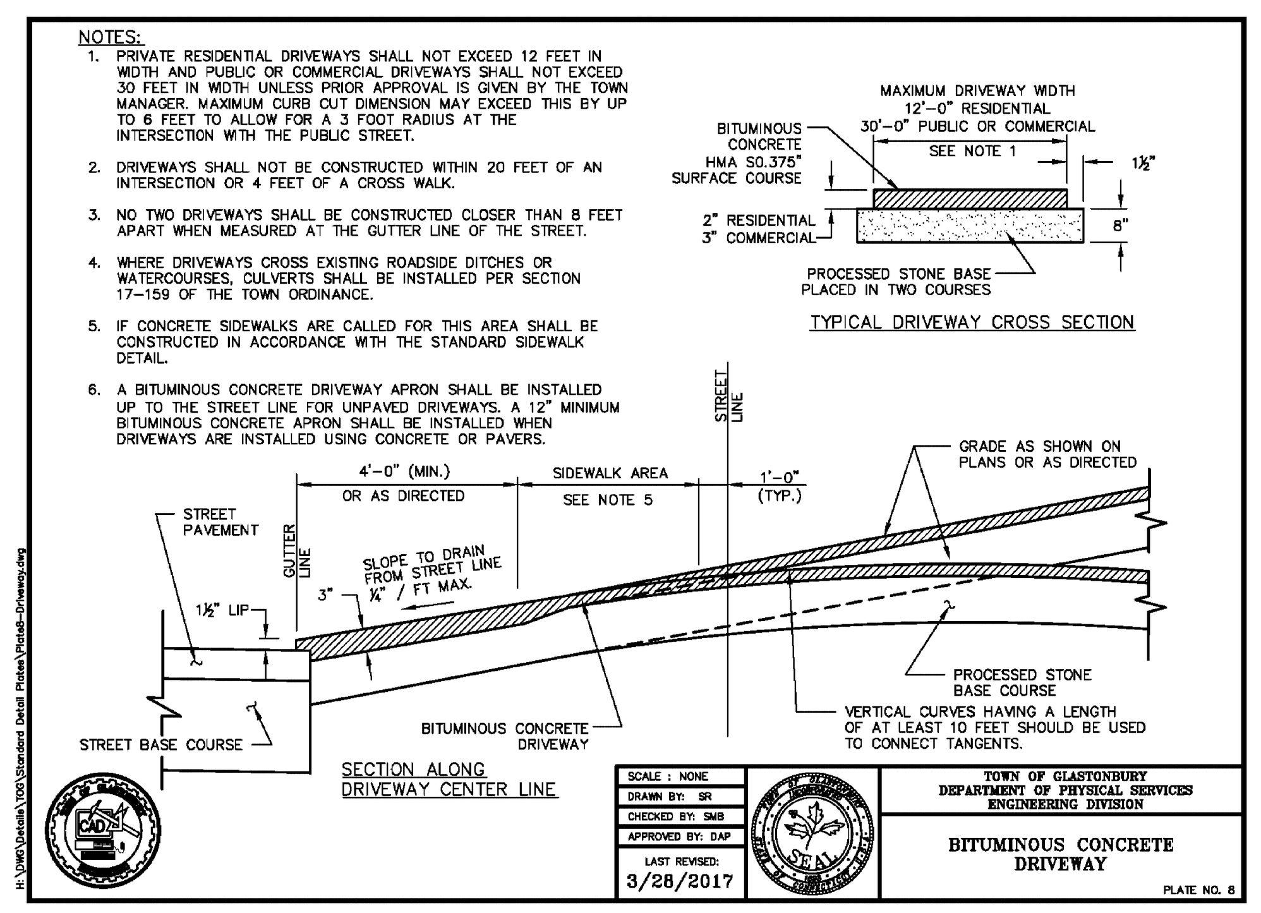


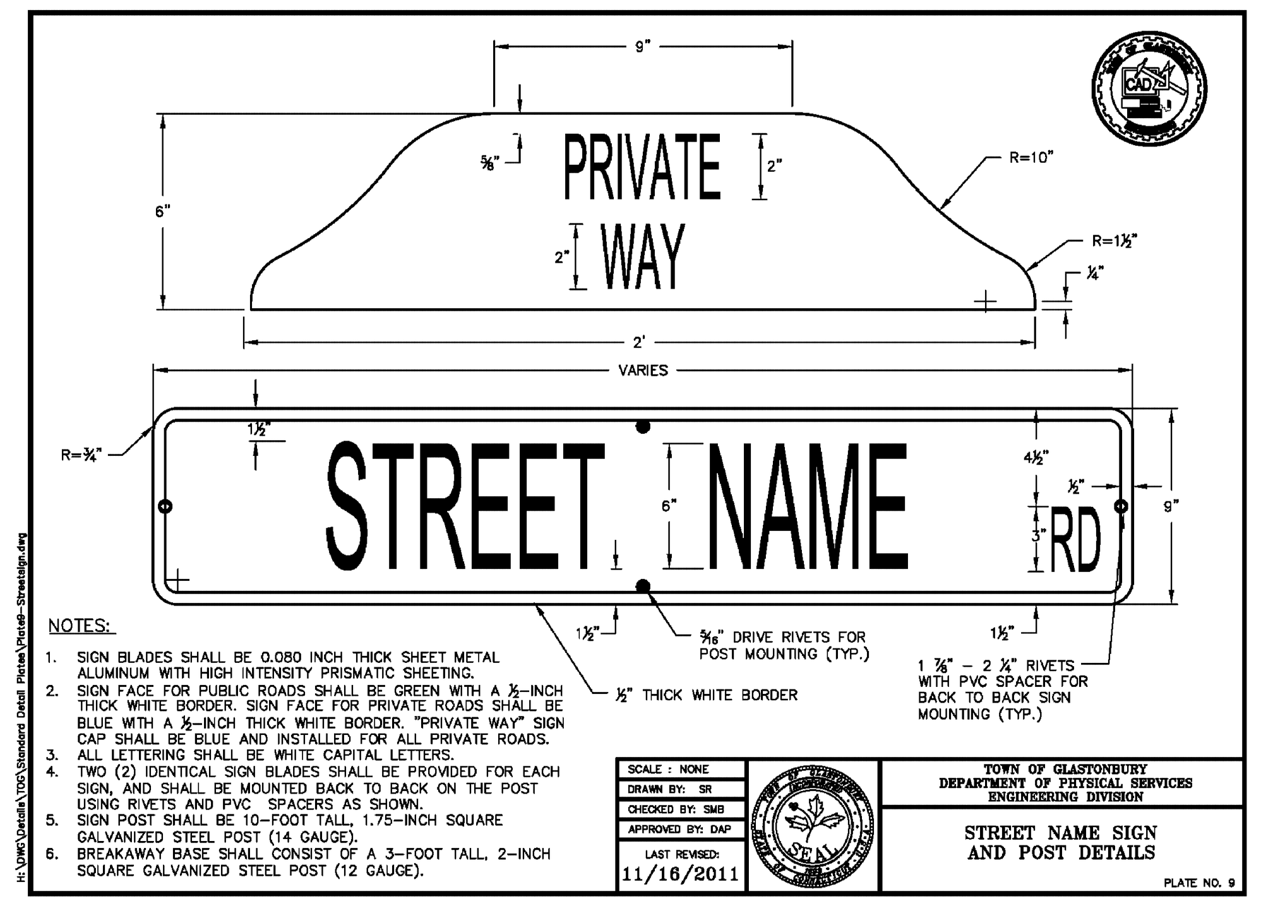


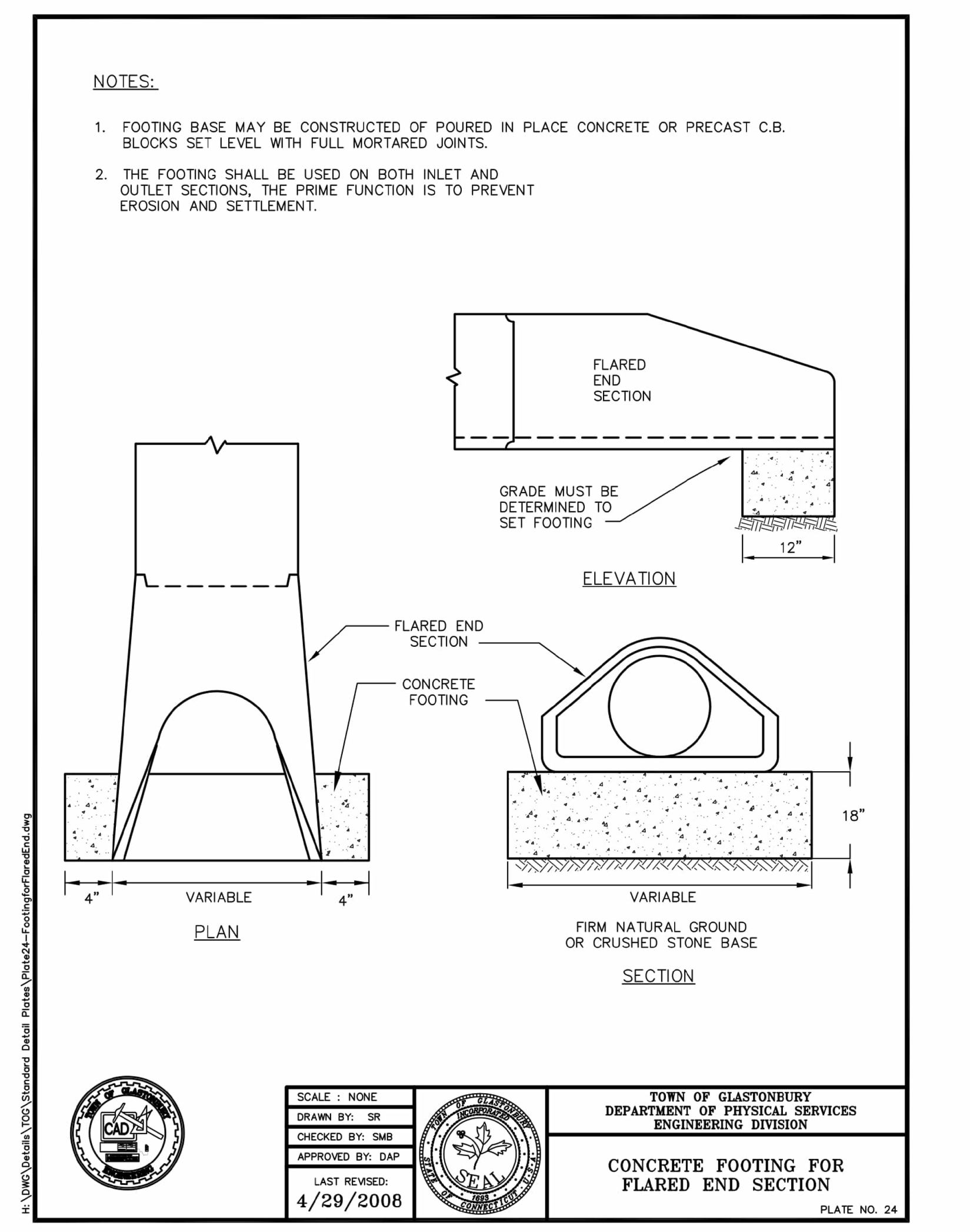


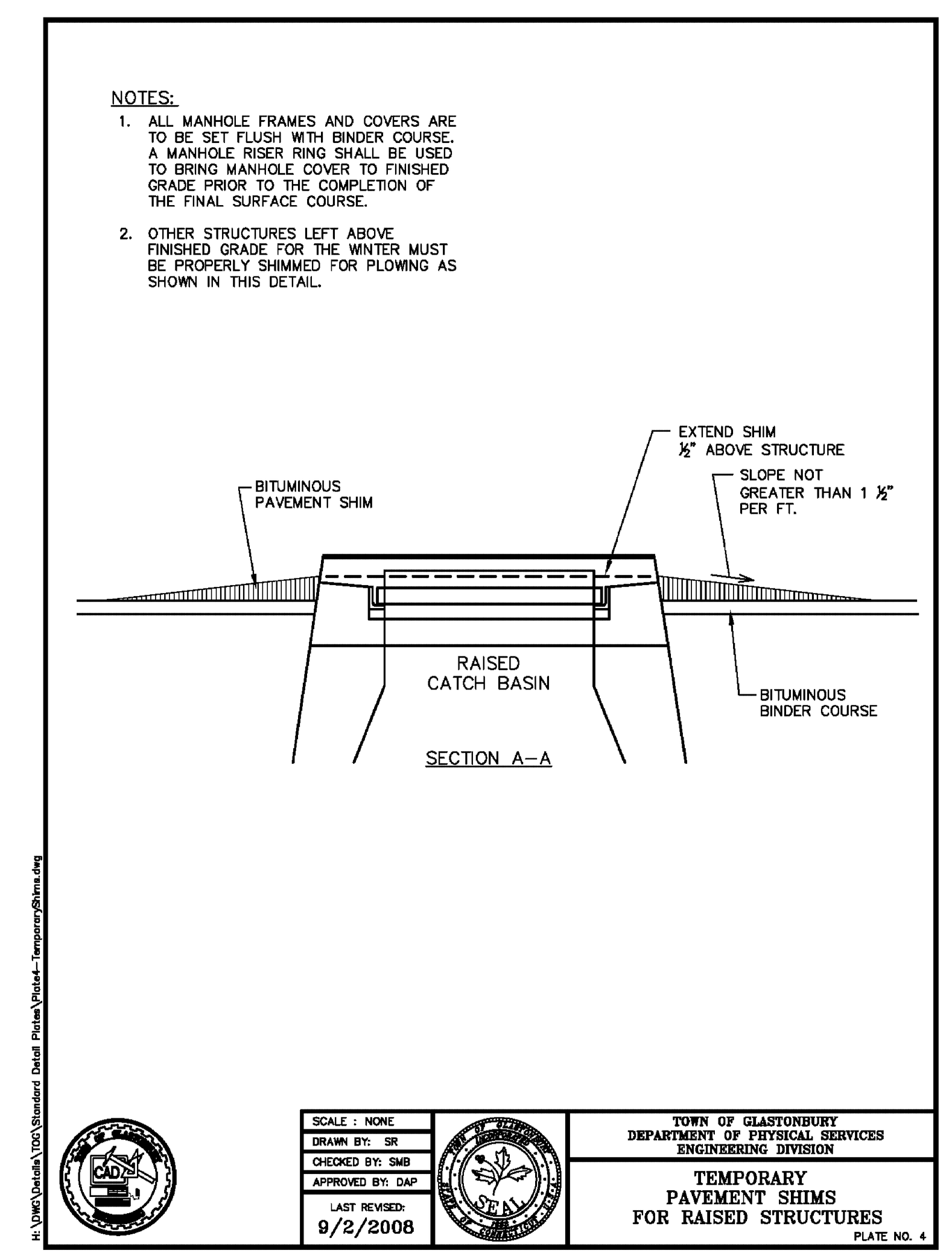
SCOUR HOLE DIMENSIONS						
(IN.)	TYPE 1 (FT.)			TYPE 2 (FT.)		
D	F	B	C	F	B	C
15	0.63	6	8	1.3	10	11
18	0.75	8	9	1.5	12	14
24	1.00	10	12	2.0	16	18
30	1.25	13	15	2.5	20	23
36	1.50	15	18	3.0	24	27
42	1.75	18	21	3.5	28	32
48	2.00	20	24	4.0	32	36
54	2.25	23	27	4.5	36	41
60	2.50	25	30	5.0	40	45

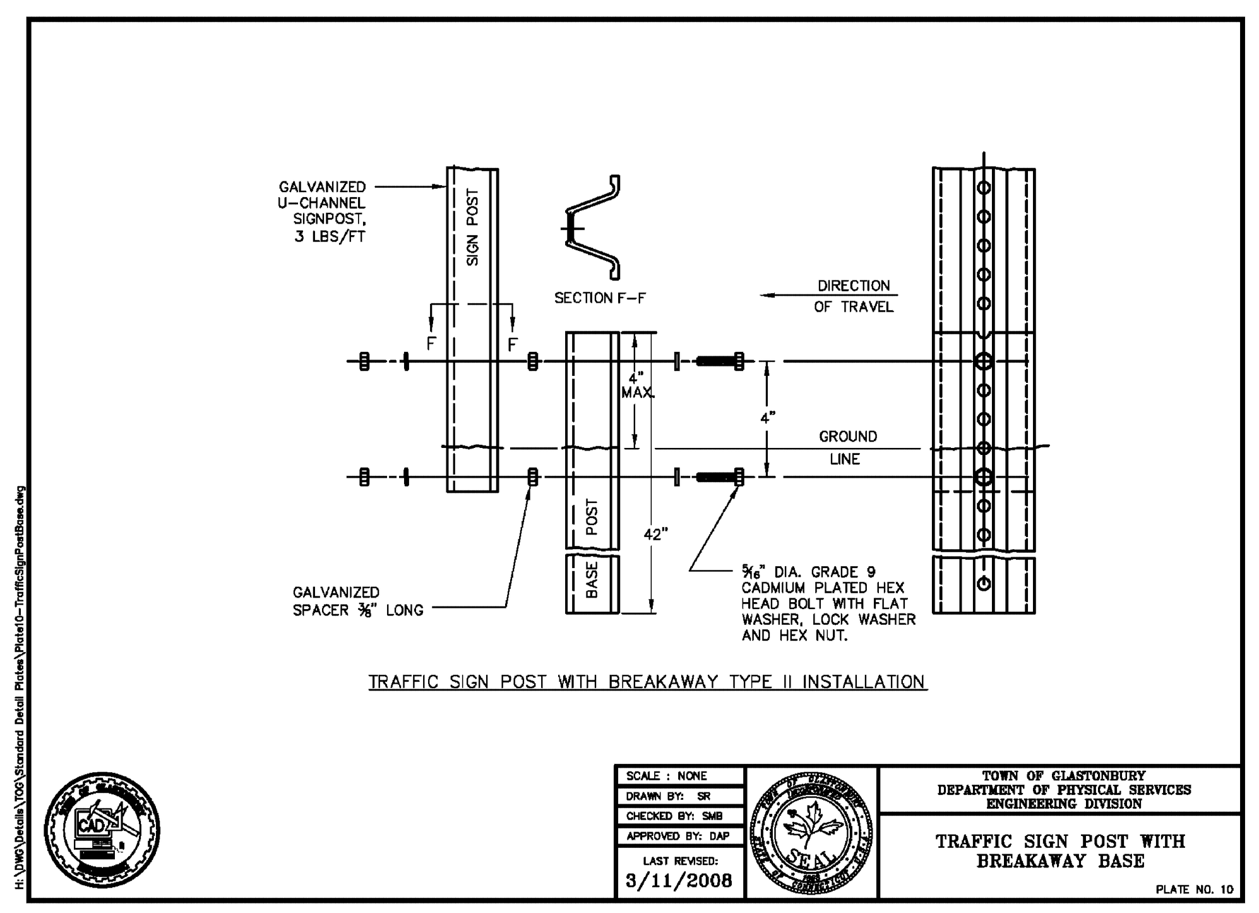


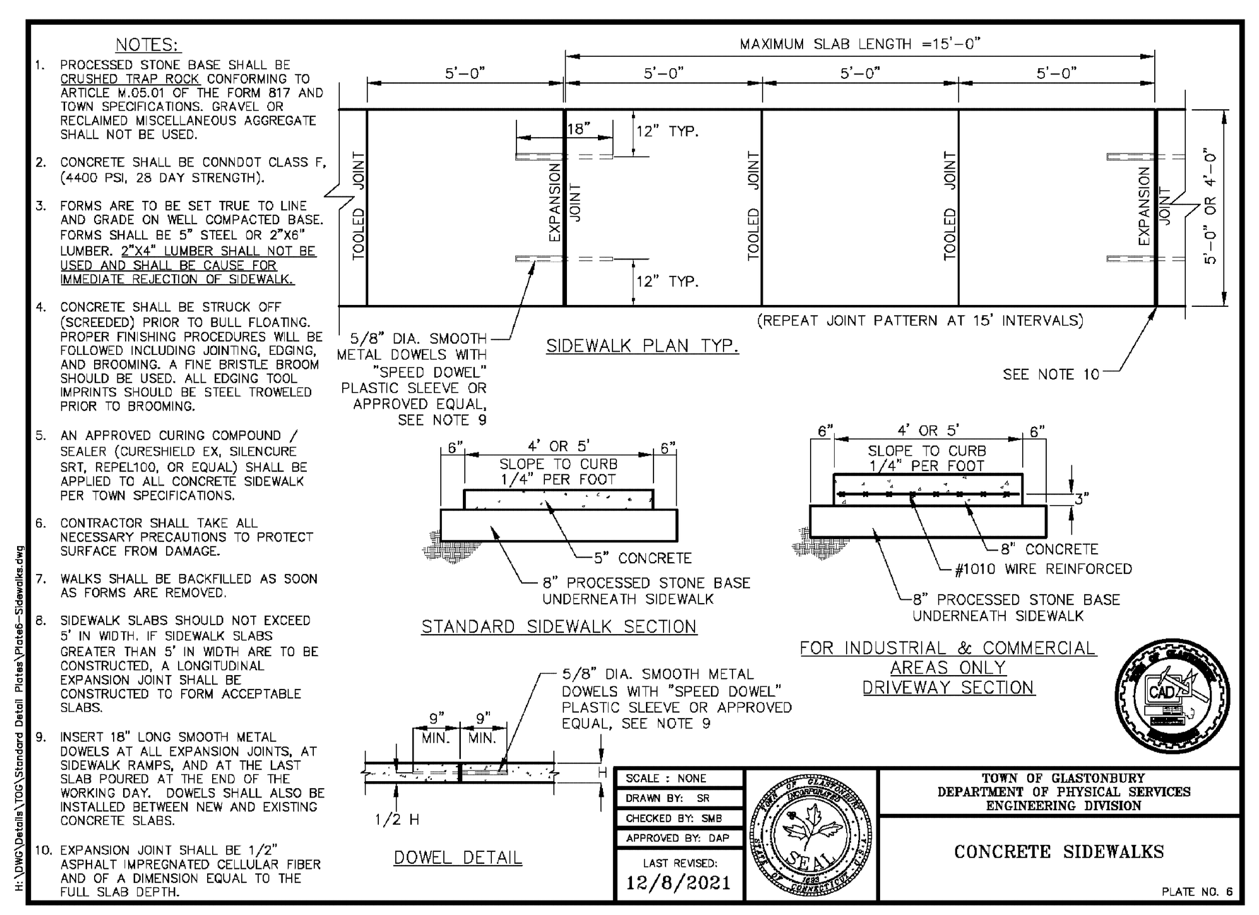


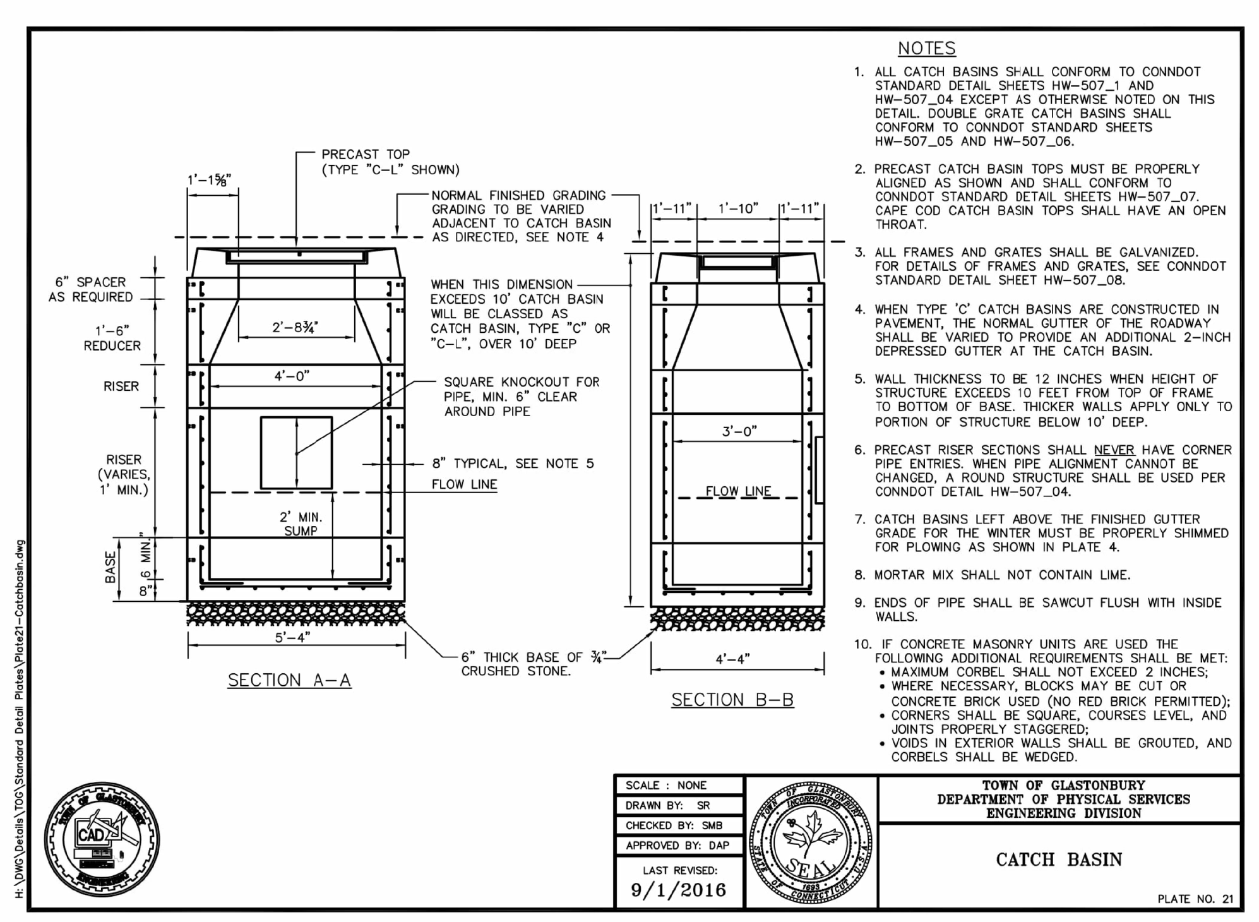


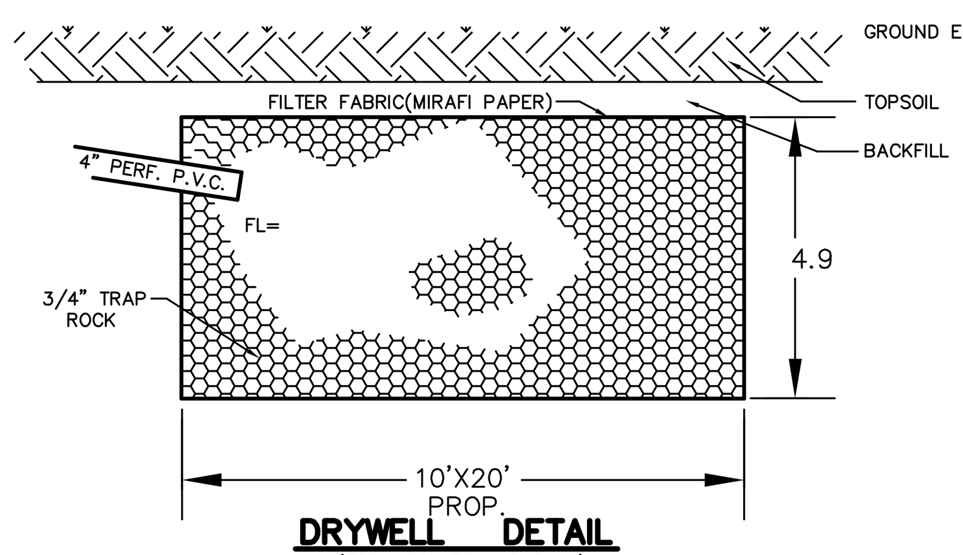




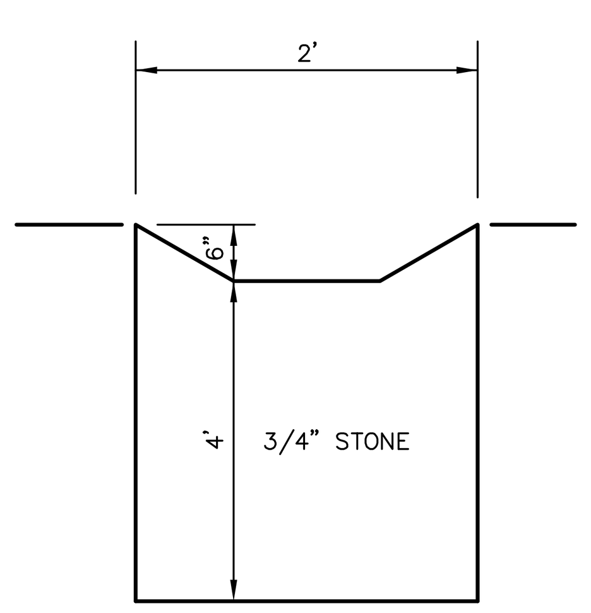




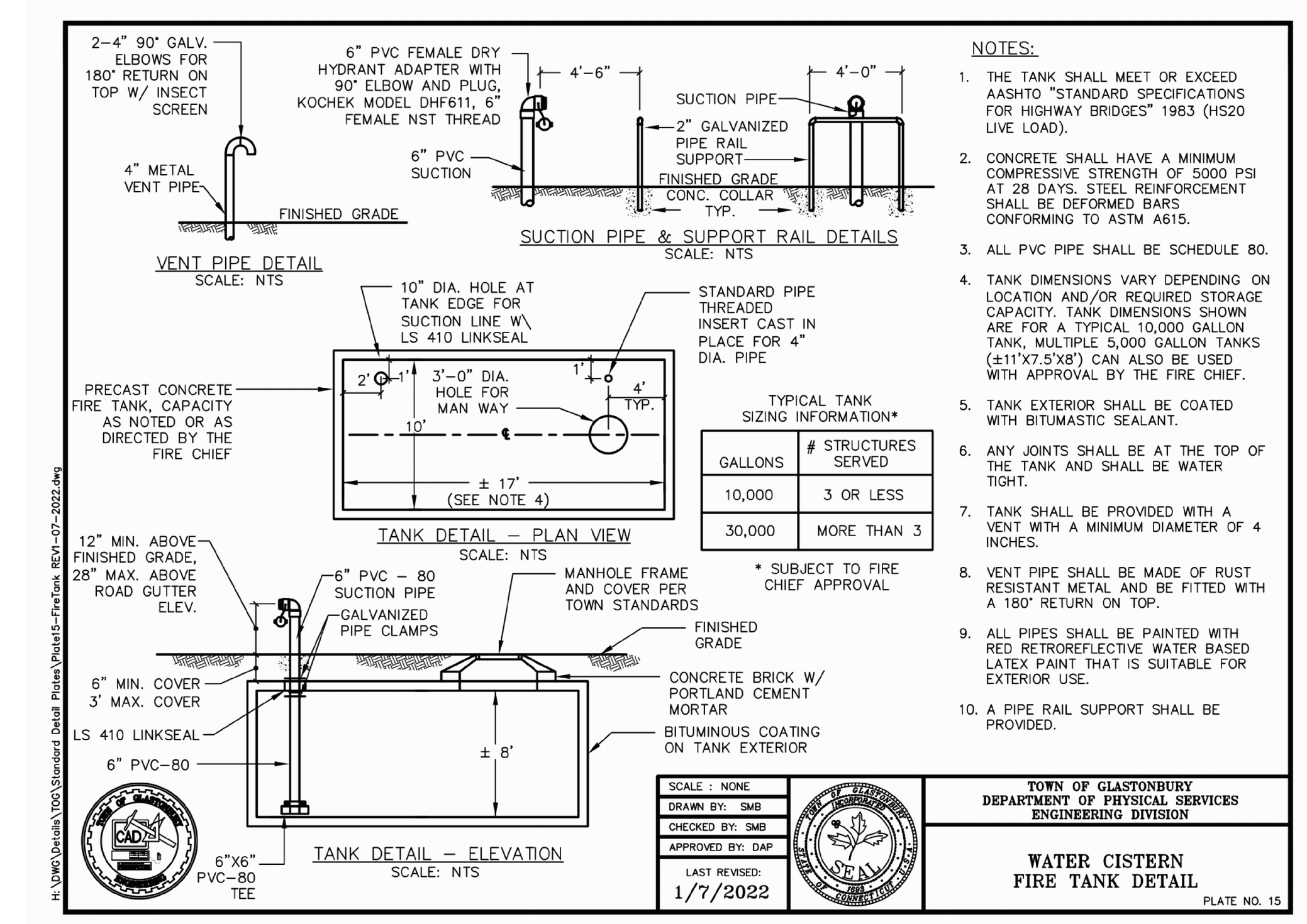




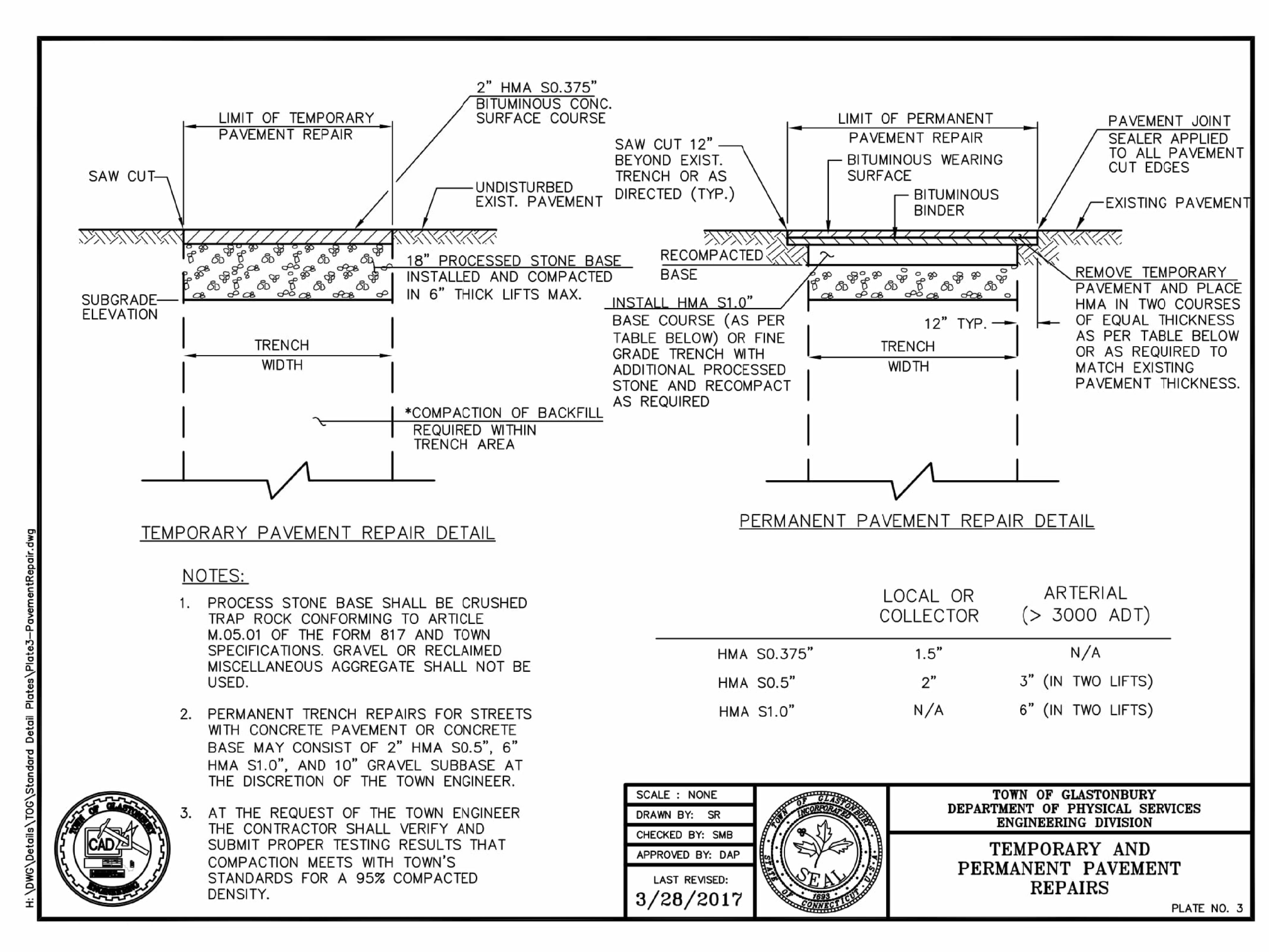
DRYWELL DETAIL
(FOR ROOF DRAINS ONLY)
NOT TO SCALE



INFILTRATION TRENCH
NO SCALE



GALLONS	# STRUCTURES SERVED
10,000	3 OR LESS
30,000	MORE THAN 3



	LOCAL OR COLLECTOR	ARTERIAL (> 3000 ADT)
HMA S0.375"	1.5"	N/A
HMA S0.5"	2"	3" (IN TWO LIFTS)
HMA S1.0"	N/A	6" (IN TWO LIFTS)

GENERAL NOTES

ALL CONSTRUCTION METHODS TO CONFORM TO CONN. D.O.T. FORM 818 AND/OR THE TOWN STANDARD SPECIFICATIONS.

ALL UTILITIES TO BE INSTALLED UNDERGROUND.

THE LOCATION OF ALL EXISTING UTILITIES SHOWN IS APPROXIMATE. THE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THE LOCATION OF EXISTING UTILITIES IN THE FIELD PRIOR TO CONSTRUCTION AND FOR COORDINATING CONNECTION OF PROPOSED AND EXISTING UTILITIES.

ANY UNSUITABLE MATERIAL IN PAVEMENT AREAS TO BE REMOVED AND REPLACED WITH SUITABLE MATERIAL AS DIRECTED BY THE TOWN.

TOWN MAY REQUIRE CHANGES TO THE PLAN TO ADDRESS PROBLEMS THAT MAY RESULT IN THE FIELD.

ALL UNDERGROUND UTILITIES TO BE INSTALLED/DIRECTED BY APPROPRIATE AUTHORITIES.

ALL UNDERGROUND UTILITIES MUST BE INSTALLED BEFORE ROADWAY PAVEMENT.

ALL CATCH BASIN GRATES SHALL BE TYPE A BICYCLE FRIENDLY GRATES.

FOUNDATION DRAINS AND ROOF LEADER INFILTRATOR SYSTEMS SHALL BE DEPICTED ON ALL PLOT PLANS.

ALL LOTS WITH FOOTING DRAINS THAT CONNECT TO CATCH BASINS WILL REQUIRE A "PRIVATE DRAINAGE PERMISSION RELEASE OF CLAIM" WAIVER FROM THE TOWN OF GLASTONBURY ONCE THE ROAD IS FINALLY ACCEPTED.

WARNING: THESE PLANS NOT TO BE USED FOR LOCATION OF UNDERGROUND UTILITIES – CALL BEFORE YOU DIG 1-800-922-4455 TWO WORKING DAYS BEFORE YOU DIG.

TOWN PLAN & ZONING COMMISSION APPROVAL

CROSBY II SUBDIVISION	**RURAL RESIDENCE/GW-1**
SUBDIVISION NAME	ZONE
REJEAN JACQUES	
SUBDIVIDER	
SUBDIVISION APPROVAL DATE	PLAN & ZONING COMMISSION CHAIRMAN
COMPLETION DATE FOR SUBDIVISION IMPROVEMENTS	COMMUNITY DEVELOPMENT DIRECTOR
FILE NO.	TOWN ENGINEER

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MARK W. FRIEND P.E. # 15818

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CIVIL ENGINEERS & LAND SURVEYORS, LLC
81 RANKIN ROAD
GLASTONBURY, CONN. 06033
PHONE (860)-659-0587

GENERAL NOTES & DETAILS
CROSBY II SUBDIVISION
PREPARED FOR
REJEAN JACQUES
GLASTONBURY, CONN

REV. 5-5-23 TOWN STAFF COMMENTS

CK. BY:	MWF
DRW. BY:	BTC
DATE:	2-28-23
SCALE:	NONE
SHEET	9 OF 11
MAP NO.	30-21-1N

LOT 1

TEST PIT #1
DATE: 5-6-21
MATERIAL:
0" – 12" TOPSOIL
12" – 44" FINE SANDY LOAM
44" – 120" COARSE SAND
LEDGE: NONE
MOTTLING: NONE (ROOTS 6'±)
GROUNDWATER: NONE

TEST PIT #2
DATE: 5-6-21
MATERIAL:
0" – 10" TOPSOIL
10" – 40" FINE SANDY LOAM
40" – 144" FINE SAND SOME SILT
LEDGE: NONE
MOTTLING: NONE
GROUNDWATER: NONE

PERC. TEST #1
DATE: 3-23-22
DEPTH: 23"
RATE: 4 MIN./IN.

LOT 2

TEST PIT #3
DATE: 4-27-21
MATERIAL:
0" – 12" TOPSOIL
12" – 28" FINE SANDY LOAM
28" – 156" SAND AND GRAVEL
LEDGE: NONE
MOTTLING: NONE (ROOTS 8'±)
GROUNDWATER: NONE

TEST PIT #4
DATE: 4-27-21
MATERIAL:
0" – 2" LEAF LITTER
2" – 8" TOPSOIL
8" – 20" FINE SANDY LOAM
20" – 156" SAND GRAVEL
LEDGE: NONE
MOTTLING: NONE (ROOTS 8'±)
GROUNDWATER: NONE

TEST PIT #5
DATE: 4-27-21
MATERIAL:
0" – 2" LEAF LITTER
2" – 8" TOPSOIL
8" – 30" FINE SANDY LOAM
30" – 132" FINE SAND
LEDGE: NONE
MOTTLING: NONE (ROOTS 6'±)
GROUNDWATER: NONE

TEST PIT #6
DATE: 4-27-21
MATERIAL:
0" – 9" TOPSOIL
9" – 28" FINE SANDY LOAM
28" – 132" FINE SAND
LEDGE: NONE
MOTTLING: NONE (ROOTS 7'±)
GROUNDWATER: NONE

PERC. TEST #2
DATE: 3-23-22
DEPTH: 23 1/2"
RATE: 6.4 MIN./IN.

PERC. TEST #3
DATE: 3-23-22
DEPTH: 23 1/4"
RATE: < 1 MIN./IN.

LOT 3

TEST PIT #7
DATE: 4-15-21
MATERIAL:
0.0' – 0.3' TOPSOIL
0.3' – 1.2' LIGHT BROWN FINE SAND, GRAVEL
1.2' – 10.2' DARK BROWN SAND, GRAVEL
LEDGE: NONE
MOTTLING: NONE (ROOTS 6.0')
GROUNDWATER: NONE

TEST PIT #8
DATE: 4-15-21
MATERIAL:
0.0' – 0.8' TOPSOIL
0.8' – 1.8' LIGHT BROWN FINE SAND, GRAVEL
1.8' – 9.5' DARK BROWN SAND, GRAVEL
LEDGE: NONE
MOTTLING: NONE (ROOTS 6.0')
GROUNDWATER: NONE

TEST PIT #9
DATE: 4-15-21
MATERIAL:
0.0' – 0.6' TOPSOIL
0.6' – 1.3' LIGHT BROWN FINE SAND, GRAVEL
1.3' – 10.0' DARK BROWN SAND, GRAVEL
LEDGE: NONE
MOTTLING: NONE (ROOTS 6.5')
GROUNDWATER: NONE

TEST PIT #10
DATE: 4-15-21
MATERIAL:
0.0' – 0.7' TOPSOIL
0.7' – 1.5' LIGHT BROWN FINE SAND, GRAVEL
1.5' – 4.4' DARK BROWN COURSE SAND, GRAVEL
4.4' – 9.2' DARK BROWN SAND, GRAVEL
LEDGE: NONE
MOTTLING: NONE (ROOTS 5.5')
GROUNDWATER: NONE

PERC. TEST #4
DATE: 3-23-22
DEPTH: 25 1/2"
RATE: 1.78 MIN./IN.

PERC. TEST #5
DATE: 3-23-22
DEPTH: 26"
RATE: < 1 MIN./IN.

LOT 4

TEST PIT #11
DATE: 4-16-21
MATERIAL:
0" – 2" LEAF LITTER
2" – 6" TOPSOIL
6" – 16" FINE SANDY LOAM
16" – 120" COARSE SAND AND GRAVEL
LEDGE: NONE
MOTTLING: NONE (ROOTS 7'±)
GROUNDWATER: NONE

TEST PIT #12
DATE: 4-16-21
MATERIAL:
0" – 2" LEAF LITTER
2" – 6" TOPSOIL
6" – 16" FINE SANDY LOAM
16" – 136" COARSE SAND GRAVEL
LEDGE: NONE
MOTTLING: NONE (ROOTS 6'±)
GROUNDWATER: NONE

TEST PIT #13
DATE: 4-16-21
MATERIAL:
0" – 3" LEAF LITTER
3" – 8" TOPSOIL
8" – 24" FINE SANDY LOAM
24" – 124" COARSE SAND AND GRAVEL
LEDGE: NONE
MOTTLING: NONE (ROOTS 7'±)
GROUNDWATER: NONE

TEST PIT #14
DATE: 4-16-21
MATERIAL:
0" – 2" LEAF LITTER
2" – 7" TOPSOIL
7" – 18" FINE SANDY LOAM
18" – 134" COARSE SAND & GRAVEL
LEDGE: NONE
MOTTLING: NONE
GROUNDWATER: NONE

PERC. TEST #6
DATE: 3-23-22
DEPTH: 23 1/2"
RATE: 3 MIN./IN.

PERC. TEST #7
DATE: 3-23-22
DEPTH: 26"
RATE: 1.9 MIN./IN.

LOT 5

TEST PIT #19
DATE: 4-19-21
MATERIAL:
0.0' – 0.4' TOPSOIL
0.4' – 3.3' LIGHT BROWN FINE SAND, GRAVEL
3.3' – 12.0' BROWN SAND, GRAVEL
LEDGE: NONE
MOTTLING: NONE (ROOTS 5.0')
GROUNDWATER: NONE

TEST PIT #20
DATE: 4-19-21
MATERIAL:
0.0' – 0.4' TOPSOIL
0.4' – 2.0' LIGHT BROWN FINE SAND, GRAVEL
2.0' – 11.0' DARK BROWN SAND, GRAVEL
LEDGE: NONE
MOTTLING: NONE (ROOTS 6.2')
GROUNDWATER: NONE

TEST PIT #21
DATE: 4-19-21
MATERIAL:
0.0' – 0.3' TOPSOIL
0.3' – 1.1' LIGHT BROWN FINE SAND, LOAM
1.1' – 10.0' BROWN SAND, GRAVEL
LEDGE: NONE
MOTTLING: NONE (ROOTS 6.0')
GROUNDWATER: NONE

TEST PIT #22
DATE: 4-19-21
MATERIAL:
0.0' – 0.5' TOPSOIL
0.5' – 1.5' LIGHT BROWN FINE SAND, GRAVEL
1.5' – 10.5' BROWN SAND, GRAVEL
LEDGE: NONE
MOTTLING: NONE (ROOTS 5.5')
GROUNDWATER: NONE

PERC. TEST #8
DATE: 3-23-22
DEPTH: 20"
RATE: 2.3 MIN./IN.

PERC. TEST #9
DATE: 3-23-22
DEPTH: 20 1/2"
RATE: 2 MIN./IN.

LOT 6

TEST PIT #23
DATE: 4-20-21
MATERIAL:
0.0' – 0.5' TOPSOIL
0.5' – 1.1' LIGHT BROWN FINE SAND
1.1' – 10.5' DARK BROWN SAND, GRAVEL
LEDGE: NONE
MOTTLING: NONE
GROUNDWATER: NONE

TEST PIT #24
DATE: 4-20-21
MATERIAL:
0.0' – 0.5' TOPSOIL
0.5' – 1.3' LIGHT BROWN FINE SAND
1.3' – 11.5' DARK BROWN SAND, GRAVEL
LEDGE: NONE
MOTTLING: NONE
GROUNDWATER: NONE

TEST PIT #25
DATE: 4-20-21
MATERIAL:
0.0' – 0.3' TOPSOIL
0.3' – 1.2' LIGHT BROWN FINE SAND
1.2' – 11.0' DARK BROWN SAND, GRAVEL
LEDGE: NONE
MOTTLING: NONE
GROUNDWATER: NONE

PERC. TEST #10
DATE: 3-24-22
DEPTH: 22 1/2"
RATE: 1.78 MIN./IN.

PERC. TEST #11
DATE: 3-24-22
DEPTH: 25 1/2"
RATE: < 1 MIN./IN.

LOT 7

TEST PIT #26
DATE: 4-20-21
MATERIAL:
0.0' – 0.4' TOPSOIL
0.4' – 1.0' LIGHT BROWN FINE SAND
1.0' – 11.0' DARK BROWN SAND, GRAVEL, SOME COBBLES
LEDGE: NONE
MOTTLING: NONE
GROUNDWATER: NONE

PERC. TEST #12
DATE: 3-24-22
DEPTH: 23"
RATE: 2.17 MIN./IN.

PERC. TEST #13
DATE: 3-24-22
DEPTH: 26 1/2"
RATE: 4 MIN./IN.

ADD. TEST PITS

TEST PIT #15
DATE: 4-14-21
MATERIAL:
0.0' – 0.4' TOPSOIL
0.4' – 1.5' LIGHT BROWN FINE SAND, GRAVEL, SILT
1.5' – 10.0' DARK BROWN SAND, GRAVEL
LEDGE: NONE
MOTTLING: NONE(ROOTS 6.0')
GROUNDWATER: NONE

TEST PIT #16
DATE: 4-14-21
MATERIAL:
0.0' – 0.4' TOPSOIL
0.4' – 1.4' LIGHT BROWN FINE SAND, GRAVEL, SILT
1.4' – 10.5' DARK BROWN SAND, GRAVEL
LEDGE: NONE
MOTTLING: NONE(ROOTS 5.0')
GROUNDWATER: NONE

TEST PIT #17
DATE: 4-14-21
MATERIAL:
0.0' – 0.5' TOPSOIL
0.5' – 1.9' LIGHT BROWN FINE SAND, GRAVEL, SILT
1.9' – 10.0' DARK BROWN SAND, GRAVEL
LEDGE: NONE
MOTTLING: NONE(ROOTS 5.0')
GROUNDWATER: NONE

TEST PIT #18
DATE: 4-14-21
MATERIAL:
0.0' – 0.4' TOPSOIL
0.4' – 1.8' LIGHT BROWN FINE SAND, GRAVEL, SILT
1.8' – 10.0' DARK BROWN SAND, GRAVEL
LEDGE: NONE
MOTTLING: NONE(ROOTS 4.5')
GROUNDWATER: NONE

TEST PIT #25
DATE: 4-20-21
MATERIAL:
0.0' – 0.3' TOPSOIL
0.3' – 1.2' LIGHT BROWN FINE SAND
1.2' – 11.0' DARK BROWN SAND, GRAVEL
LEDGE: NONE
MOTTLING: NONE
GROUNDWATER: NONE

SEPTIC DESIGN

(USE 4 BEDROOM HOUSE)
MLSS CALCULATION NOT REQUIRED
RESTRICTIVE LAYER > 60"

LOT 1 (RESERVE)
PERC.= 10 MIN./IN.(ASSUMED)
E.L.A.= 577.5 S.F.
RESTRICTIVE LAYER= NONE
4' TRENCHES 3 S.F./L.F. = 192.5 L.F.
USE 2 ROWS – 96.3' TRENCHES
USE 3 ROWS – 64.2' TRENCHES

LOT 2
PERC.= 10 MIN./IN.(ASSUMED)
E.L.A.= 577.5 S.F.
RESTRICTIVE LAYER= NONE
4' TRENCHES 3 S.F./L.F. = 192.5 L.F.
USE 2 ROWS – 96.3' TRENCHES
USE 3 ROWS – 64.2' TRENCHES

LOT 3
PERC.= 10 MIN./IN.(ASSUMED)
E.L.A.= 577.5 S.F.
RESTRICTIVE LAYER= NONE
4' TRENCHES 3 S.F./L.F. = 192.5 L.F.
USE 2 ROWS – 96.3' TRENCHES
USE 3 ROWS – 64.2' TRENCHES

LOT 4
PERC.= 10 MIN./IN.(ASSUMED)
E.L.A.= 577.5 S.F.
RESTRICTIVE LAYER= NONE
4' TRENCHES 3 S.F./L.F. = 192.5 L.F.
USE 2 ROWS – 96.3' TRENCHES
USE 3 ROWS – 64.2' TRENCHES

LOT 5
PERC.= 10 MIN./IN.(ASSUMED)
E.L.A.= 577.5 S.F.
RESTRICTIVE LAYER= NONE
4' TRENCHES 3 S.F./L.F. = 192.5 L.F.
USE 2 ROWS – 96.3' TRENCHES
USE 3 ROWS – 64.2' TRENCHES

LOT 6
PERC.= 10 MIN./IN.(ASSUMED)
E.L.A.= 577.5 S.F.
RESTRICTIVE LAYER= NONE
4' TRENCHES 3 S.F./L.F. = 192.5 L.F.
USE 2 ROWS – 96.3' TRENCHES
USE 3 ROWS – 64.2' TRENCHES

LOT 7
PERC.= 10 MIN./IN.(ASSUMED)
E.L.A.= 577.5 S.F.
RESTRICTIVE LAYER= NONE
4' TRENCHES 3 S.F./L.F. = 192.5 L.F.
USE 2 ROWS – 96.3' TRENCHES
USE 3 ROWS – 64.2' TRENCHES

* SEPTIC DESIGN BASED ON 4 BEDROOM HOUSE FOR ILLUSTRATIVE PURPOSES ONLY. ACTUAL HOUSES MAY HAVE MORE BEDROOMS IF SUITABLE.

TOWN PLAN & ZONING COMMISSION APPROVAL

CROSBY II SUBDIVISION — **RURAL RESIDENCE/GW-1**
SUBDIVISION NAME — ZONE

REJEAN JACQUES
SUBDIVIDER

SUBDIVISION APPROVAL DATE
PLAN & ZONING COMMISSION CHAIRMAN
COMPLETION DATE FOR SUBDIVISION IMPROVEMENTS
COMMUNITY DEVELOPMENT DIRECTOR
FILE NO.
TOWN ENGINEER

I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.

MARK W. FRIEND P.E. # 15818

MEGSON, HEAGLE & FRIEND
CIVIL ENGINEERS & LAND SURVEYORS, LLC
81 RANKIN ROAD
GLASTONBURY, CONN. 06033
PHONE (860)-659-0587

SOILS DATA
CROSBY II SUBDIVISION
PREPARED FOR
REJEAN JACQUES
GLASTONBURY, CONN

REV. 5-5-23 TOWN STAFF COMMENTS

CK. BY: MWF
DRW. BY: BTC
DATE: 2-28-23
SCALE: NONE
SHEET 10 OF 11
MAP NO. 30-21-1SD

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Connecticut Department of
ENERGY & ENVIRONMENTAL PROTECTION

79 Elm Street • Hartford, CT 06106-5127 www.ct.gov/deep Affirmative Action/Equal Opportunity Employer

October 5, 2022

Mark Friend
Megson Heagle & Friend Civil Engineers & Land Surveyors, LLC
81 Rankin Rd
Glastonbury, CT 06033
mwf@megsonandheagle.com

NDDB DETERMINATION NUMBER: 202209289

Project: Development of seven residential building lots with individual septic systems and extension of Crosby Rd. by 180 ft. to a permanent cul-de-sac; CROSBY II SUBDIVISION, 539 & 551 MANCHESTER RD, GLASTONBURY, CT

Expiration: October 5, 2024

I have reviewed Natural Diversity Database (NDDB) maps and files regarding this project. According to our records, there are State-listed species (NESA Sec. 26-306) documented nearby the proposed project area.

Timber rattlesnake (*Crotalus horridus*) State Endangered
Eastern box turtle (*Terrapene carolina carolina*) State Special Concern

Timber rattlesnake (*Crotalus horridus*) State Status: Endangered
Rattlesnakes are actively foraging in Connecticut forests between April 1 and October 31. Populations of this reptile have declined dramatically in recent years primarily due to habitat fragmentation and human persecution. The timber rattlesnake is protected by state laws. It is illegal to move, harass, collect, or kill rattlesnakes in Connecticut. ***This is a sensitive species and knowledge of its presence should only be shared as required with individuals directly involved in the project.***

- **Preferably: Harvest and ground disturbance should be restricted to the months of November 1- March 31 to avoid impacts to this species.**
- **Please be advised that encounters may be common during the active period on your site. *Future/ current property owners should be advised and prepared to observed a venomous reptile.***

Eastern box turtle (*Terrapene carolina carolina*) State Status: Special Concern
In Connecticut, these turtles are found in well-drained forest bottomlands and a matrix of open deciduous forests, early successional habitat, fields, gravel pits, and or powerlines. Turtles are dormant between November 1 and April 1 and hibernate in substrate only a few inches from the surface in forested habitat.

- No anticipated impacts if work is conducted between **Nov 1- March 31.**

If work must be conducted during the active season for both species: (April 1- Oct 31);

- Construction workers should be apprised of both species description and possible presence and that any snakes encountered site should not be killed.
- The immediate work area should be scanned for reptiles before starting work using mechanical equipment
- Any reptiles found should be moved out of the way. These animals are protected by law and should never be taken off site.
- Work conducted during early morning and evening hours should occur with special care not to harm basking individuals.
- Exclusionary fencing should be at least 20 in tall and must be secured to and remain in contact with the ground and be regularly maintained (at least bi-weekly and after major weather events) to secure any gaps or openings at ground level that may let animal pass through.
- Silt fences should be removed as soon as the project is completed.

Natural Diversity Database information includes all information regarding critical biological resources available to us at the time of the request. This information is a compilation of data collected over the years by the Department of Energy and Environmental Protection's Bureau of Natural Resources and cooperating units of DEEP, independent conservation groups, and the scientific community. This information is not necessarily the result of comprehensive or site-specific field investigations. Consultations with the NDDB should not be substituted for on-site surveys required for environmental assessments. Current research projects and new contributors continue to identify additional populations of species and locations of habitats of concern, as well as, enhance existing data. Such new information is incorporated in the NDDB as it becomes available.

Please contact me if you have any questions (shannon.kearney@ct.gov). Thank you for consulting with the Natural Diversity Database and continuing to work with us to protect State-listed species.

Sincerely,

/s/ Shannon B. Kearney
Wildlife Biologist

TOWN PLAN & ZONING COMMISSION APPROVAL

CROSBY II SUBDIVISION	**RURAL RESIDENCE/GW-1**
SUBDIVISION NAME	ZONE
REJEAN JACQUES	
SUBDIVIDER	
SUBDIVISION APPROVAL DATE	PLAN & ZONING COMMISSION CHAIRMAN
COMPLETION DATE FOR SUBDIVISION IMPROVEMENTS	COMMUNITY DEVELOPMENT DIRECTOR
FILE NO.	TOWN ENGINEER

I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.

MARK W. FRIEND P.E. # 15818

MEGSON, HEAGLE & FRIEND
CIVIL ENGINEERS & LAND SURVEYORS, LLC
81 RANKIN ROAD
GLASTONBURY, CONN. 06033
PHONE (860)-659-0597

GENERAL NOTES & CONDITIONS OF APPROVAL

CROSBY II SUBDIVISION

PREPARED FOR

REJEAN JACQUES

GLASTONBURY, CONN

REV. 5-5-23 TOWN STAFF COMMENTS

CK. BY:	MWF
DRW. BY:	BTC
DATE:	2-28-23
SCALE:	NONE
SHEET	11 OF 11
MAP NO. 30-21-1COA	

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