

MEMORANDUM

**FORMAL ACTION: AGENDA ITEM II.2
APRIL 13, 2023 MEETING**

To: **Conservation Commission/Inland Wetlands and Watercourses Agency**

From: Suzanne Simone, Environmental Planner 

Date: April 5, 2023

Re: **Recommendation to TPZ: 115 Sequin Drive.
Warehouse building with material storage and office space with associated
stormwater management**

Review Documents:

Site Plan Set, March 10, 2023

Stormwater Management Report, March 2023

2005 Signed and Recorded Conservation Easement

Engineering Department Review, April 5, 2023

Draft Recommendation to TPZ

Proposal

The applicant seeks a favorable recommendation from the Conservation Commission to the TPZ for the construction of a warehouse building with outside material storage and office space with associated stormwater management.

Review

Site Description

The property is approximately 4.14 acres within the Planned Commerce Zone. The proposed warehouse building, outdoor storage and stormwater management will comprise approximately 1.7 acres. The lot is currently wooded. The town soil map does not locate wetland soil or a watercourse on the property or within the 100 foot upland review area.

Conservation Easement

The rear portion of the property is encumbered by a conservation easement, created as a compensation for the filling of wetlands in 2005.

State-Listed Species

The property is *not* identified as an area of interest in the December 2022 edition of the Natural Diversity Database. No further action is required.

Soils and Erosion Control

According to the USDA Soils data the proposed development area of the site is comprised of sandy-loam soil, with a slope of 3 to 8 percent. This soil class is considered high in infiltration

and low in potential runoff when wet. Construction activity on site should not lead to sedimentation and erosion when employing erosion controls as shown on the proposed plan, which are consistent with the 2002 CT E&S Guidelines.

Water Quality and Drainage

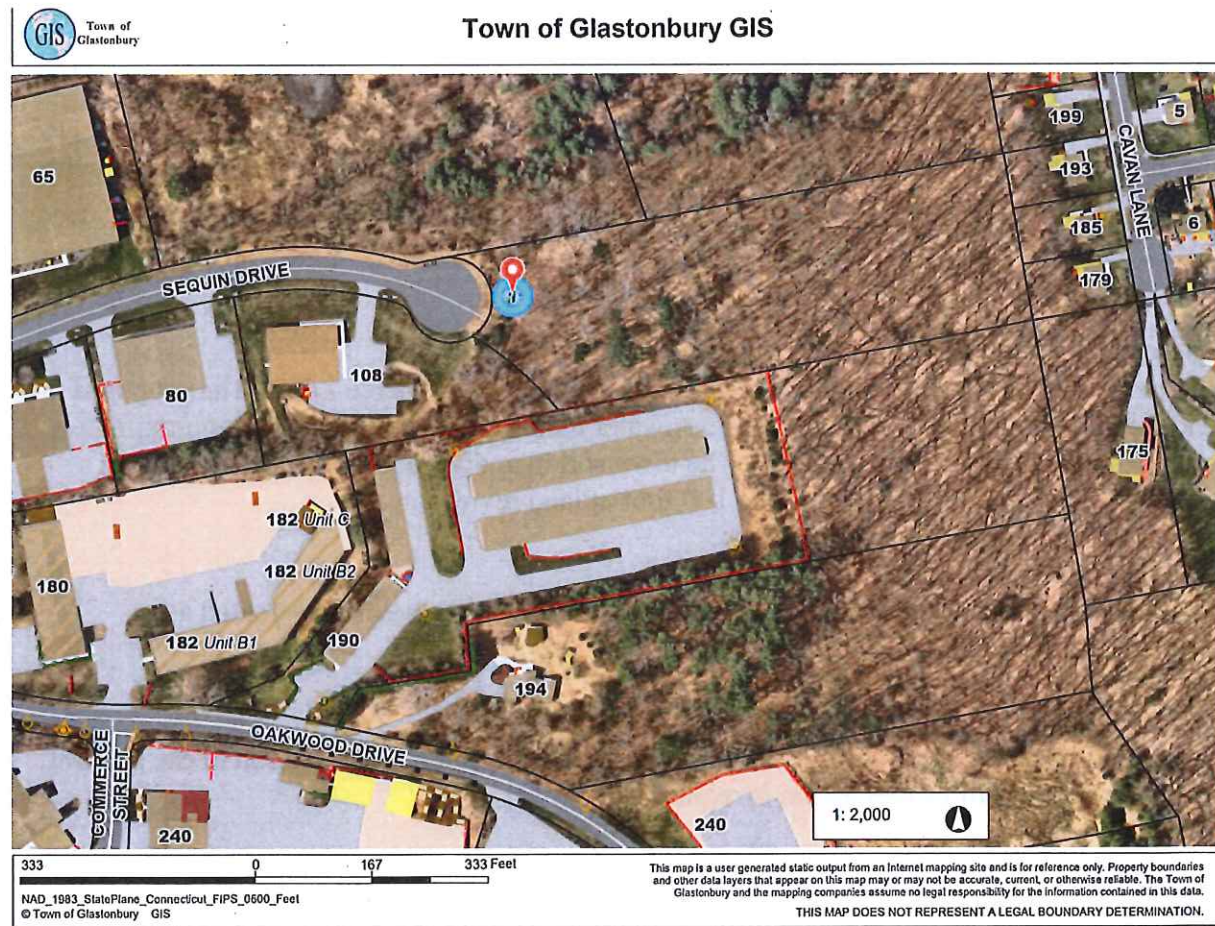
The applicant provided each commissioner with a copy of the Stormwater Management Report. The stormwater basin is proposed between the cul-de-sac and the proposed building.

Landscaping

The plan shows the extent of clearing, and does not provide any information on landscape plantings.

The applicant was provided the Conservation Commission Guidance Document. The applicant will be prepared to discuss the topics at the meeting.

Town GIS 2022 aerial view: 115 Sequin Drive (with blue circle). Conservation easement to rear of lot and on 190 Oakwood Drive are not shown on Town GIS.



April 5, 2023

MEMORANDUM

To: Suzanne Simone, Environmental Planner
Conservation Commission

From: Daniel A. Pennington, Town Engineer/ Manager of Physical Services



Re: Proposed Warehouse
115 Sequin Drive

The Engineering Division has reviewed the plans for the proposed warehouse located at 115 Sequin Drive, dated March 23, 2023, and the related Stormwater Management Report dated March, 2023 with supplemental email dated April 5, 2023 prepared by BSC Group and offers the following comments:

1. The Stormwater Management Report demonstrates that the proposed development will not increase peak stormwater discharges from the project site and will provide sufficient water quality treatment for the proposed improvements via the proposed detention / infiltration basin. As such the design of the stormwater management system is in conformance with Town standards.
2. It is noted that the Stormwater Management Report did not include a 1.4-acre portion of the watershed uphill of the project site related to several properties on the west side of Cavan Lane. Per the above referenced email dated April 5, 2023 from Matt Stephan, PE of BSC Group, incorporation of this area into the analysis will not change the design flows or function of the detention basin as designed due to ground cover and good soils in this area.
3. The proposed grass lined swale will require a temporary or permanent erosion control mat for stability. A channel analysis should be performed by the design engineer to determine an acceptable matting and appropriate notes and details added to the plans.
4. The erosion and sedimentation control plan should include a project specific narrative including the approximate area of disturbance.
5. Provide a long-term stormwater management system maintenance plan on sheet C-3.0 for all components of the storm drainage system including the detention basin, outlet control structure, and drainage swale, including the party responsible for the maintenance.
6. Depict and label proposed roof drainage. All roof drainage should be discharged to the proposed stormwater basin or into a separate infiltration system.
7. Revise the weep hole locations depicted in the outlet control structure cross section on sheet C-4.1 to be located above the WQV elevation to achieve

maximum infiltration. Revise underdrain to be 4" PVC instead of 3" for ease of maintenance.

8. Depict and label the 5,10, 25-year storm event water surface elevations on detention basin section A-A. Depict and label 4" underdrain on section B-B.
9. Consider reconfiguring the stormwater detention basin or relocating the proposed water service to eliminate the deep excavation required to maintain cover on the water service.
10. Additional spot grades should be provided on the south side of the driveway at the highpoint and low points to clarify intent to cross pitch the entire driveway to the north toward the detention basin. The portion of the proposed driveway in the Town right-of-way should include the note "constructed to Town of Glastonbury Standards" and the Town Standard Driveway detail should be added to the plan set.
11. Provide a sampling manhole for the sanitary sewer connection just inside the property near the street line. Include Town standard details for Typical Sewer Trench Detail, Sewer Manhole Detail, and Sewer Manhole Frame and Cover.
12. Depict proposed electrical service for the building as well as any proposed site lighting for the project. Site lighting details to include pole height and fixture type.
13. It is noted that no Landscaping plan is included in the plan set. If landscaping is proposed, an appropriately detailed sheet should be provided for review.
14. Depict and label handicap sign and post location for ADA parking spaces and include relevant details on the plans.
15. Label top of wall/bottom of wall elevations at points of grade transition for the proposed retaining wall for constructability.
16. Depict and label existing tree line on all applicable plans.

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NO CONVEYANCE TAX

CAVEAT REGARDING CONSERVATION EASMENT

WHEREAS, Janet Backmann and Geraldine DePersia, herein referred to as the "Grantors" are the owners of certain real property located on Sequin Drive, Glastonbury, Connecticut and more particularly described in the Schedule A, attached hereto.

Whereas, the grantors have agreed to grant to the Town of Glastonbury a conservation easement as compensation for the filling of wetlands as allowed by a permit granted on February 24, 2005 for the extension of Sequin Drive; said conservation easement to be granted at the time of gaining approval for development of the subject property. Such a future conservation easement shall cover a portion of the grantor's previously described property as more particularly depicted on the map attached hereto as Schedule B.

The purpose of this Caveat is to give notice of the Grantors intent to formally grant said conservation easement and of the Town of Glastonbury's interest in the land as more particularly depicted in Schedule B.

This Caveat has been executed by the Grantors who are the owners of record of said property on the date(s) noted below.

Grantors:

Janet Backmann
Janet Backmann

6/10/05
Date

Geraldine DePersia
Geraldine DePersia

6-11-05
Date

Witnesses:

[Signature]
Patricia M. Blaauboer

Paula R. Spirito
Paula R. Spirito

[Signature]
Trinity Kearns

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No Schedule B Attached From

**FORMAL ACTION: AGENDA ITEM II.2
APRIL 13, 2023 MEETING**

**DRAFT RECOMMENDATION TO
THE TOWN PLAN & ZONING COMMISSION**

MOVED, that the Conservation Commission recommends to the Town Plan & Zoning Commission approval of a Special Permit for a proposed warehouse building with material storage and office space with associated stormwater management at 115 Sequin Drive, in accordance with plans entitled "Proposed Warehouse, 115 Sequin Drive, Glastonbury CT, Dated March 23, 2023" 9 Sheets, with the following recommendations:

1. Erosion controls shall be installed correctly and maintained in proper working condition and shall be repaired and replaced as needed until the site is vegetatively stabilized.
2. The temporary stockpile area (TSA) shall be encircled with silt fence and shall be seeded if the soil is planned to remain for longer than 21 days.
3. The Construction Sequence and Erosion Control Plan shall be adhered to.
