



## STAFF REPORT

Staff Contact: Shelley Caltagirone, Director

## OFFICE OF COMMUNITY DEVELOPMENT

Tel: (860) 652-7510  
Email: [planning@glastonbury-ct.gov](mailto:planning@glastonbury-ct.gov)

<b>Application #:</b> N/A	<b>Submittal Date:</b> February 15, 2023
<b>Meeting Date:</b> March 7, 2023	<b>Date of Receipt:</b> February 21, 2023
<b>Agenda Item:</b> Public Hearing #1	<b>Application Type:</b> §6.2 Excavation Permit

**Applicant:** Glastonbury Earth Products, LLC

**Owner:** Cavanaugh Enterprises LLC

**Proposal:**  
Excavation Permit Renewal

**Proposal Address:**  
N-2C Dickinson Rd and 175 Dickinson Rd

**Zone:** Rural Residence Zone/  
Groundwater Protection Zone 1

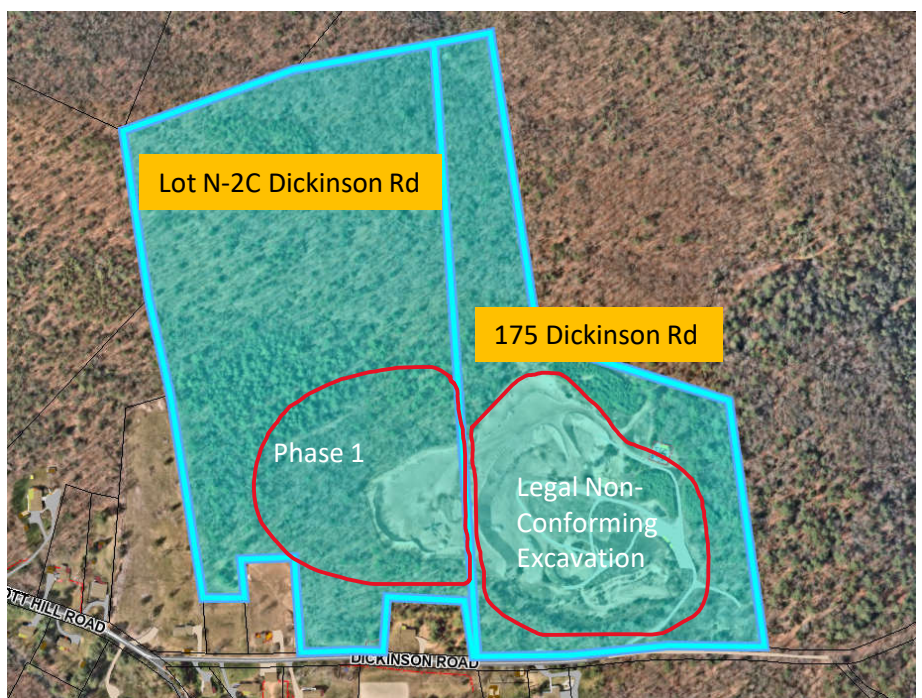
**Existing Land Use:**  
Excavation

- Prior Reviews/ Permits:**
- 12/01/09 Excavation permit
  - 12/06/11 Renewal
  - 11/19/13 Renewal
  - 11/17/15 Renewal
  - 11/17/19 Renewal
  - 12/30/21 Tolling Period

- Attached for Review:**
- Draft motion
  - Permit Tolling Letter
  - Department Memos (Health)
  - Applicant Packet / Plan Set

### Executive Summary

- Renewal of Section 6.2 excavation special permit for the excavation and removal of earth products from N-2C Dickinson Road.
- Area of excavation is 10.4 acres and access will be through 175 Dickinson Road.
- 175 Dickinson Road is ongoing "grandfathered excavation."
- The estimated total material to be removed from Lot N-2C Dickinson Road is 954,617 cubic yards. The amount of material to be excavated during Phase 1 is 156,917 cubic yards.
- The original excavation permit for Phase 1 was granted by the Town Plan and Zoning Commission on December 1, 2009. The applicant has been granted renewal of the permit continuously since then.
- The existing permit expires on March 10, 2023.



Site location

### **Site Description**

The excavation site is located on the north side of Dickinson Road in the Rural Residence Zone. The permitted area is comprised of 10.4 acres located on the southern portion of Lot N-2C Dickinson Road. The grandfathered Bronzi/Chapman excavation site is located adjacent to the east of the permitted area. Access to the permitted area is through a gated construction entrance on 175 Dickinson Road leading to an existing gravel drive that heads north and west through the Bronzi/Chapman site toward the Phase 1 permitted area.

### **Adjacent Uses**

Single-family residences abut the site to the east, south and west. Vacant land owned by the State abuts the site to the north. All adjacent property owners were mailed notice of the renewal application on February 28, 2023, in accordance with Section 6.2.9 requirements.

### **Proposal**

The total material removed from Lot N-2C since the 2009 original approval is 954,617 cubic yards. Of this amount, 138,812 cubic yards of material has been excavated since the issuance of a permit renewal in 2019. This reduces the remaining quantity to be removed from Phase I from 295,729 cubic yards to 156,917 cubic yards. The intent is to continue to excavate from Phase I for the next two years. No other changes to the plans or operations are proposed from the previous approvals.

### **Planning and Zoning Analysis**

The proposed excavation activities meet all the requirements set forth in Section 6.2 of the Building-Zone Regulations. And, all adjacent property owners were mailed notice of the renewal application on February 28, 2023, in accordance with Section 6.2.9 requirements.




*Town of Glastonbury*  
*Health Department*

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## Memo

February 21, 2023

**To:** Shelley Caltagirone, Director of Planning & Land Use Services

**Fr:** Don Kendrick, Sanitarian 

**Re:** Renewal of Special Permit  
Glastonbury Earth Products, LLC Excavation  
Lot N2C Dickinson Road

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This office has received a plan for the above referenced property, prepared by Megson, Heagle and Friend, dated 3/31/09, last revised 1/10/23.

Operations at this site are to maintain erosion checks and windblown sediment controls. No additional sanitary impact is anticipated with this excavation, and approval with respect to CT Public Health Code is forwarded for Commission consideration.



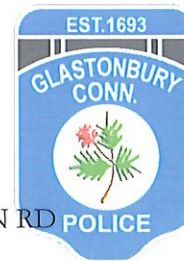
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GLASTONBURY POLICE DEPARTMENT

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**TO:** TOWN PLAN AND ZONING COMMISSION  
**FROM:** MARSHALL S. PORTER, POLICE CHIEF  
**SUBJECT:** APPLICATION OF GLASTONBURY EARTH PRODUCTS, LLC:  
EXCAVATION SPECIAL PERMIT RENEWAL, N2C DICKINSON RD  
**DATE:** 02/24/2023

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Members of the Police Department have reviewed the application of Glastonbury Earth Products, LLC for an Excavation Special Permit Renewal at N2C Dickinson Rd.

The police department has no objection to this proposal.

  
\_\_\_\_\_  
Marshall S. Porter  
Chief of Police



March 2, 2023

**MEMORANDUM**

To: Town Plan and Zoning Commission  
Shelley Caltagirone, Director of Planning and Land Use

From: Daniel A. Pennington, Town Engineer / Manager of Physical Services

Re: Glastonbury Earthworks, 175 Dickinson Road  
Section 6.2 Excavation Special Permit

The Engineering Division has reviewed the plan for the excavation of earth products for 175 Dickinson Road and has no comments.

DAP/dl







# Town of Glastonbury

2155 MAIN STREET • P.O. BOX 6523 • GLASTONBURY, CONNECTICUT 06033-6523

December 30, 2021

Dan Lally  
Hubert E. Butler Construction Company  
948 Portland-Cobalt Road  
Portland, Connecticut 06480

Re: 175 Dickinson Road Excavation Operation Permit Tolling

Dear Mr. Lally,

In accordance with Executive Order 7jj issued by Governor Ned Lamont, the Section 6.2 Excavation Special Permit approved on October 15, 2019 for 175 Dickinson Road was tolled\* starting March 10, 2020 through July 1, 2021. The new expiration date of the Excavation Special Permit is March 9, 2023.

Should you have any questions concerning this approval, please contact the Office of Community Development at (860) 652-7510.

Sincerely,

A handwritten signature in blue ink, appearing to read "Rebecca Augur".

Rebecca Augur, AICP  
Director of Planning & Land Use Services

*\* In this case, "tolled" means to stop the running of a time period, especially a time period set by a statute of limitations*

RA:JM:gfm



**TOWN PLAN AND ZONING COMMISSION  
GLASTONBURY, CT  
APPLICATION FOR SPECIAL PERMIT**

**Application for:**

- \_\_\_\_\_ Section 12 Special Permit with Design Review (SPDR)
- \_\_\_\_\_ Section 12.9 Minor Change to an approved Section 12 SPDR
- X   Section 6.2 Excavation Special Permit
- \_\_\_\_\_ Section 6.8 Rear Lot Special Permit
- \_\_\_\_\_ Section 4.11 Flood Zone Special Permit
- \_\_\_\_\_ Section 6.11 Accessory Apartment Special Permit\*\*
- \_\_\_\_\_ \*\* Applicant must submit addresses of property owners within 100 feet  
of the premises in accordance with Section 6.11.4 of the Building-Zone Regulations
- \_\_\_\_\_ Other

**Application and fee to be submitted with 14 sets of plans - see other side for fees.**

Consult appropriate section(s) of the Glastonbury Building Zone Regulations to determine standards and criteria for application evaluation.

**Applicant**

**Property Owner**

Name Glastonbury Earth Products, LLC Name Cavanaugh Enterprises LLC  
Name c/o Hubert E Butler Construction Co., LLC Name c/o Heather Parker

Address 984 Portland Cobalt Rd Address 35 Tall Timbers Rd  
Portland, CT 06480 Middletown, CT 06073

Telephone 860-342-3880 Telephone 860-788-6108

Fax 860-342-2142 Fax \_\_\_\_\_

Location of proposed use N2C Dickinson Road / 175 Dickinson Road  
(include street address South Glastonbury, CT 06073  
if applicable)

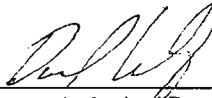
Map/Street/Lot   /  /   Zoning District of proposal Rural Residence

**Nature of request, including type of use, reasons for application, etc.**

Renewal of Section 6.2 excavation special permit for the excavation and removal of Earth Products from N2C Dickinson Road.

Area of excavation is 10.4 +/- acres. Access to the excavation will be through 175 Dickinson Road.

175 Dickinson Road is an ongoing "grandfathered" excavation (Chapman Property)

Signature   
Applicant or Authorized Representative

Signature   
Owner or Authorized Representative

Date 2/15/23

Date 2/15/23

**Fees:**

**Special Permits:**

**Sec. 12 SPDR, Sec. 6.2, Sec. 6.8,  
Sec. 4.11, Sec. 6.11, Other**

**\$200.00  
plus \$60.00 State of Connecticut Fee = \$260.00**

**Sec. 12 SPDR - an additional fee of \$25 for each  
2,000 sq. ft. over 10,000 sq. ft. is required**

**Sec. 6.2 Excavation Special Permit - an additional fee of  
\$40 for each 5 acres or portion thereof in excess of 10 acres**

**Sec. 12.9 Minor Change**

**\$50.00  
plus \$60.00 State of Connecticut Fee = \$110.00**

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**For Office Use**

Date Received: \_\_\_\_\_

Fee Paid: \_\_\_\_\_ Cash / Check

Public Hearing Scheduled \_\_\_\_\_

Public Hearing Advertised (1) \_\_\_\_\_

(2) \_\_\_\_\_

Action \_\_\_\_\_

Notice of Action \_\_\_\_\_

TOWN OF GLASTONBURY - OFFICE OF COMMUNITY DEVELOPMENT  
STATE OF CONNECTICUT SIXTY DOLLAR (\$60.00) ADDITIONAL FEE REQUIRED

In accordance with Public Act 92-235 the State of Connecticut requires that any person, firm or corporation making application for approval of land use applications pay a sixty dollar (\$60.00) fee, in addition to any other fee which is required for application.

The following applications require submission of fee:

- Special Permits
- Subdivision and Resubdivision
- Change of Zone
- Planned Area Development Final Development Plan
- Inland Wetlands and Watercourses Permit
- Special Exceptions and Variances

Such fee shall be collected by the Town. Of the sixty dollars (\$60.00) collected; two dollars (\$2.00) shall be retained by the Town to cover administrative costs; and fifty-eight dollars (\$58.00) shall be deposited in the "Environmental Quality Fund established pursuant to Section 22a-27g" of the Connecticut General Statutes.

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Please provide the following information and submit this form and the sixty dollar (\$60.00) fee to the Office of Community Development and/or Building Department upon submission of each application.

Name of Applicant Glastonbury Earth Products, LLC c/o Hubert E Butler Construction Co., LLC  
Address 984 Portland Cobalt Rd  
Portland, CT 06480  
Name of Project Excavation Plan  
Address N2C Dickinson Road  
South Glastonbury, CT 06073

Type of Application:

Special Permit Section Number	<u>6.2</u>
Subdivision and Resubdivision	<u>Excavation Special Permit</u>
Change of Zone	_____
Planned Area Development	_____
Final Development Plan and/or Zone Change	_____
Inland Wetlands and Watercourses Permit	_____
Special Exceptions and Variances	_____

Date Fee Received \_\_\_\_\_

By \_\_\_\_\_

Project Number \_\_\_\_\_



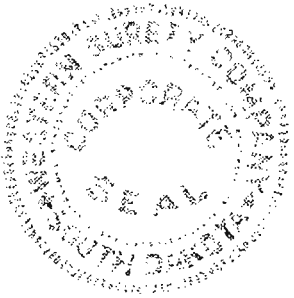
# Western Surety Company

## CONTINUATION CERTIFICATE

Western Surety Company hereby continues in force Bond No. 63510847 briefly described as EXCAVATION TOWN OF GLASTONBURY,  
 \_\_\_\_\_,  
 for GLASTONBURY EARTH PRODUCTS LLC,  
 \_\_\_\_\_, as Principal,  
 in the sum of \$ TWENTY-ONE THOUSAND AND NO/100 Dollars, for the term beginning February 02, 2023, and ending February 02, 2024, subject to all the covenants and conditions of the original bond referred to above.

This continuation is issued upon the express condition that the liability of Western Surety Company under said Bond and this and all continuations thereof shall not be cumulative and shall in no event exceed the total sum above written.

Dated this 25th day of January, 2023.



WESTERN SURETY COMPANY

By Paul T. Bruhat  
 Paul T. Bruhat, Vice President

**THIS "Continuation Certificate" MUST BE FILED WITH THE ABOVE BOND.**

# EXCAVATION PLAN DICKINSON ROAD PREPARED FOR GLASTONBURY EARTH PRODUCTS, LLC GLASTONBURY, CONNECTICUT

I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.  
MARK W. FRIEND P.E. #15818

**MEGSON, HEAGLE & FRIEND**  
CIVIL ENGINEERS & LAND SURVEYORS, LLC  
81 RANKIN ROAD  
GLASTONBURY, CONN. 06033  
PHONE (860)-659-0587

## INDEX TO SHEETS

COVER SHEET	1 SHEET
500' AREA MAP	1 SHEET
BOUNDARY & EXISTING CONDITIONS MAP	1 SHEET
PHASE I GRADING PLAN/STORM WATER POLLUTION CONTROL PLAN	1 SHEET
FINAL GRADING PLAN/STORM WATER POLLUTION CONTROL PLAN	1 SHEET
STORM WATER POLLUTION CONTROL NOTES & DETAILS	1 SHEET
CONDITIONS OF APPROVAL	1 SHEET

## ZONING TABLE

ZONE: RURAL RESIDENCE  
N/F CHAPMAN PARCEL (#175 DICKINSON ROAD) AREA = 30.37 AC.  
N/F CAVANAUGH PARCEL (N2C DICKINSON ROAD) AREA = 46.67 AC.

## SETBACK REQUIREMENTS

FRONT YARD SETBACK = 50'  
REAR YARD SETBACK = 50'  
SIDE YARD SETBACK = 25'

AREA OF EXCAVATION ACTIVITIES - 13.1± AC. (CHAPMAN PARCEL)  
10.4± AC. (CAVANAUGH PARCEL)

CAVANAUGH PARCEL:  
ESTIMATED QUANTITY OF EXCAVATED MATERIAL (PHASE I): 156,917 C.Y.  
TOTAL ESTIMATED QUANTITY OF EXCAVATED MATERIAL: 954,617 C.Y.  
GROUNDWATER PROTECTION ZONE 1



**LOCATION MAP**  
SCALE: 1"=1000'

ALL CONTRACTORS SHALL BE INFORMED BY THE PERMITEE THAT THIS PROPERTY IS WITHIN THE HOME RANGE OF THE STATE ENDANGERED TIMBER RATTLESNAKE AND THAT THIS A PROTECTED SPECIES. ALL SIGHTINGS SHOULD BE REPORTED TO THE OFFICE OF COMMUNITY DEVELOPMENT.

EXCAVATION PLAN/GLASTONBURY EARTH PRODUCTS, LLC		RURAL RESIDENCE
PROJECT/APPLICANT	ZONE	& (GW-1)
N2C DICKINSON ROAD		
PROJECT ADDRESS		
6.2	TPZ CHAIRMAN	
SPECIAL PERMIT SECTION	DIRECTOR OF COMMUNITY DEVELOPMENT	
DATE SPECIAL PERMIT APP'D	FILE NO.	

**OPERATOR:**  
GLASTONBURY EARTH PRODUCTS, LLC  
C/O HUBERT E. BUTLER CONST. CO., LLC  
984 PORTLAND COBALT ROAD  
PORTLAND, CT. 06480  
(860)342-3880

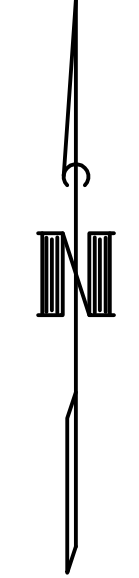
**CONTACT PERSON:**  
DAN LALLY  
(203)410-1076

REV. 1-10-23 EXCAVATION PERMIT RENEWAL  
REV. 10-28-19 CONDITIONS OF APPROVAL  
REV. 8-21-19 PERMIT RENEWAL  
REV. 12-19-17 CONDITIONS OF APPROVAL  
REV. 9-27-17 PERMIT RENEWAL  
REV. 12-30-13 PERMIT RENEWAL  
REV. 10-18-13 PERMIT RENEWAL  
REV. 10-10-11 PERMIT RENEWAL  
REV. 12-30-09 CONDITIONS OF APPROVAL  
REV. 10-20-09 FUEL TANK PAD DETAIL  
REV. 9-23-09 500 GALLON FUEL TANK SHOWN

COVER SHEET  
EXCAVATION PLAN  
DICKINSON ROAD  
PREPARED FOR  
GLASTONBURY EARTH PRODUCTS, LLC  
GLASTONBURY, CONN.

CK. BY: JLH  
DRW. BY: SAM  
DATE: 3-31-09  
SCALE: NONE  
SHEET 1 OF 1  
MAP NO. 133-07-1CS

EXCAVATION PLAN/GLASTONBURY EARTH PRODUCTS, LLC RURAL RESIDENCE	
PROJECT/APPLICANT	ZONE (GW-1)
N2C DICKINSON ROAD	
PROJECT ADDRESS	
6.2	TPZ CHAIRMAN
SPECIAL PERMIT SECTION	
DATE SPECIAL PERMIT APP'D	DIRECTOR OF COMMUNITY DEVELOPMENT
FILE NO.	



**ZONING TABLE**

ZONE: RURAL RESIDENCE  
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**SETBACK REQUIREMENTS**

FRONT YARD SETBACK = 50'  
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AREA OF EXCAVATION ACTIVITIES - 13.1± AC. (CHAPMAN PARCEL)  
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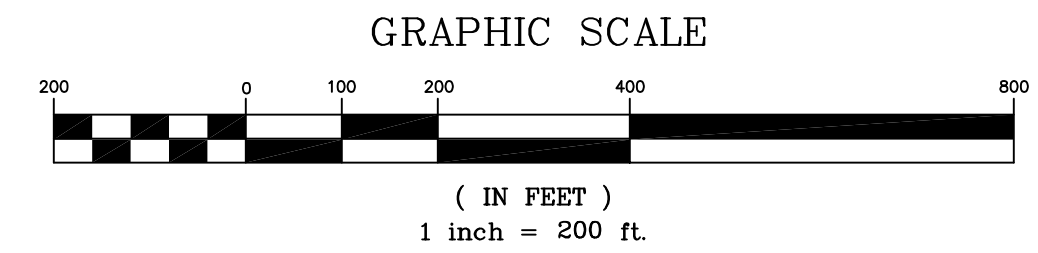
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 TOTAL ESTIMATED QUANTITY OF EXCAVATED MATERIAL: 954,617 C.Y.  
 GROUNDWATER PROTECTION ZONE 1

OPERATOR:  
 GLASTONBURY EARTH PRODUCTS, LLC  
 C/O HUBERT E. BUTLER CONST. CO., LLC  
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 PORTLAND, CT. 06480  
 (860)342-3880

CONTACT PERSON:  
 DAN LALLY  
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- REV. 1-10-23 EXCAVATION PERMIT RENEWAL
- REV. 10-28-19 CONDITIONS OF APPROVAL
- REV. 12-19-17 CONDITIONS OF APPROVAL
- REV. 9-27-17 PERMIT RENEWAL
- REV. 10-18-13 PERMIT RENEWAL
- REV. 10-10-11 PERMIT RENEWAL
- REV. 12-30-09 CONDITIONS OF APPROVAL
- REV. 10-20-09 FUEL TANK PAD DETAIL
- REV. 9-23-09 500 GALLON FUEL TANK SHOWN

I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.  
 MARK W. FRIEND P.E. #15818

MEGSON, HEAGLE & FRIEND  
 CIVIL ENGINEERS & LAND SURVEYORS, LLC  
 81 RANKIN ROAD  
 GLASTONBURY, CONN. 06033  
 PHONE (860)-659-0587

500' AREA MAP  
 EXCAVATION PLAN  
 DICKINSON ROAD  
 PREPARED FOR  
 GLASTONBURY EARTH PRODUCTS, LLC  
 GLASTONBURY, CONN.

CK. BY: J/LH  
 DRW. BY: SAM  
 DATE: 3-31-09  
 SCALE: 1"=200'  
 SHEET 1 OF 1  
 MAP NO. 133-07-1RM

P:\2007\000\113307\msh\msh\p\excav.dwg 2/14/2003 8:46:51 AM JEST

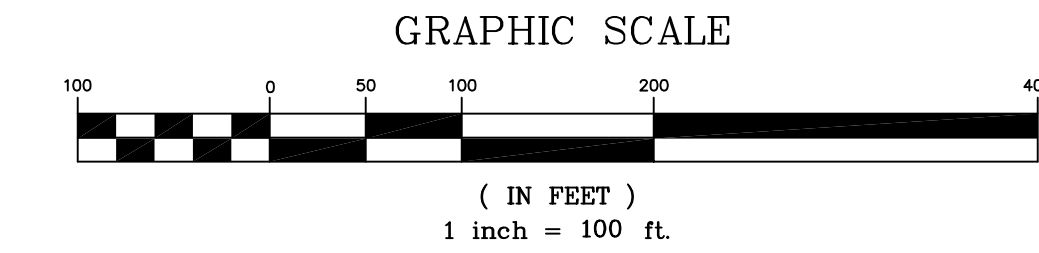


EXCAVATION PLAN/GLASTONBURY EARTH PRODUCTS, LLC RURAL RESIDENCE	
PROJECT/APPLICANT	ZONE (GW-1)
35 DICKINSON ROAD	
PROJECT ADDRESS	
6.2	TPZ CHAIRMAN
SPECIAL PERMIT SECTION	
DATE SPECIAL PERMIT APP'D	DIRECTOR OF COMMUNITY DEVELOPMENT
FILE NO.	

ZONE: RURAL RESIDENCE  
 BEARINGS AND COORDINATES BASE ON THE NAD 83 COORDINATE SYSTEM.  
 ELEVATION BASED ON THE NAVD 88 DATUM.

**LEGEND**

EXISTING IRON PIN    ● I.P.  
 EXISTING CONTOUR    ——— 470  
 EXISTING SPOT ELEVATION    X 476.2



ALL CONTRACTORS SHALL BE INFORMED BY THE PERMITEE THAT THIS PROPERTY IS WITHIN THE HOME RANGE OF THE STATE ENDANGERED TIMBER RATTLESNAKE AND THAT THIS A PROTECTED SPECIES. ALL SIGHTINGS SHOULD BE REPORTED TO THE OFFICE OF COMMUNITY DEVELOPMENT.

REFERENCE MADE TO MAP TITLED:  
 "REVISED BOUNDARY SURVEY PREPARED FOR FRANCES CAVANAUGH SHOWING REVISED BOUNDARY LINE DICKINSON ROAD GLASTONBURY, CONNECTICUT" BY ROB HELLSTROM L.S. HEBRON, CONN. DATE: MAY 25, 2006 SCALE: 1"=80' JOB NO. 2005-013 SHEET 1 OF 1

REFERENCE MADE TO MAP TITLED:  
 "PREPARED FOR DONALD CHAPMAN, EST. & RONALD J. & BEVERLY L. BRONZI DICKENSON ROAD GLASTONBURY, CONNECTICUT" BY RICHARD F. MIHOK, P.E. CONSULTING ENGINEER MARLBOROUGH, CONN. DATE: 6-21-06 SCALE: 1"=100' SHEET 1 OF 1

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON. THIS SURVEY WAS PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTION 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS AND SUGGESTED METHODS AND PROCEDURES FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON AUGUST 29, 2019.

TYPE OF SURVEY: BOUNDARY MAP  
 BOUNDARY DETERMINATION CATEGORY: DEPENDENT RESURVEY  
 CLASS OF ACCURACY: A-2  
 SANDS E. AESCHLIAN L.S. # 14201

BOUNDARY & EXISTING CONDITIONS MAP  
 EXCAVATION PLAN  
 DICKINSON ROAD  
 PREPARED FOR  
 GLASTONBURY EARTH PRODUCTS, LLC  
 GLASTONBURY, CONN.

MEGSON & HEAGLE  
 CIVIL ENGINEERS & LAND SURVEYORS, LLC  
 81 RANKIN ROAD  
 GLASTONBURY, CONN. 06033  
 PHONE (860)-659-0587

1-0-23 EXCAVATION PERMIT RENEWAL  
 REV. 10-28-19 CONDITIONS OF APPROVAL  
 REV. 12-30-09 CONDITIONS OF APPROVAL  
 REV. 10-20-09 FUEL TANK PAD DETAIL  
 REV. 9-23-09 500 GALLON FUEL TANK SHOWN

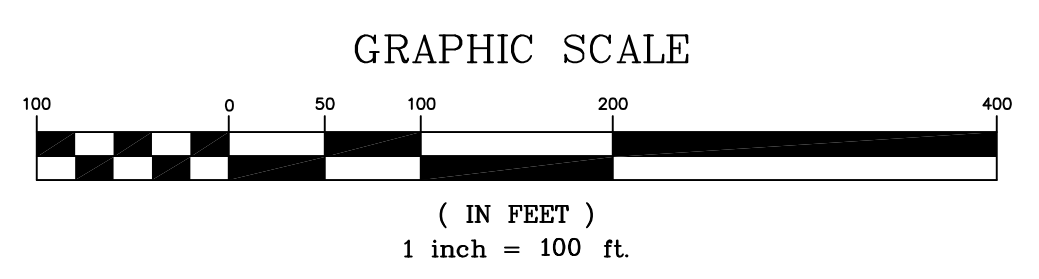
CK. BY: JLH  
 DRW. BY: SAM  
 DATE: 3-31-09  
 SCALE: 1"=100'  
 SHEET 1 OF 1  
 MAP NO. 133-07-1EC

EXCAVATION PLAN/GLASTONBURY EARTH PRODUCTS, LLC RURAL RESIDENCE	
PROJECT/APPLICANT	ZONE (GW-1)
N2C DICKINSON ROAD	
PROJECT ADDRESS	
SPECIAL PERMIT SECTION	TPZ CHAIRMAN
DATE SPECIAL PERMIT APP'D	DIRECTOR OF COMMUNITY DEVELOPMENT
FILE NO.	

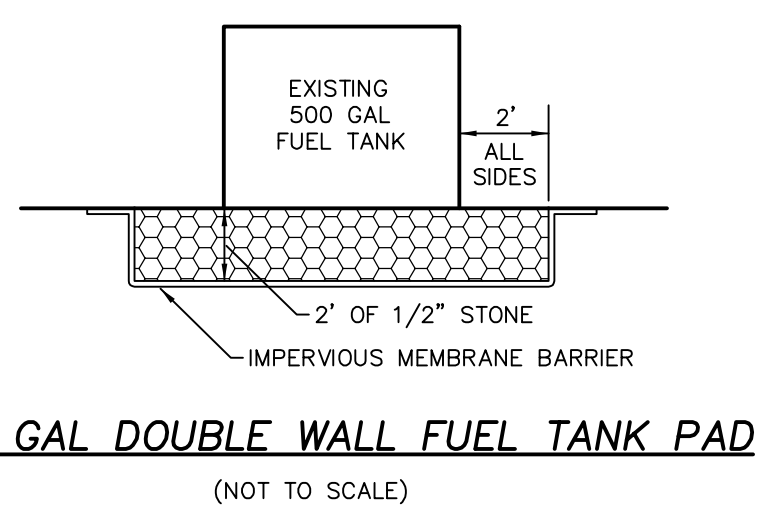
ZONE: RURAL RESIDENCE  
 BEARINGS AND COORDINATES BASE ON THE NAD 83 COORDINATE SYSTEM.  
 ELEVATION BASED ON THE NAVD 88 DATUM.

**LEGEND**

EXISTING CONTOUR	— 470
EXISTING SPOT ELEVATION	X 476.2
PROPOSED CONTOUR (PHASE -I)	— 510
PROPOSED CONTOUR (FINAL)	— 510
LIMIT OF CLEARING	—
STAKED HAY BALES/SILT FENCE	—



**NOTE: ALL SLOPES TO BE GRADED 3:1 OR FLATTER AT THE END OF EACH WORK DAY.**



ALL CONTRACTORS SHALL BE INFORMED BY THE PERMITEE THAT THIS PROPERTY IS WITHIN THE HOME RANGE OF THE STATE ENDANGERED TIMBER RATTLESNAKE AND THAT THIS A PROTECTED SPECIES. ALL SIGHTINGS SHOULD BE REPORTED TO THE OFFICE OF COMMUNITY DEVELOPMENT.

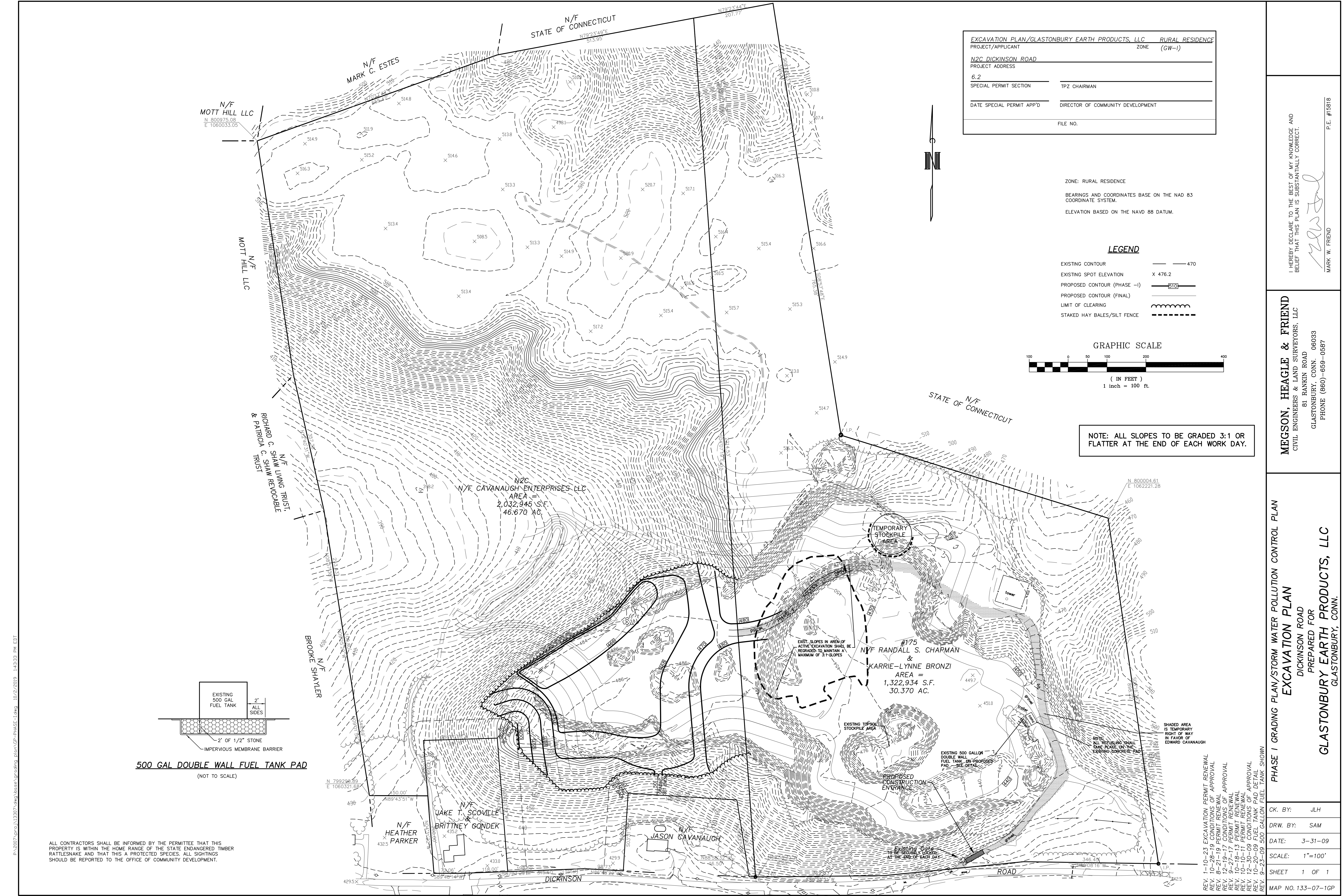
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- REV. 9-21-19 PERMIT RENEWAL
- REV. 9-27-17 PERMIT RENEWAL
- REV. 10-10-13 PERMIT RENEWAL
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- REV. 9-23-09 500 GALLON FUEL TANK SHOWN

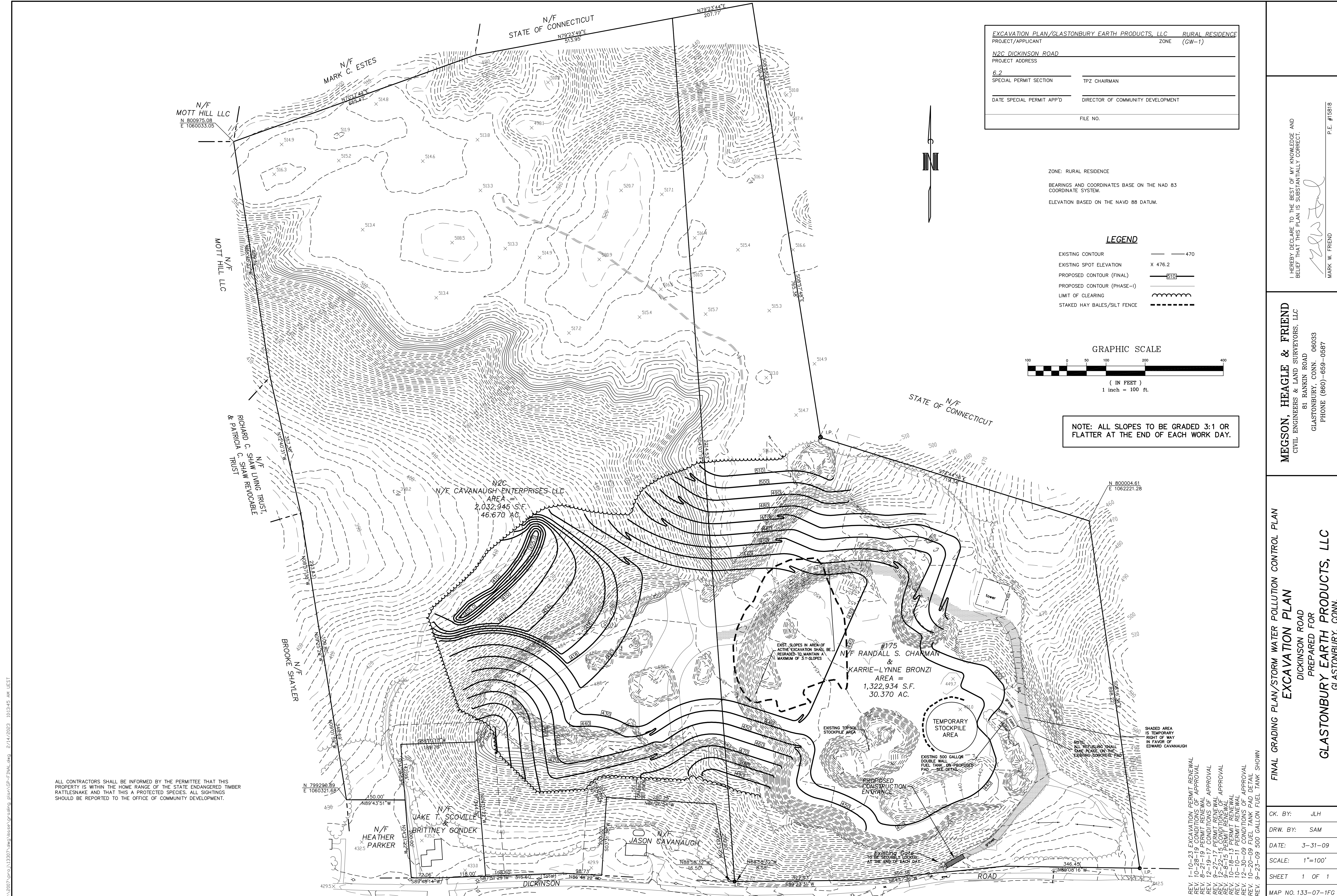
CK. BY: JLH  
 DRW. BY: SAM  
 DATE: 3-31-09  
 SCALE: 1"=100'  
 SHEET 1 OF 1  
 MAP NO. 133-07-16P

PHASE I GRADING PLAN/STORM WATER POLLUTION CONTROL PLAN  
 EXCAVATION PLAN  
 PREPARED FOR  
**GLASTONBURY EARTH PRODUCTS, LLC**  
 GLASTONBURY, CONN.

**MEGSON, HEAGLE & FRIEND**  
 CIVIL ENGINEERS & LAND SURVEYORS, LLC  
 81 RANKIN ROAD  
 GLASTONBURY, CONN. 06033  
 PHONE (860)-659-0587

I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.  
  
 MARK W. FRIEND  
 P.E. #15816



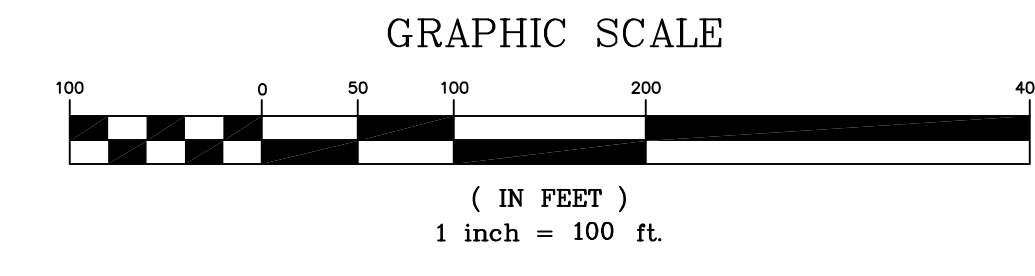


EXCAVATION PLAN/GLASTONBURY EARTH PRODUCTS, LLC RURAL RESIDENCE	
PROJECT/APPLICANT	ZONE (GW-1)
N2C DICKINSON ROAD	
PROJECT ADDRESS	
6.2	TP2 CHAIRMAN
SPECIAL PERMIT SECTION	
DATE SPECIAL PERMIT APP'D	
DIRECTOR OF COMMUNITY DEVELOPMENT	
FILE NO.	

ZONE: RURAL RESIDENCE  
 BEARINGS AND COORDINATES BASE ON THE NAD 83 COORDINATE SYSTEM.  
 ELEVATION BASED ON THE NAVD 88 DATUM.

**LEGEND**

EXISTING CONTOUR	— 470
EXISTING SPOT ELEVATION	X 476.2
PROPOSED CONTOUR (FINAL)	— 510
PROPOSED CONTOUR (PHASE-I)	— 510
LIMIT OF CLEARING	—
STAKED HAY BALES/SILT FENCE	—



**NOTE: ALL SLOPES TO BE GRADED 3:1 OR FLATTER AT THE END OF EACH WORK DAY.**

ALL CONTRACTORS SHALL BE INFORMED BY THE PERMITTEE THAT THIS PROPERTY IS WITHIN THE HOME RANGE OF THE STATE ENDANGERED TIMBER RATTLESNAKE AND THAT THIS A PROTECTED SPECIES. ALL SIGHTINGS SHOULD BE REPORTED TO THE OFFICE OF COMMUNITY DEVELOPMENT.

- REV. 1-10-23 EXCAVATION PERMIT RENEWAL
- REV. 0-28-23 CONDITIONS OF APPROVAL
- REV. 12-19-22 PERMIT RENEWAL
- REV. 9-27-17 PERMIT RENEWAL
- REV. 12-22-19 CONDITIONS OF APPROVAL
- REV. 10-18-17 PERMIT RENEWAL
- REV. 10-10-11 PERMIT RENEWAL
- REV. 12-30-09 CONDITIONS OF APPROVAL
- REV. 10-20-09 FUEL TANK PAD DETAIL
- REV. 9-23-09 500 GALLON FUEL TANK SHOWN

FINAL GRADING PLAN/STORM WATER POLLUTION CONTROL PLAN  
 EXCAVATION PLAN  
 PREPARED FOR  
**GLASTONBURY EARTH PRODUCTS, LLC**  
 GLASTONBURY, CONN.

CK. BY: J/LH  
 DRW. BY: SAM  
 DATE: 3-31-09  
 SCALE: 1"=100'  
 SHEET 1 OF 1  
 MAP NO. 133-07-1FG

MEGSON, HEAGLE & FRIEND  
 CIVIL ENGINEERS & LAND SURVEYORS, LLC  
 81 RANKIN ROAD  
 GLASTONBURY, CONN. 06033  
 PHONE (860)-659-0587

I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.

MARK W. FRIEND P.E. #15618

**GENERAL CONSTRUCTION**

IN GENERAL, EROSION AND SEDIMENTATION CONTROL AND RESTORATION MEASURES SHALL CONFORM TO THE "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL—CONNECTICUT" PUBLISHED BY THE CONN. COUNCIL ON SOIL AND WATER CONSERVATION, JANUARY 1985 AND TO THE TOWN OF GLASTONBURY REQUIREMENTS.

INSTALLATION OF SOIL EROSION AND SEDIMENTATION CONTROL AND STABILIZATION MEASURES SHALL BE THE PERMITEE'S RESPONSIBILITY. ONCE INSTALLED THESE MEASURES SHALL THEN BE INSPECTED BY THE ENVIRONMENTAL PLANNER PRIOR TO LAND DISTURBANCE ACTIVITIES. AFTERWARDS IT THEN SHALL BE THE PERMITEE'S RESPONSIBILITY TO INSPECT THESE CONTROL MEASURES DURING, AND IMMEDIATELY FOLLOWING, SUBSTANTIAL STORM EVENTS AND MAINTAIN AND/OR REPLACE THE CONTROL MEASURES, WHEN NEEDED, ON A REGULAR BASIS UNTIL THE SITE IS VEGETATIVELY STABILIZED. HAY BALES SHALL BE REPLACED EVERY 60 DAYS. THE ENVIRONMENTAL PLANNER IS HEREBY AUTHORIZED TO REQUIRE ADDITIONAL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES TO ADDRESS SITUATIONS THAT ARISE ON THE SITE.

ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE LOAMED WITH 6 INCHES OF TOPSOIL, SEEDED WITH PERENNIAL FINE-TEXTURED GRASSES @ 2 1/2 LBS. PER 1000 S.F. AND MULCHED WITH STRAW @ 100 LBS. PER 1000 S.F. OR STABILIZED WITH JUTE NETTING. THE POINT OF ACCESS TO THE SITE SHALL BE WELL DEFINED.

AN APRON OF CRUSHED STONE @ A DEPTH OF MINIMUM 6 INCHES AND 50' IN LENGTH SHALL BE INSTALLED AND MAINTAINED TO THE SITE.

ALL VEHICULAR ACTIVITIES SHALL BE SERVED VIA THIS DRIVE.

CRUSHED STONE IS TO BE REPLACED WHEN SILTED INTO THE GROUND TO THE EXTENT THAT IT IS NO LONGER EFFECTIVE FOR ANTI-TRACKING.

**LAND GRADING**

**GENERAL:**

1. THE RESHAPING OF THE GROUND SURFACE BY EXCAVATION AND FILLING OR A COMBINATION OF BOTH, TO OBTAIN PLANNED GRADES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING BASIC CRITERIA:
  - A) THE CUT FACE OF EARTH EXCAVATION SHALL NOT BE STEEPER THAN THREE HORIZONTAL TO ONE VERTICAL (3:1).
  - B) THE PERMANENT EXPOSED FACES OF FILLS SHALL NOT BE STEEPER THAN THREE HORIZONTAL TO ONE VERTICAL (3:1).
  - C) NO FILL SHOULD BE PLACED WHERE IT WILL SLIDE, OR WASH UPON THE PREMISES OF ANOTHER OWNER OR UPON ADJACENT WETLANDS, WATERCOURSE OR WATERBODY.
  - D) INSTALLATION OF SEDIMENT AND EROSION CONTROLS SUCH AS HAY BALES AND SILT FENCES SHALL BE ESTABLISHED PRIOR TO COMMENCING LAND DISTURBANCE ACTIVITIES. ALL SEDIMENT AND EROSION CONTROL STRUCTURES MUST BE MONITORED AND MAINTAINED BY THE CONTRACTOR UNTIL THE SOIL SURFACE IS STABILIZED.
  - E) HAY BALES SHALL BE STAKED AND SILT FENCES SHALL BE PROPERLY SECURED. SEDIMENT WILL BE REMOVED FROM ALL CATCHMENTS AS NECESSARY.
  - F) PRIOR TO ANY REGRADING, STONE APRON SHALL BE PLACED BY THE ENTRANCE TO THE WORK AREA IN ORDER TO REDUCE MUD AND OTHER SEDIMENTS FROM LEAVING THE SITE.

**TOPSOILING**

**GENERAL:**

1. TOPSOIL SHALL BE SPREAD OVER ALL EXPOSED AREAS IN ORDER TO PROVIDE A SOIL MEDIUM HAVING FAVORABLE CHARACTERISTICS FOR THE ESTABLISHMENT, GROWTH AND MAINTENANCE OF VEGETATION.
  2. REMOVE ALL LARGE STONES, TREE LIMBS, ROOTS, AND CONSTRUCTION DEBRIS.
  3. APPLY LIME ACCORDING TO SOIL TEST OR AT THE RATE OF TWO (2) TONS PER ACRE.
- MATERIAL:**
1. TOPSOIL SHOULD HAVE PHYSICAL, CHEMICAL AND BIOLOGICAL CHARACTERISTICS FAVORABLE TO THE GROWTH OF PLANTS.
  2. TOPSOIL SHOULD HAVE A SANDY OR LOAMY TEXTURE.
  3. AN ORGANIC MATTER CONTENT OF OVER TWO (2) PERCENT IS HIGHLY DESIRABLE. AVOID LIGHT COLORED LOWER SUBSOIL MATERIAL.
- APPLICATION:**
1. AVOID SPREADING WHEN TOPSOIL IS WET OR FROZEN.
  2. SPREAD TOPSOIL UNIFORMLY TO A DEPTH OF AT LEAST SIX (6") INCHES.

**EROSION CHECKS**

**GENERAL:**

1. TEMPORARY PERVIOUS BARRIERS USING BALES OF HAY OR STRAW, HELD IN PLACE WITH STAKES DRIVEN THROUGH THE BALES AND INTO THE GROUND, OR SEDIMENT FILTER FABRIC FASTENED TO A FENCE POST AND BURIED INTO THE GROUND, SHALL BE INSTALLED AND MAINTAINED AS REQUIRED TO CHECK EROSION AND REDUCE SEDIMENTATION.

**CONSTRUCTION:**

1. BALES SHALL BE PLACED IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
  2. EACH BALE SHALL BE EMBEDDED INTO THE SOIL A MINIMUM OF FOUR (4") INCHES.
  3. BALES SHALL BE SECURELY ANCHORED IN PLACE BY WOOD STAKES OR REINFORCEMENT BARS DRIVEN THROUGH THE BALES AND INTO THE GROUND. THE FIRST STAKE IN EACH BALE SHALL BE ANGLED TOWARD THE PREVIOUSLY LAID BALE TO FORCE BALES TOGETHER.
  4. FILTER FABRIC SHALL BE SECURELY FASTENED AT THE TOP OF A THREE (3) FOOT HIGH FENCE AND BURIED A MINIMUM OF FOUR (4") INCHES INTO THE SOIL. SEAMS BETWEEN SECTIONS OF FILTER FABRIC SHALL OVERLAP A MINIMUM OF TWO (2) FEET.
- INSTALLATION AND MAINTENANCE:**
1. BALED HAY EROSION BARRIERS SHALL BE INSTALLED AT ALL STORM SEWER INLETS.
  2. BALED HAY EROSION BARRIERS AND SEDIMENT FILTER FENCES SHALL BE INSTALLED AT THE LOCATIONS INDICATED ON THE PLAN AND IN ADDITIONAL AREAS AS MAY BE DEEMED APPROPRIATE DURING CONSTRUCTION.
  3. ALL EROSION CHECKS SHALL BE MAINTAINED UNTIL ADJACENT AREAS ARE STABILIZED.
  4. INSPECTION SHALL BE FREQUENT (AT MINIMUM MONTHLY AND BEFORE AND AFTER HEAVY RAIN) AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
  5. EROSION CHECKS SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPED STORMWATER FLOW OR DRAINAGE.

**WINDBLOWN SEDIMENT**

**GENERAL:**

1. ALL WINDBLOWN SEDIMENTS SHALL BE CONTROLLED AT ALL TIMES. THE SITE CONTRACTOR IS RESPONSIBLE FOR APPLYING DUST CONTROL AS OFTEN AS NEEDED TO PREVENT ANY WINDBLOWN SEDIMENTS FROM LEAVING THE SITE. PREDETERMINED TRAFFIC ROUTES FOR ALL TRAFFIC SHALL BE ESTABLISHED BY THE SITE CONTRACTOR TO STABILIZED ROUTES. TEMPORARY AND PERMANENT MULCHING AND TEMPORARY AND PERMANENT VEGETATIVE COVER SHALL BE USED TO MINIMIZE THE NEED FOR DUST CONTROL. MECHANICAL SWEEPERS SHALL BE USED ON ALL PAVED SURFACES TO PREVENT DUST BUILD UP DURING THE COURSE OF SITE WORK.
- METHODS:**
1. SOIL TACKIFIERS ARE ACCEPTABLE AND SHOULD BE APPLIED ACCORDING TO MANUFACTURER'S GUIDELINES.
  2. WATER IS ACCEPTABLE BUT MUST BE APPLIED OFTEN IN HOT, DRY WEATHER.
  3. CALCIUM CHLORIDE IS ACCEPTABLE BUT MUST BE APPLIED AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE.
  4. CRUSHED STONE OR COARSE GRAVEL CAN ALSO BE USED.

**TEMPORARY VEGETATIVE COVER**

**GENERAL:**

1. TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED ON ALL UNPROTECTED AREAS THAT PRODUCE SEDIMENT. AREAS WHERE FINAL GRADING HAS BEEN COMPLETED AND AREAS WHERE THE ESTIMATED PERIOD OF BARE SOIL EXPOSURE IS LESS THAN 12 MONTHS.
- SITE PREPARATION:**
1. INSTALL REQUIRED SURFACE WATER CONTROL MEASURES.
  2. REMOVE LOOSE ROCK, STONE, AND CONSTRUCTION DEBRIS FROM AREA.
  3. APPLY LIME ACCORDING TO SOIL TEST OR AT A RATE OF ONE (1) TON OF GROUND DOLOMITIC LIMESTONE PER ACRE (5 LBS. PER 100 SQUARE FEET).
  4. APPLY FERTILIZER ACCORDING TO SOIL TEST OR AT THE RATE OF 300 LBS. OF 10-10-10 PER ACRE (7 LBS. PER 1,000 SQUARE FEET).
  5. UNLESS HYDROSEEDING, WORK IN LIME AND FERTILIZER TO A DEPTH OF FOUR (4") INCHES USING A DISK OR ANY SUITABLE EQUIPMENT.
  6. TILLAGE SHOULD ACHIEVE A REASONABLY UNIFORM, LOOSE SEEDBED. WORK ON CONTOUR IF SITE IS SLOPING.

**ESTABLISHMENT:**

1. USE ANNUAL RYEGRASS AT A RATE OF 40 LBS./AC. OR SUITABLE EQUIVALENT AS SPECIFIED IN THE "GUIDELINES".
2. SEEDING TO BE DONE FROM APRIL 1ST TO JUNE 15 OR AUGUST 1ST TO OCTOBER 1ST. WINTER STABILIZATION PLANTINGS TO BE NO LATER THAN OCTOBER 1ST. THIS INCLUDES STOCKPILE AREAS.
3. APPLY SEED UNIFORMLY ACCORDING TO THE RATE INDICATED BY BROADCASTING, DRILLING, OR HYDRAULIC APPLICATION.
4. UNLESS HYDROSEEDING, COVER RYEGRASS SEEDS WITH NOT MORE THAN 1/4 INCH OF SOIL WITH SUITABLE EQUIPMENT. COVER SUDANGRASS AND SMALL GRASSES WITH 1/2 INCH SOIL.
5. MULCH IMMEDIATELY AFTER SEEDING, IF REQUIRED, ACCORDING TO THE GUIDELINES IN THE "GUIDELINES".

**PERMANENT VEGETATIVE COVER (ON AREAS NOT TO BE UTILIZED FOR AGRICULTURAL USE)**

**GENERAL:**

1. PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED AS VARIOUS SECTIONS OF THE PROJECT ARE COMPLETED IN ORDER TO STABILIZE THE SOIL, REDUCE DOWN GRADIENT DAMAGE FROM SEDIMENT AND RUNOFF AND TO ENHANCE THE AESTHETIC NATURE OF THE SITE. IT WILL BE APPLIED TO ALL CONSTRUCTION AREAS SUBJECT TO EROSION WHERE FINAL GRADING HAS BEEN COMPLETED AND A PERMANENT COVER IS NEEDED.

**SITE PREPARATION:**

1. INSTALL REQUIRED SURFACE WATER CONTROL MEASURES.
2. REMOVE LOOSE ROCK, STONE AND CONSTRUCTION DEBRIS FROM AREA.
3. PERFORM ALL PLANTING OPERATIONS PARALLEL TO THE CONTOURS OF THE SLOPE.
4. APPLY TOPSOIL AS INDICATED ELSEWHERE HEREIN.
5. APPLY FERTILIZER ACCORDING TO SOIL TEST OR:

- SPRING SEEDING: WORK DEEPLY IN SOIL BEFORE SEEDING, 300 LBS OF 10-10-10 FERTILIZER PER ACRE (7 LBS PER 1,000 SQUARE FEET), THEN SIX (6) TO EIGHT (8) WEEKS LATER APPLY ON THE SURFACE AN ADDITIONAL 300 LBS OF 10-10-10 FERTILIZER PER ACRE.
- FALL SEEDING: WORK DEEPLY IN SOIL BEFORE SEEDING, 600 LBS OF 10-10-10 FERTILIZER PER ACRE (14 LBS PER 1,000 SQUARE FEET).

**ESTABLISHMENT:**

1. SMOOTH AND FIRM SEEDBED WITH CULTIPACKER OR OTHER SIMILAR EQUIPMENT PRIOR TO SEEDING (EXCEPT WHEN HYDROSEEDING).
2. SELECT ADAPTED SEED MIXTURE AS FOLLOWS:

- 2 lbs./acre *Iraquois Alfalfa*
- 4 lbs./acre *Perennial Rye*
- 2 lbs./acre *Aldino Clover*
- 5 lbs./acre *Pentate Orchard Grass*

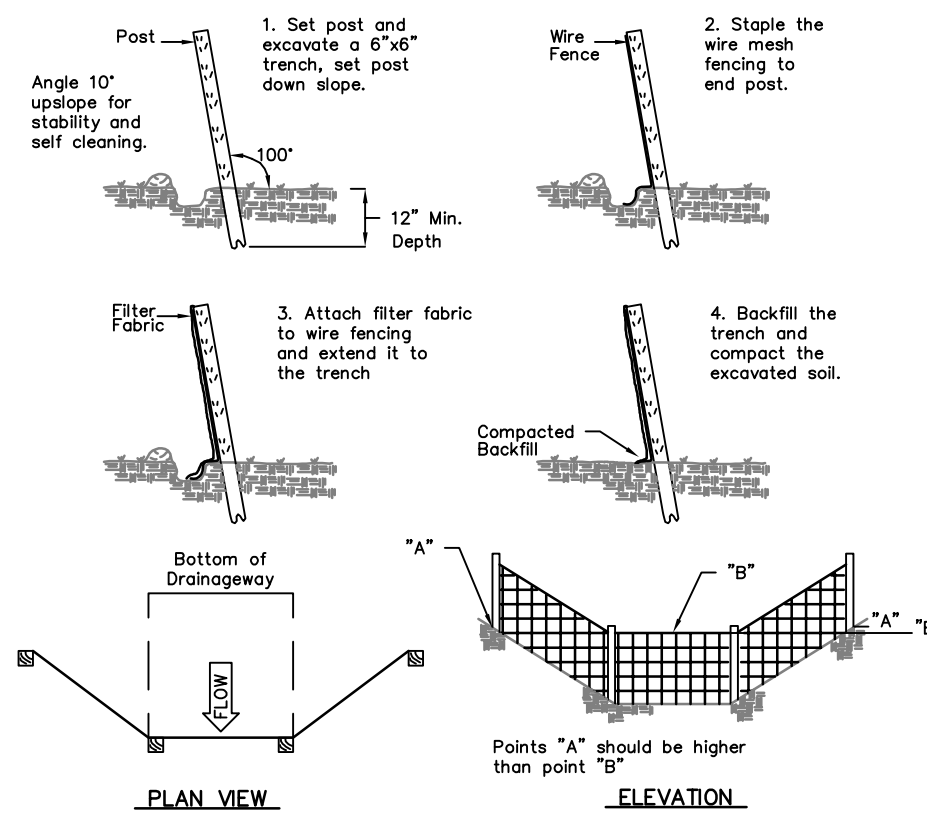
3. FINAL SEEDING SHALL TAKE PLACE PRIOR TO OCTOBER 1ST AS SEEDING AFTER THIS DATE RUNS A DISTINCT CHANCE OF FAILURE DUE TO ADVERSE WEATHER. ANY AREAS THAT ARE DISTURBED BETWEEN OCTOBER 1ST AND APRIL 1ST SHALL BE STABILIZED BY NON-VEGETATIVE MEANS SUCH AS HEAVY MULCHING WITH A BINDER OR JUTE MATTING WHICH WILL HAVE TO BE REMOVED BEFORE FINAL SEEDING AND THEN REPLACED AFTER FINAL SEEDING.

4. APPLY SEED UNIFORMLY ACCORDING TO RATE INDICATED, BY BROADCASTING, DRILLING, OR HYDRAULIC APPLICATION.
5. COVER GRASS AND LEGUME SEEDS WITH NOT MORE THAN 1/4 INCH OF SOIL WITH SUITABLE EQUIPMENT (EXCEPT WHEN HYDROSEEDING).
6. MULCH IMMEDIATELY AFTER SEEDING, IF REQUIRED, ACCORDING TO THE GUIDELINES IN THE "GUIDELINES".
7. USE PROPER INOCULANT ON ALL LEGUME SEEDINGS, USE FOUR (4) TIMES NORMAL RATE WHEN HYDROSEEDING.

**NOTE: SEEDBED PREPARATION**

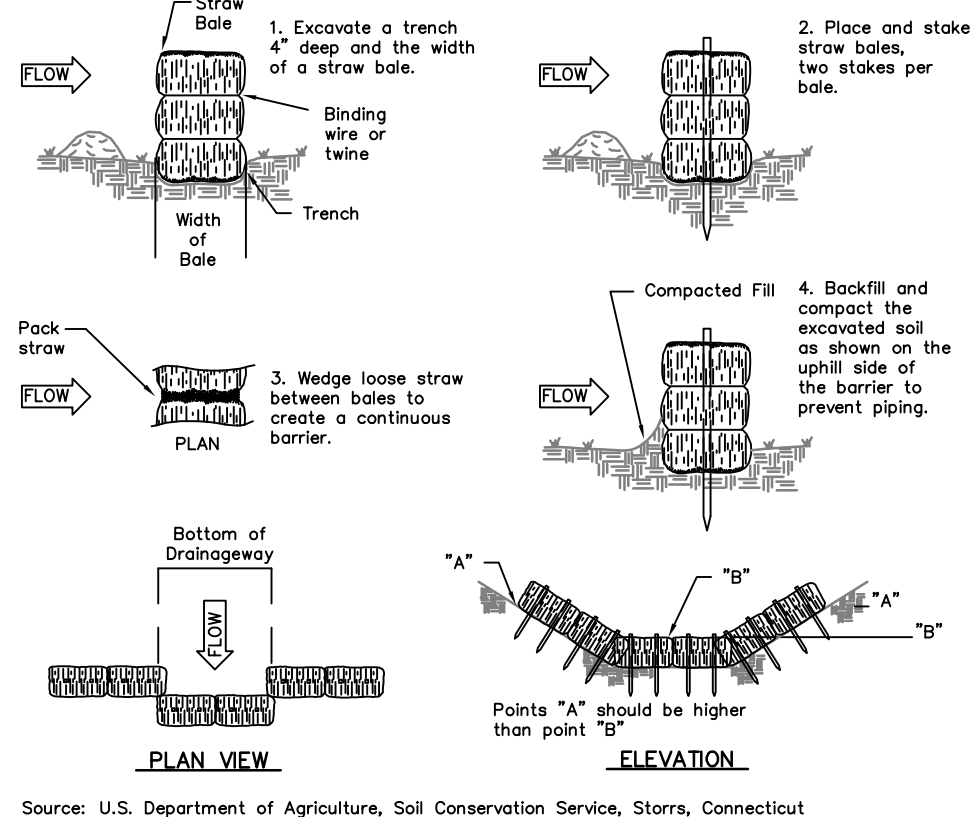
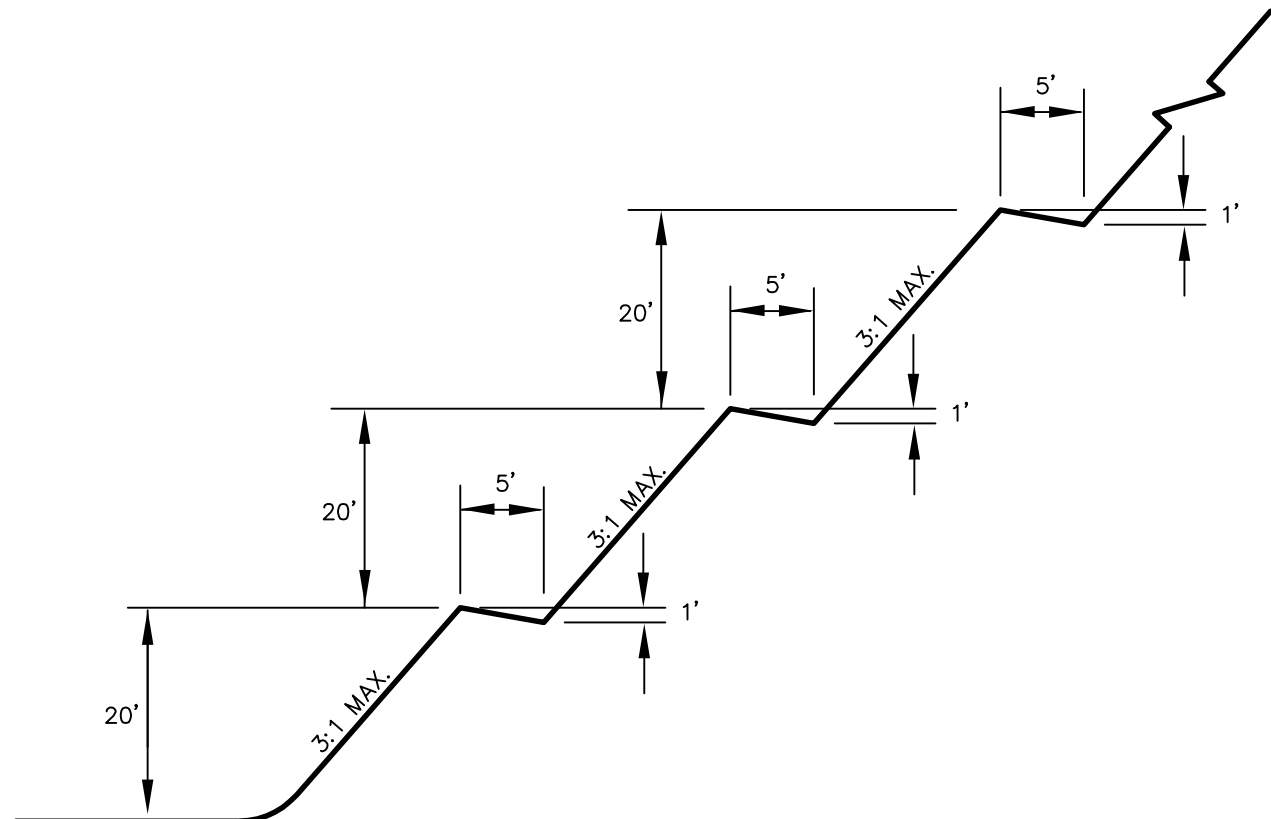
APPLY LIME AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS THOSE OFFERED BY THE UNIVERSITY OF CONNECTICUT SOIL TESTING LABORATORY. SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL COOPERATIVE EXTENSION SERVICE OFFICE. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, APPLY LIME AND FERTILIZER (EQUIVALENT TO 90 PERCENT CALCIUM PLUS MAGNESIUM OXIDE) AS FOLLOWS:

SOIL TEXTURE	TONS/AC.	LBS./1,000 SQ. FT.
CLAY, CLAY LOAM AND HIGH ORGANIC SOIL	3	135
SANDY LOAM, LOAM, SILT LOAM	2	90
LOAMY SAND, SAND	1	45



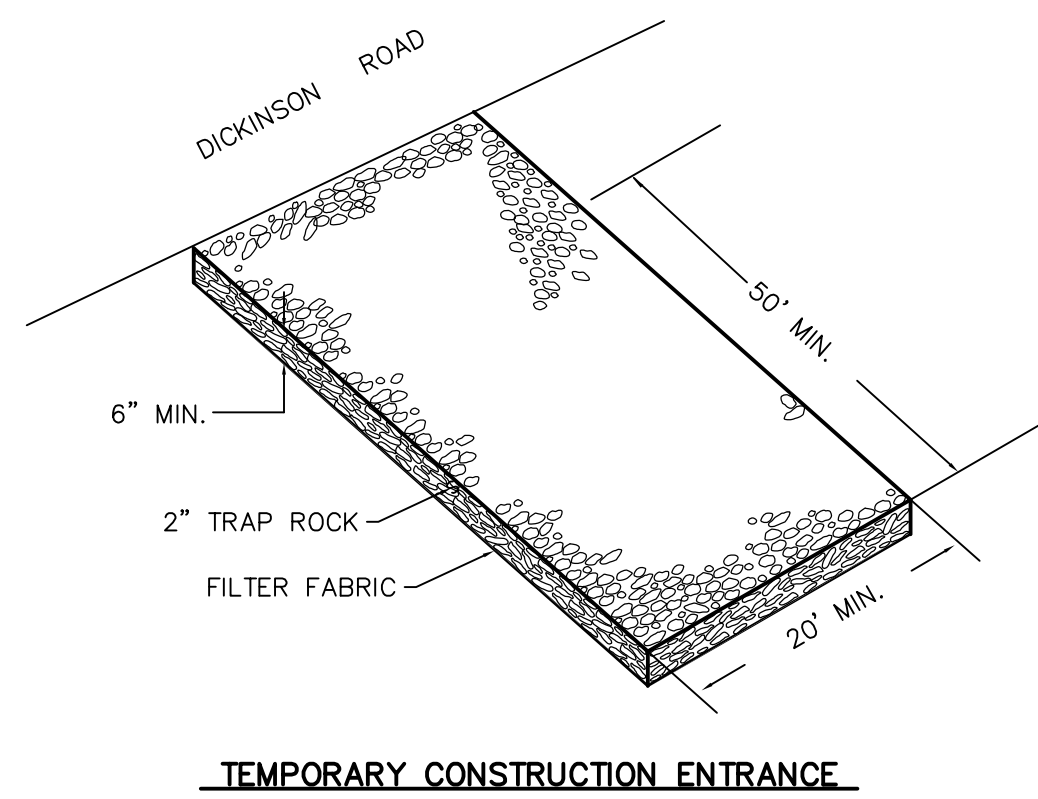
Source: U.S. Department of Agriculture, Soil Conservation Service, Storms, Connecticut

**PLACEMENT AND CONSTRUCTION OF A SYNTHETIC FILTER BARRIER**



Source: U.S. Department of Agriculture, Soil Conservation Service, Storms, Connecticut

**PLACEMENT AND CONSTRUCTION OF A STRAW BALE BARRIER**



**SITE PLAN AND SOIL EROSION & SEDIMENTATION CONTROL PLAN NARRATIVE**

The proposed excavation consists of a 13.1± Acre Excavation area on land now or formerly of Chapman which is being operated by Glastonbury Earth Products, LLC. This site is a "Grandfathered" excavation located on the northerly side of Dickinson Road. It is proposed to continue with this "Grandfathered" operation and at the same time provide access to land now or formerly of Cavanaugh which is immediately adjacent to and west of this Chapman site. The area of excavation on the Cavanaugh property is 10.4± acres.

Phase I of this excavation will involve excavation on the Chapman site necessary to provide access to the Cavanaugh parcel. Excavation will proceed into the Cavanaugh parcel so as to maintain any storm water runoff within the site. Excavation shall continuously maintain a low point within the site such that any surface runoff from exposed excavation slopes will run into this low area rather than onto undisturbed slopes. The estimated volume of excavated material for Phase I is 295,729 c.y. Final excavation will be achieved through simultaneous excavation of both sites. As in phase I, excavation shall continuously maintain a low point within the site to maintain storm water runoff within the disturbed area. Final grading on the Cavanaugh Parcel will result in an estimated volume of 1,033,429 c.y. of excavated material. After excavation activities are complete all disturbed areas will be loamed with 4" of topsoil, mulched and seeded in accordance with this plan and in consultation with the environmental planner.

To maintain successful erosion and sedimentation control, particularly dust control, it is necessary to minimize time of exposure of unprotected soil surfaces. Stabilize all graded areas with mulch and vegetation as soon as practical after grading. Direct runoff so as to contain it in a low point within the disturbed area. Utilize reverse bence grading on slopes as shown on the plan. Dickinson Road shall be swept on a regular basis and as conditions warrant so as to remove any sand or gravel material which may accumulate as a result of the excavation operation.

All sedimentation control issues shall be handled and responded to in an efficient and timely manner as directed by the town engineer or environmental planner. Precautions shall be taken to minimize dust nuisance by applying water and/or calcium chloride whenever deemed necessary by the town. Overburden & topsoil shall be stockpiled separately and saved for reclamation. Stockpiled topsoil shall be vegetated to prevent dust generation. Restoration shall include the application of topsoil, adequate mulch, & a seed mixture suitable for droughty soils. The exposed areas shall be scarified (light disking or harrowing) before applying topsoil. Immediately following final grading, areas disturbed during construction shall be loamed with 4" of topsoil, seeded with the following seed mixture:

- 2 lbs./acre *Iraquois Alfalfa*
- 4 lbs./acre *Perennial Rye*
- 2 lbs./acre *Aldino Clover*
- 5 lbs./acre *Pentate Orchard Grass*

and mulched with straw @ the rate of 100 lbs./1000 S.F. erosion, sedimentation and dust controls, restoration methods, and overall site maintenance shall be subject to review & amendment by the environmental planner.

Finished grading shall conform to the "3:1 slope stabilization detail" as shown on the plan. Appropriate measures shall be taken to discourage unauthorized access to the area under excavation.

The high wall methods of excavation will not be employed on this site. A maximum of 6 acres of the site shall be actively excavated at any one time. As an area is excavated to grade, it shall be stabilized immediately by loaming and planted, or seeded as described above.

On steep slopes which utilize the "3:1 slope stabilization detail", provisions may be needed to manage storm water runoff as it is collected in the 5' cutbacks that are proposed for every 20' of vertical elevation drop. Such management techniques could involve riprap runoff channels extending down slope to areas of flatter topography. All equipment will be fueled on site using an above ground 500 gal. double walled self contained fuel tank. The tank shall be placed on an impervious containment pad (see detail). An emergency spill kit shall be on site at all times. Refueling personnel shall take their time to carefully fuel and maintain the equipment so as to avoid spills. Refueling shall take place on the existing concrete pad.

ALL CONTRACTORS SHALL BE INFORMED BY THE PERMITEE THAT THIS PROPERTY IS WITHIN THE HOME RANGE OF THE STATE ENDANGERED TIMBER RATTLESNAKE AND THAT THIS A PROTECTED SPECIES. ALL SIGHTINGS SHOULD BE REPORTED TO THE OFFICE OF COMMUNITY DEVELOPMENT.

EXCAVATION PLAN/GLASTONBURY EARTH PRODUCTS, LLC RURAL RESIDENCE PROJECT/APPLICANT ZONE (GW-1)

N2C DICKINSON ROAD PROJECT ADDRESS

6.2

SPECIAL PERMIT SECTION TPZ CHAIRMAN

DATE SPECIAL PERMIT APP'D DIRECTOR OF COMMUNITY DEVELOPMENT

FILE NO.

**NOTE: ALL SLOPES TO BE LEFT 3:1 OR FLATTER AT END OF WORK DAY**

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- REV. 9-23-09 500 GALLON FUEL TANK SHOWING

CK. BY: JLH  
 DRW. BY: SAM  
 DATE: 3-31-09  
 SCALE: NONE  
 SHEET 1 OF 1  
 MAP NO. 133-07-1N

MEGSON, HEAGLE & FRIEND  
 CIVIL ENGINEERS & LAND SURVEYORS, LLC  
 81 RANKIN ROAD  
 GLASTONBURY, CONN. 06033  
 PHONE (860)-859-0587

STORM WATER POLLUTION CONTROL NOTES & DETAILS  
 EXCAVATION PLAN  
 DICKINSON ROAD  
 PREPARED FOR  
 GLASTONBURY EARTH PRODUCTS, LLC  
 GLASTONBURY, CONN.

I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.  
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