

February 10, 2023

Dave Sacchitella
Building Department
Town of Glastonbury

Re: Animal Shelter ASDRC Response

Friar Project #: 2022-060A

Dear Dave:

As requested, below is a summary of changes to Glastonbury Animal Shelter in response to the commentary that Friar Architecture received at the January 17th, 2023 ASDRC meeting:

- Exterior CMU
 - Reduced height on north and east elevations. Replaced with a prefinished cementitious siding on metal stud backup above.
 - Changed all CMU material to one single color w/ a split face base to 32" above finished floor and ground face above.
- Window Fenestration
 - Revised the window locations and layout on the north elevation. Windows provided at kennel run corridor.
- Main Entry
 - Location of main entry defined further by locating the name of the facility above the entry portico. Main entry door changed to aluminum with glazed panels.

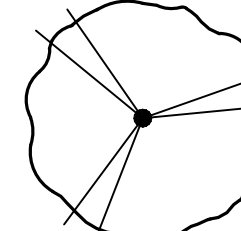

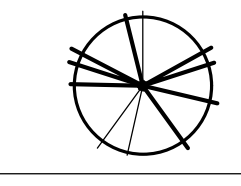
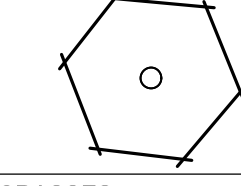


Please feel free to contact me should you have any questions.

Thank you,



Bryce Sens, AIA
Associate Principal

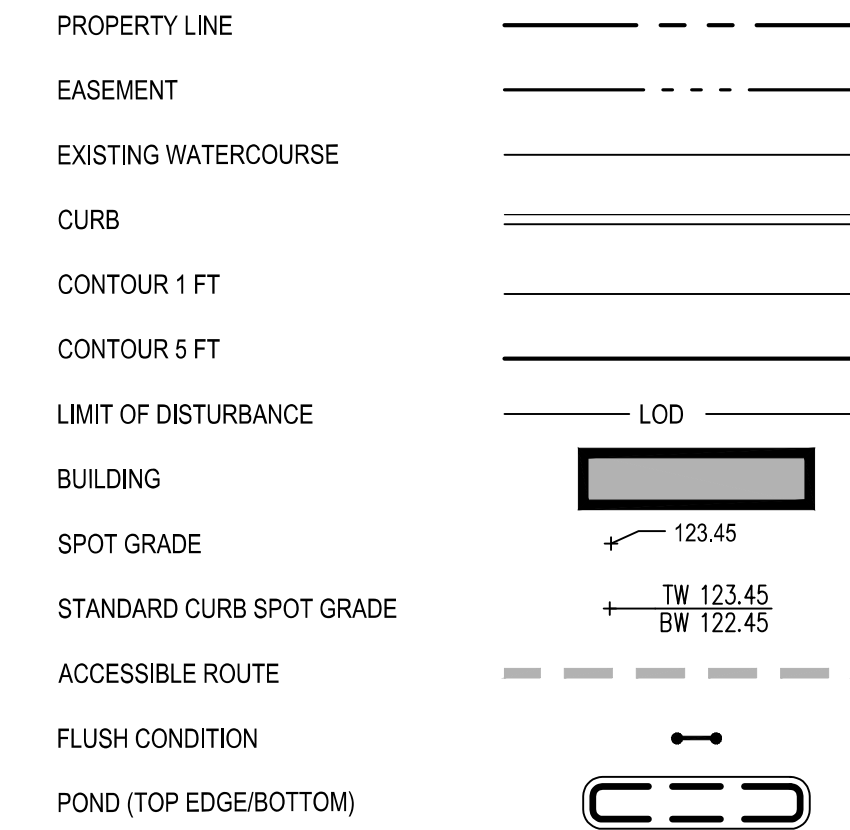
PLANT SCHEDULE

DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	ROOT	CAL.	SIZE
	ASAS	3	ACER SACCHARUM 'AUTUMN SPLENDOR' / CADDO SUGAR MAPLE	B & B	3-3.5" CAL.	14-16" HT.
EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME	ROOT	CAL.	SIZE
	TS2	3	THUJA OCCIDENTALIS 'SMARAGD' / EMERALD GREEN ARBORVITAE	B & B	CONIFER	6' MIN.
ORNAMENTAL TREES	CODE	QTY	BOTANICAL / COMMON NAME	ROOT	CAL.	SIZE
	CF	2	CORNUS FLORIDA / FLOWERING DOGWOOD	B & B	2.5-3" CAL.	
	PSA	1	PRUNUS SUBHIRTELLA 'AUTUMNALIS' / AUTUMN FLOWERING CHERRY	B & B	2.5-3" CAL.	10-12' HT.
GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	HEIGHT	SPREAD
	CAKF	14	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / KARL FOERSTER FEATHER REED GRASS	#3	15-18" HT.	15-18" SPR.
DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	HEIGHT	SPREAD
	VPM	3	VIBURNUM PLICATUM 'MARIESI' / MARIES DOUBLEFILE VIBURNUM	B & B	5-6' HT.	42-48" SPR.

NOTES:

- NOTIFY 'CALL BEFORE YOU DIG' (1-800-922-4455) AND VERIFY UTILITY MARK-OUT WITH THE OWNER PRIOR TO THE INITIATION OF ANY SITE DISTURBANCE.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR VERIFICATION OF THE LOCATION AND NATURE OF ALL SUBSURFACE UTILITIES AT THE PROJECT WHICH MAY BE AFFECTED BY THE WORK. COORDINATE WITH RESPECTIVE UTILITY OWNERS AND PERFORM VERIFICATION OF TYPE, LOCATION, AND INVERTS AS REQUIRED.
- THE LOCATIONS OF EXISTING SITE FEATURES AS SHOWN HAVE BEEN OBTAINED FROM MAPS, SURVEYS, FIELD INSPECTIONS, AND OTHER AVAILABLE INFORMATION. THEY MUST BE CONSIDERED APPROXIMATE BOTH TO LOCATION, SIZE, AND AS-BUILT CONDITION AND ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL FIELD CONDITIONS.
- THIS DRAWING IS INTENDED TO DEPICT THE LOCATION AND LAYOUT OF CONSTRUCTION AND IS INTENDED TO BE USED IN CONJUNCTION WITH APPLICABLE SPECIFICATION SECTIONS.
- IMPLEMENTING WORKER SAFETY AND/OR HEALTH PROTOCOLS THAT ADDRESS COMPLIANCE WITH RULES, LAWS, AND REGULATIONS PERTAINING TO CONSTRUCTION SAFETY AND/OR THE POTENTIAL AND/OR ACTUAL RISK OF EXPOSURE TO SITE-SPECIFIC PHYSICAL OR CHEMICAL HAZARDS IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
- UNLESS OTHERWISE SPECIFIED, MISCELLANEOUS CONCRETE PADS SHALL BE CONSTRUCTED PER SIDEWALK DETAIL.
- THE DIMENSIONS SHOWN ON THE PLANS, INCLUDING THE INTENDED DIMENSIONS OF THE WORK, MAY VARY FROM ACTUAL EXISTING CONDITIONS IN THE FIELD. THE CONTRACTOR SHALL TAKE APPROPRIATE MEASUREMENTS TO VERIFY ALL DIMENSIONS SHOWN ON THE DRAWINGS AS WELL AS OTHER DIMENSIONS HE MAY DEEM APPROPRIATE TO FACILITATE THE COMPLETION OF THE WORK. NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THAT PORTION OF THE WORK.
- ALL NON-ACCESSIBLE PARKING SPACES ARE 9' X 18'. VERIFY OVERALL LAYOUT DIMENSIONS BASED ON THESE DIMENSIONS AND THE NUMBER OF SPACES INDICATED. FIELD-ADJUST OVERALL LAYOUT DIMENSION IN CONCERT WITH THE ENGINEER IF REQUIRED.
- DIMENSIONS INDICATED ARE TO FACE OF CURB, PAVEMENT EDGE, EDGE OR CENTERLINE OF IMPROVEMENT, OR AS OTHERWISE NOTED.
- ENGAGE A CONNECTICUT-LICENSED LAND SURVEYOR TO PERFORM LAND-SURVEYING SERVICES REQUIRED, INCLUDING, BUT NOT LIMITED TO VERIFICATION AND LAYOUT OF BASELINES, PROPOSED IMPROVEMENTS, DIMENSIONS AND ELEVATIONS. REPORT DISCREPANCIES TO THE ENGINEER.
- PROVIDE FOR THE LAYOUT AND STAKING/MARKING OF THE PROPOSED LOCATION OF ALL PROPOSED SITE IMPROVEMENTS, INCLUDING FURNISHINGS. OBTAIN ENGINEER'S APPROVAL OF THE LAYOUT PRIOR TO PROCEEDING WITH THE WORK.
- UNLESS OTHERWISE INDICATED, LINES ARE PARALLEL OR PERPENDICULAR TO LINE FROM WHICH THEY ARE MEASURED.

GRADING AND DRAINAGE LEGEND



ZONING DATA TABLE

ADDRESS: 340 HUBBARD STREET, MAP/STREET/LOT E7-3440-50023A, ZONE: RESERVED LAND

USE: ANIMAL SHELTER (NOTE: ON SHARED LAND WITH HIGH SCHOOL)

CHARACTERISTICS	REQUIREMENT	EXISTING	PROPOSED
LOT AREA MINIMUM	NR	NA	NA
ZONING SETBACKS:			
FRONTAGE:	NR	NA	NA
FRONT YARD:	NR	NA	NA
SIDE YARD:	NR	NA	NA
REAR YARD:	NR	NA	NA
MAXIMUM BUILDING COVERAGE	NR	NA	NA
MAXIMUM BUILDING HEIGHT:	NR	NA	NA
LOADING SPACE	0	--	0
PARKING REQUIREMENTS *	7**	4	7
HANDICAP SPACES REQUIRED	1	-	1

* SPECIFIC TO THE ANIMAL SHELTER

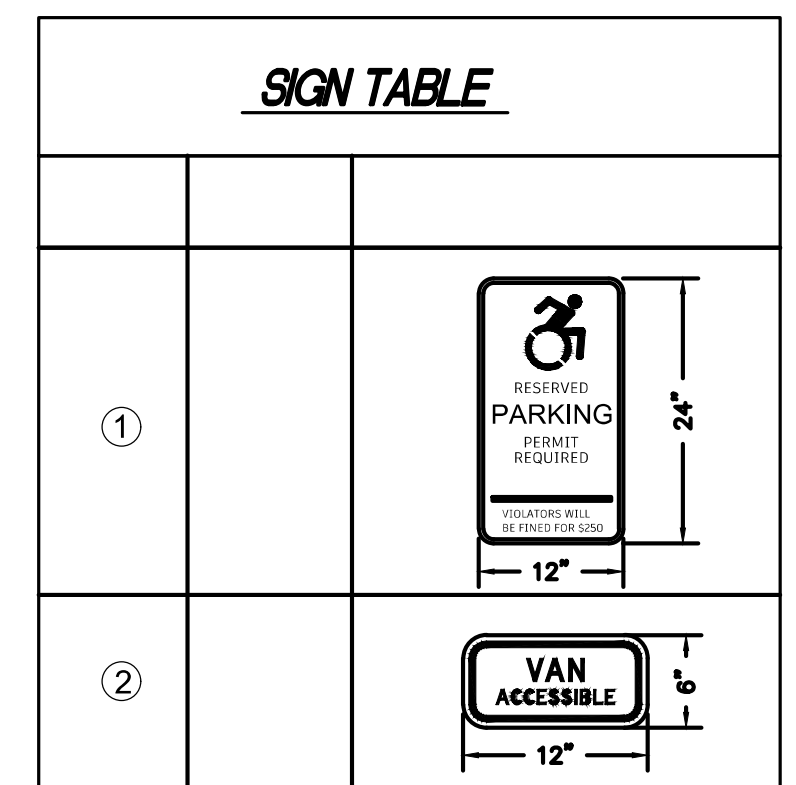
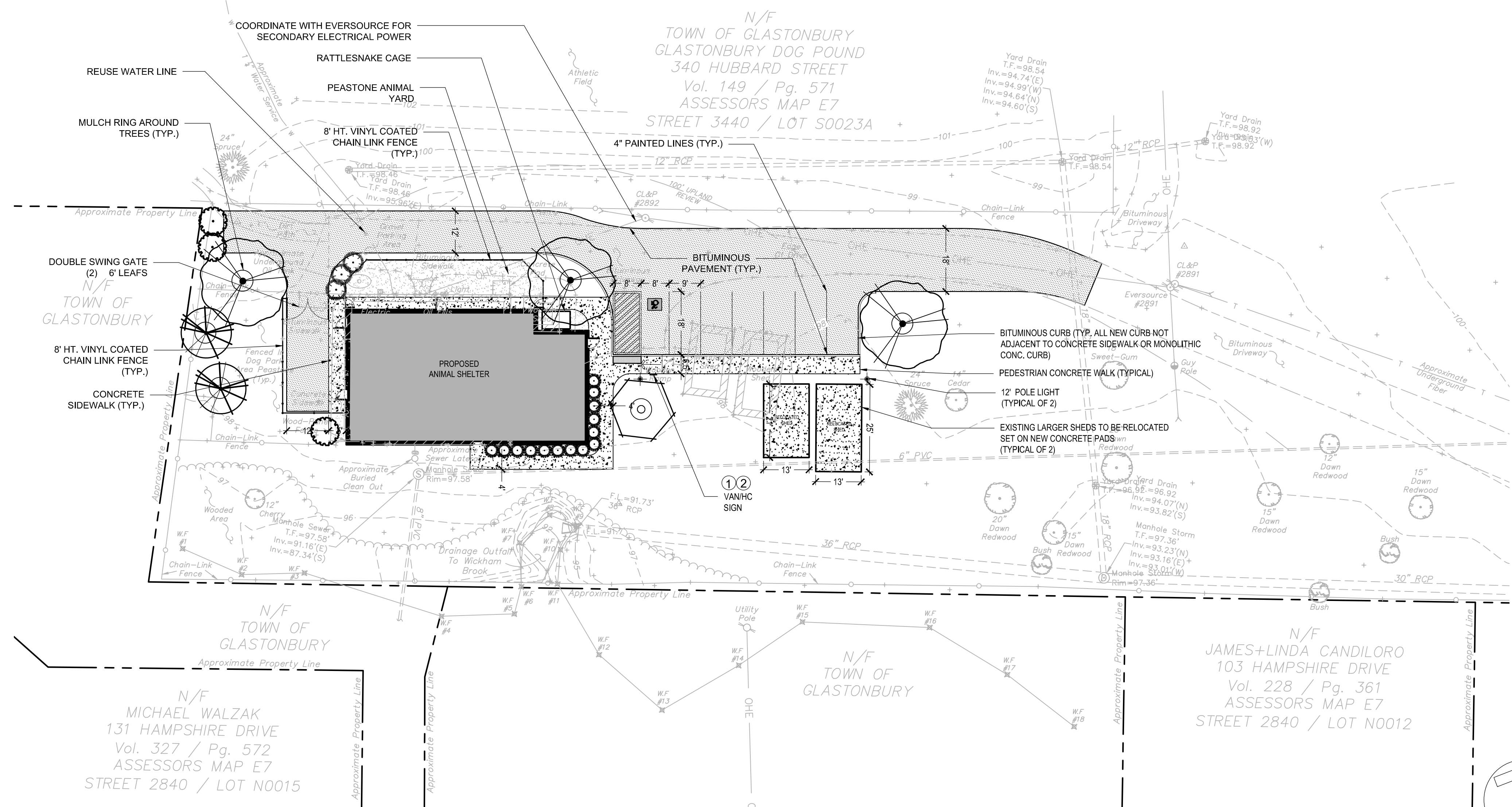
** PER SECTION 8.11.P THE REQUIRED NUMBER OF SPACES FOR DOG KENNELS SHALL BE DETERMINED BY THE COMMISSION. THE END USER HAS DIRECTED THAT 7 SPACES ARE SUFFICIENT.

TOPSOIL, SEEDING & PLANTING NOTES

- BLENDED PROPOSED GRADES INTO EXISTING GRADES SMOOTHLY AND NEATLY. ALL SAWCUTS SHALL BE STRAIGHT AND CLEAN.
- TOPSOIL AND SEED ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES INCLUDING AREAS OUTSIDE OF THE CONTRACT LIMIT LINE, BUT WHICH ARE NOT COVERED BY OTHER SITE IMPROVEMENTS.
- ALL PLANTING MATERIAL TO BE NURSERY GROWN STOCK SUBJECT TO APPLICABLE MPTN AND A.A.N. STANDARDS.
- THE CONTRACTOR SHALL SUPPLY ALL PLANTS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND LISTED IN THE PLANT LIST. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE PLANT LIST AND THOSE REQUIRED BY THE DRAWINGS, THE LARGER NUMBER SHALL APPLY.
- ALL PLANTS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION AND SHALL BE LOCATED AT THE GROWING SITE BY THE CONTRACTOR FOR THE APPROVAL OF THE LANDSCAPE ARCHITECT. ANY INSTALLATIONS WHICH WERE NOT APPROVED BY THE LANDSCAPE ARCHITECT AND WHICH ARE SUBSEQUENTLY REQUESTED TO BE REMOVED, WILL BE DONE AT THE CONTRACTOR'S EXPENSE.
- PRECISE LOCATION OF ITEMS NOT DIMENSIONED ON THE PLAN ARE TO BE FIELD STAKED BY THE CONTRACTOR AND SHALL BE SUBJECT TO THE REQUIREMENTS SPECIFIED IN THE PREVIOUS NOTE.
- ALL SHRUB AND TREE PITS SHALL BE MULCHED TO A DEPTH OF 3" WITH SHREDDED PINE BARK MULCH UNLESS INDICATED OTHERWISE.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGED VEGETATION AND SHALL REPLACE OR REPAIR ANY DAMAGE, AT HIS OWN EXPENSE.
- ALL SHRUB AND GROUND COVER PLANTING AREAS SHALL HAVE CONTINUOUS BEDS OF AMENDED PLANTING SOIL TO A MINIMUM DEPTH OF 18 INCHES. SEE PLANTING PLANS FOR BED EXTENTS AND DETAILS FOR AREAS OF ADDITIONAL REQUIRED DEPTH.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES IN THE FIELD. WHERE PLANT MATERIAL MAY INTERFERE WITH UTILITIES, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT TO COORDINATE THEIR INSTALLATION.
- PLANTINGS INSTALLED IN THE DRY SUMMER MONTHS AND/OR LAWN SEEDING OUT OF SPRINGS OR FALL PERIODS, IF ALLOWED BY OWNER, WILL REQUIRE AGGRESSIVE IRRIGATION PROGRAMS AT THE CONTRACTOR'S EXPENSE, UNLESS OTHERWISE DIRECTED BY THE OWNER.
- SUBSTITUTIONS PERMITTED ONLY UPON WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE.
- PLANT TAGS TO REMAIN ON ALL PLANT MATERIAL UNTIL FINAL ACCEPTANCE. CONTRACTOR TO THEN REMOVE ALL PLANT TAGS.
- WHERE A SIZE RANGE IS GIVEN IN THE PLANT SCHEDULE, AT LEAST 50% OF THE PLANTS PROVIDED SHALL BE OF THE LARGER SIZE.
- CONTRACTOR TO GUARANTEE ALL PLANT MATERIAL FOR ONE YEAR AFTER DATE OF FINAL ACCEPTANCE.
- CONTRACTOR TO MAINTAIN ALL PLANT MATERIAL UNTIL 60 DAYS AFTER FINAL ACCEPTANCE UNLESS NOTED OTHERWISE IN SPECS.

SEED MIX SCHEDULE

MIX	BOTANICAL NAME	COMMON NAME	PERCENTAGE OF MIX
LAWN SEED MIX	FESTUCA RUBRA	RED FESCUE	40.0%
	LOLIUM PERENNE	PERENNIAL RYEGRASS	20.0%
	POA PRATENSIS	KENTUCKY BLUEGRASS	40.0%



DATE: 07/20/2023
 DRAWN BY: RCD
 SCALE: WGW
 REVIEWED BY:
 PROJECT NO. 70807.00

REVISIONS

NO.	DATE	DESCRIPTION

SITE PLAN

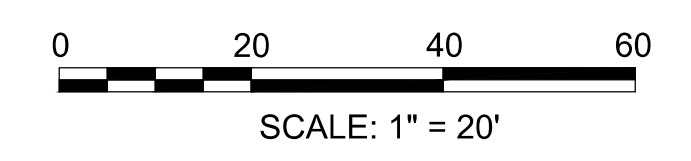
benesch
 120 Hebron Avenue, 2nd Floor
 Glastonbury, Connecticut 06033
 P 860-633-8341
 F 860-633-1068
 www.Benesch.com

SITE IMPROVEMENTS
GLASTONBURY ANIMAL SHELTER
 340 HUBBARD STREET
 GLASTONBURY, CT 06033

ARCHITECT'S SEAL

FRIAR
 21 Talcott Notch Road
 Farmington, CT 06032

SHEET NO. **C2.0**



GRADING AND DRAINAGE NOTES:

1. CONTRACTOR SHALL NOTIFY "CALL BEFORE YOU DIG" (1-800-922-4455) AND VERIFY UTILITY MARK-OUT WITH THE OWNER PRIOR TO THE INITIATION OF ANY SITE DISTURBANCE.
2. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR VERIFICATION OF THE LOCATION AND NATURE OF ALL SUBSURFACE UTILITIES AT THE PROJECT WHICH MAY BE AFFECTED BY THE WORK. COORDINATE WITH RESPECTIVE UTILITY OWNERS AND PERFORM VERIFICATION OF TYPE, LOCATION, AND INVERTS AS REQUIRED.
3. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY AND ALL DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THAT PORTION OF THE WORK.
4. THE LOCATIONS OF EXISTING SITE FEATURES AS SHOWN HAVE BEEN OBTAINED FROM MAPS, SURVEYS, FIELD INSPECTIONS, AND OTHER AVAILABLE INFORMATION. THEY MUST BE CONSIDERED APPROXIMATE BOTH TO LOCATION, SIZE, AND AS-BUILT CONDITION AND ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL FIELD CONDITIONS.
5. THE DIMENSIONS SHOWN ON THE PLANS, INCLUDING THE INTENDED DIMENSIONS OF THE WORK, MAY VARY FROM ACTUAL EXISTING CONDITIONS IN THE FIELD. THE CONTRACTOR SHALL TAKE APPROPRIATE MEASUREMENTS TO VERIFY ALL DIMENSIONS SHOWN ON THE DRAWINGS AS WELL AS OTHER DIMENSIONS HE MAY DEEM APPROPRIATE TO FACILITATE THE COMPLETION OF THE WORK. NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THAT PORTION OF THE WORK.
6. UNLESS OTHERWISE INDICATED, ALL DISTURBED AREAS SHALL BE RESTORED WITH FOUR (4) INCHES OF LOAM, SEEDED, FERTILIZED, AND MULCHED. PROVIDE ADDITIONAL EROSION CONTROLS AS REQUIRED.
7. COMPLY WITH CONNECTICUT BUILDING CODE FOR ALL SITE CONSTRUCTION, INCLUDING HANDICAPPED ACCESSIBILITY.
8. THE CROSS-SLOPE OF ALL SIDEWALKS AND WALKWAYS SHALL BE LESS THAN 1V-48H (2.08%). UNLESS OTHERWISE INDICATED, THE MAXIMUM RUNNING SLOPE OF ALL SIDEWALKS AND WALKWAYS SHALL BE LESS THAN 1V-20H (5%). VERIFY GRADES AND SLOPES PRIOR TO CONCRETE PLACEMENT. REPORT DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
9. PROPOSED GRADES INDICATE DESIGN INTENT. VERIFY ELEVATIONS AND MAKE ADJUSTMENTS TO MEET FIELD CONDITIONS. DO NOT PROCEED WITH ANY ADJUSTMENT OR FIELD MODIFICATION UNTIL APPROVED BY THE ENGINEER.
10. GRADE TRANSITION BETWEEN TOPOGRAPHIC LINES AND SPOT GRADES SHALL BE UNIFORM UNLESS OTHERWISE INDICATED.
11. ALL DRAINAGE PIPE SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE), UNLESS OTHERWISE INDICATED.
12. AT THE CONCLUSION OF THE WORK, CONTRACTOR SHALL REMOVE ALL ACCUMULATED SEDIMENT MATERIAL FROM ALL PORTIONS OF THE STORM DRAINAGE SYSTEM, INCLUDING NEW WORK AND EXISTING WORK THAT REMAINS OR IS INCORPORATED INTO THE NEW SYSTEM. AT THE TIME ANY CATCH BASIN IS CONVERTED TO A MANHOLE TOP AND FRAME, CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ACCUMULATED SEDIMENT COLLECTED IN THE BASIN VAULT AND ENSURE THERE IS NO BLOCKAGE IN THE OUTLET PIPES.

UTILITY NOTES:

1. CONTRACTOR SHALL NOTIFY "CALL BEFORE YOU DIG" (1-800-922-4455) AND VERIFY UTILITY MARK-OUT WITH THE OWNER PRIOR TO THE INITIATION OF ANY SITE DISTURBANCE.
2. THE LOCATIONS OF EXISTING UTILITIES AS SHOWN ON THE PLANS MAY VARY FROM ACTUAL EXISTING CONDITIONS IN THE FIELD. COORDINATE WITH RESPECTIVE UTILITY OWNERS AND PERFORM VERIFICATION OF TYPE, LOCATION AND INVERTS AS REQUIRED. VERIFY ALL TIE-IN POINTS, ROUTING, CONFLICTS, CROSSINGS, AND BUILDING CONNECTION POINTS TO FACILITATE THE COMPLETION OF THE WORK.
3. PERFORM EXPLORATORY EXCAVATIONS AS REQUIRED TO VERIFY THE AS-BUILT LOCATION OF EXISTING SUBSURFACE UTILITIES WHERE CROSSINGS OR OTHER POTENTIAL CONFLICTS ARE PRESENT.
4. ANY UTILITY LATERAL THAT IS NOT REUSED FOR THIS PROJECT, YET TIES INTO THE SITE SHALL BE REMOVED UP TO THE MAIN/TRUNK LINE IN THE STREET.
5. TRACER WIRE REQUIRED FOR TELECOMMUNICATIONS AND ELECTRIC ONLY. PROVIDE APPROPRIATE WIRE ACCESS POINTS.
6. FOR TELECOMMUNICATIONS AND ELECTRIC, WARNING TAPE SHALL BE INSTALLED 12-INCHES BELOW GRADE.
7. SEAL ALL CONDUIT ENDS WITH BLANK DUCT PLUGS. SECURE PULL ROPE TO DUCT PLUG.
8. ALL WORK ASSOCIATED WITH FIRE PROTECTION AND DOMESTIC WATER SHALL CONFORM TO MDC STANDARDS AND SPECIFICATIONS.
9. ALL WORK ASSOCIATED WITH ELECTRICAL SERVICE SHALL CONFORM TO THE EVERSOURCE STANDARDS AND SPECIFICATIONS. IF THERE ARE ANY CONFLICTS BETWEEN THE REQUIREMENTS INDICATED HEREON AND EVERSOURCE STANDARDS, EVERSOURCE STANDARDS SHALL PREVAIL.
10. ALL WORK ASSOCIATED WITH TELECOMMUNICATIONS SHALL CONFORM TO THE STANDARDS OF THE LOCAL TELECOMMUNICATIONS PROVIDER.
11. INSTALL CONDUIT, PULL ROPE, CAPS, WARNING TAPE, AND TRACER WIRE PER APPLICABLE SPECIFICATIONS, STANDARDS, AND CODES.
12. ALTHOUGH NOT SHOWN ON THE DRAWINGS, PROVIDE FOR THE INSTALLATION OF ALL JOINTS, COUPLINGS, RESTRAINTS, BENDS, ANGLES, AND OTHER APPURTENANCES TO ACHIEVE A COMPLETE, FUNCTIONAL WATER SUPPLY SYSTEM.

STORMWATER MAINTENANCE SCHEDULE

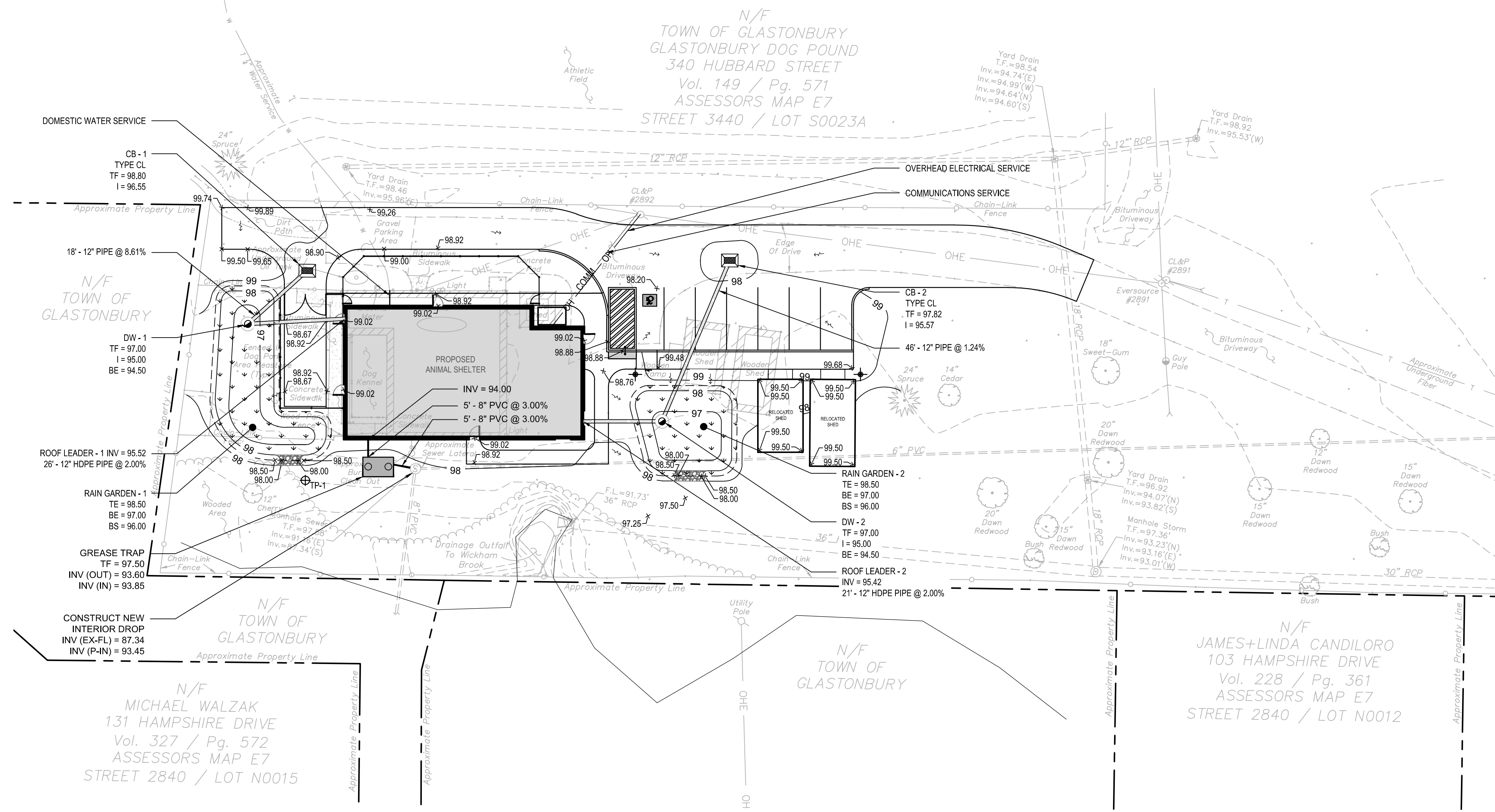
STORMWATER MEASURE	MAINTENANCE MEASURES	SCHEDULE
CURBING AND PARKING LOTS	REMOVE LITTER AND DEBRIS. SWEEP.	PERIODIC INSPECTIONS. SWEEP AS NEEDED OR MIN. OF TWICE PER YEAR.
CATCH BASIN AND SUMPS	REMOVE LITTER AND DEBRIS. REMOVE SEDIMENT FROM SUMP WHEN HALF FILLED.	SEMI-ANNUALLY OR AS NEEDED TO KEEP SUMP FUNCTIONAL.
DRY WELLS	REMOVE LITTER AND DEBRIS. REMOVE SEDIMENT FROM SUMP.	PERIODICALLY INSPECT DURING FIRST YEAR, THEN PERFORM SEDIMENT REMOVAL ANNUALLY.

LEGEND EXISTING

PROPERTY LINE	---
EXISTING STORM LINE	----
EXISTING SANITARY LINE	=====
EXISTING OVERHEAD ELECTRIC	OHE
EXISTING CHAIN LINK FENCE	⊗
EXISTING YARD DRAIN	⊕
EXISTING STORM MANHOLE	⊕
EXISTING FLARED END	▷
EXISTING ELECTRIC METER	⊞

LEGEND PROPOSED

CONTOUR 1 FT	—
CONTOUR 5 FT	—
SPOT GRADE	↖ 123.45
STANDARD CURB SPOT GRADE	↖ TC 123.45 BC 122.45
FLUSH CONDITION	⊞
BASIN (TOP EDGE/BOTTOM)	⊞
STORM PIPE	—
DRYWELL	⊕
FLOW ARROW	→
ROOF LEADER	— RL — RL —
FOOTING DRAIN	— FD — FD —
UNDERDRAIN	— UD — UD —
BIO RETENTION AREA	⊞
STONE STRIP	⊞
CATCHBASIN TYPE 'CL'	⊞
ELECTRICAL CONDUIT	— OH — OH —
COMMUNICATION CONDUIT	— COMM —
WATER LINE	— W — W —
SEWER LINE	— SAN —



DATE: 07/20/2023
DRAWN BY: RCD
SCALE: WGW
REVIEWED BY:
PROJECT NO. 70807.00

REVISIONS
NO. DATE DESCRIPTION

benesch
120 Hebron Avenue, 2nd Floor
Glastonbury, Connecticut 06033
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F 860-633-1068
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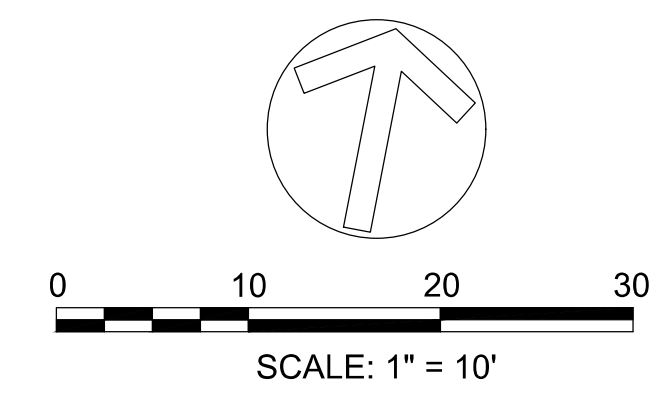
GRADING & UTILITY PLAN

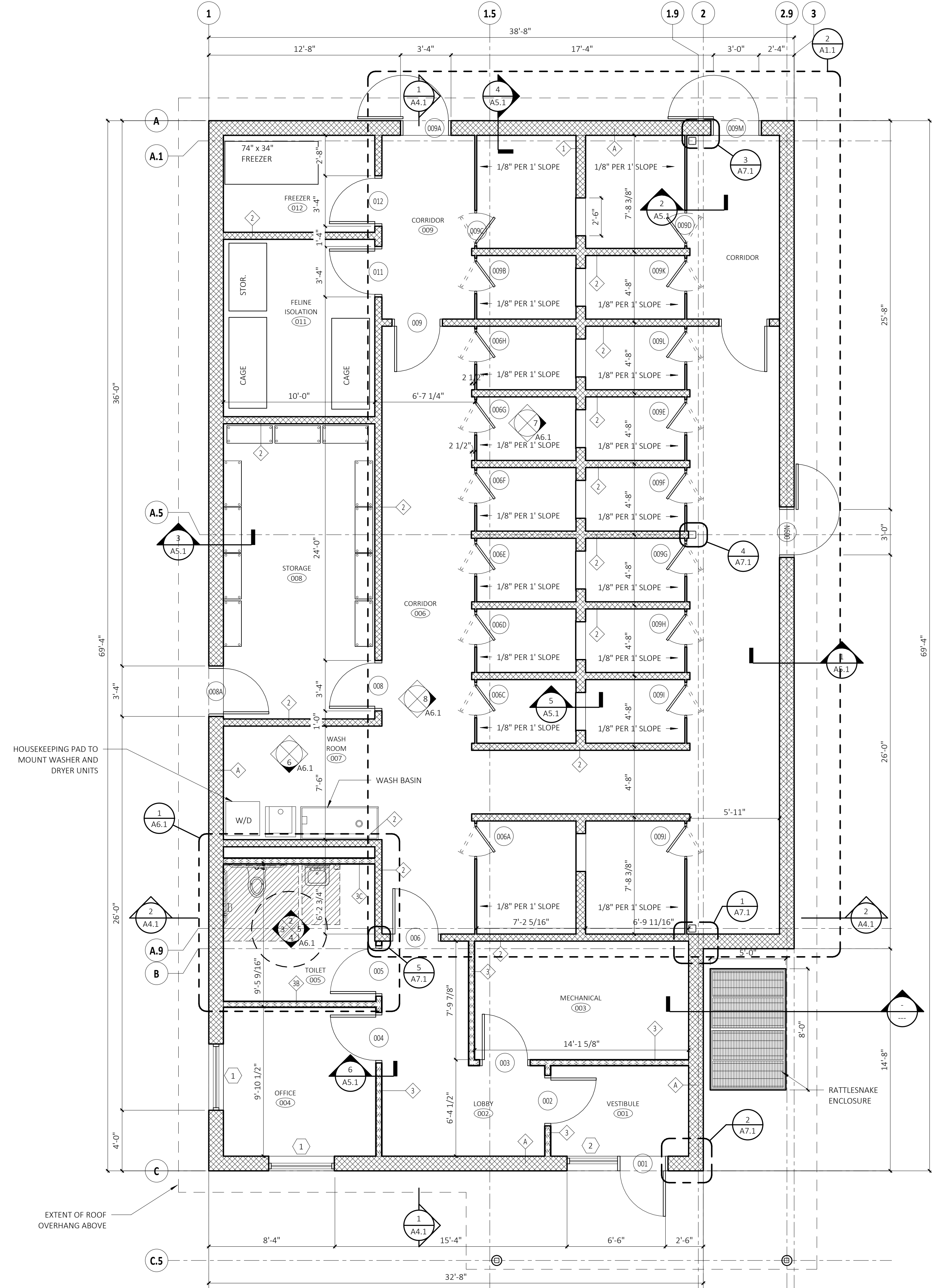
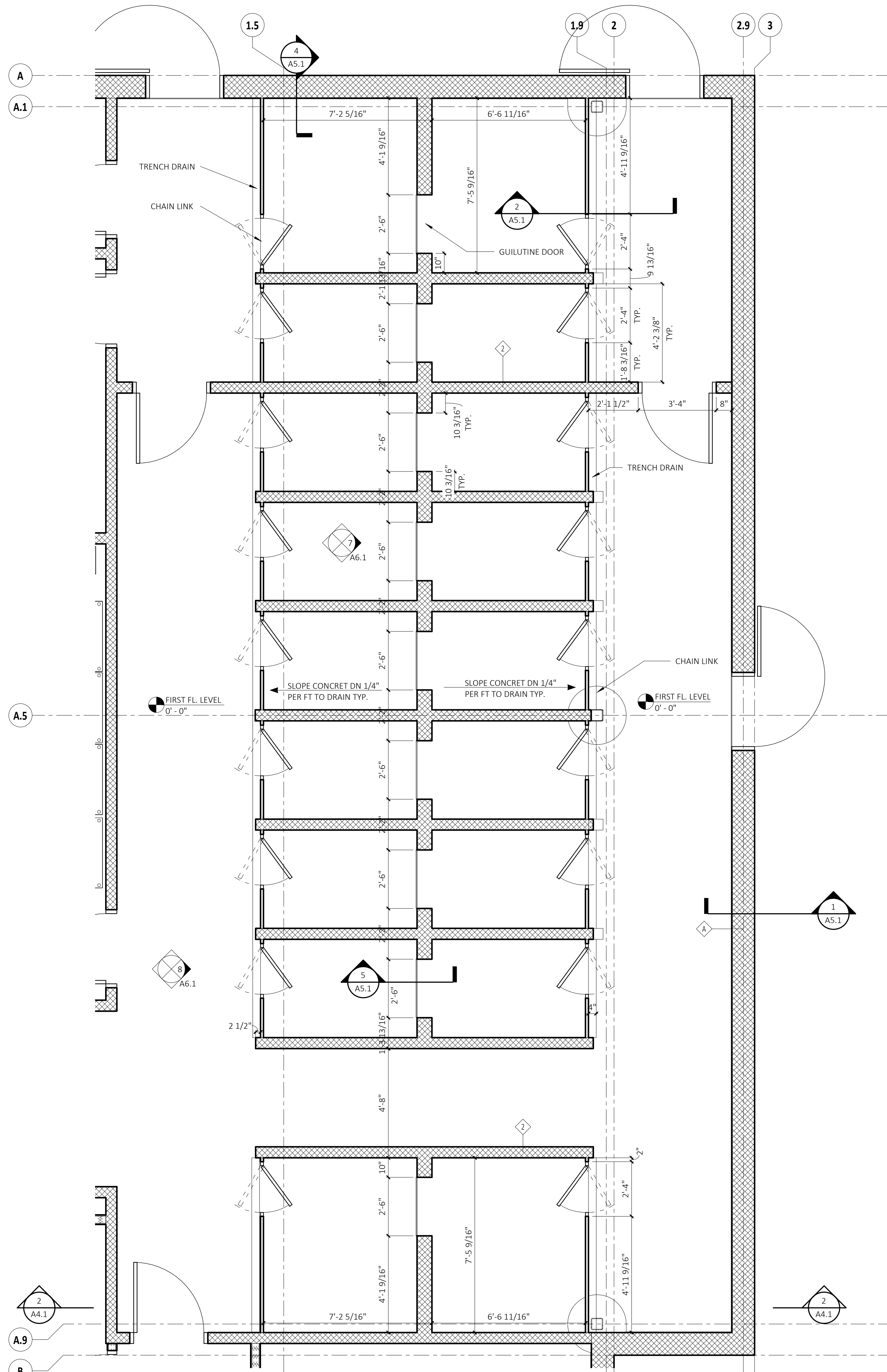
SITE IMPROVEMENTS
GLASTONBURY ANIMAL SHELTER
340 HUBBARD STREET
GLASTONBURY, CT 06033

ARCHITECT'S SEAL

FRIAR
21 Talcott Notch Road
Farmington, CT 06032

SHEET NO. **C3.0**





DATE:	XX
DRAWN BY:	Author
SCALE:	As Indicated
REVIEWED BY:	Checker
PROJECT NO:	Project #

NO.	DATE	DESCRIPTION

FLOOR PLAN

STATE PROJECT NUMBER
XXX

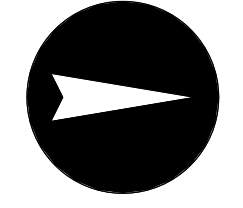
Glastonbury Animal Shelter
STREET LOCATION
CITY, STATE ZIP CODE

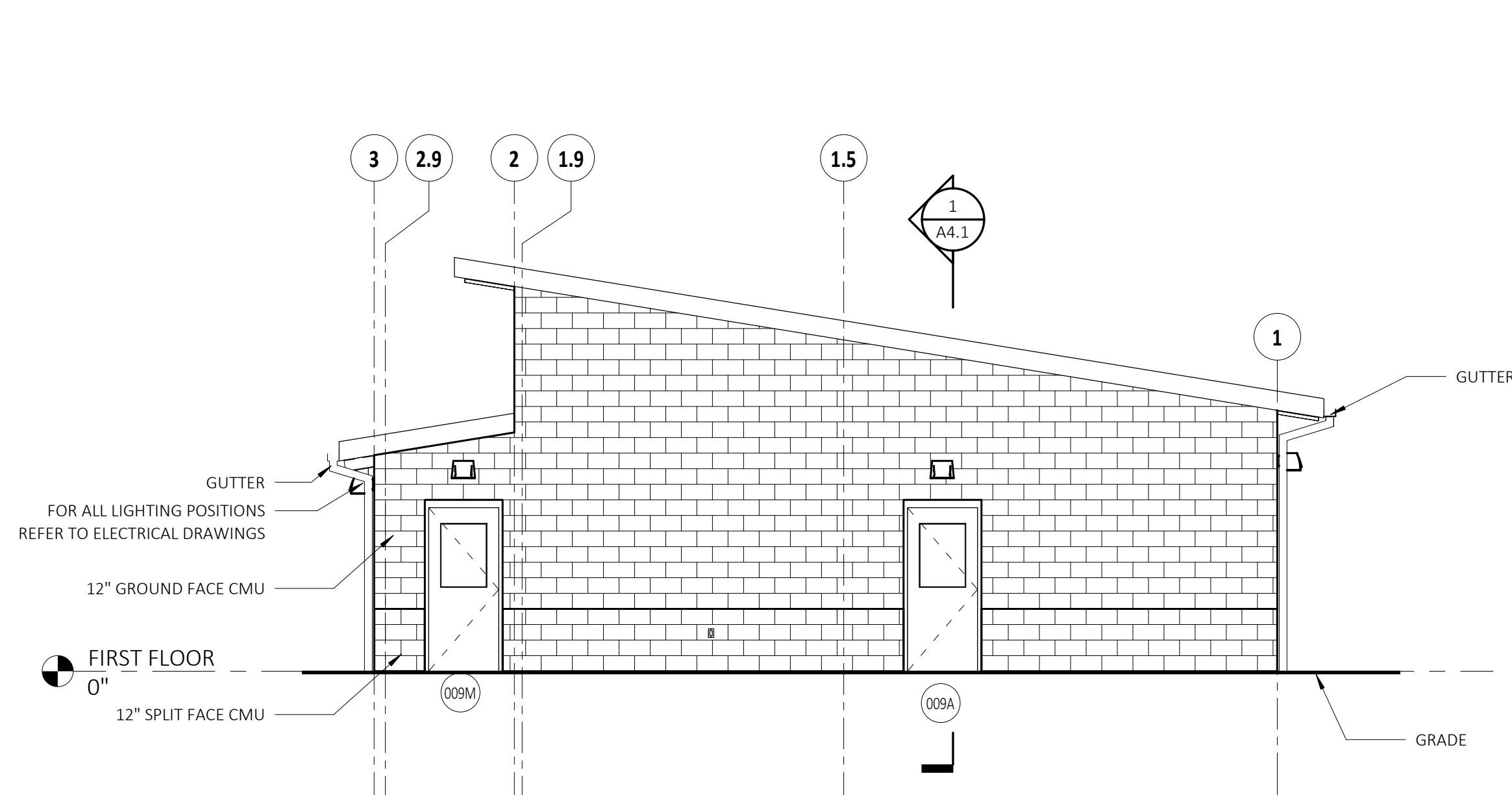
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NOT FOR
CONSTRUCTION
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ARCHITECT'S SEAL

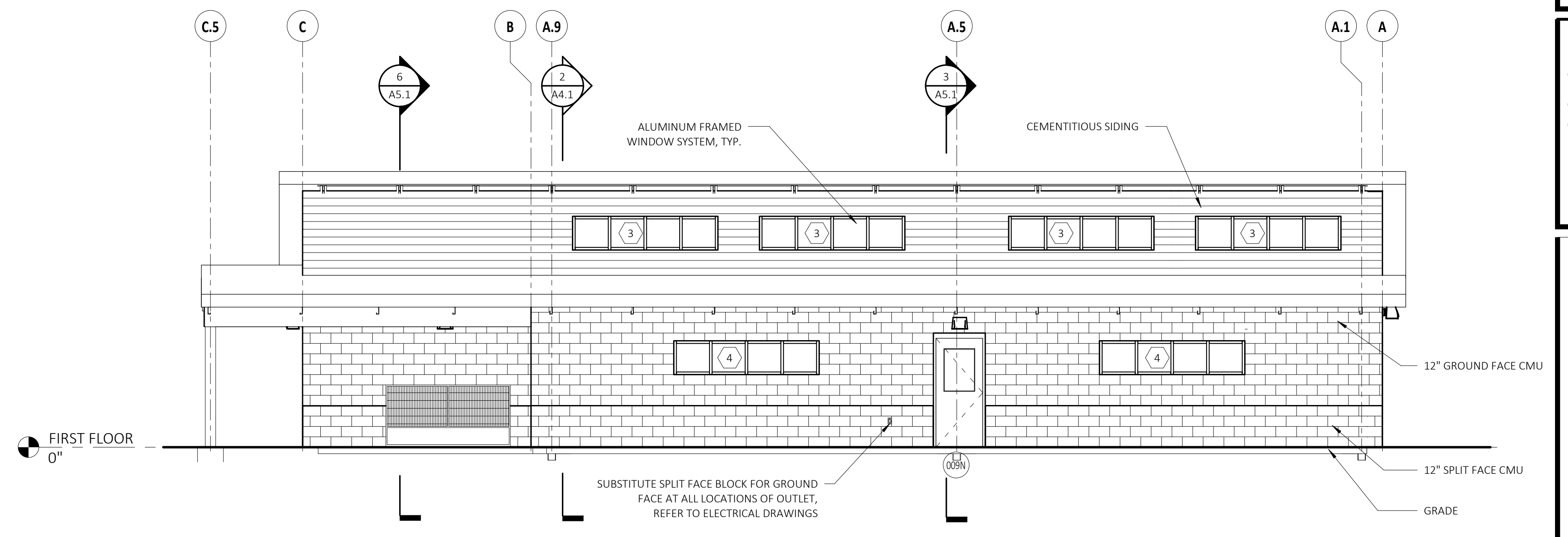
FRIAR
281 Farmington Avenue
Farmington, CT 06032

SHEET NO.
A1.1

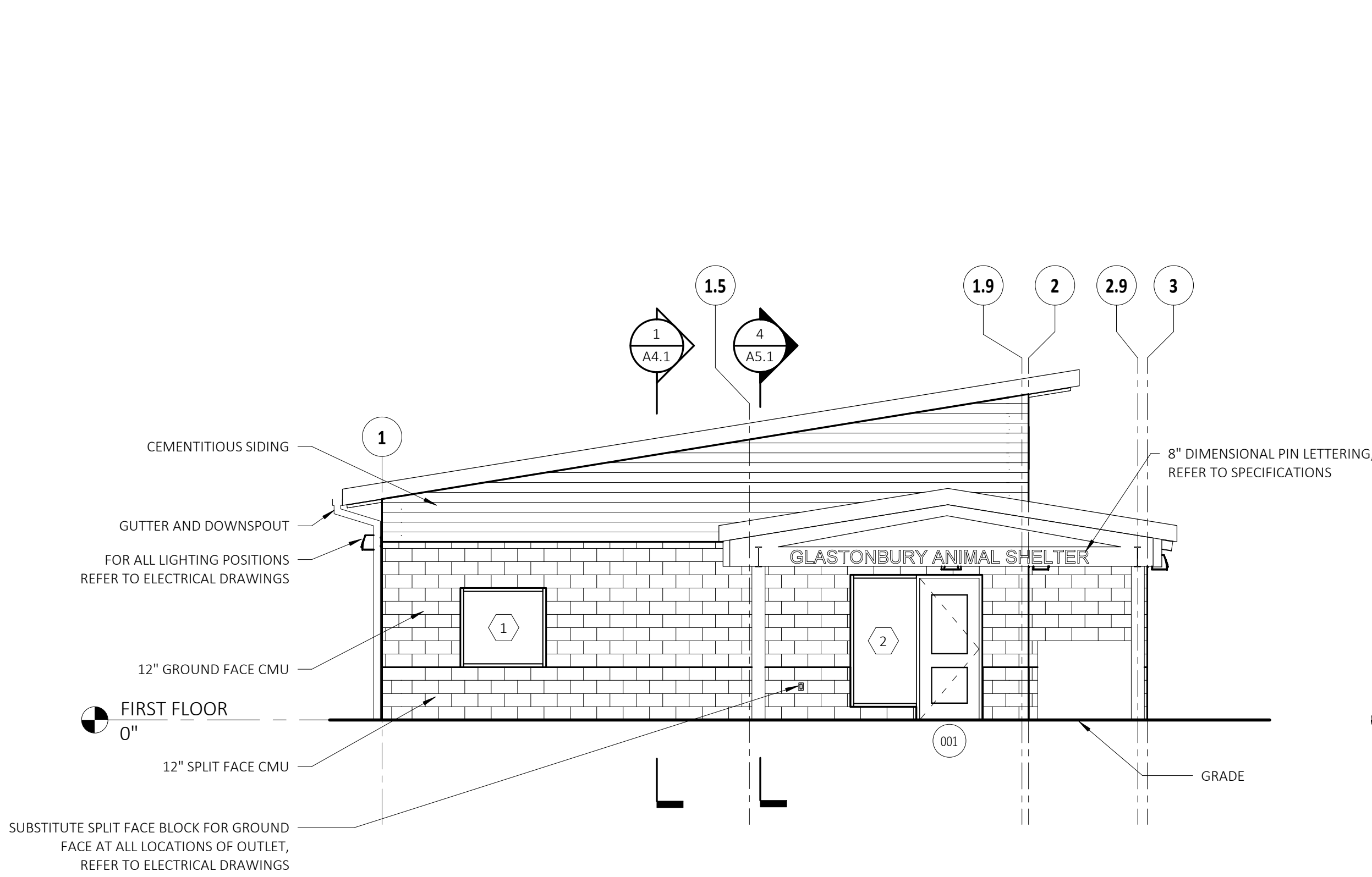




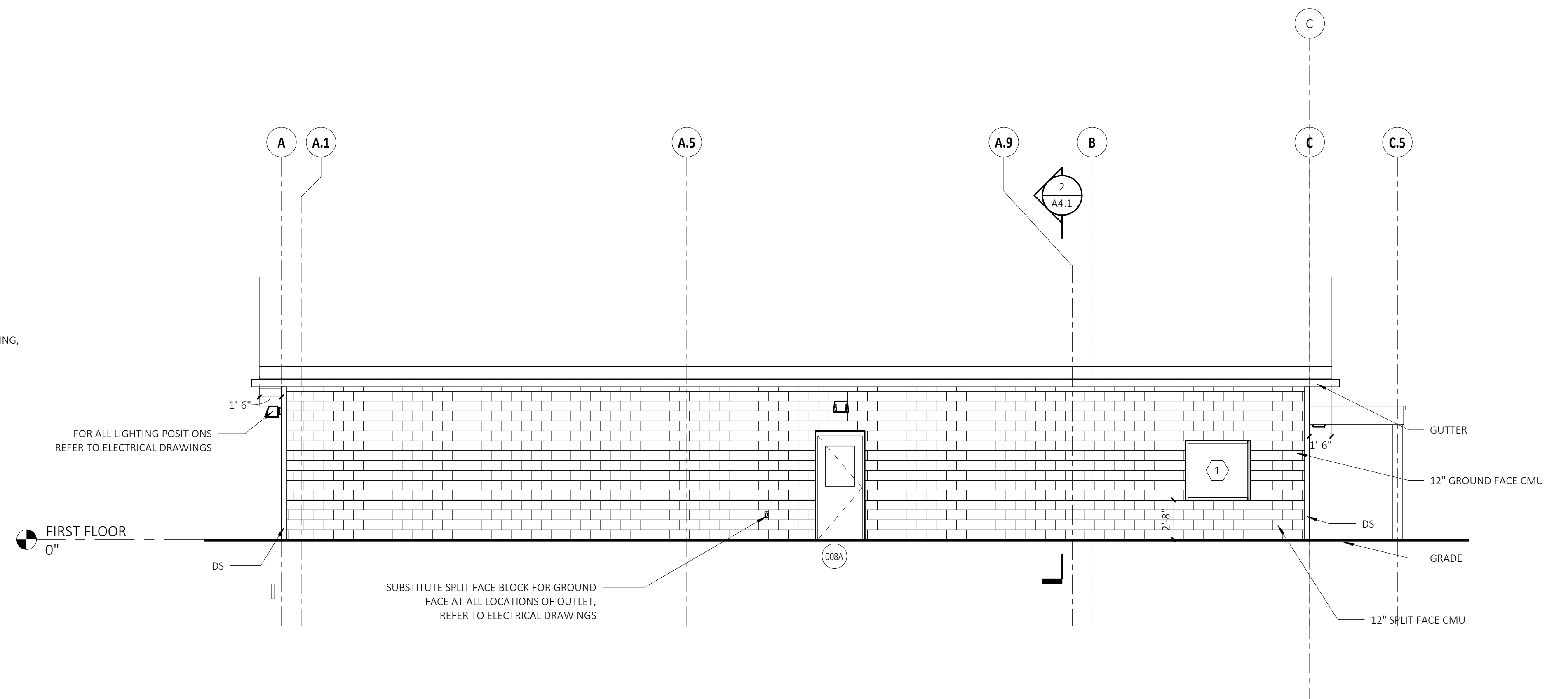
4 WEST ELEVATION
SCALE: 3/16" = 1'-0"



3 NORTH ELEVATION
SCALE: 3/16" = 1'-0"



2 EAST ELEVATION
SCALE: 3/16" = 1'-0"



1 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

DATE:	XX
DRAWN BY:	Author
SCALE:	3/16" = 1'-0"
REVIEWED BY:	Checker
PROJECT NO:	Project #

NO.	DATE	DESCRIPTION

BUILDING ELEVATIONS

STATE PROJECT NUMBER
XXX

Glastonbury Animal Shelter
STREET LOCATION
CITY, STATE ZIP CODE

PROGRESS
NOT FOR CONSTRUCTION
2/10/2023 10:54:41 AM

ARCHITECT'S SEAL

FRIAR
281 Farmington Avenue
Farmington, CT 06032

SHEET NO.
A3.1



Perspective Rendering

GLASTONBURY ANIMAL SHELTER

Glastonbury, Connecticut

Feb. 2023

ARCHITECTURE + INTERIOR DESIGN + MASTER PLANNING

EXTERIOR ELEVATIONS

FRIAR





Perspective Rendering

GLASTONBURY ANIMAL SHELTER

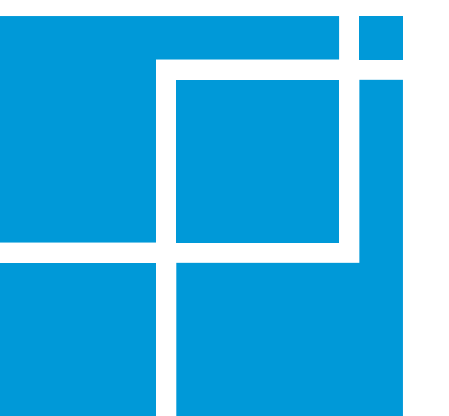
Glastonbury, Connecticut

Feb. 2023

ARCHITECTURE + INTERIOR DESIGN + MASTER PLANNING

EXTERIOR ELEVATIONS

FRIAR



Previous ASDRC Submittal for Comparison

DATE: 10/31/2022
 DRAWN BY: RCD
 SCALE: WGW
 REVIEWED BY:
 PROJECT NO. 70807.00

NO.	DATE	DESCRIPTION

benesch
 120 Hebron Avenue, 2nd Floor
 Glastonbury, Connecticut 06033
 F 860-633-1068
 www.benesch.com

**SCHEMATIC
 SITE PLAN**

**SITE IMPROVEMENTS
 GLASTONBURY
 ANIMAL SHELTER**
 340 HUBBARD STREET
 GLASTONBURY, CT 06033

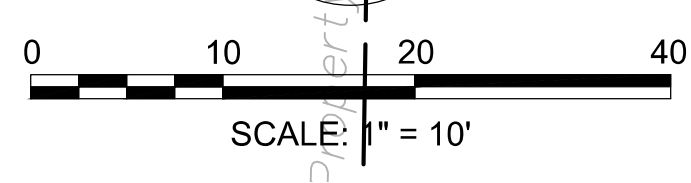
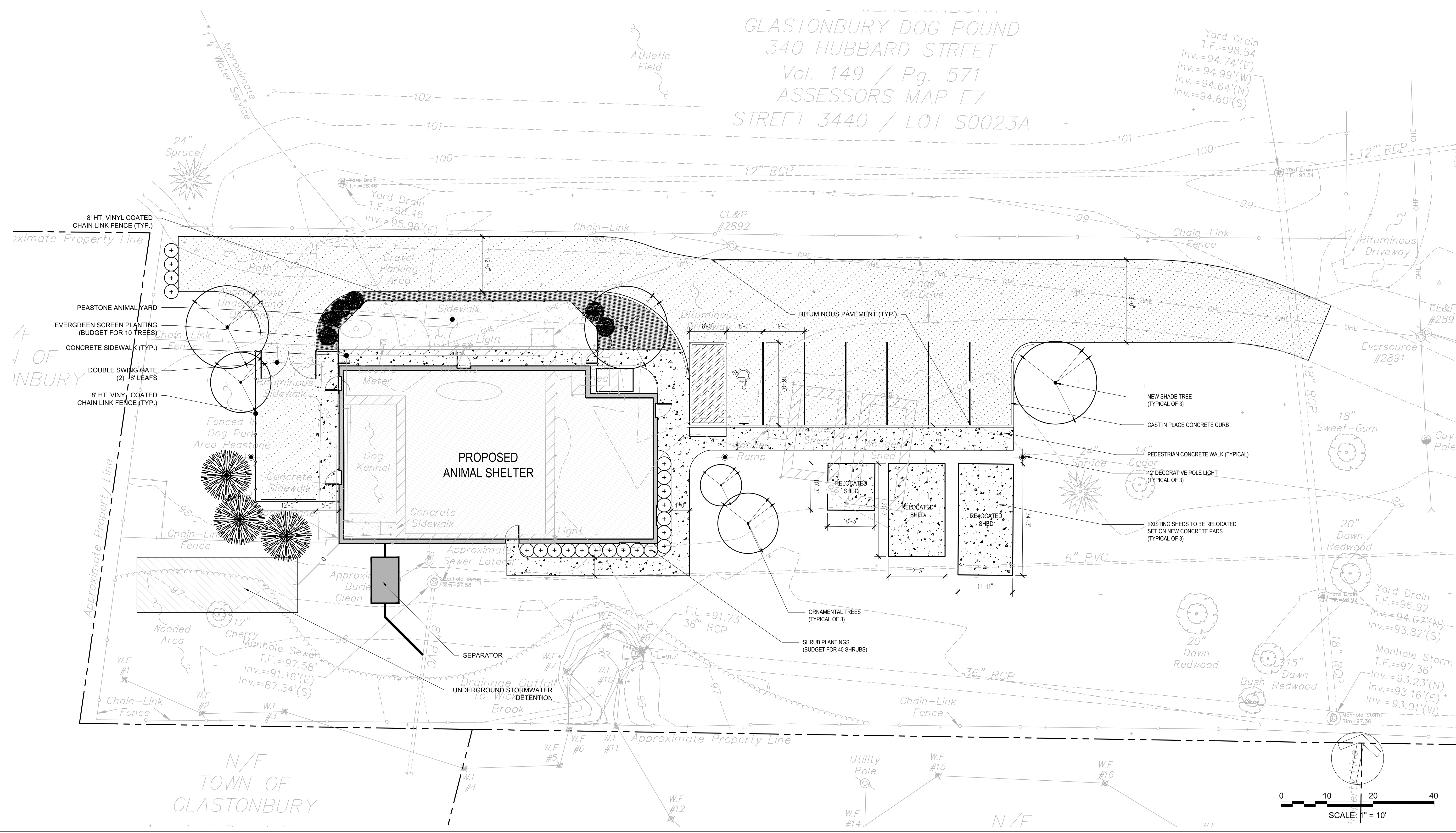


ARCHITECT'S SEAL

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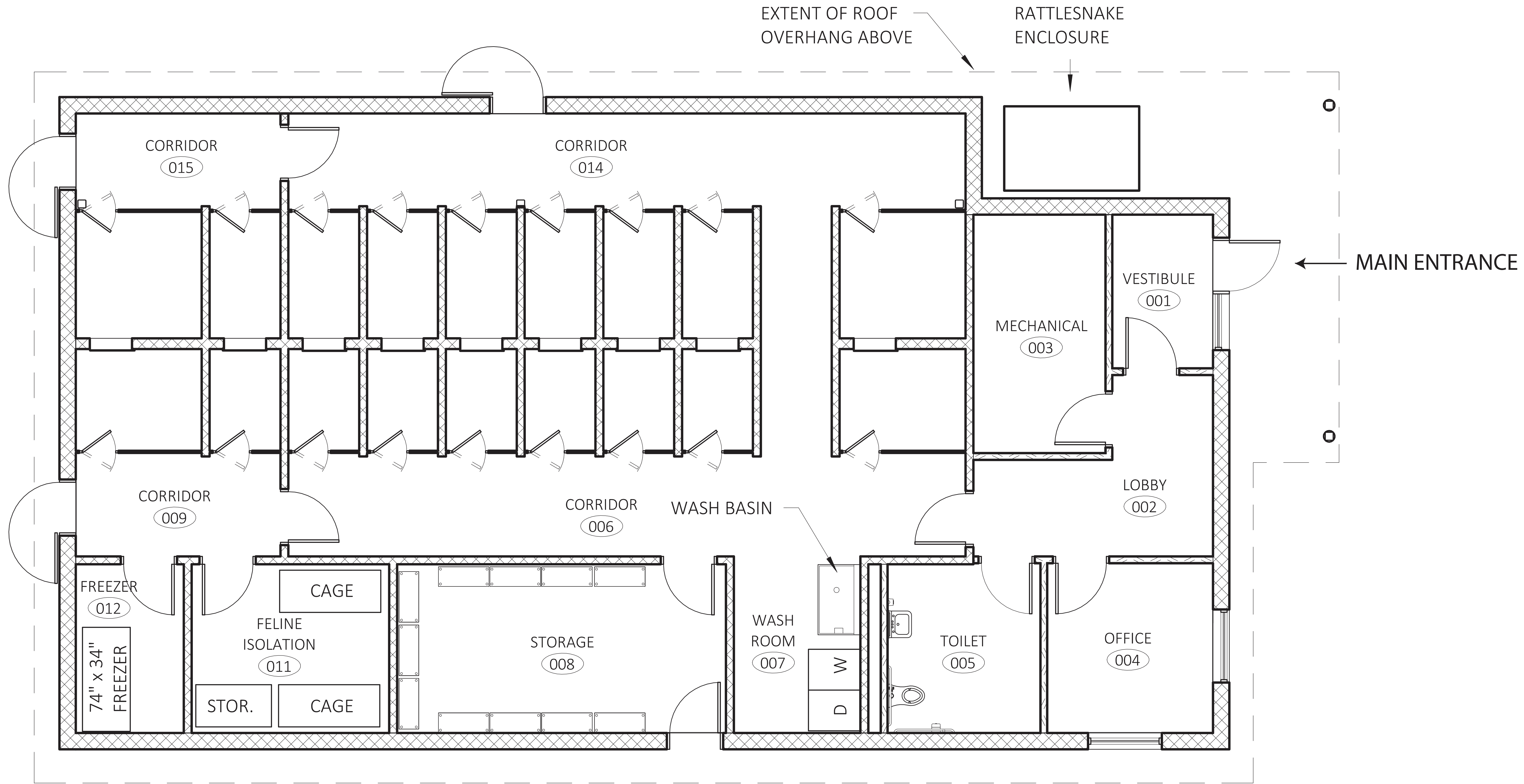
**SHEET NO.
 C2.0**

PROJECT: GASTONBURY
 GLASTONBURY DOG POUND
 340 HUBBARD STREET
 Vol. 149 / Pg. 571
 ASSESSORS MAP E7
 STREET 3440 / LOT S0023A



N/F
 TOWN OF
 GLASTONBURY

N/F



GROUND FLOOR PLAN

GLASTONBURY ANIMAL SHELTER



EASTERN ELEVATION - ENTRANCE



SOUTHERN ELEVATION - KENNEL ACCESS

GLASTONBURY ANIMAL SHELTER

Glastonbury, Connecticut

Jan. 2023

ARCHITECTURE + INTERIOR DESIGN + MASTER PLANNING

EXTERIOR ELEVATIONS

FRIAR

