



STAFF REPORT

Staff Contact: Gary Haynes, Planner

OFFICE OF COMMUNITY DEVELOPMENT

Tel: (860) 652-7510
Email: planning@glastonbury-ct.gov

Application #: 4333	Submission Date: April 18, 2023
Meeting Date: May 16, 2023	Date of Receipt: April 18, 2023
Agenda Item: Public Hearing #1	Application Type: Section 6.11 Accessory Apartment Special Permit

Applicant: Brian and Jill Fitzgerald

Owner: Brian and Jill Fitzgerald

Proposal:
BZR Section 6.11

Proposal Address:
78 Hubbard Street

Zone: Residence A

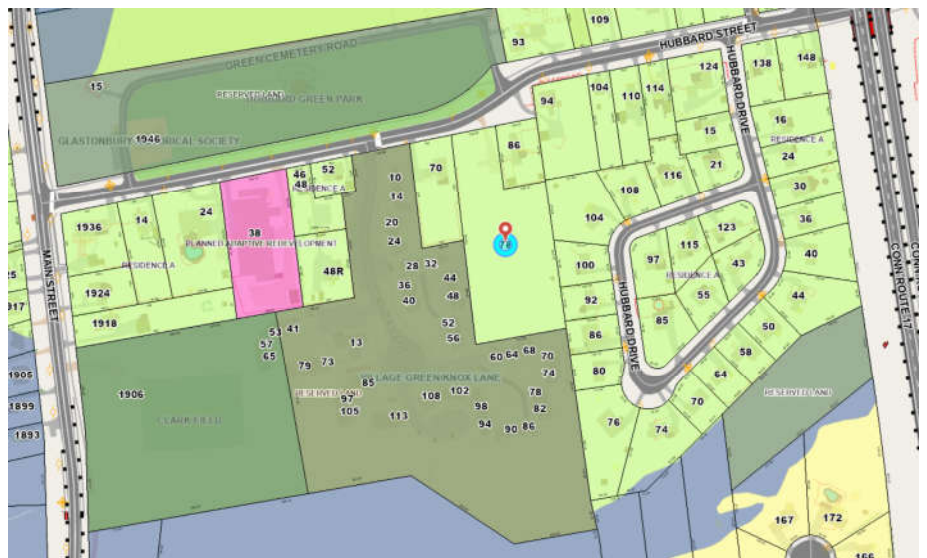
Existing Land Use:
Undeveloped Lot

Attached for Review:

- Draft motion
- Department Memos
- Applicant Packet / Plan Set

Proposal

- The applicant proposes a 640-square-foot, one-bedroom, semi-detached accessory apartment over the garage on the north side of the new single-family house at 78 Hubbard Street.
- Ingress and egress will be through an internal stair with access to the front and rear of the building.
- The apartment will consist of a kitchen and dining area, bedroom and full bath.
- The exterior design of the apartment if fully integrated into the overall design of the home.
- The related building permit was submitted on September 6, 2022 and is currently under review pending Commission approval.



Site location and surrounding land uses

Analysis

Per the goals of Section 6.11, the project would expand the Town's variety of housing types including efficient and affordable housing for singles, couples, single parents with one child, elderly and new households.

The proposal meets the Standards of Section 6.11.3 in terms of size (less than 800SF), number of bedrooms (no more than 1), and kitchen facilities. The site provides 3 garage parking spaces, sufficient for the use. The proposal also meets the all of the design standards for a semi-detached apartment in terms of compatibility and scale.

The proposal has been reviewed and approved by the Health Department.

TOWN PLAN AND ZONING COMMISSION

SECTION 12.9 MINOR CHANGE

APPLICANT/OWNER: ALEXANDER GONDEK,
JR.

88 TRYON STREET
SOUTH GLASTONBURY CT, 06073

FOR: 275 DUG ROAD

MOVED, that the Town Plan and Zoning Commission approve the application of Alexander Gondek, Jr. for a Section 12.9 Minor Change to addition accessory uses of food trucks and outdoor consumption –275 Dug Road (Lot W-159 Main Street) (Rural Residence (RR) & Residence AA Zones), Lot N-7 Dug Road (RR Zone) and Lot W-159A Main St (RR Zone) – all proposed activity is within Rural Residence Zone – in accordance with the following plans:

To be quoted

And:

1. Compliance with standards contained in a report from the Fire Marshal, File #21-028, plans reviewed 07-12-2021.
2. Adherence to:
 - a. The Health Department Director's memorandum dated July 16, 2021
 - b. The Police Chief's memorandum dated July 15, 2021.
3. Any music shall be acoustic and non-amplified.
4. There shall be no music after 8:30 pm.
5. All customers are required to leave the site at 9pm.
6. There shall be no more than two food trucks on site at any time.
7. Brewery operating hours are limited to Tuesday through Friday from 4-8 PM, and Saturday and Sunday from 1-6 PM
8. Private events are permitted at the brewery, and may overlap with Brewery operating hours, subject to the following conditions:
 - a. Indoor private events are limited to 100 participants.
 - b. Outdoor private events are limited to 150 participants.
9. There shall be no more than 10 public events per calendar year, with each event to be scheduled at least 7 days in advance with the Office of Community Development.

APPROVED: TOWN PLAN & ZONING COMMISSION
AUGUST 10, 2021

ROBERT J. ZANLUNGO JR., CHAIRMAN



Town of Glastonbury
Health Department

Memo

May 5, 2023

To: Shelley Caltagirone, Director Planning and Land Use Services

Fr: Wendy S. Mis, Director of Health

Re: 78 Hubbard Street
Accessory Apartment

This office has reviewed plans for the above-referenced property with the dwelling under construction showing an accessory apartment with one sleeping area.

Approval with respect to CT Public Health Code and Glastonbury Code of Ordinances is forwarded for Commission consideration.


GLASTONBURY POLICE DEPARTMENT

TO: TOWN PLAN AND ZONING COMMISSION
FROM: MARSHALL S. PORTER, POLICE CHIEF
SUBJECT: APPLICATION OF BRIAN AND JILL FITZGERALD
SECTION 6.11 ACCESSORY APARTMENT SPECIAL PERMIT
DATE: 05/05/23



Members of the Police Department have reviewed the application of Brian and Jill Fitzgerald for a Section 6.11 Accessory Apartment Special Permit.

The police department has no objection to this proposal so long as the lot is numbered in accordance with Town Codes.



Marshall S. Porter
Chief of Police

May 5, 2023

MEMORANDUM

To: Town Plan and Zoning Commission
Shelley Caltagirone, Director of Planning and Land Use Services

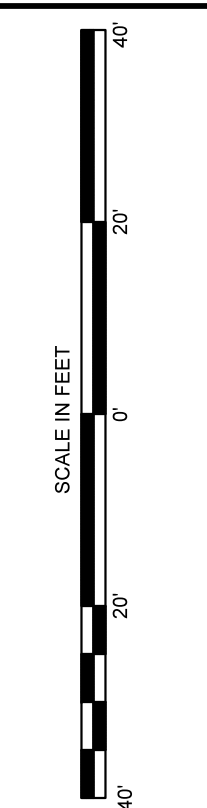
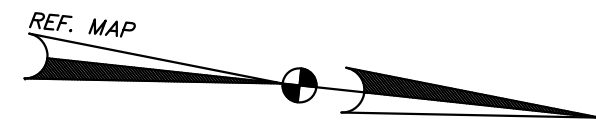
From: Daniel A. Pennington, Town Engineer / Manager of Physical Services



Re: 78 Hubbard Street
Section 6.11 Accessory Apartment Special Permit

The Engineering Division has reviewed the plans for the proposed accessory apartment located at 78 Hubbard Street and has the following comment:

1. This property will be subject to a supplement sewer assessment from the WPCA as a result of the proposed improvements which will be assessed at the time of building permit application. The applicant should contact the Engineering Division for additional information.



DUTTON ASSOCIATES, LLC
 LAND SURVEYORS AND CIVIL ENGINEERS
 67 EASTERN BOULEVARD
 GLASTONBURY, CONNECTICUT 06033
 TEL: 860-633-9407 FAX: 860-633-8951
 EMAIL: JIMD@DUTTONASSOCIATESLLC.COM

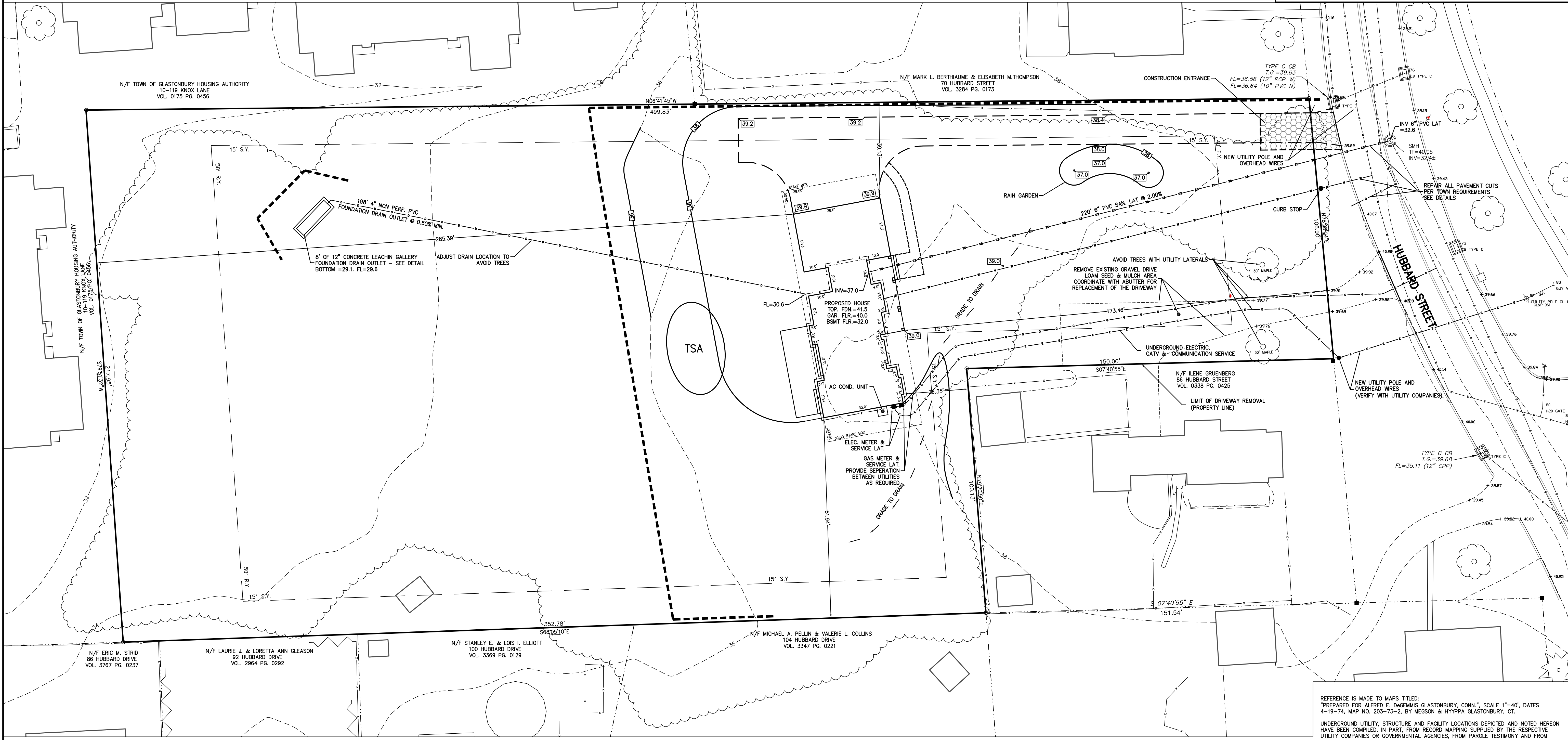
JOHN R. MARTUCCI PE XXXXX

JAMES W. DUTTON LS 70074

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**ZONING LOCATION SURVEY
 PLOT PLAN
 78 HUBBARD STREET
 PREPARED FOR
 BRIAN & JILL FITZGERALD**
 GLASTONBURY, CONNECTICUT

REVISIONS:
08-04-2022 - UPDATE
08-08-2022 - UTILITIES
DATE: 07/26/2022
SCALE: 1" = 20'
SHEET 1 of 2
A-22-043



REFERENCE IS MADE TO MAPS TITLED:
 "PREPARED FOR ALFRED E. DAGEMIS GLASTONBURY, CONN.", SCALE 1"=40', DATES 4-19-74, MAP NO. 203-73-2, BY MEGSON & HYPPIA GLASTONBURY, CT.
 UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROLE TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO THE UNDERSIGNED. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455 OR 811.

THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.

THE TYPE OF SURVEY PERFORMED IS A LIMITED PROPERTY/BOUNDARY, ZONING LOCATION SURVEY.

THE BOUNDARY DETERMINATION CATEGORY IS RESURVEY.

THIS SURVEY CONFORMS TO HORIZONTAL ACCURACY CLASS A-2.

THIS SURVEY CONFORMS TO TOPOGRAPHIC ACCURACY CLASS T-0.

THIS SURVEY CONFORMS TO VERTICAL ACCURACY CLASS V-2.

THIS MAP WAS PREPARED FOR THE PURPOSE OF ZONING COMPLIANCE DETERMINATION AND SITE DESIGN.

NO ZONING VIOLATIONS EXIST WITH REGARD TO THE PROPOSED HOUSE LOCATION OR SITE.

TOPOGRAPHIC INFORMATION, UTILITY LOCATIONS AND ELEVATIONS SHOWN PER TOWN OF GLASTONBURY AERIAL PHOTOGRAMMETRY UPDATED BY LIMITED FIELD SURVEY.

"TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON" THIS MAP IS NOT VALID UNLESS IT BEARS THE LIVE SIGNATURE AND SEAL OF THE UNDERSIGNED SURVEYOR.

ZONING TABLE - RESIDENCE A ZONE

ITEM	REQUIRED /ALLOWED	PROPOSED
LOT AREA	15,000 S.F.	91,233 S.F.
LOT FRONTAGE	100 FT.	106.9 FT.
FRONT YARD	40 FT.	173.46 FT.
SIDE YARD	15 FT.	81.94 FT./39.13FT.
REAR YARD	50 FT.	255.39 FT.
BLDG COVERAGE	15% (13,685 S.F.)	2,528 S.F. (2.77%)
BLDG HEIGHT	2-1/2 ST/35.5 FT.	LESS THAN 35.5 FT.

DEVELOPER:
 BRIAN & JILL FITZGERALD
 308 OLD FARMS ROAD
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 203-558-0815
 BFITZER1963@GMAIL.COM



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FITZGERALD
RESIDENCE
89 HUBBARD STREET
GLASTONBURY, CT 06033

FITZGERALD RESIDENCE

AREA SUMMARY	
AREA	GSF
LIVABLE SPACE	
FIRST FLOOR	1,519
SECOND FLOOR	762
COMMON SPACE	150
ADU	640
TOTAL	3,081
OTHER SPACES	
GARAGE	854
FRONT PORCH	244
REAR PATIO	387

GENERAL NOTES

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(268 = 2'-6" x 6'-8")



Building Code Summary

R302.5.1 Min. Garage Door Rating 20 Minute	R302.5.1 Garage Separation 5/8" Type X From all habitable rooms above the Garage.	R305.1 Minimum Height 7'-6" (50% of rm.)	R305.1.1 Basements 6'-8"	R301.2(4) Wind Design Speed 110 MPH	R301.5 Uninhab. Attic Live Load 20 PSF	R301.5 Guard/Handrail Live Load 200 PSF	R301.5 Stair Live Load 40 PSF
R302.5.1 Garage Separation 1/2"	R305.1 Exception 1 From all habitable rooms above the Garage.	R305.1 Exception 2 For rooms with sloped ceilings 50% of floor area must have a ceiling height of at least 7'-0" and none of the floor area may have a ceiling height of less than 5'-0".	R305.1 Exception 1 Bathrooms shall have a minimum ceiling height of 6'-8" inches. A shower or tub equipped with a showerhead shall have a minimum ceiling height of 6'-8".	R301.2(5) Ground Snow Load 30 PSF	R301.5 Habitable Attic Live Load 30 PSF	R301.5 Habitable Room Live Load 40 PSF	R301.5 Sleeping Room Live Load 30 PSF
R310.1.1 Minimum opening area 4.4 SF (Net)	R310.1.2 Min. opening dims 24"x20"	R311.2 Egress Doors Required 2	R311.2.1 Min. Interior Door Dims. 30" x 6'-6"	R311.2(6) Terminate Infestation Moderate/Heavy	R301.5 Balcony/Deck Live Load 40 PSF	R307.1 Space Required at Toilet 15" from side	R307.1 Minimum Shower Size 30" x 30"
Exception 1 5.0 SF (Net) at grade floor.	R311.2.1 Min. Bath Door Dims. 28" x 6'-6"	R311.2.1 Min. Egress Door Height 78"	R311.2.1 Min. Stair Headroom 6'-8"	R307.1 Space Required at Toilet 21" from front	R307.1 Space Required at Vanity 21" from front	R307.1 Space Req. at Shower 24" at opening	R308.4.1 Glazing in Windows (see below)
Exception 2 3.3 SF at double-hung window	R311.2.2 Min. Egress Door Height 78"	R311.2.2 Min. Egress Door Height 78"	R311.2.2 Min. Stair Headroom 6'-8"	R312.1.1 Where Required 30" (height diff.)	R312.1.2 Exception 1 34" at open sides of stairs.	R312.1.2 Exception 2 34" - 38" when used as handrail.	Hazardous Location If... 1. >9 SF 2. bottom <18" from floor 3. top >36" above floor 4. walking surface within 36" (all must be met)
R314.3 Smoke Alarm Location (see below)	R314.5.1 Heat Det. Placement center in space	R315.1 Location (see below)	R401.3 Minimum Drainage Slope 6" in first 10'	R402.2 Min. Concrete Strength 2,500 PSI BSM walls, IDNs and other not exposed to weather.	R402.2 Min. Concrete Strength 3,000 PSI Basement walls, foundations and other exposed to weather.	R403.1.1 Footing Width 12"	R403.1.6 Foundation Anchorage 7" embedment
Shall be installed... 1. In each bedroom. 2. Outside each sleeping area. 3. On each story, including basements and habitable attics. 4. at base of stairs. 5. For ea. 1,200 SF area.	R404.1.2(1) Min. Horizontal Reinf. 1#4 w/in top 12"	R404.1.2(1) Min. Horizontal Reinf. 1#4 mid-height	R402.2 Min. Concrete Strength 2,500 PSI Basement slabs and interior slabs on grade, except garage.	R403.1.3.2 Slab w/ Footing Reinf. 1#4 top + bot.	R403.1.6 Foundation Anchorage 1/2" @ 48" O.C.	R403.1.6 Foundation Anchorage min. 2 per plate	R403.1.6 Foundation Anchorage max. 12" from end
R403.3(1) Min. Footing Depth 12"	R404.1.2(2,3,4) Min. Vertical Reinf. (see table)	R806.2 Minimum Vent Area 1/150	R402.1.1 Max. Skylight U-Factor 0.55	R403.1.6 Foundation Anchorage 1/2" @ 48" O.C.	R402.1.1 Min. Wood Wall R-Value 20 or 13+5	R402.1.1 Min. Slab R-Value/Depth 10, 2'-0"	
R403.3(2) Air-Freezing Index 1,500		R806.3 Min. Ventil/Insl. Clearance 1"	R402.1.1 Max. Glazing SHGC NR	R402.1.1 Min. Floor R-Value 30	R402.1.1 Min. Wood Wall R-Value 20 or 13+5	R402.1.1 Min. Crawl Space R-Value 15/19	
		R807.1 Min. Attic Access 22" x 30"	R402.1.1 Min. Ceiling R-Value 49	R402.1.1 Min. Bsm. Wall R-Value 15/19			

Energy Code Summary

Reference Energy Code Connecticut State Energy Conservation Code	R301.1 Climate Zone 5A	R401.2 New Con. HERS Ratings 70 or less less than 3,000 SF	R402.1.1 Max. Skylight U-Factor 0.55	R402.1.1 Min. Wood Wall R-Value 20 or 13+5	R402.1.1 Min. Slab R-Value/Depth 10, 2'-0"
International Energy Code International Energy Conservation Code, 2015 Edition	R401.2 New Con. HERS Ratings 65 or less more than 3,000 SF	R402.1.1 Max. Window U-Factor 0.32	R402.1.1 Max. Glazing SHGC NR	R402.1.1 Min. Floor R-Value 30	R402.1.1 Min. Crawl Space R-Value 15/19
			R402.1.1 Min. Ceiling R-Value 49	R402.1.1 Min. Bsm. Wall R-Value 15/19	

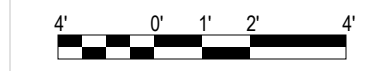
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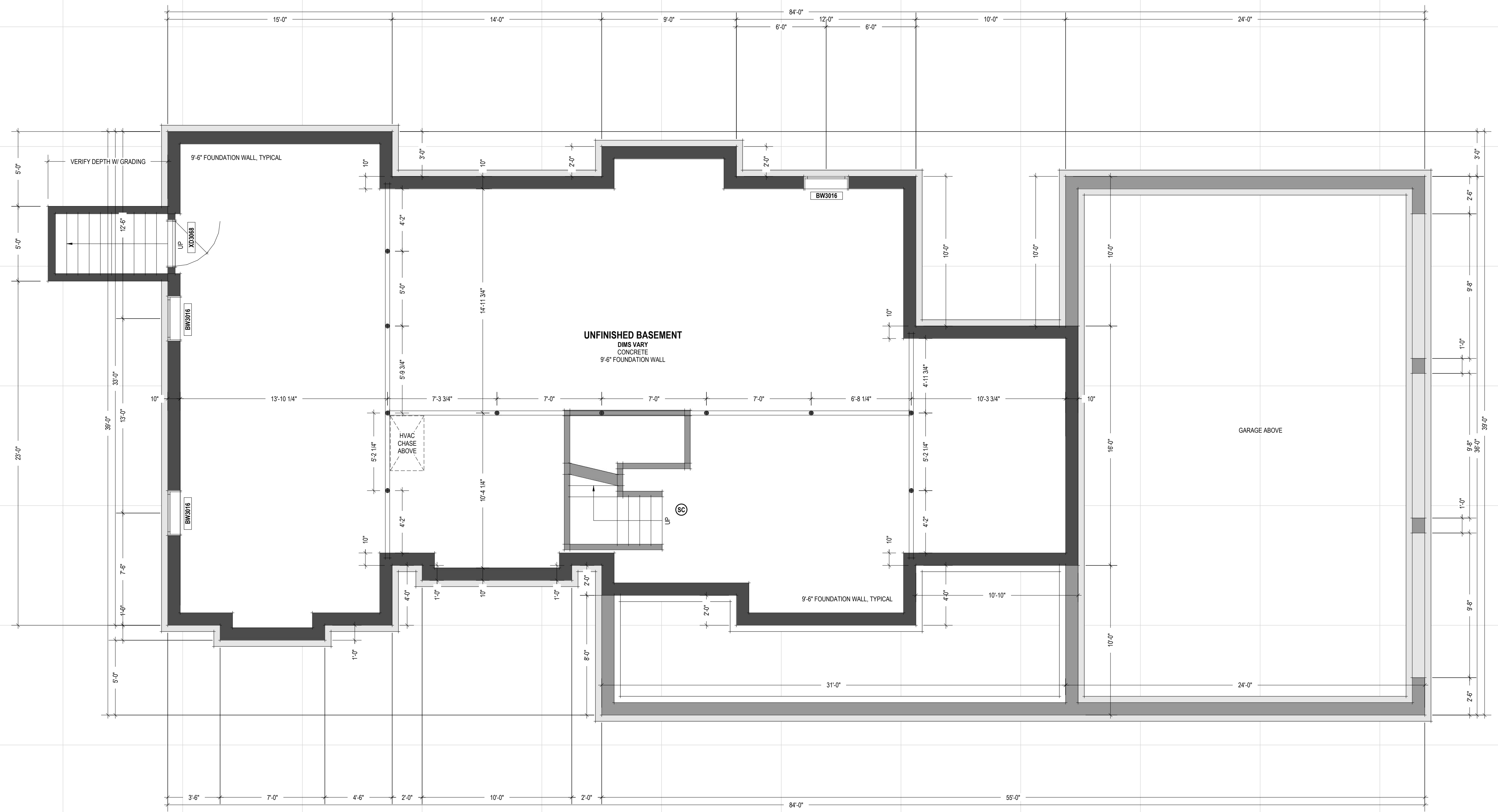
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AREA	GSF
LIVABLE SPACE	
FIRST FLOOR	1,519
SECOND FLOOR	762
COMMON SPACE	160
ADU	640
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GARAGE	854
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REAR PATIO	387

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FOUNDATION CONSTRUCTION
 - 12" CONCRETE WALL
 - FOUNDATION MINIMUM 4'-0" BELOW GRADE
 - MINIMUM 3,000 PSI AIR-ENTRAINED CONCRETE
 - WALL FOOTING ON UNDISTURBED SOIL
 - STEEL REINFORCING AS REQUIRED BY CODE
 - DAMPROOFING AT EXTERIOR FACE OF CONCRETE WALL UP TO GRADE
 - 2" R-10 EPS RIGID INSULATION
 - FABRIC-WRAPPED PERFORATED PVC PERIMETER DRAIN TO DAYLIGHT OR DRYWELL
 - WALL FOOTING SHALL SLOPE NO MORE THAN 1:3 WITH 45 DEGREE STEPS AT BOTTOM OF FOOTING

SLAB CONSTRUCTION
 - 4" CONCRETE SLAB
 - 6" WELDED WIRE FABRIC REINFORCING AT MID-POINT OF SLAB
 - MINIMUM 3,000 PSI AIR-ENTRAINED CONCRETE
 - 6 MIL POLYETHYLENE VAPOR RETARDED, JOINTS LAPPED MIN. 6"
 - 3/4" CRUSHED STONE, MINIMUM 6" DEEP

COLUMN CONSTRUCTION
 - LVL BEAM FRAME BELOW FLOOR JOISTS, REFER TO FRAMING PLANS FOR SIZE
 - 3 1/2" CONCRETE-FILLED LALLY COLUMN WITH 3/4" PLATES TOP/BOTTOM
 - 36" x 36" x 18" CONCRETE FOOTING
 - MINIMUM 3,000 PSI AIR-ENTRAINED
 - FOOTING ON UNDISTURBED SOIL
 - STEEL REINFORCING AS REQUIRED BY CODE
 - REFER TO PLANS FOR EXACT LOCATIONS

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FITZGERALD

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AREA SUMMARY

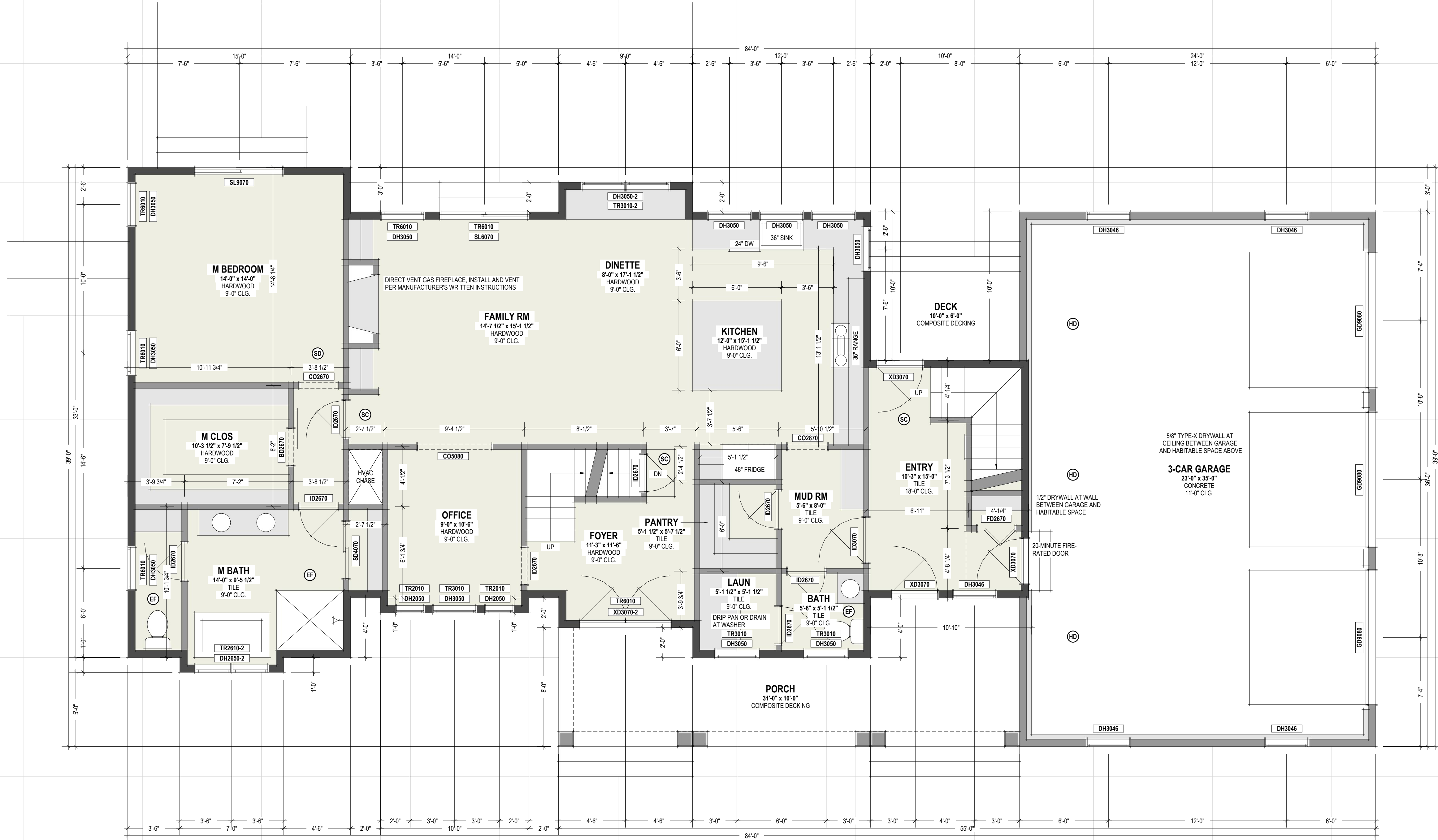
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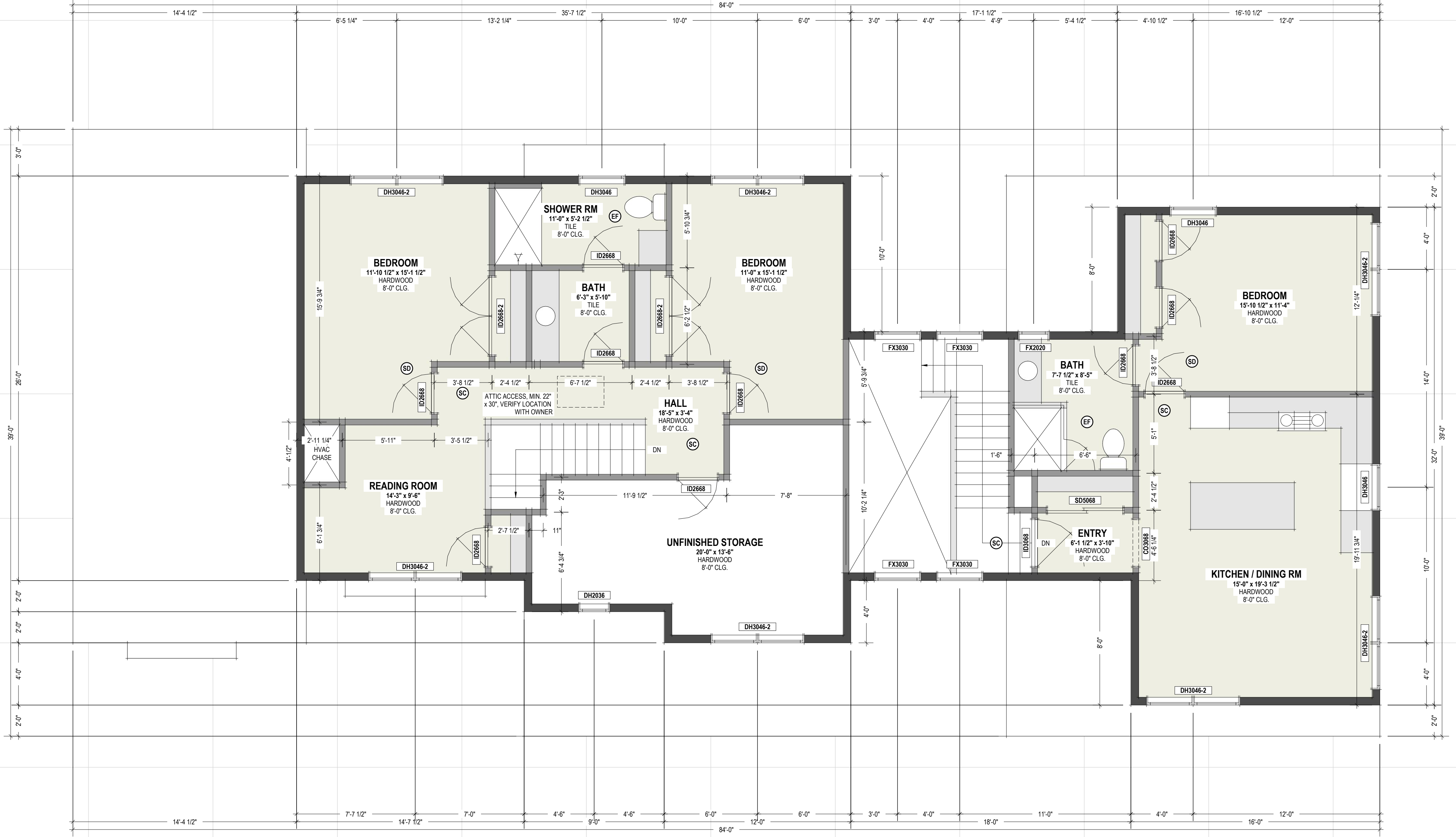


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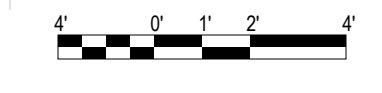
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FITZGERALD
RESIDENCE
80 HUBBARD STREET
GLASTONBURY, CT 06033

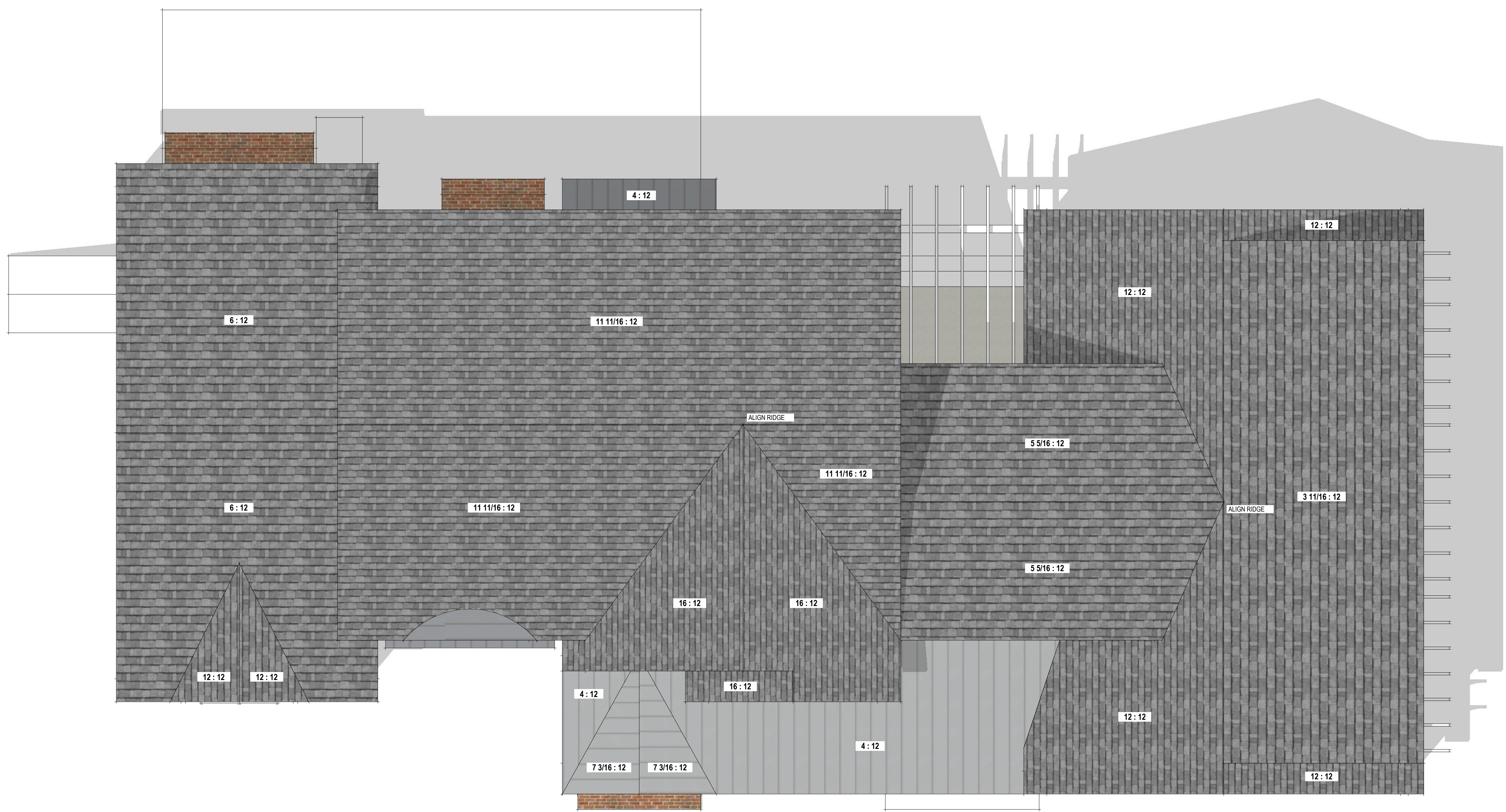
AREA SUMMARY	
AREA	GSF
LIVABLE SPACE	
FIRST FLOOR	1,519
SECOND FLOOR	762
COMMON SPACE	150
ADU	640
TOTAL	3,081
OTHER SPACES	
GARAGE	854
FRONT PORCH	244
REAR PATIO	387

GENERAL NOTES

- ALL EXTERIOR WALLS ARE NOMINAL 2x6 @ 16" O/C UNLESS OTHERWISE NOTED
- ALL INTERIOR WALLS ARE NOMINAL 2x4 @ 16" O/C UNLESS OTHERWISE NOTED
- INTERIOR WALL BETWEEN GARAGE AND BUILDING IS NOMINAL 2x6 @ 16" O/C
- DIMENSIONS TO EXTERIOR WALLS ARE TO FACE OF FRAMING OR EXTERIOR FACE OF FOUNDATION WALL
- DIMENSIONS TO INTERIOR WALLS ARE TO CENTER OF WALL FRAMING

LEGEND

- (SC) SMOKE/CO DETECTOR
- (CO) CO DETECTOR
- (SD) SMOKE DETECTOR
- (HD) HEAT DETECTOR
- (EF) EXHAUST FAN
- INSULATED 2x6 WALL
- 2x4 WALL
- SHELF / COUNTER
- EXISTING TO REMAIN
- ID### INTERIOR DOOR
- XD### EXTERIOR DOOR
- SD### SLIDING DOOR
- PD### POCKET DOOR
- GD### GARAGE DOOR
- CO### CASED OPENING
- DH### DBL HUNG WIN
- ### DIM IN FEET/INCHES
(2688 = 2'-6" x 6'-8")



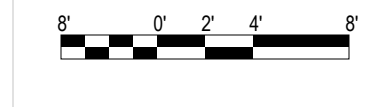
- ROOF CONSTRUCTION**
- CONTINUOUS SOFFIT VENT
 - 30 YEAR ROOF SHINGLES, COLOR BY OWNER
 - ICE + WATER SHIELD
 - 15LB FELT UNDERLAYMENT
 - 5/8" EXTERIOR GRADE OSB SHEATHING
 - ROOF RAFTERS OR TRUSSES, REFER TO FRAMING PLANS FOR DETAILS
 - R-49 INSULATION, LAPPED ABOVE EXTERIOR WALL
 - 1/2" DRYWALL WITH SKIM COAT PLASTER
 - PAINT, COLOR BY OWNER
 - ALUMINUM DRIP EDGE
 - ALUMINUM GUTTERS AND DOWNSPOUTS
 - COMPOSITE FASCIA
- EAVE CONSTRUCTION**
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 - CONTINUOUS SOFFIT VENT
- CEILING CONSTRUCTION**
- CEILING JOISTS OR TRUSSES, REFER TO FRAMING PLANS FOR DETAILS
 - 1x3 STRAPPING @ 16" OC
 - 1/2" DRYWALL WITH SKIM COAT PLASTER
 - PAINT, COLOR BY OWNER

USE OF THESE DRAWINGS
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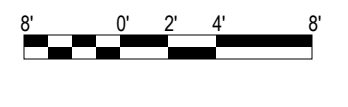
A110

DESIGN PLANS

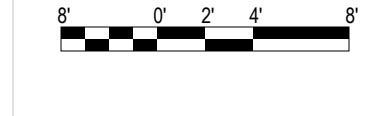
1 FRONT ELEVATION
A200
1/8" = 1'-0"



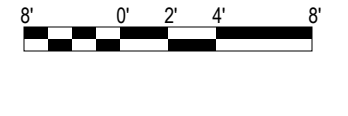
2 REAR ELEVATION
A200
1/8" = 1'-0"



3 LEFT ELEVATION
A200
1/8" = 1'-0"



4 RIGHT ELEVATION
A200
1/8" = 1'-0"



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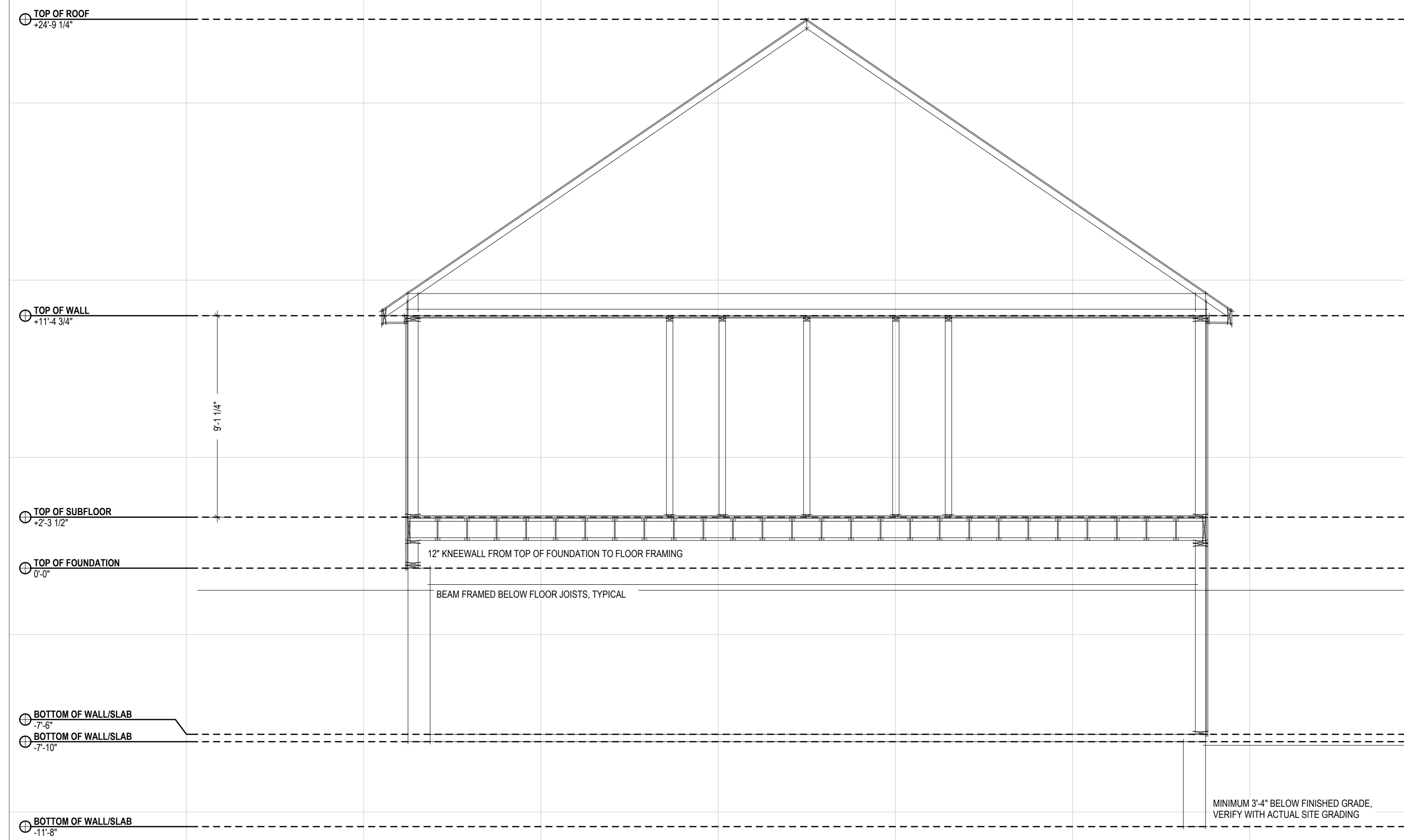
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A200

DESIGN PLANS

08/26/2022
730007 KR 36x24 07

1 BUILDING SECTION
A301 1/4" = 1'-0"



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 - ALL INTERIOR WALL ARE 2x4 @ 16" O.C. UNLESS OTHERWISE NOTED.
 - INTERIOR WALLS BETWEEN GARAGE AND HOUSE ARE 2x6 @ 16" O.C.
 - DIMENSIONS ARE TO EXTERIOR FACE OF STUD AT EXTERIOR WALL, CENTER OF WALL AT INTERIOR WALL AND FACE OF CONCRETE AT FOUNDATION WALLS.
- FRAMING NOTES**
- ALL FRAMING SHALL PRODUCE TRUE, TIGHT AND CONSISTENT JOINTS
 - FRAMING MEMBERS SHALL BE ASSEMBLED IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS
 - INSTALL GALVANIZED METAL FRAMING CONNECTORS
 - CAREFULLY SELECT FRAMING MEMBERS TO BE FREE FROM KNOTS AND DEFECTS
 - DO NOT SHIM SILLS, JOISTS, STUDS, TRIMMERS, HEADERS, LINTELS OR OTHER COMPONENTS
 - USE ONLY TREATED LUMBER FOR ALL LUMBER IN CONTACT WITH CONCRETE
 - INSTALL SOLID BLOCKING AND BRIDGING BELOW ALL BEARING PARTITIONS WHERE BEARING WALL IS BOTH PARALLEL AND PERPENDICULAR TO JOISTS
 - INSTALL BLOCKING AS REQUIRED BY OTHER TRADES
- ROOF CONSTRUCTION**
- CONTINUOUS SOFFIT VENT
 - 30 YEAR ROOF SHINGLES, COLOR BY OWNER
 - ICE + WATER SHIELD
 - 15LB FELT UNDERLAYMENT
 - 5/8" EXTERIOR GRADE OSB SHEATHING
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 - 1x3 STRAPPING @ 16" OC
 - 1/2" DRYWALL WITH SKIM COAT PLASTER
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- EXTERIOR WALL CONSTRUCTION**
- REFER TO ELEVATIONS FOR SIDING
 - CONTINUOUS HOUSE WRAP, TAPE JOINTS
 - 7/16" EXTERIOR GRADE OSB SHEATHING
 - 2x6 WALL STUDS @ 16" O.C.
 - R-21 INSULATION
 - 1/2" DRYWALL WITH SKIM COAT PLASTER
 - PAINT, COLOR BY OWNER
- FLOOR CONSTRUCTION**
- FINISH FLOORING, REFER TO PLANS
 - 3/4" 1x4 PLYWOOD, GLED AND NAILED
 - FLOOR JOISTS, REFER TO FRAMING PLANS
 - R-30 INSULATION
 - 1x3 STRAPPING @ 16" OC
 - 1/2" DRYWALL WITH SKIM COAT PLASTER
 - PAINT, COLOR BY OWNER
- FOUNDATION CONSTRUCTION**
- 12" CONCRETE WALL
 - FOUNDATION MINIMUM 4'-0" BELOW GRADE
 - MINIMUM 3,000 PSI AIR-ENTRAINED CONCRETE
 - WALL FOOTING ON UNDISTURBED SOIL
 - STEEL REINFORCING AS REQUIRED BY CODE
 - DAMPROOFING AT EXTERIOR FACE OF CONCRETE WALL UP TO GRADE
 - 2" R-10 EPS RIGID INSULATION
 - FABRIC-WRAPPED PERFORATED PVC PERIMETER DRAIN TO DAYLIGHT OR DRYWELL
 - WALL FOOTING SHALL SLOPE NO MORE THAN 1:3 WITH 45 DEGREE STEPS AT BOTTOM OF FOOTING
- SLAB CONSTRUCTION**
- 4" CONCRETE SLAB
 - 6" WELDED WIRE FABRIC REINFORCING AT MID-POINT OF SLAB
 - MINIMUM 3,000 PSI AIR-ENTRAINED CONCRETE
 - 6 MIL POLYETHYLENE VAPOR RETARDED, JOINTS LAPPED MIN. 6"
 - 3/4" CRUSHED STONE, MINIMUM 6" DEEP
- COLUMN CONSTRUCTION**
- LVL BEAM, FRAME BELOW FLOOR JOISTS, REFER TO FRAMING PLANS FOR SIZE
 - 3 1/2" CONCRETE-FILLED LALLY COLUMN WITH 3/4" PLATES TOP/BOTTOM
 - 36" x 36" x 18" CONCRETE FOOTING
 - MINIMUM 3,000 PSI AIR-ENTRAINED
 - FOOTING ON UNDISTURBED SOIL
 - STEEL REINFORCING AS REQUIRED BY CODE
 - REFER TO PLANS FOR EXACT LOCATIONS



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