

Ten Copies of this Application are Required

(10 hard copies of everything you're submitting - collated)

ZONING BOARD OF APPEALS
APPLICATION

REFERRED TO TP&Z _____

Applicant William (Bill) Mc Dermott

Street 278 House Street Town Glastonbury

Phone 860.559.5018 E-mail sjrheaume@gmail.com

Legal Representative (if any) _____

Address 278 House Street

E-mail sjrheaume@gmail.com

Date Filed & Fee Paid 2/15/23
Date Hearing Scheduled 3/14/23
Sign Deposit Paid on 2/15/23
Sign Taken on _____
Photo of Sign Rec'd on _____

Legal Property Owner William (Bill) Mc Dermott

Exact Location of Property Involved 278 House Street
Street # Street

If No Street #, Indicate Assessor's Key # _____

ZONE A
 Residential
 Commercial

Under the provisions of Section 8-7, Connecticut General Statutes, the undersigned hereby appeals:

- For relief (a variance) from the restrictions imposed in Section(s) 8.2b of the Glastonbury Zoning Regulations.
- For a special exception as provided in Section(s) _____ of the Glastonbury Zoning Regulations.
- From an adverse ruling by _____ the Building Official, Glastonbury.
- For the approval required by the State of Connecticut agency named below.

Describe in detail (in the space provided on page 2 or on a separate sheet) a description of the project. State why this violates the Section (s) of the Glastonbury Zoning Regulations cited above. If requesting a variance, be specific in describing the aspect of the project which does not meet the requirement, and the amount of relief (variance) you are requesting. Include the nature of the hardship which compels this request.

If requesting a special exception, be specific in the description of the project. Include the special exception conditions the project will meet, as specified in the Regulation.

We / I hereby depose and say that all the above statements contained in any papers submitted herewith are true to the best of my knowledge and belief.

[Signature]
Applicant

Owner, If Not Applicant
(Required)

2.01.23
Date

Date

SEE PERTINENT INFORMATION ON NEXT PAGE

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include TEN (10) collated copies of everything submitted including the application and a map of the property involved. Locate all structures thereon and their relation to buildings on adjacent property and to the highway with approximate distances therefrom. Floor plans of buildings which you desire to erect or to alter must be provided in sufficient detail to make intelligent presentation of your plans. Also, include ten (10) copies of all supporting documentation.

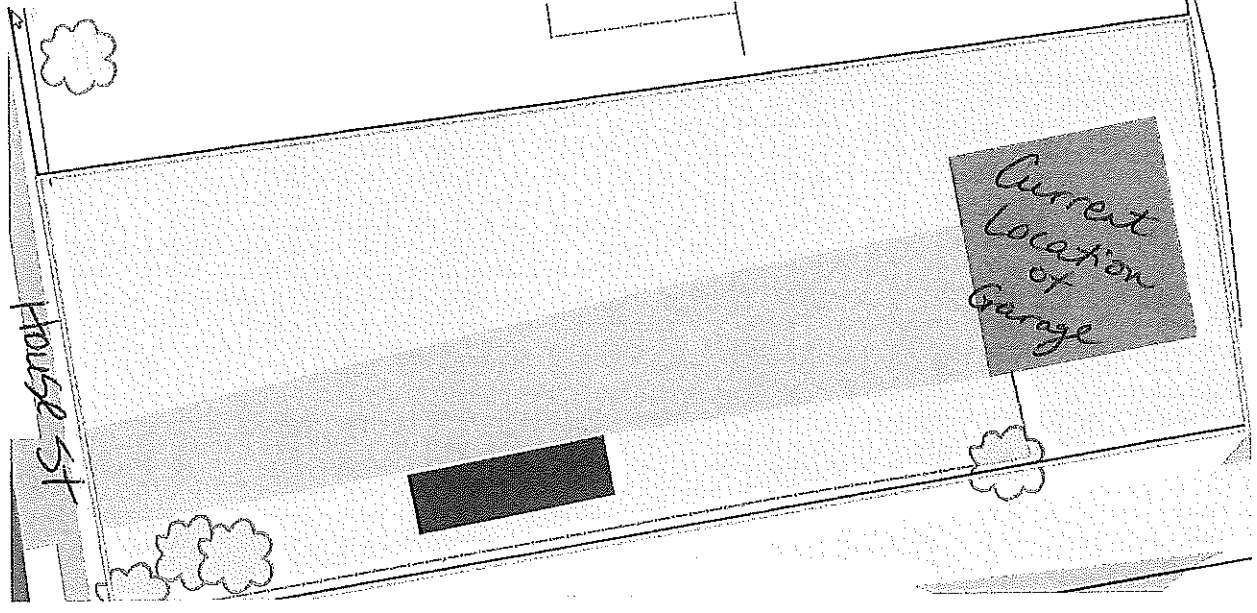
FILING FEE OF \$185.00 tendered herewith. Applicants whose cases come under Section 14-55, 14-322, Connecticut General Statutes will be charged an additional fee to pay the cost of publication and the expenses of the public hearing.

*Sign Deposit fee of \$10.00 *cash* taken at time of sign pick up*

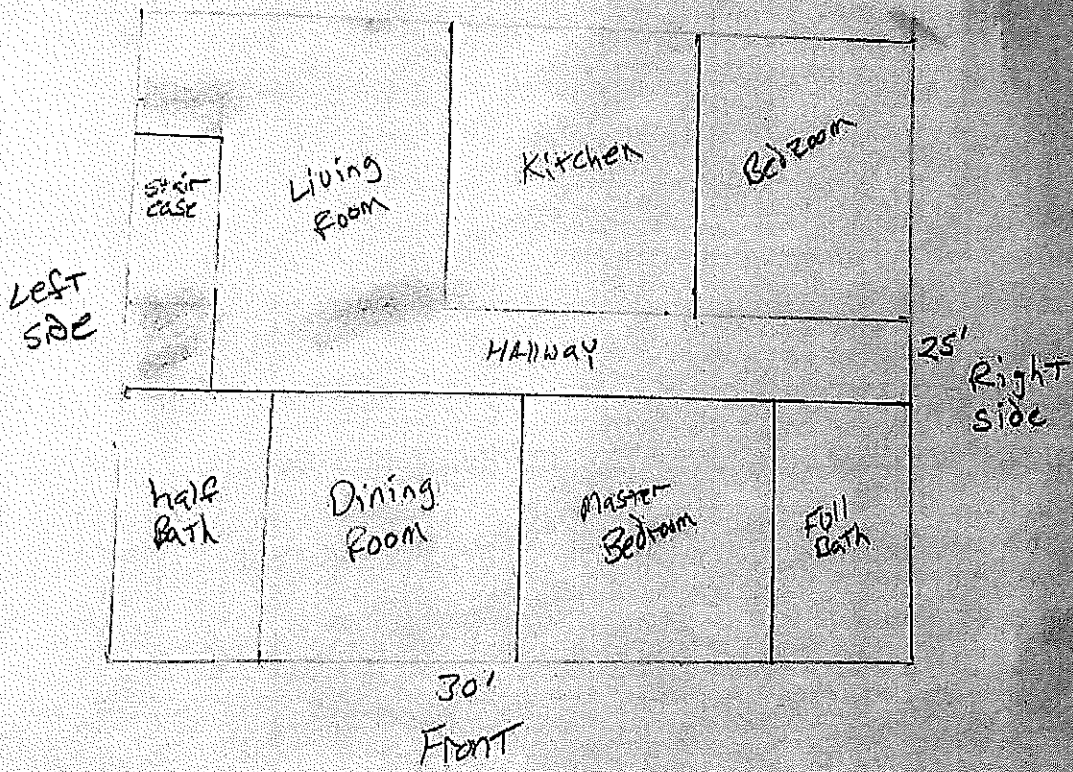
DESCRIPTION IN DETAIL:

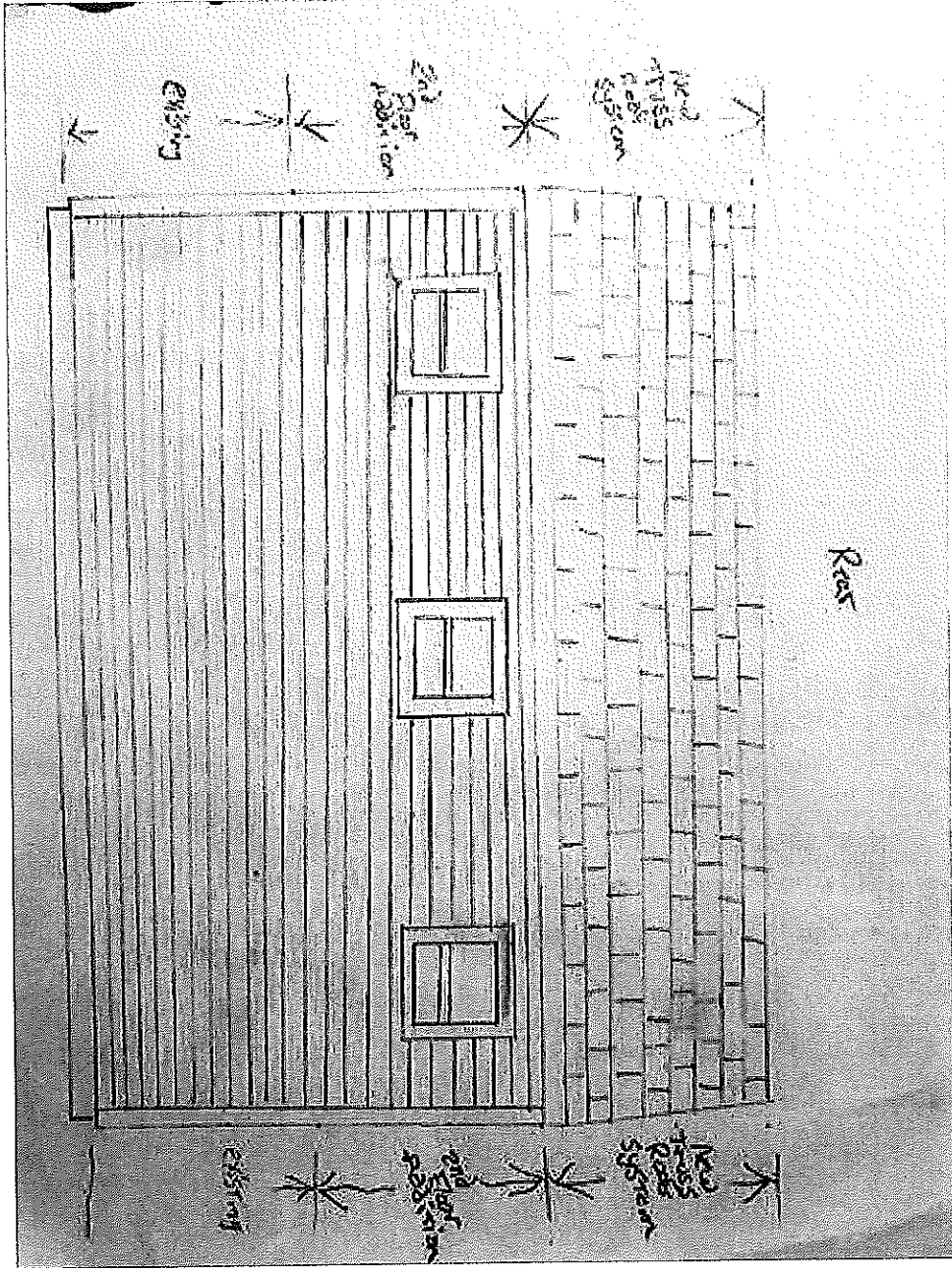
Property currently has an existing two car garage which owner has had 20+ years. Owner would like to add living space above the garage which will become his primary residence. Footprint of structure will not change - living space will be above existing structure.

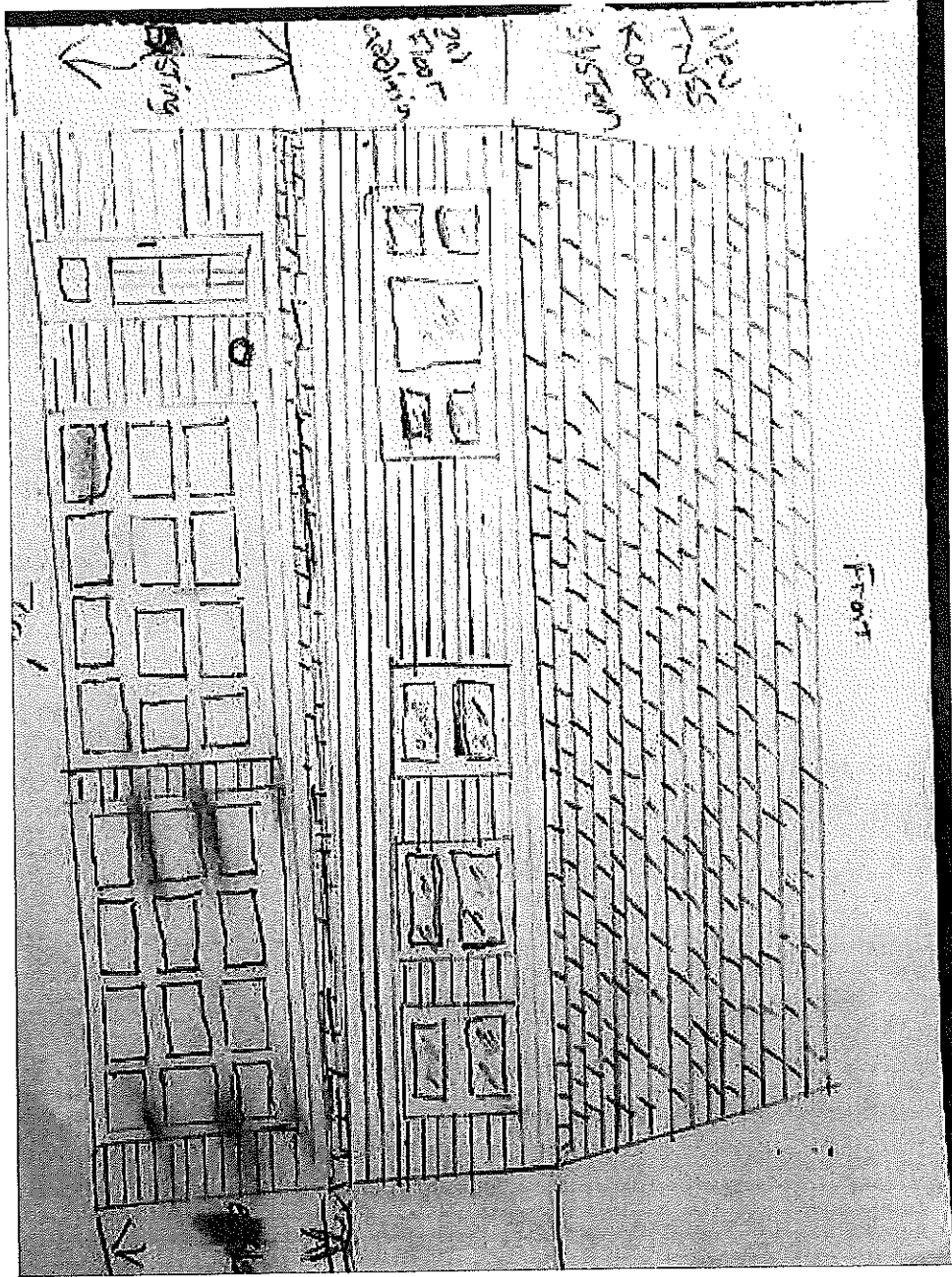
Ten collated copies of this Application and all supporting documentation are required



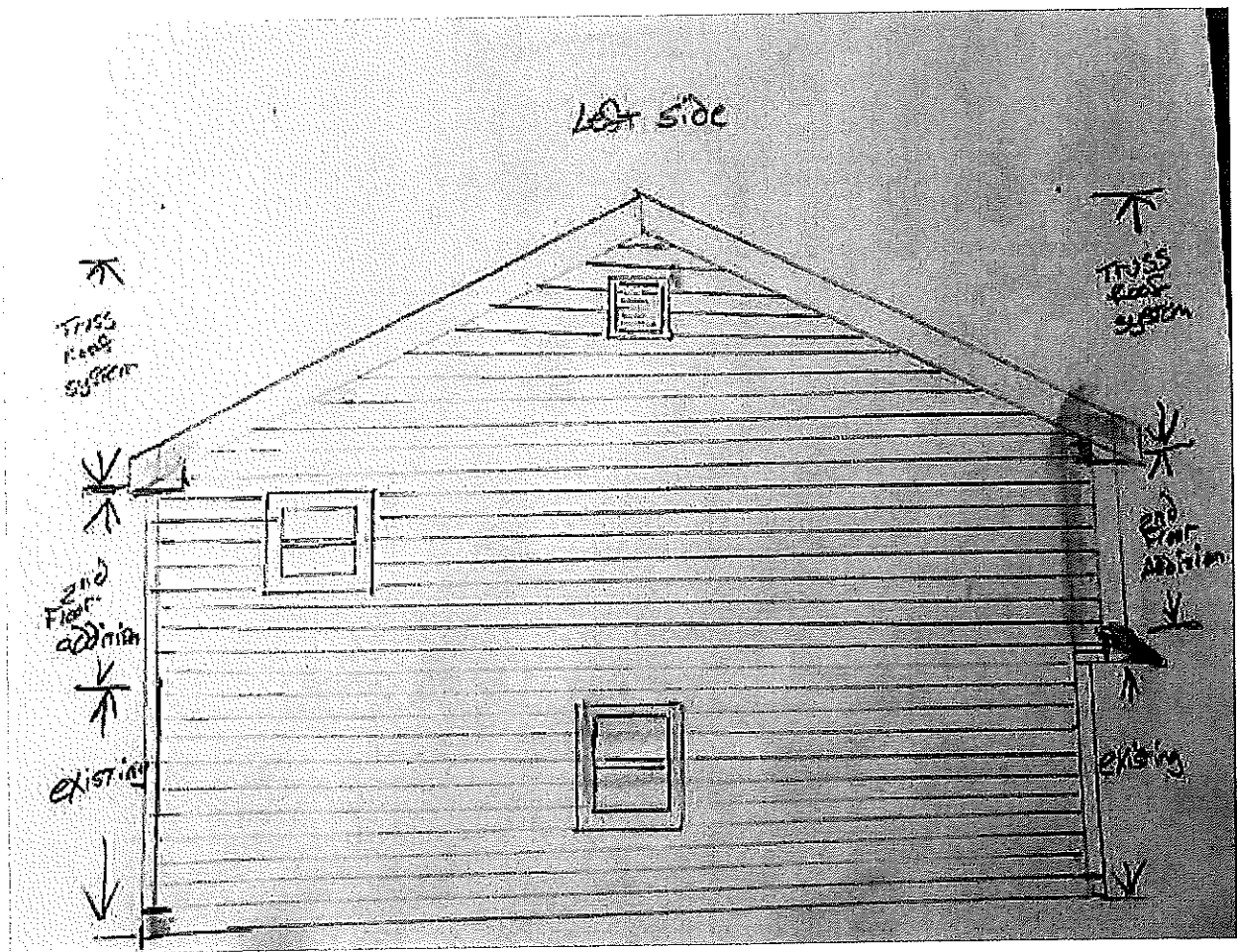
Rear
APPROXIMATE Floor Plan







Left side





Town of Glastonbury GIS Parcel Report

Report Generated 1/23/2023 11:20:33 AM

Owner of Record

GIS ID: 33800278
Owner: MCDERMOTT WILLIAM J
Co-Owner:
Address: 77B QUARRY RD
City, State ZIP: GLASTONBURY, CT 06033-3828

Account Number: 33800016A
Property Address: 278 HOUSE ST



Property highlighted in blue

Parcel Information

Map/Street/Lot D4 / 3380 / E0016A **Property ID:** 7617
Developer Lot ID: **Water:** Well-MDC
Parcel Acreage: 0.26 **Sewer:** Sewer Nbrhd
Zoning Code: A **Census:** 5203

Valuation Summary

Item	Appraised Value	Assessed Value
Buildings	0	0
Land	111100	77800
Appurtenances	13100	9200
Total	124200	87000

Owner of Record

MCDERMOTT WILLIAM J
WAWRUCK CYNTHIA TRUSTEE OF WILLIAM
WAWRUCK CYNTHIA TRUSTEE OF WILLIAM
ROBOTTI INEZ D+WAWRUCK CYNTHIA
ROBOTTI WILLIAM L+INEZ D

Deed / Page Sale Date Sale Price

1393/0302 2000-12-18 35000
1376/0104 2000-09-18 0
1376/0102 2000-09-18 0
1344/0345 2000-04-28 0
0668/0337 1992-04-08 0

**Building
Picture
Not
Applicable**

Building Information

Building ID 0

Year Constructed :
Building Type :
Style :
Occupany :
Stories :
Building Zone :
Roof Type :
Roof Material :
Est. Gross S.F. :
Est. Living S.F. :

Number of Rooms :
Number of Bedrooms :
Number of Bathrooms :
Number of Half-Baths :
Exterior Wall :
Interior Wall :
Interior Floor :
Interior Floor #2 :
Air Conditioning Type :
Heat Type :
Fuel Type :

**Building
Sketch
Not
Applicable**

Subarea Type	Est. Gross S.F.	Est. Living S.F.	Outbuilding Type	Est. Gross S.F.	Comments
			Garage	750.00	