

Ten Copies of this Application are Required

(10 hard copies of everything you're submitting - collated)

ZONING BOARD OF APPEALS APPLICATION

REFERRED TO TP&Z \_\_\_\_\_

Applicant Chris Peck

Street 52 Ripley Rd. Town Glastonbury

Phone 860-670-5478 E-mail CPeck@StreamlineAeratics.com

Legal Representative (if any) NA

Address \_\_\_\_\_

E-mail \_\_\_\_\_

Date Filed & Fee Paid 4/3/23  
Date Hearing Scheduled 5/1/23  
Sign Deposit Paid on \_\_\_\_\_  
Sign Taken on \_\_\_\_\_  
Photo of Sign Rec'd on \_\_\_\_\_

Legal Property Owner Christopher + Dawn Peck

Exact Location of Property Involved 52 Ripley Rd.  
Street # \_\_\_\_\_ Street \_\_\_\_\_

If No Street #, Indicate Assessor's Key # \_\_\_\_\_

ZONE A  
 Residential  
 Commercial

Under the provisions of Section 8-7, Connecticut General Statutes, the undersigned hereby appeals:

- For relief (a variance) from the restrictions imposed in Section(s) \_\_\_\_\_ of the Glastonbury Zoning Regulations.
- For a special exception as provided in Section(s) \_\_\_\_\_ of the Glastonbury Zoning Regulations.
- From an adverse ruling by \_\_\_\_\_ the Building Official, Glastonbury.
- For the approval required by the State of Connecticut agency named below.

Describe in detail (in the space provided on page 2 or on a separate sheet) a description of the project. State why this violates the Section (s) of the Glastonbury Zoning Regulations cited above. If requesting a variance, be specific in describing the aspect of the project which does not meet the requirement, and the amount of relief (variance) you are requesting. Include the nature of the hardship which compels this request.

If requesting a special exception, be specific in the description of the project. Include the special exception conditions the project will meet, as specified in the Regulation.

We / I hereby depose and say that all the above statements contained in any papers submitted herewith are true to the best of my knowledge and belief.

Chris Peck

Applicant

3-24-2023  
Date

Owner, If Not Applicant  
(Required)

\_\_\_\_\_ Date

SEE PERTINENT INFORMATION ON NEXT PAGE

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**Include TEN (10) collated copies of everything submitted including the application and a map of the property involved.** Locate all structures thereon and their relation to buildings on adjacent property and to the highway with approximate distances therefrom. Floor plans of buildings which you desire to erect or to alter must be provided in sufficient detail to make intelligent presentation of your plans. Also, include ten (10) copies of all supporting documentation.

**FILING FEE OF \$185.00** tendered herewith. Applicants whose cases come under Section 14-55, 14-322, Connecticut General Statutes will be charged an additional fee to pay the cost of publication and the expenses of the public hearing.

\*Sign Deposit fee of \$10.00 cash taken at time of sign pick up\*

**DESCRIPTION IN DETAIL:**

Converting existing single car garage into a mudroom and family room. We built a 2 car garage on the property 6 years ago. The current garage is not adequate for parking a car inside.

We need a laundry room in this house as the current laundry is located in a closet off the kitchen. When using the laundry closet it blocks the sliding glass door exiting the house to the back, preventing access to the house, and exiting from the house.

We also don't have a family room in the home. This addition would allow for a small family room.

This project would provide better flow and addition access to the home. Not only would we provide better flow and amenities to the home, but improve the safety by having more exits and removing a potential exit hazard.

**Ten collated copies of this Application and all supporting documentation are required**



Cheryl Newlon  
Architects LLC  
31 Newlon Drive  
Glastonbury, CT 06033  
(860)353-7477

Revisions:  
80% Construction Documents  
NOT FOR CONSTRUCTION

Drawing Name:  
General Notes,  
Legend, Demo /  
First / Roof / Site  
Plans, & Elevations

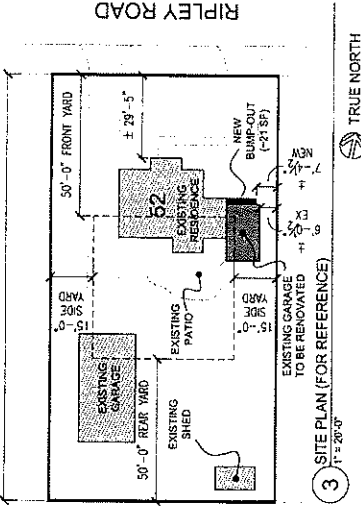
Scale: AS NOTED

Drawn By: CN / PS

Date: September 01, 2022

Drawing Number:

**A0.0**

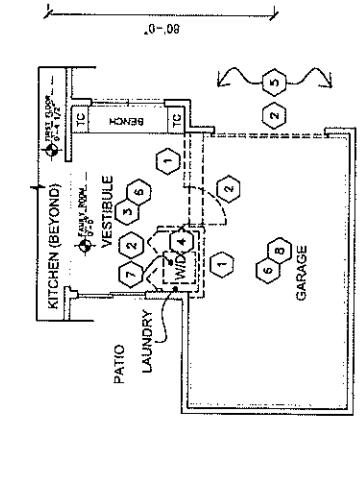
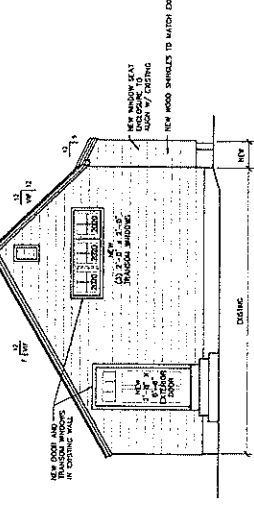
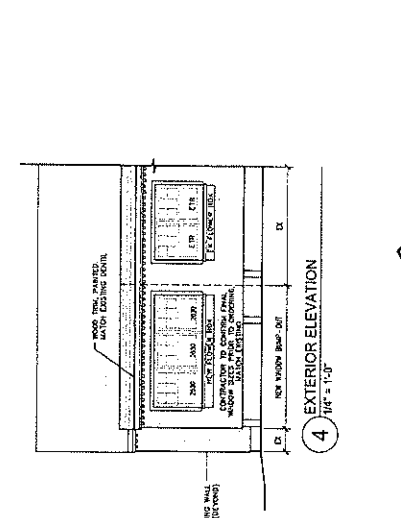


**3 SITE PLAN (FOR REFERENCE)**  
1" = 20'-0"

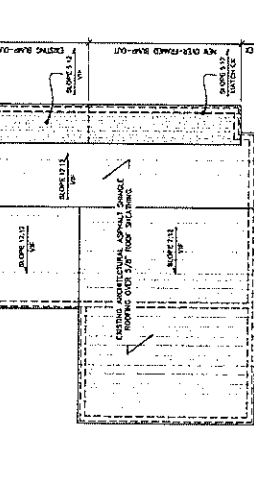
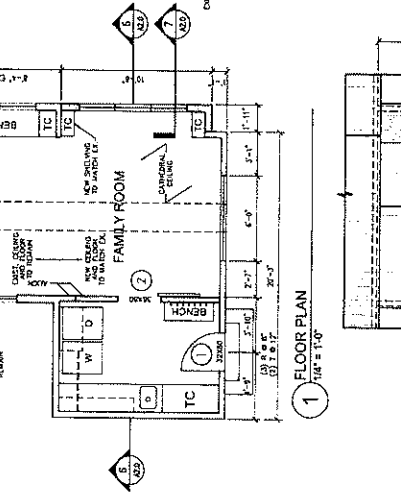
ZONING CODE: A (RESIDENTIAL)  
MINIMUM LOT AREA: 15,000 SF  
MAXIMUM LOT COVERAGE: 15.0% (2,250 SF / 15,000 SF)

ACTUAL LOT AREA: 12,000 SF  
EXISTING LOT COVERAGE: 17.0% (2,042 SF / 12,000 SF)  
PROPOSED LOT COVERAGE: 17.2% (2,051 SF / 12,000 SF) ▲ 2% SF  
EQUITABLE LOT COVERAGE: 13.8% (2,063 SF / 15,000 SF)

TRUE NORTH  
PROJECT NORTH



**0 DEMOLITION PLAN**  
1/8" = 1'-0"



**1 FLOOR PLAN**  
1/8" = 1'-0"

**2 ROOF PLAN**  
1/8" = 1'-0"

**DRAWING INDEX**

A1.0 GENERAL NOTES, LEGEND, DEMOLITION / EXTERIOR PLANS, SITE PLAN, AND EXTERIOR ELEVATIONS

A2.0 BUILDING SECTION, TYPICAL WALL SECTION, INTERIOR ELEVATIONS, AND ELECTRICAL LIGHTING DIAGRAM

**GENERAL NOTES:**

All work shall be in accordance with the current Connecticut Building Code.

Windows shall be furnished and installed in accordance with R3012.12 of the International Residential Code.

The Contractor shall maintain a current and complete set of Contract Documents at the site during all phases of construction for use by all trades.

The Contractor shall verify all dimensions in field. The Contractor shall notify the Architect immediately if there is a conflict.

The Contractor shall review with the Owner and Architect the location of demolition prior to commencement of work to determine what exists on the site and, if any, should be salvaged for the owner's further use.

The Contractor shall review architectural and structural documents prior to commencement of construction, and provide tracing, existing or reinforcement as required to maintain integrity of the existing foundation.

The Contractor shall review all documents for coordination prior to commencement of construction. For example, coordinate the positioning of floor joists with location of recessed lighting.

All dimensions are to the centerline of structure (point). Centerline of interior partition walls, and to outside of stud at exterior walls unless otherwise specified.

The Contractor may propose to the Architect substitutions or modifications to the contract documents. The Contractor may not make substitutions or modifications without the approval of the Architect. The Contractor shall be responsible for providing when the Architect deems the project on cost, quality, schedule or design intent is acceptable.

The Contractor shall review the location of all wall or ceiling mounted penetrations and equipment with the Owner and Architect prior to installation.

The Contractor shall be responsible to patch and repair all surfaces disturbed by New Construction.

The Contractor shall repair and reseed all lawn areas affected by New Construction.

**DEMOLITION KEY NOTES:**

- REMOVE PORTION OF EXISTING WOOD-FRAMED WALL AS REQUIRED FOR NEW CONSTRUCTION.
- REMOVE DOOR AND ALL ASSOCIATED HARDWARE IN ITS SWATH.
- PREPARE EXISTING HARDWOOD FLOORING FOR REFINISHING.
- REMOVE PORTION OF EXISTING LAP JOIST DUCTWORK AS REQUIRED BY NEW CONSTRUCTION CONTRACTOR TO RELOCATE NEW SUPPLY AND RETURN MAINS THROUGHOUT SCOPE OF WORK.
- REMOVE EXISTING FINISHWAY AS REQUIRED BY NEW CONSTRUCTION CONTRACTOR TO COORDINATE NEW LANDSCAPING WITH OWNER.
- CONTRACTOR IS TO RELOCATE ANY ELECTRICAL WIRING AND NEW BARS TO BE PROVIDED FOR NEW ADDITION AS REQUIRED.
- REMOVE AND RELOCATE EXISTING WASHER AND DRYER TO NEW LOCATION.
- REMOVE EXISTING CEILING AND FRAMING.

**DESIGN STANDARDS:**

**DESIGN CRITERIA LOADS**

LIVE	DEAD
30 PSF	5 PSF
30 PSF	7 PSF
40 PSF	15 PSF

• NOTIFY ARCHITECT OF ANY CHANGES IN DEAD LOADS PRIOR TO START OF CONSTRUCTION

• FLOORS ARE NOT DESIGNED FOR RETANE FINISHES OR HYDRAULIC HEATING SYSTEMS

**DEBRIS WIND LOADS**

Building Category - 1	Wind Pressure Category - B
Wind Speed - 125 mph	V (ultimate) - 125 mph
Wind Speed - 97 mph	V (load) - 97 mph

**SNOW LOADS**

Ground Snow Load - 30 psf

**SEISMIC DEBRIS WIND LOADS**

Seismic Design Category - B

**CODE STANDARDS**

2016 CT STATE BUILDING CODE

2015 International Building Code

2015 International Residential Code of the International Code Council, Inc.

2015 International Existing Building Code

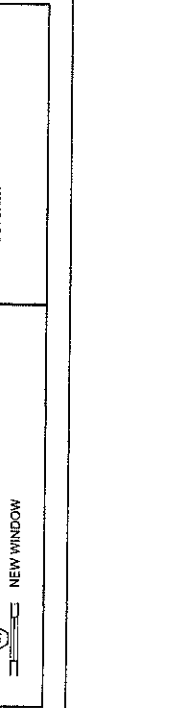
2015 International Plumbing Code

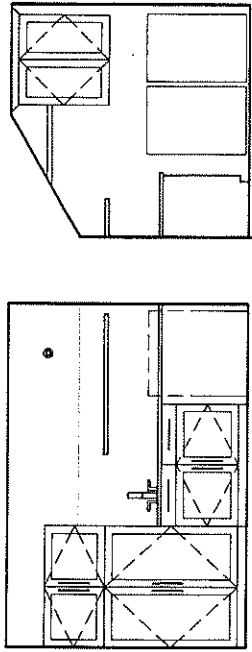
2015 International Mechanical Code

2015 International Energy Conservation Code

2017 NFPA 70, National Electrical Code, of the National Fire Protection Association, Inc.

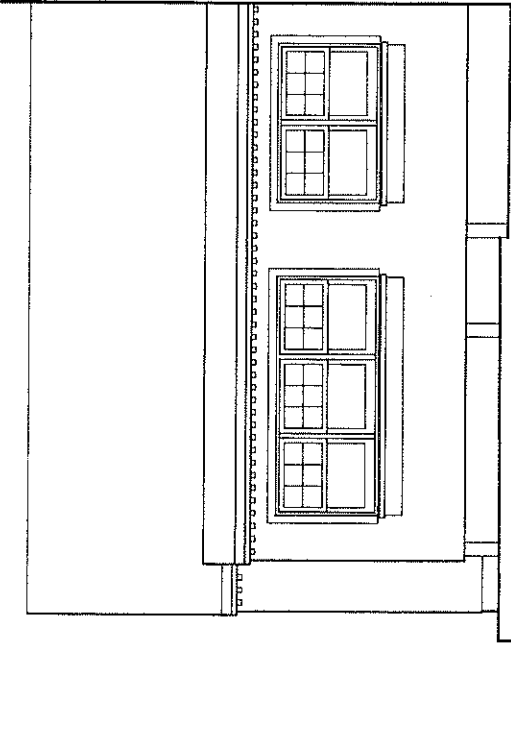
2009 ICC/ANSI A117.1 Accessible and Usable Buildings and Facilities





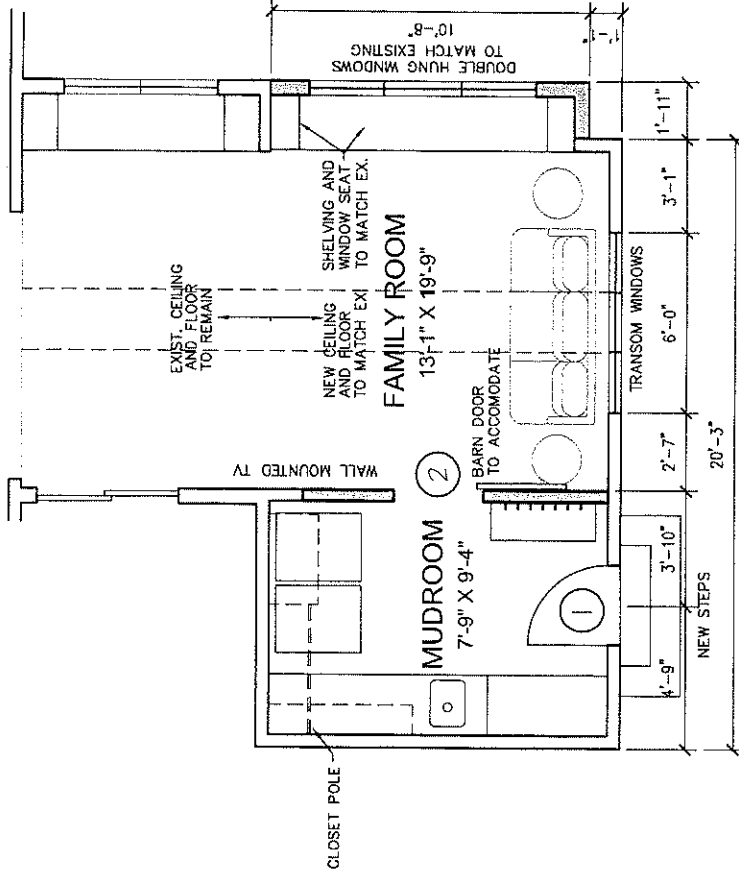
3 INTERIOR ELEVATIONS

1/4" = 1'-0"



2 EXTERIOR ELEVATION

1/4" = 1'-0"



1 FLOOR PLAN

1/4" = 1'-0"



Drawn By: CN  
 Resident:  
 ISSUED FOR OWNER REVIEW  
 NOT FOR CONSTRUCTION  
 Chey New-ton  
 Architects LLC  
 www.cnnat.com  
 (861) 632-2477

PECK RESIDENCE  
 52 Ripley Road  
 Glastonbury, CT

Scale: 1/4" = 1'-0"  
 Drawing Name: PROPOSED

Date: August 18, 2022  
 Drawing Number: A3R

