

Ten Copies of this Application are Required

(10 hard copies of everything you're submitting - collated)

ZONING BOARD OF APPEALS APPLICATION

REFERRED TO TP&Z _____

Applicant Milun Mraz _____

Street 355 Matson Hill Road _____ Town South Glastonbury _____

Phone 860-428-6078 _____ E-mail coachmraz@yahoo.com _____

Legal Representative (if any) _____

Address _____

E-mail _____

Date Filed & Fee Paid _____

Date Hearing Scheduled _____

Sign Deposit Paid on _____

Sign Taken on _____

Photo of Sign Rec'd on _____

Legal Property Owner Milun & Krista D. Mraz _____

ZONE Rural Res. _____

Exact Location of Property Involved 355 Matson Hill Road _____

Residential

Street # Street

If No Street #, Indicate Assessor's Key # _____

Commercial

Under the provisions of Section 8-7, Connecticut General Statutes, the undersigned hereby appeals:

For relief (a variance) from the restrictions imposed in Section(s) 7.1b.2b of the Glastonbury Zoning Regulations.

For a special exception as provided in Section(s) 7/1b/2b of the Glastonbury Zoning Regulations.

From an adverse ruling by _____ the Building Official, Glastonbury.

For the approval required by the State of Connecticut agency named below.

Describe in detail (in the space provided on page 2 or on a separate sheet) a description of the project. State why this violates the Section (s) of the Glastonbury Zoning Regulations cited above. If requesting a variance, be specific in describing the aspect of the project which does not meet the requirement, and the amount of relief (variance) you are requesting. Include the nature of the hardship which compels this request.

If requesting a special exception, be specific in the description of the project. Include the special exception conditions the project will meet, as specified in the Regulation.

We / I hereby depose and say that all the above statements contained in any papers submitted herewith are true to the best of my knowledge and belief.

Milun Mraz

Richard A. Meason
MEMBER / PARTNER
MEASON, HEAGLE + FRIEND
Acting Agent

Applicant

Owner, If Not Applicant
(Required)

4-12-2023

Date

Date

SEE PERTINENT INFORMATION ON NEXT PAGE

Include TEN (10) collated copies of everything submitted including the application and a map of the property involved. Locate all structures thereon and their relation to buildings on adjacent property and to the highway with approximate distances therefrom. Floor plans of buildings which you desire to erect or to alter must be provided in sufficient detail to make intelligent presentation of your plans. Also, include ten (10) copies of all supporting documentation.

FILING FEE OF \$185.00 tendered herewith. Applicants whose cases come under Section 14-55, 14-322, Connecticut General Statutes will be charged an additional fee to pay the cost of publication and the expenses of the public hearing.

*Sign Deposit fee of \$10.00 *cash* taken at time of sign pick up*

DESCRIPTION IN DETAIL:

1. The applicant is proposing to construct a detached four car garage / barn on a 1.12 acre single family residential lot in a Rural Residence Zone. The existing house is 2,364 s.f. with an attached two car garage. One of the garage bays is allowed as a third bay for the existing house.

2. A Special Exception as provided in Section 7.1b.2b of the Glastonbury Zoning regulations is requested to allow a fourth garage bay as the house is less than 4,500 s.f.

3. A variance to Section 7.1b.2b of the Glastonbury Zoning regulations is requested to allow for garage bays 5 & 6. The accessory structure will have opposing sliding doors on the sides of the building to allow the ability to pass through the building for easier access and flexible use. The sliding doors represent garage bays 5 & 6. The accessory structure will house a tractor, a boat, family cars, and yard & garden equipment to keep the items out of sight and in a secure environment.

4. A variance to Section 7.1b.2b of the Glastonbury Zoning regulations is requested to allow the accessory structure a measured height of 17.5 feet, 2.5 feet taller than the allowed 15 feet when an accessory structure is proposed within a rear or side yard setback. The Health Code requirements of providing for a code compliant replacement septic system area caused the accessory structure to be positioned into the rear yard setback. Please note that the accessory structure will be situated approximately 275 feet from Matson Hill Road, to the rear of the primary home, and at an elevation approximately 25 feet lower than the home's existing first floor elevation.

5. Hardship is based upon the grounds that the regulations do not consider larger lot size, and much more importantly, the proposed structure is in keeping with the character of the neighborhood. The immediate area is filled with properties having all variations of accessory structures from previous and current farming operations. The proposal meets the requirements of Section 13.9.

Ten collated copies of this Application and all supporting documentation are required



SOILS DATA

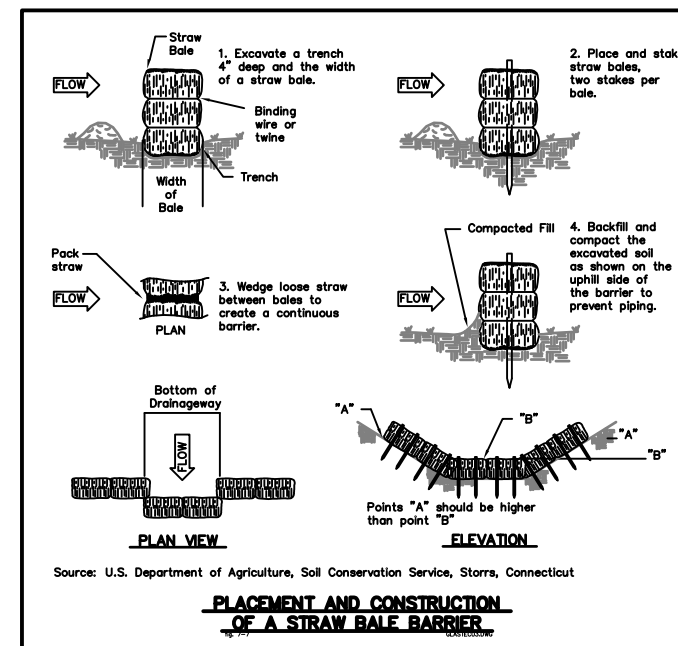
TEST PIT # 9
 DATE: 1-19-23
 GROUNDWATER: @ 2.2'
 MOTTLING: @ 2.2'
 MATERIAL: 0.0 TO 0.9' FLOWED TOPSOIL
 0.9 TO 2.2' LIGHT BROWN FINE SANDY LOAM
 2.2 TO 3.1' GRAY MOTTLED SILTY FINE SAND
 3.1 TO 6.0' DARK BROWN SAND/FINE SAND BOULDERS

TEST PIT # 10
 DATE: 1-19-23
 GROUNDWATER: @ 3.2'
 MOTTLING: @ 2.2'
 MATERIAL: 0.0 TO 0.8' FLOWED TOPSOIL
 0.8 TO 2.2' LIGHT BROWN FINE SANDY LOAM
 2.2 TO 4.5' GRAY MOTTLED SILTY FINE SAND
 4.5 TO 6.0' DARK BROWN SAND/FINE SAND BOULDERS

TEST PIT # 11
 DATE: 1-19-23
 GROUNDWATER: @ 3.6'
 MOTTLING: @ 2.1'
 MATERIAL: 0.0 TO 0.9' FLOWED TOPSOIL
 0.9 TO 2.1' LIGHT BROWN FINE SANDY LOAM
 2.1 TO 4.0' GRAY MOTTLED SILTY FINE SAND
 4.0 TO 6.1' DARK BROWN SAND/FINE SAND BOULDERS

PERC: PH-G
 DATE: 7-25-89
 DEPTH: 15 3/4"
 RATE: 10-20 MIN./IN.

PERC: PH-H
 DATE: 7-25-89
 DEPTH: 11"
 RATE: 10-20 MIN./IN.



SITE LOCATION MAP

SCALE: 1"=1,000'

M.L.S.S. CALCULATIONS

BEDROOMS: 3
 RECEIVING SOIL DEPTH: 48"
 SLOPE: 6.2%
 PERC. RATE: 13.3 MIN./IN.
 (HF)30 x (FF)1.5 x (PF)1.25 = 56.25 L.F.

**B100A CODE COMPLYING
 SANITARY SYSTEM DESIGN**

NUMBER OF BEDROOMS	3
PERCOLATION RATE	10-20 MIN./IN.
ABSORPTION AREA REQUIRED	675 S.F. (MIN.)
USE 12" HIGH GALLERIES	114.4 L.F. REQ'D (5.9 S.F./L.F.)
USE 2 ROWS @	64 L.F.
SEPTIC TANK CAPACITY	1,000 GAL. (MIN.)

*SUBDIVISION PLAN DUFFORD RESUBDIVISION PREPARED FOR SCOTT DUFFORD GLASTONBURY, CONN. BY REINO E. HYPYPA & ASSOCIATES C.E. & L.S. GLASTONBURY, CONN. DATE: 1-2-99 REV. 10-15-90 SCALE: 1"=40' MAP NO. 2-88-1 SHEET 2 OF 6 SHEETS

*PLOT PLAN LOT 2 DUFFORD RESUBDIVISION PREPARED FOR BRUCE J. BUCKLEY GLASTONBURY, CONN. BY REINO E. HYPYPA & ASSOCIATES C.E. & L.S. GLASTONBURY, CONN. DATE: 7-2-96 REV. 5-14-98 SCALE: 1"=20' MAP NO. 4-96-1A

LOT MAY BE SUBJECT TO A CL&P EASEMENT

* NOTE SPECIAL EXCEPTION REQUIRED FROM SECTION 7.1b.2b.1. FOR 4TH GARAGE BAY VARIANCE REQUIRED FROM SECTION 7.1b.2b.1 FOR 5TH & 6TH GARAGE BAY VARIANCE REQUIRED FROM SECTION 7.1a.2a.2) FOR ACCESSORY STRUCTURE HEIGHT OF 17.5 FEET.

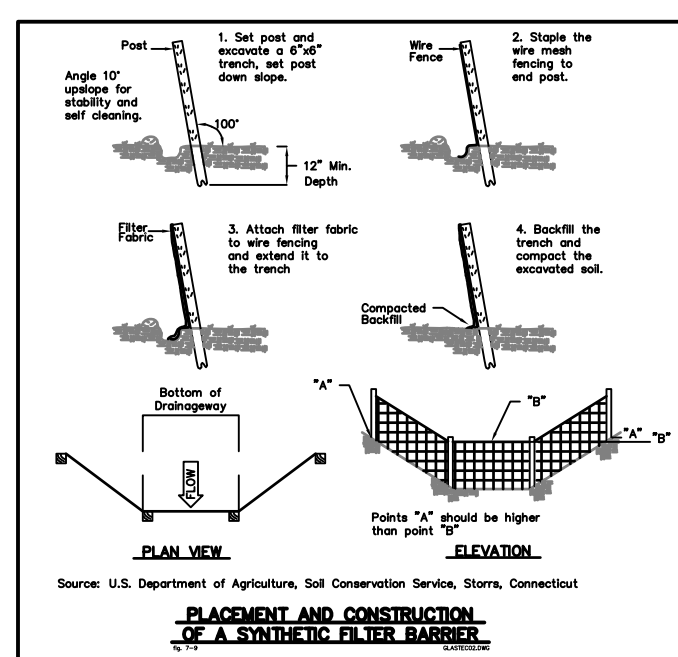
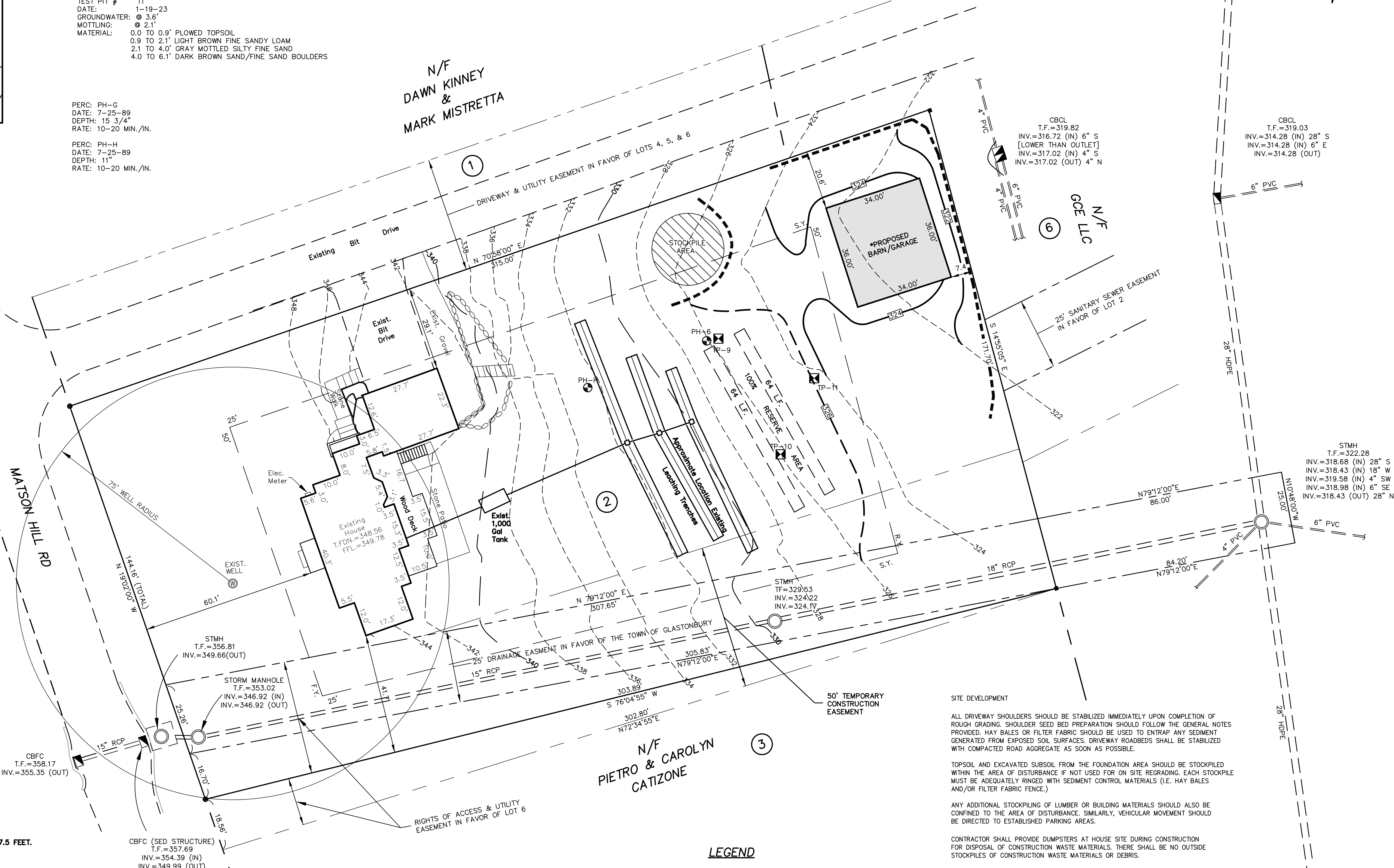
THIS MAP IS NOT VALID IF MODIFIED IN ANY WAY AND/OR DOES NOT BEAR THE EMBOSSED SEAL OF THE UNDERSIGNED.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON. THIS SURVEY WAS PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTION 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS AND SUGGESTED METHODS AND PROCEDURES FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" REVISED OCTOBER 26, 2018 AND AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON AUGUST 29, 2019.

TYPE OF SURVEY ZONING LOCATION SURVEY
 BOUNDARY DETERMINATION CATEGORY: RESURVEY
 CLASS OF ACCURACY: A-2

SANDS E. AESCHLIMAN

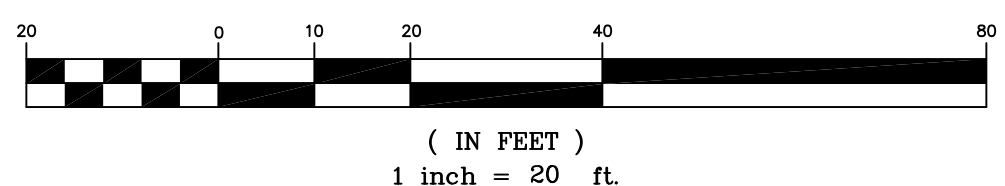
L.S. # 14201



LEGEND

- EXISTING MONUMENT
- EXISTING IRON PIN
- EXISTING CONTOUR
- PROPOSED CONTOUR
- POSS FUTURE CONTOUR
- PROPOSED HAY BAIL/SILT FENCE

GRAPHIC SCALE



SITE DEVELOPMENT
 ALL DRIVEWAY SHOULDERS SHOULD BE STABILIZED IMMEDIATELY UPON COMPLETION OF ROUGH GRADING. SHOULDER SEED BED PREPARATION SHOULD FOLLOW THE GENERAL NOTES PROVIDED. HAY BALES OR FILTER FABRIC SHOULD BE USED TO ENTRAP ANY SEDIMENT GENERATED FROM EXPOSED SOIL SURFACES. DRIVEWAY ROADBEDS SHALL BE STABILIZED WITH COMPACTED ROAD AGGREGATE AS SOON AS POSSIBLE.

TOPSOIL AND EXCAVATED SUBSOIL FROM THE FOUNDATION AREA SHOULD BE STOCKPILED WITHIN THE AREA OF DISTURBANCE IF NOT USED FOR ON SITE REGRADING. EACH STOCKPILE MUST BE ADEQUATELY RINGED WITH SEDIMENT CONTROL MATERIALS (I.E. HAY BALES AND/OR FILTER FABRIC FENCE)

ANY ADDITIONAL STOCKPIILING OF LUMBER OR BUILDING MATERIALS SHOULD ALSO BE CONFINED TO THE AREA OF DISTURBANCE. SIMILARLY, VEHICULAR MOVEMENT SHOULD BE DIRECTED TO ESTABLISHED PARKING AREAS.

CONTRACTOR SHALL PROVIDE DUMPSTERS AT HOUSE SITE DURING CONSTRUCTION FOR DISPOSAL OF CONSTRUCTION WASTE MATERIALS. THERE SHALL BE NO OUTSIDE STOCKPILES OF CONSTRUCTION WASTE MATERIALS OR DEBRIS.

THE BUILDING LOT SHALL BE LOAMED, SEEDED AND MULCHED WITH STRAW PRIOR TO ISSUANCE OF A C.O. IF THE SEASON DOES NOT PERMIT SEEDING - THEN THE LOT MUST BE STABILIZED WITH STRAW OR NETTING TO PREVENT WINTER AND SPRING EROSION. THE ENVIRONMENTAL PLANNER WILL CHECK LOTS FOR NONCOMPLIANCE WITH EROSION CONTROLS AND STABILIZATION REQUIREMENTS. IF NECESSARY, THE C.O. WILL BE WITHHELD UNTIL THE LOT IS DEEMED STABLE.

PLEASE NOTE - THE BUILDER/OWNER IS RESPONSIBLE FOR ALL EROSION CONTROL AND STABILIZATION REQUIREMENTS. PLEASE REVIEW THE APPROVED PLOT PLAN FOR EROSION CONTROL REQUIREMENTS INDICATED IN YELLOW.

CONTOURS TAKEN FROM ACTUAL FIELD SURVEY.
 ALL PROPOSED ELEVATIONS ARE IN RELATION TO CONTOURS SHOWN.
 FINAL ELEVATIONS MAY BE ADJUSTED AS FIELD CONDITIONS WARRANT.
 VERIFY ALL GRADES IN FIELD.

NOTE: VERIFY ALL UTILITY LOCATIONS IN THE FIELD PRIOR TO START OF ANY WORK (SEE NOTE BELOW).

WARNING: THESE PLANS NOT TO BE USED FOR LOCATION OF UNDERGROUND UTILITIES - CALL BEFORE YOU DIG 1-800-922-4455 TWO WORKING DAYS BEFORE YOU DIG.

VERIFY FOUNDATION DIMENSIONS PRIOR TO CONSTRUCTION

ZONE: RURAL RESIDENCE

AREA = 48,790 S.F.
 = 1.119 AC.

OWNER:
 MILUN & KRISTA MRAZ
 #355 MATSON HILL ROAD
 SOUTH GLASTONBURY, CT. 06073
 PHONE: 860-428-6078

I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.

MEGSON, HEAGLE & FRIEND
 CIVIL ENGINEERS & LAND SURVEYORS, LLC
 81 RANKIN ROAD
 GLASTONBURY, CONN. 06033
 PHONE (860)-859-0587

SITE PLAN PROPOSED BARN/GARAGE
 LOT 2 / #355 MATSON HILL ROAD
 PREPARED FOR
 MILUN & KRISTA MRAZ
 GLASTONBURY, CONN.

CK. BY:	JHS
DRW. BY:	PEJ
DATE:	2-22-23
SCALE:	1"=20
SHEET	1 OF 1
MAP NO.	2-23-1GP

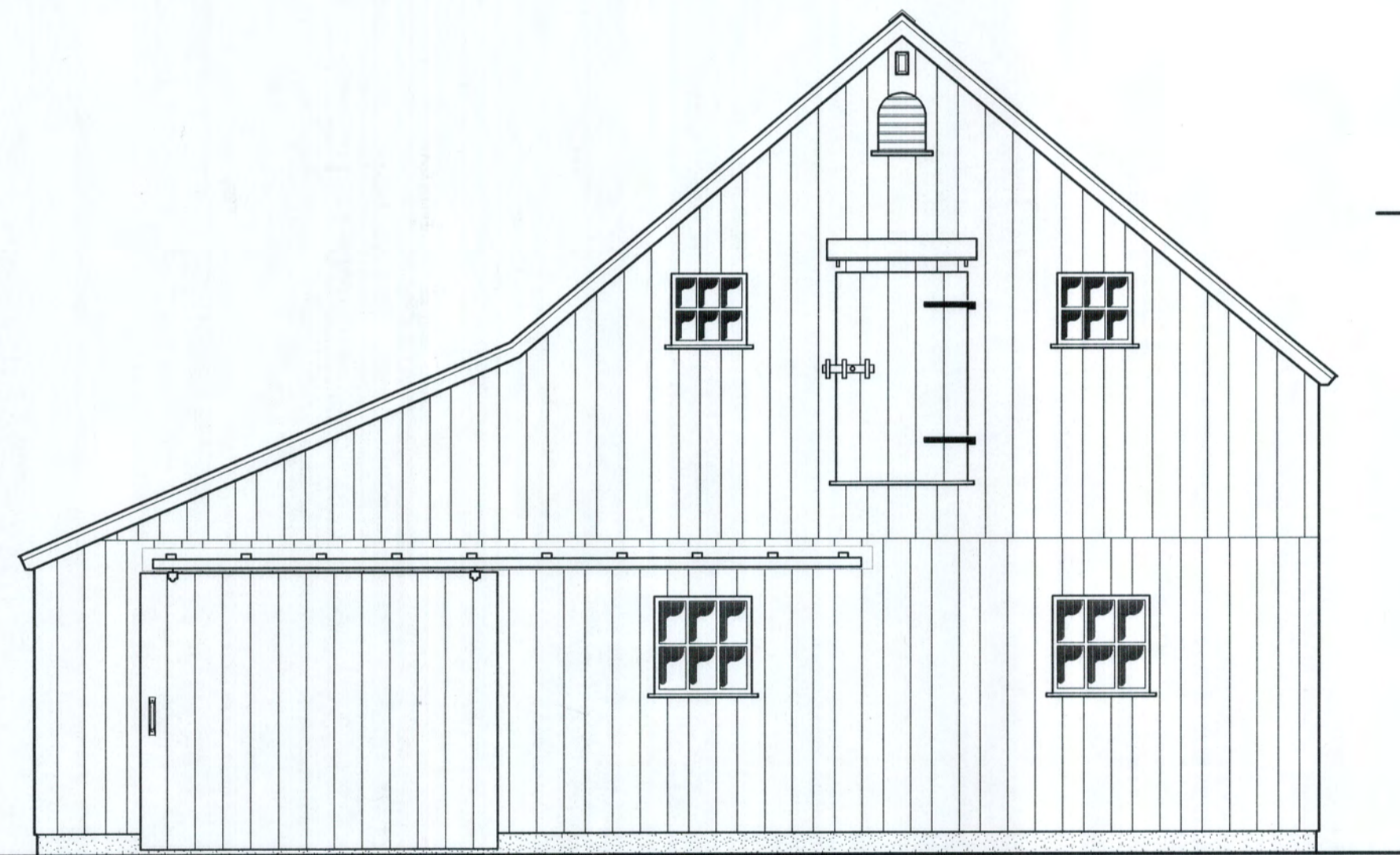
P.E. # 26858

JONATHAN H. SZCZUREK

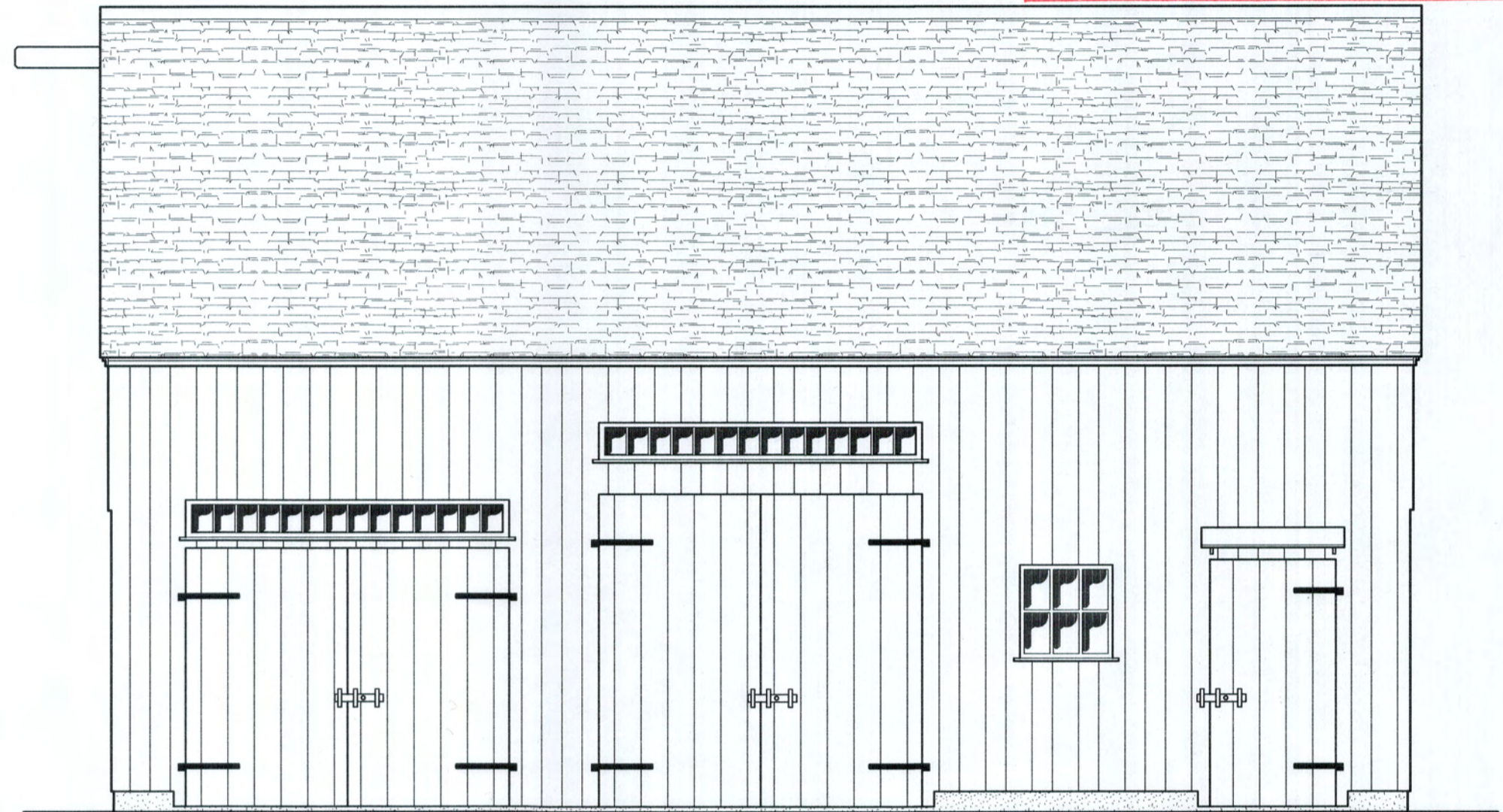
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LEFT ELEVATION SCALE: 1/4" = 1'0"



FRONT ELEVATION SCALE: 1/4" = 1'0"

PAGE SCHEDULE	
1	FRONT & LEFT ELEVATIONS
2	FOUNDATION PLAN
3	FRONT & LEFT FRAMING
4	REAR & RIGHT ELEVATIONS & RIGHT FRAMING
5	REAR & REAR MAIN FRAMING
6	SECTION THRU
7	STORAGE LOFT FRAMING PLAN & STAIR DETAIL
8	CONNECTION DETAILS

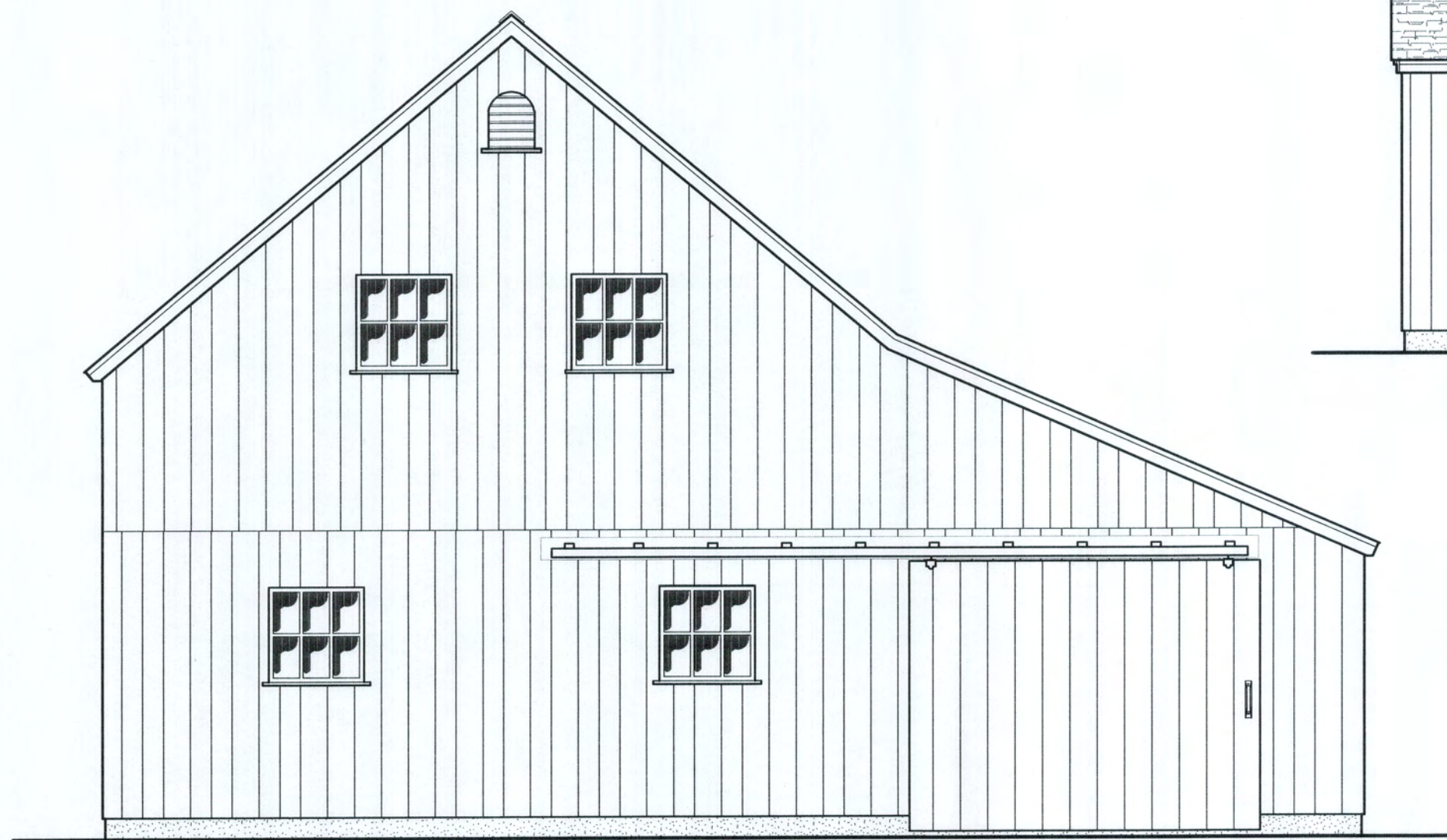
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COUNTRY CARPENTERS, INC.
1-1/2 STORY BARN
36' FRONT 34' DEEP 10/12 PITCH ROOF

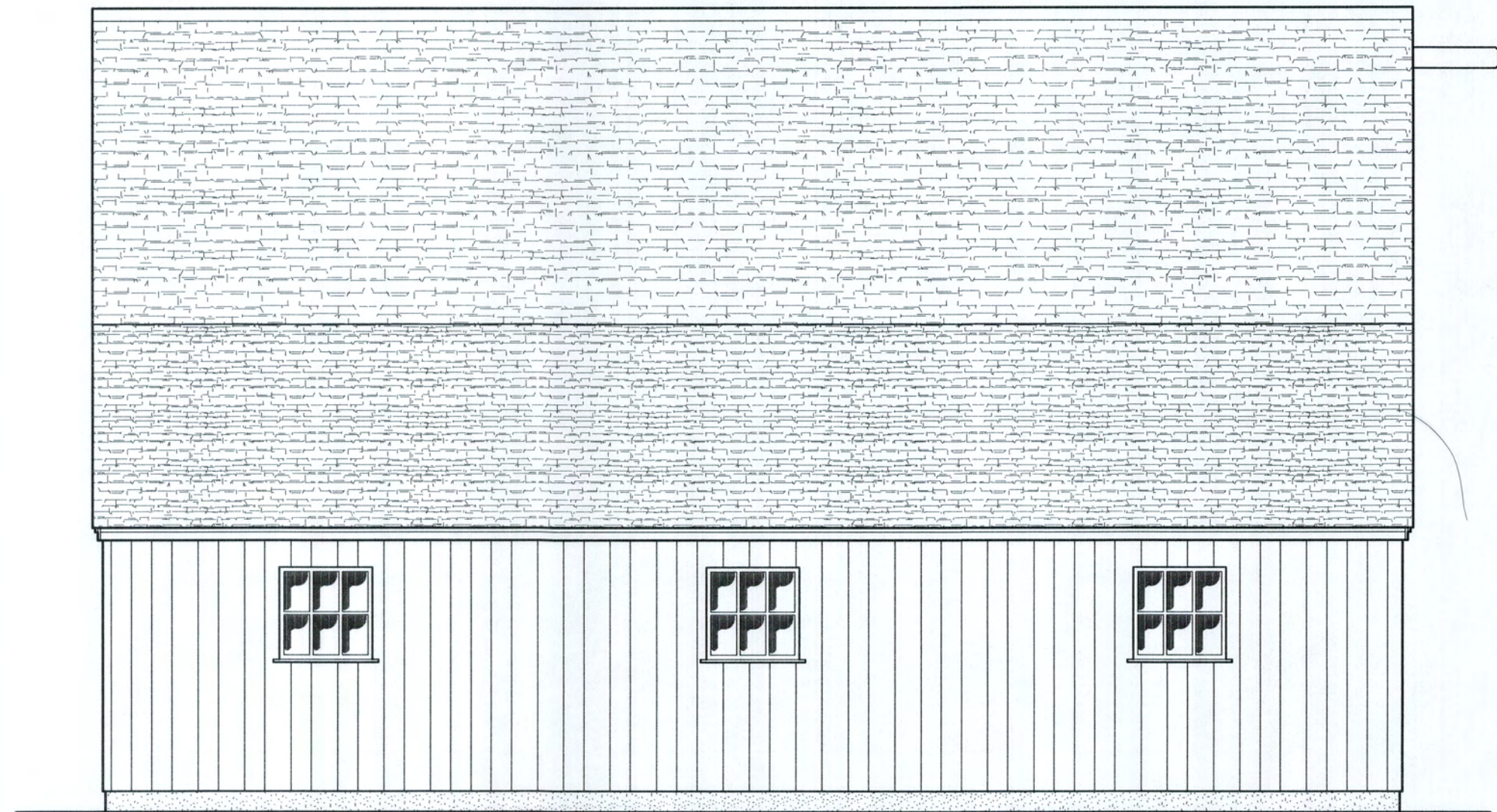


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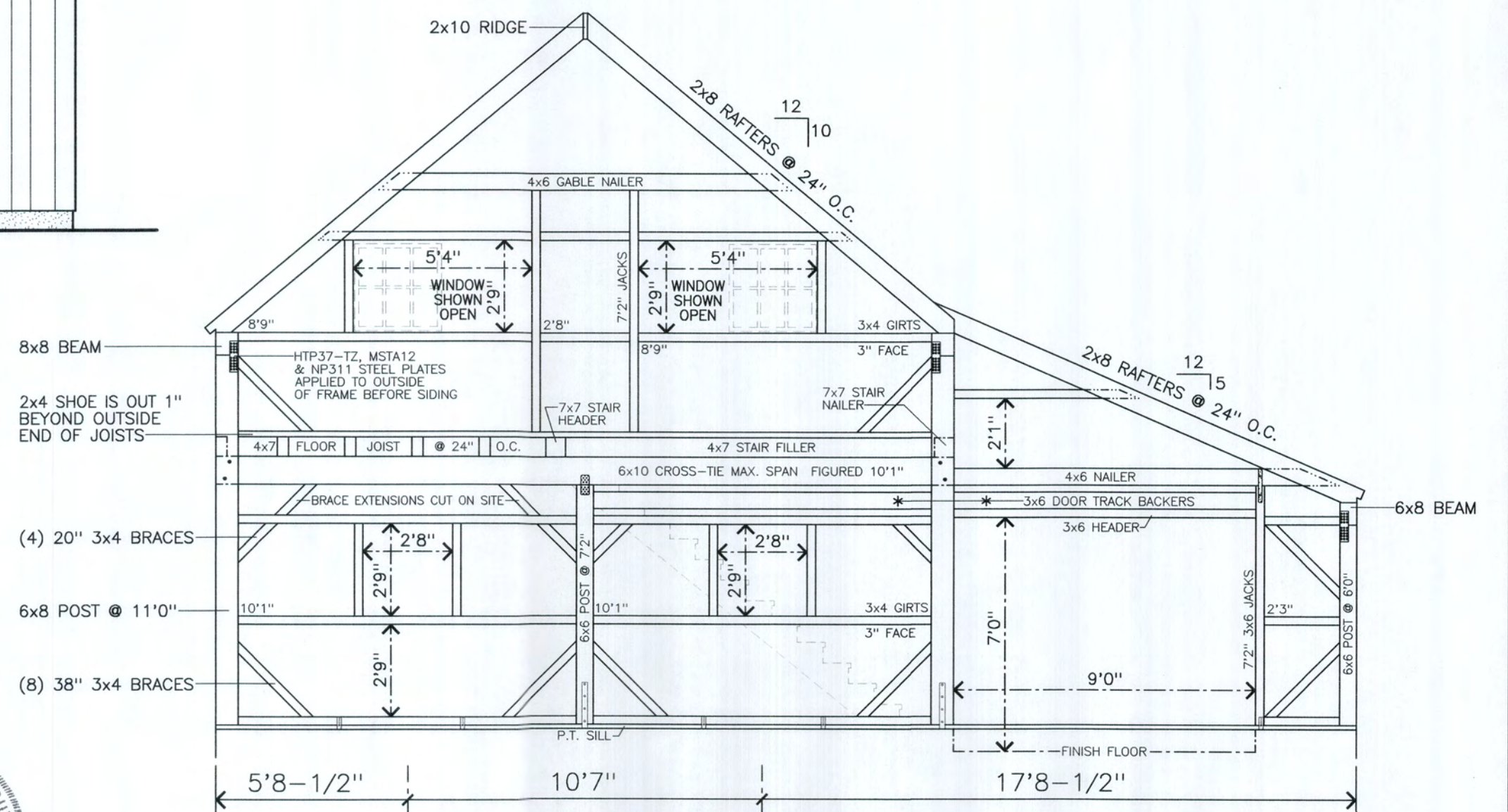
FOR: MILUN MRAZ 355 MATSON HILL ROAD SOUTH GLASTONBURY, CT. 06073 PH: (860) 428-6078		
COMPUTER FILE #: 13-11-30-mraz01	CT.REG.#: 523020 MA.REG.#: 130254 RI.REG.#: 21868	DATE: 21 Jul 2022 REVISED: 19 Aug 2022
COUNTRY CARPENTERS, INC. PRE-CUT POST & BEAM BUILDINGS 326 GILEAD STREET, HEBRON, CT. 06248-1347 (860) 228-2276 www.countrycarpenters.com		DRAWN BY: <i>AM</i> SCALE: AS SHOWN DRAWING NUMBER: 1 of 8



RIGHT ELEVATION SCALE: 1/4" = 1'0"



REAR ELEVATION SCALE: 1/4" = 1'0"



RIGHT FRAMING SCALE: 1/4" = 1'0"

VIEW FROM OUTSIDE

NOTE:
FOR CONNECTION DETAILS
SEE PAGE 8.

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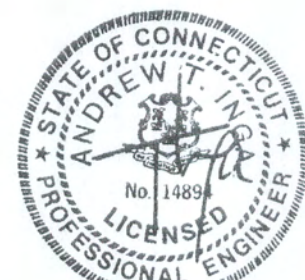
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NOTE: VERY IMPORTANT, K.D. (KILN DRIED) SIDING, TRIM, LOFT DECKING, & ROOF BOARDS MUST BE PROTECTED FROM ABSORBING MOISTURE ON THE CONSTRUCTION SITE. KEEP BOARDS UP OFF THE GROUND, & COVERED TO PROTECT FROM GROUND MOISTURE & RAIN. WINDOWS & DOOR KITS SHOULD BE KEPT INSIDE, UNTIL READY TO USE.



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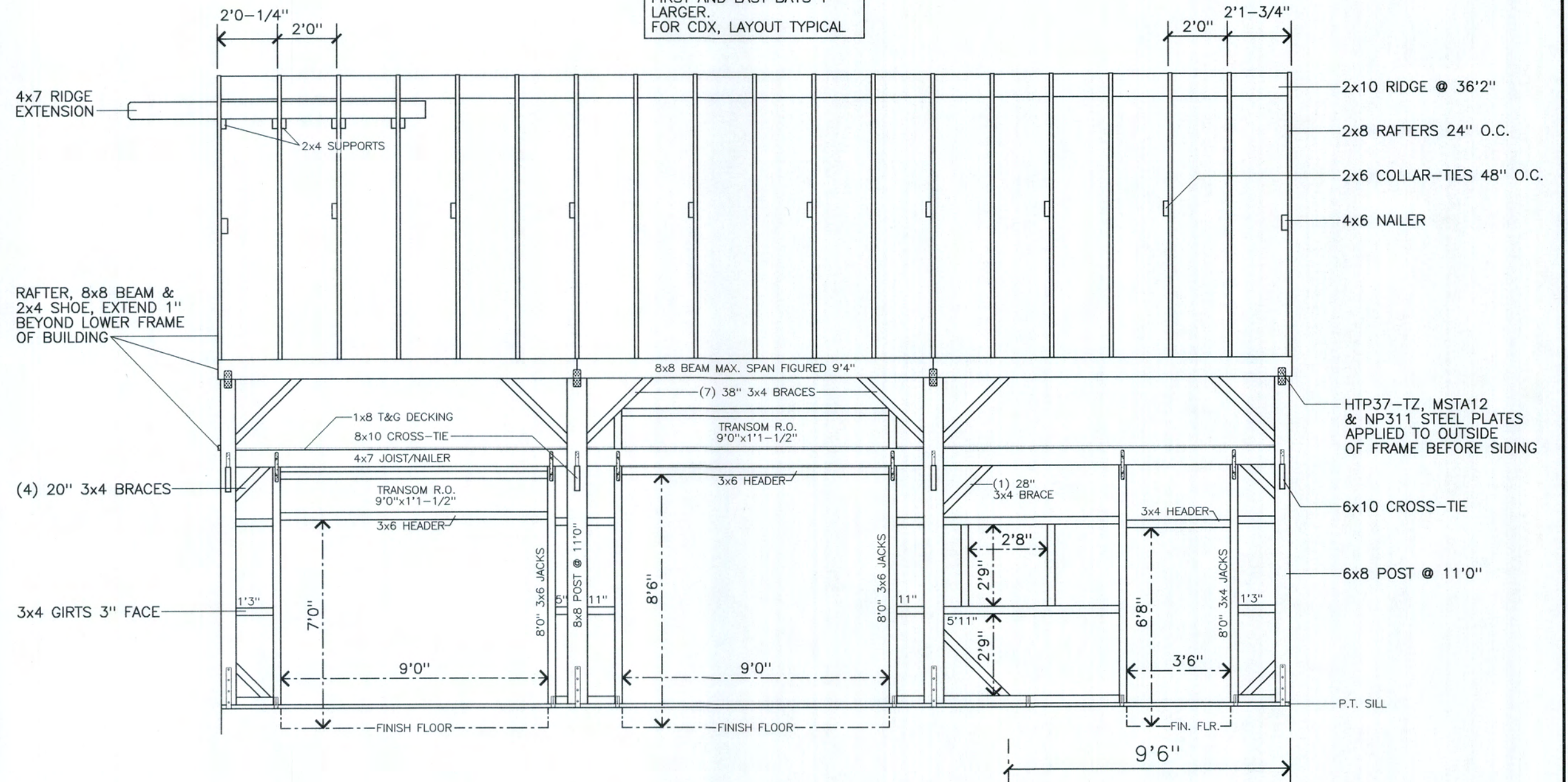
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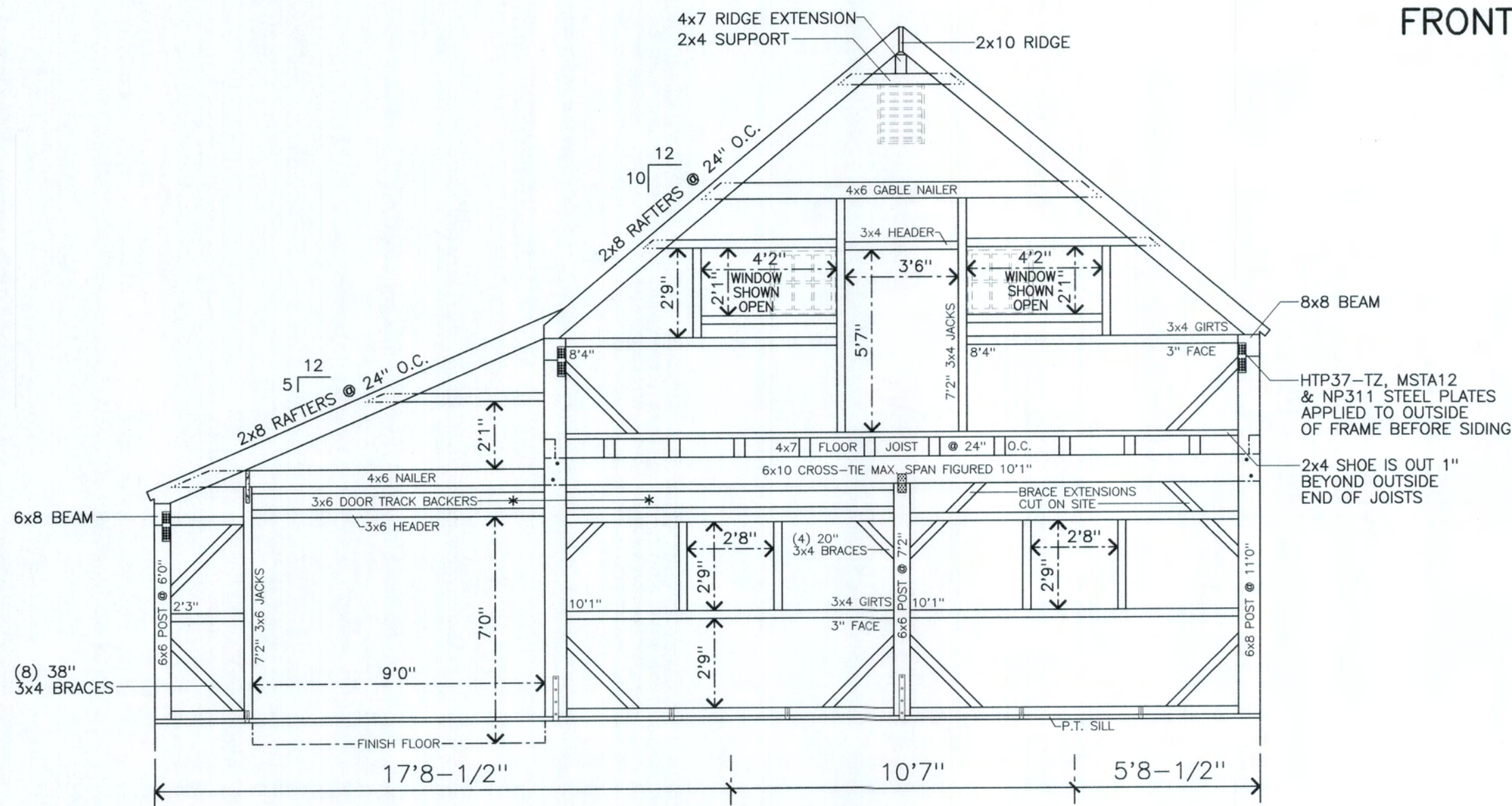
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FOR ROOF BOARDS, RAFTER LAY-OUT NOT STANDARD; FIRST AND LAST BAYS 1" LARGER. FOR CDX, LAYOUT TYPICAL



FRONT FRAMING SCALE: 1/4" = 1'0"
VIEW FROM OUTSIDE



LEFT FRAMING SCALE: 1/4" = 1'0"
VIEW FROM OUTSIDE

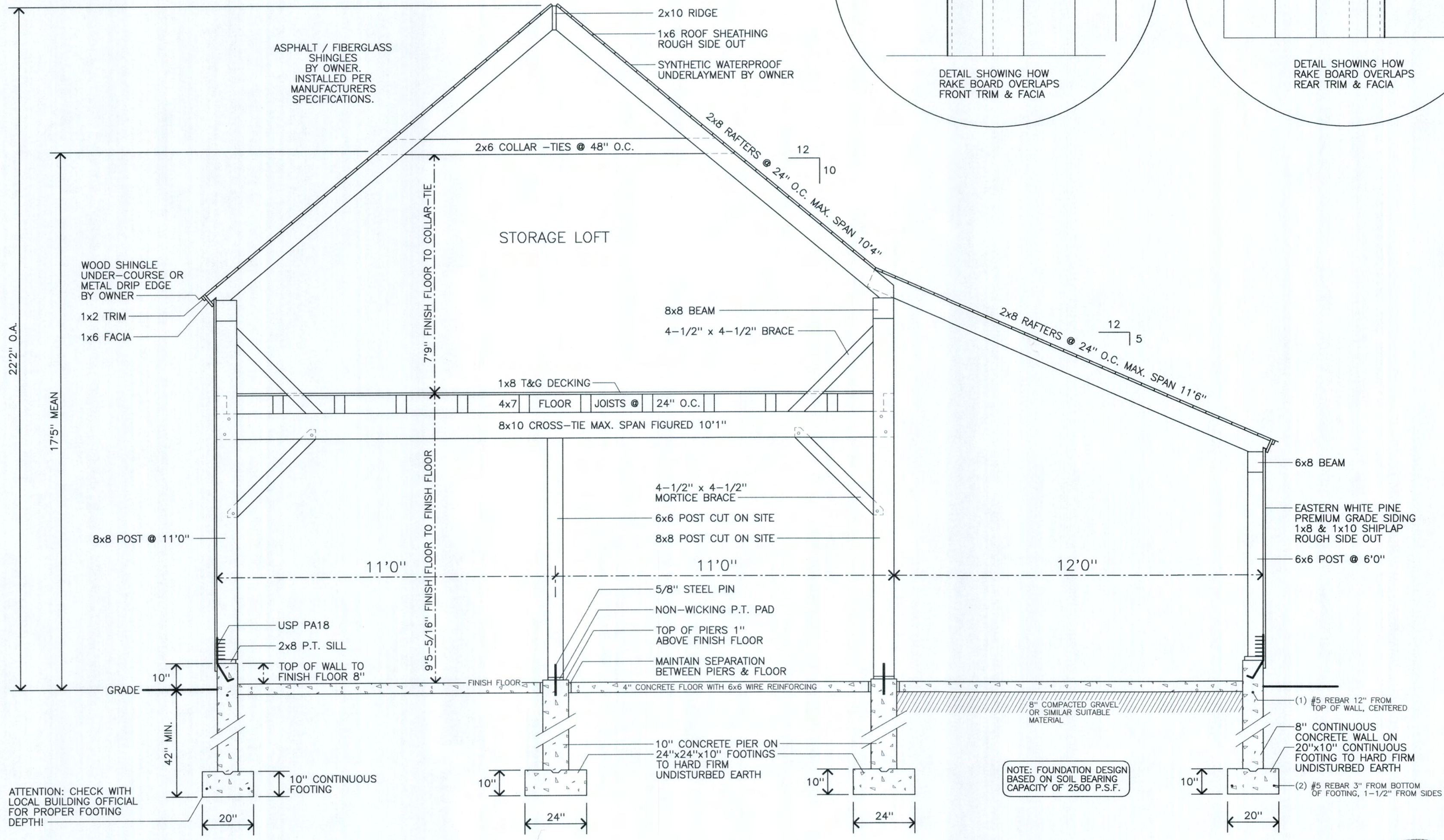
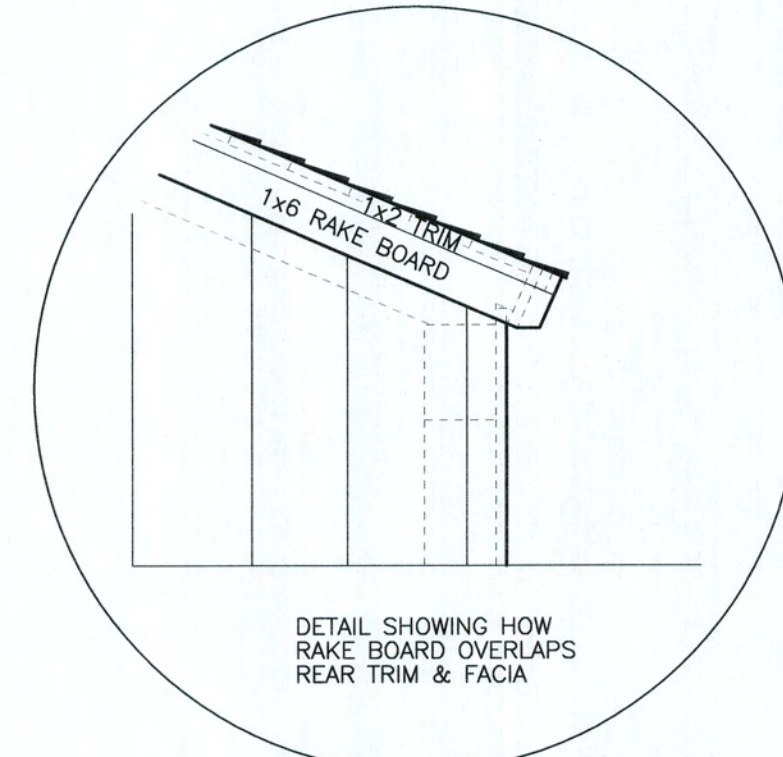
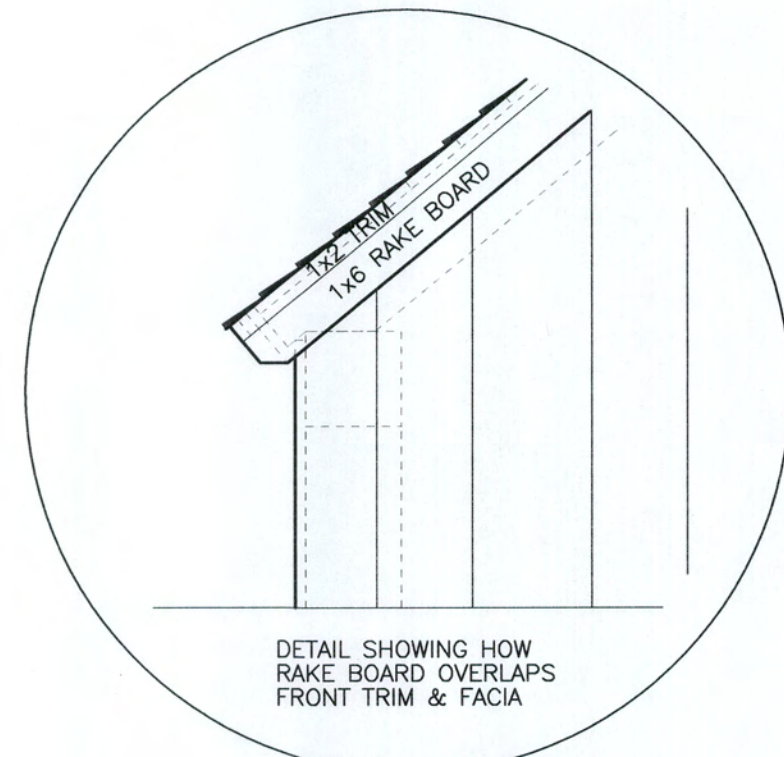
NOTE:
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SEE PAGE 8.



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EASTERN PINE, RAFTERS GRADED
#2 S-P-F UNLESS OTHERWISE NOTED.

STRUCTURAL DESIGN DATA:
WIND LOAD 120 MPH
ROOF LOAD 45 #PSF
STORAGE LOFT LOAD 40 #PSF



ATTENTION: CHECK WITH LOCAL BUILDING OFFICIAL FOR PROPER FOOTING DEPTH!

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FLOOR TYPICALLY PITCHED 1/8" PER FOOT.
CONCRETE FLOOR 3500 PSI
CONCRETE WALLS 3000 PSI

SECTION THRU SCALE: 3/8" = 1'0"

NOTE:
FOR CONNECTION DETAILS
SEE PAGE 8.



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