

CROSBY II SUBDIVISION

539 & 551 MANCHESTER ROAD

PREPARED FOR

REJEAN JACQUES

GLASTONBURY, CONN.



LOCATION MAP
SCALE: 1"=100'

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ZONE: RURAL RESIDENCE
GROUNDWATER PROTECTION ZONE 1
TOTAL PARCEL AREA: 449,229 S.F. - 10.313 AC.
TOTAL NUMBER OF LOTS: 6

PRELIMINARY
11-2-22

TOWN PLAN & ZONING COMMISSION APPROVAL	
CROSBY II SUBDIVISION SUBDIVISION NAME	RURAL RESIDENCE/GW-1 ZONE
REJEAN JACQUES SUBDIVIDER	
SUBDIVISION APPROVAL DATE	PLAN & ZONING COMMISSION CHAIRMAN
COMPLETION DATE FOR SUBDIVISION IMPROVEMENTS	COMMUNITY DEVELOPMENT DIRECTOR
FILE NO.	TOWN ENGINEER

APPLICANT/OWNER:
REJEAN JACQUES
1048 HOPWELL ROAD
SOUTH GLASTONBURY, CT 06489
860-562-7741

GENERAL NOTES

ALL CONSTRUCTION METHODS TO CONFORM TO CONN. D.O.T. FORM 818 AND/OR THE TOWN STANDARD SPECIFICATIONS.
 ALL UTILITIES TO BE INSTALLED UNDERGROUND.
 THE LOCATION OF ALL EXISTING UTILITIES SHOWN IS APPROXIMATE. THE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THE LOCATION OF EXISTING UTILITIES IN THE FIELD PRIOR TO CONSTRUCTION AND FOR COORDINATING CONNECTION OF PROPOSED AND EXISTING UTILITIES.
 ANY UNSUITABLE MATERIAL IN PAVEMENT AREAS TO BE REMOVED AND REPLACED WITH SUITABLE MATERIAL AS DIRECTED BY THE TOWN.
 TOWN MAY REQUIRE CHANGES TO THE PLAN TO ADDRESS PROBLEMS THAT MAY RESULT IN THE FIELD.
 ALL UNDERGROUND UTILITIES TO BE INSTALLED/DIRECTED BY APPROPRIATE AUTHORITIES.
 ALL UNDERGROUND UTILITIES MUST BE INSTALLED BEFORE ROADWAY PAVEMENT.
 ALL CATCH BASIN GRATES SHALL BE TYPE A BICYCLE FRIENDLY GRATES.
 FOUNDATION DRAINS AND ROOF LEADER INFILTRATOR SYSTEMS SHALL BE INSTALLED ON ALL PLOT PLANS.
 ALL LOTS WITH ROOFING DRAINS THAT CONNECT TO CATCH BASINS WILL REQUIRE A FOUNDATION DRAIN AND ROOF LEADER INFILTRATOR SYSTEM.
WARNING - THESE PLANS NOT TO BE USED FOR LOCATION OF UNDERGROUND UTILITIES - CALL BEFORE YOU DIG 1-800-922-4465 TWO WORKING DAYS BEFORE YOU DIG.
 TOPOGRAPHY TAKEN FROM ACTUAL FIELD SURVEY AND TOWN OF GLASTONBURY TOPOGRAPHIC MAPS.
 VERTICAL DATUM REPRESENTS NAVD 88.
 ALL PROPOSED SIDEWALK CONSTRUCTION SHALL BE CONSTRUCTED TO THE TOWN OF GLASTONBURY STANDARDS UTILIZING CLASS F CONCRETE. ALL PROPOSED SIDEWALKS SHALL BE TREATED WITH A CONCRETE SEALER.
 ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH WITH TOWN OF GLASTONBURY SPECIFICATIONS OR AS DIRECTED BY THE TOWN ENGINEER.
 THE CONTRACTOR SHALL NOTIFY THE TOWN OF GLASTONBURY ENGINEERING DIVISION 24 HOURS FROM TO BEGINNING ANY STORM DRAINAGE, SANITARY SEWER EXCAVATION IN THE TOWN RIGHT-OF-WAY TO SCHEDULE INSPECTION. THE DIVISION CAN BE REACHED BETWEEN 8:00-4:30 PM MONDAY THRU FRIDAY AT (860) 652-7735.
SWIMMING POOLS AND SHEDS PROPOSED WITHIN ANY FRONT YARD WILL REQUIRE A VARIANCE FROM ZBA.
 STREET TREE LOCATION & SPECIES SHALL BE DETERMINED AT THE TIME OF PLOT PLAN SUBMITTAL.

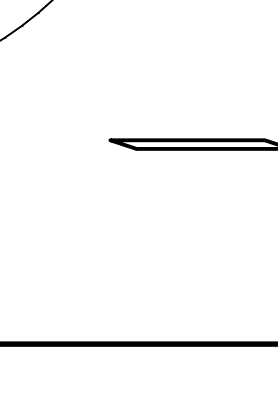
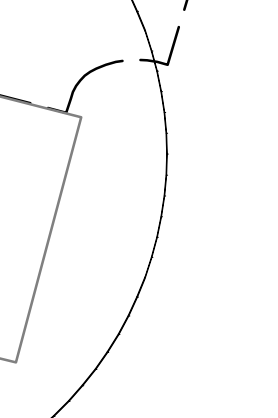
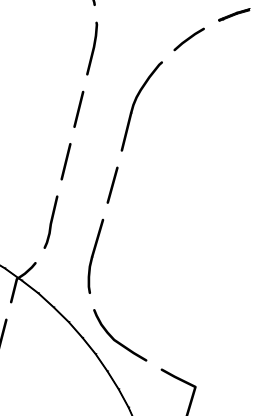
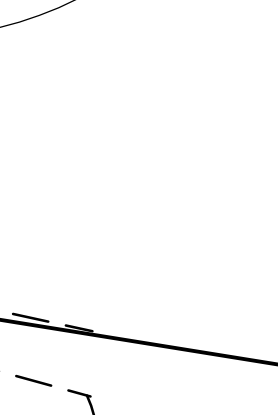
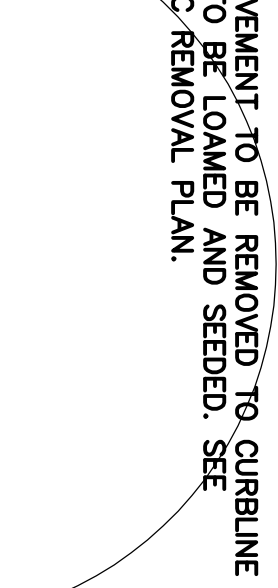
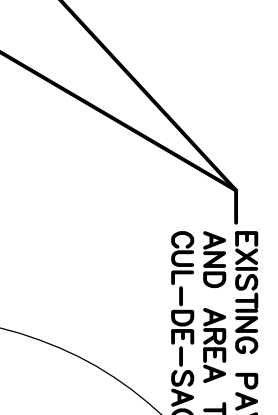
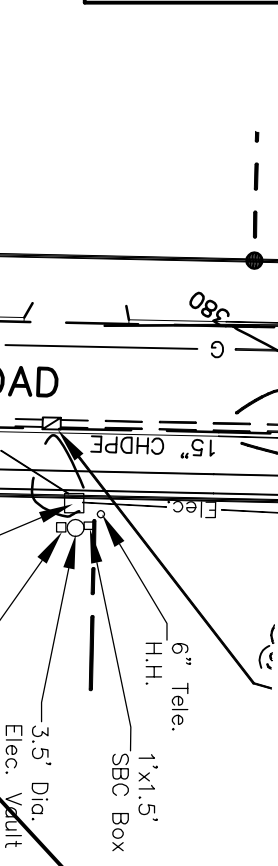
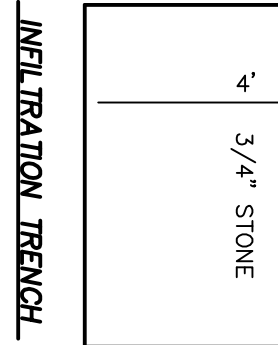
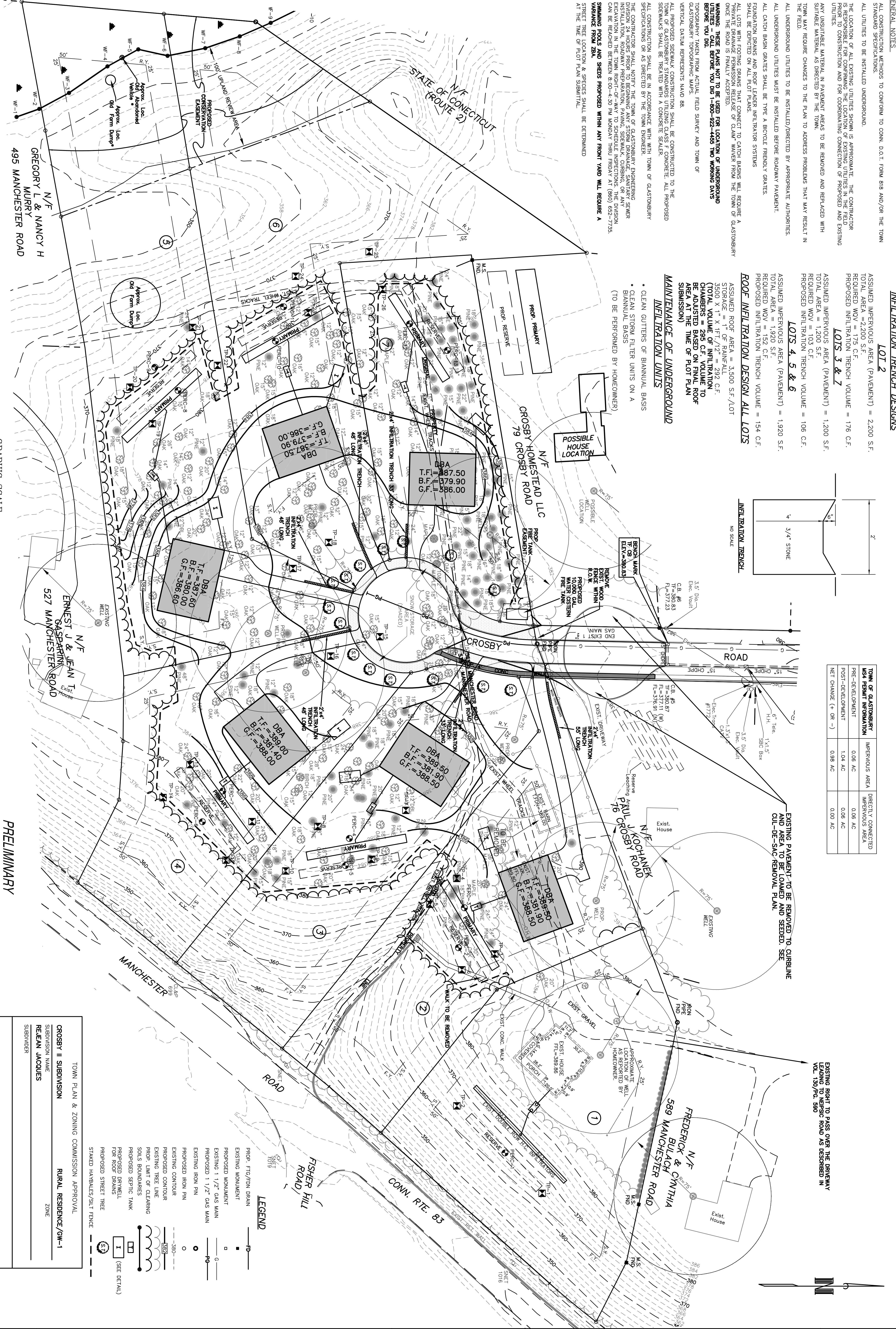
INFILTRATION TRENCH DESIGNS

LOT 2
 ASSUMED IMPERVIOUS AREA (PAVEMENT) = 2,200 S.F.
 TOTAL AREA = 2,200 S.F.
 REQUIRED WOV = 175 C.F.
 PROPOSED INFILTRATION TRENCH VOLUME = 176 C.F.
LOTS 3 & 7
 ASSUMED IMPERVIOUS AREA (PAVEMENT) = 1,200 S.F.
 TOTAL AREA = 1,200 S.F.
 REQUIRED WOV = 103 C.F.
 PROPOSED INFILTRATION TRENCH VOLUME = 106 C.F.
LOTS 4, 5 & 6
 ASSUMED IMPERVIOUS AREA (PAVEMENT) = 1,920 S.F.
 TOTAL AREA = 1,920 S.F.
 REQUIRED WOV = 152 C.F.
 PROPOSED INFILTRATION TRENCH VOLUME = 154 C.F.
ROOF INFILTRATION DESIGN ALL LOTS
 ASSUMED ROOF AREA = 3,500 S.F./LOT
 STORAGE = 1/4" RAINFALL @ 0.3 C.F.
 (TOTAL VOLUME OF INFILTRATION CHAMBERS = 295 C.F. VOLUME TO BE ADJUSTED BASED ON FINAL ROOF AREA AT THE TIME OF PLOT PLAN SUBMISSION)
MAINTENANCE OF UNDERGROUND INFILTRATION UNITS
 • CLEAN GUTTERS OF BIENNIAL BASIS
 • CLEAN STORM FILTER UNITS ON A BIENNIAL BASIS
 (TO BE PERFORMED BY HOMEOWNER)

TOWN OF GLASTONBURY MSF PERMIT INFORMATION	IMPERVIOUS AREA	DIRECTLY CONNECTED IMPERVIOUS AREA
PRE-DEVELOPMENT	0.06 AC	0.06 AC
POST-DEVELOPMENT	1.04 AC	0.06 AC
NET CHANGE (+ OR -)	0.98 AC	0.00 AC

EXISTING PAVEMENT TO BE REMOVED TO CURBLINE AND AREA TO BE LOADED AND SEED. SEE CUL-DE-SAC REMOVAL PLAN.

EXISTING RIGHT TO PASS OVER THE DRIVEWAY LEADING TO NEPSIC ROAD AS DESCRIBED IN VOL. 130/PG. 590



GRAPHIC SCALE
 1 inch = 40 ft.

I HAVE REVERSED THE LOT AND BOUNDARY LINES SHOWN ON THIS PLAN AND ALL OF THE BOUNDARIES MARKED BY ME IN THE FIELD.

PRELIMINARY
 11-2-22

APPLICANT/OWNER:
 REJEAN JACQUES
 1048 HORNWELL ROAD
 GASTONBURY, CT 06449
 860-952-4741

FILE NO. TOWN ENGINEER

TOWN PLAN & ZONING COMMISSION APPROVAL
 CROSBY II SUBDIVISION
 RURAL RESIDENCE/GW-1 ZONE

DATE: 8-10-22
 SCALE: 1"=40'
 SHEET 3 OF 11

LEGEND
 PROP. FTS/FDN DRAIN
 EXISTING MONUMENT
 PROPOSED MONUMENT
 EXISTING 1 1/2" GAS MAIN
 PROPOSED 1 1/2" GAS MAIN
 EXISTING IRON PIN
 EXISTING CONTOUR
 PROPOSED CONTOUR
 EXISTING TREE LINE
 PROP. LIMIT OF CLEARING
 SOILS BOUNDARIES
 PROPOSED SEPTIC TANK
 PROPOSED PERIMETER FOR ROOF DRAINS
 PROPOSED STREET TREE
 STAKED HAYBALES/SILT FENCE

SUBDIVISION SITE DEVELOPMENT MAP
CROSBY II SUBDIVISION
 PREPARED FOR
REJEAN JACQUES
 GLASTONBURY, CONN

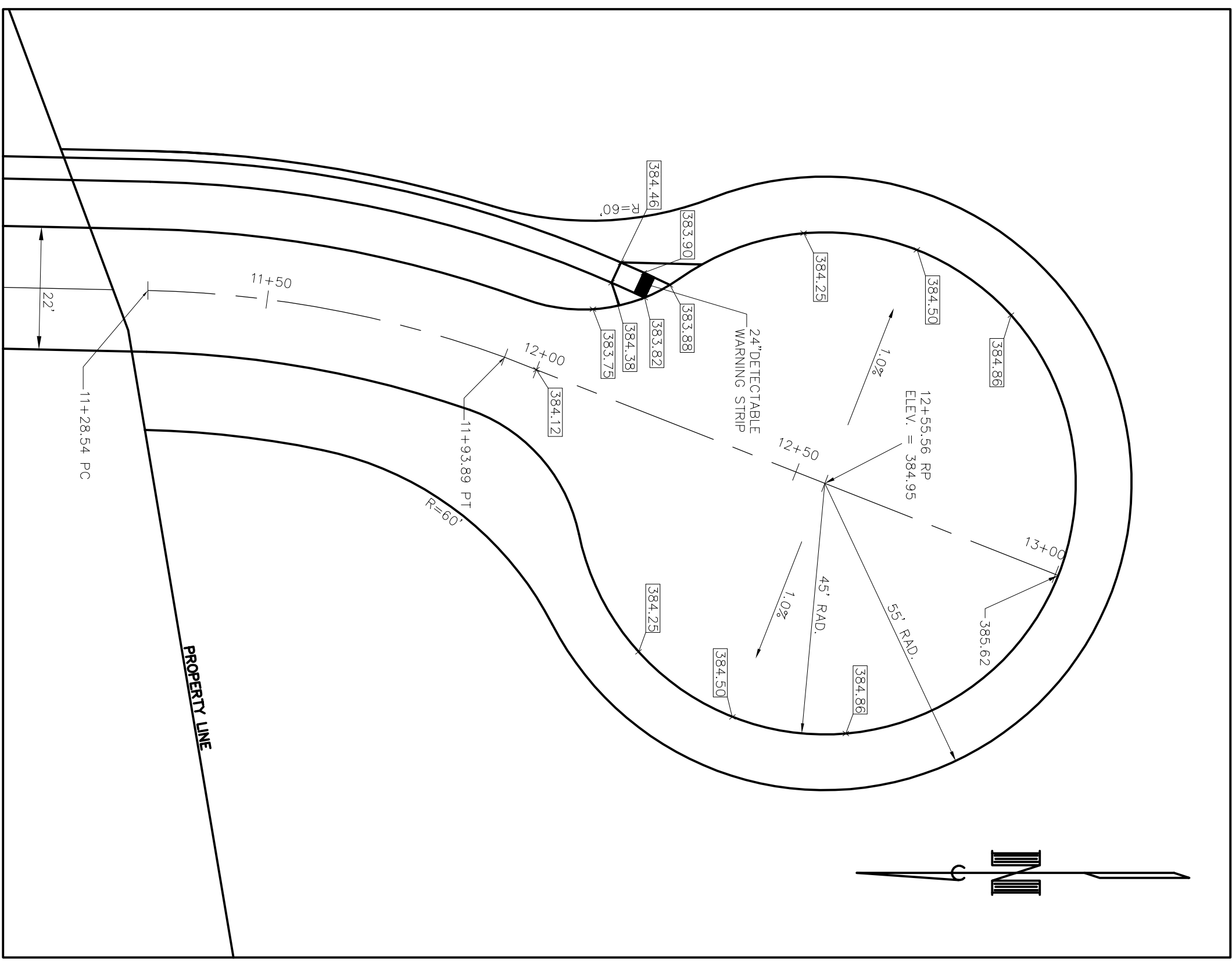
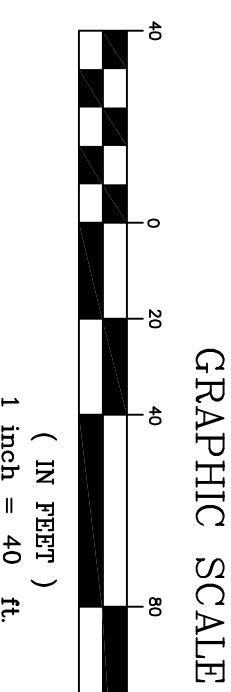
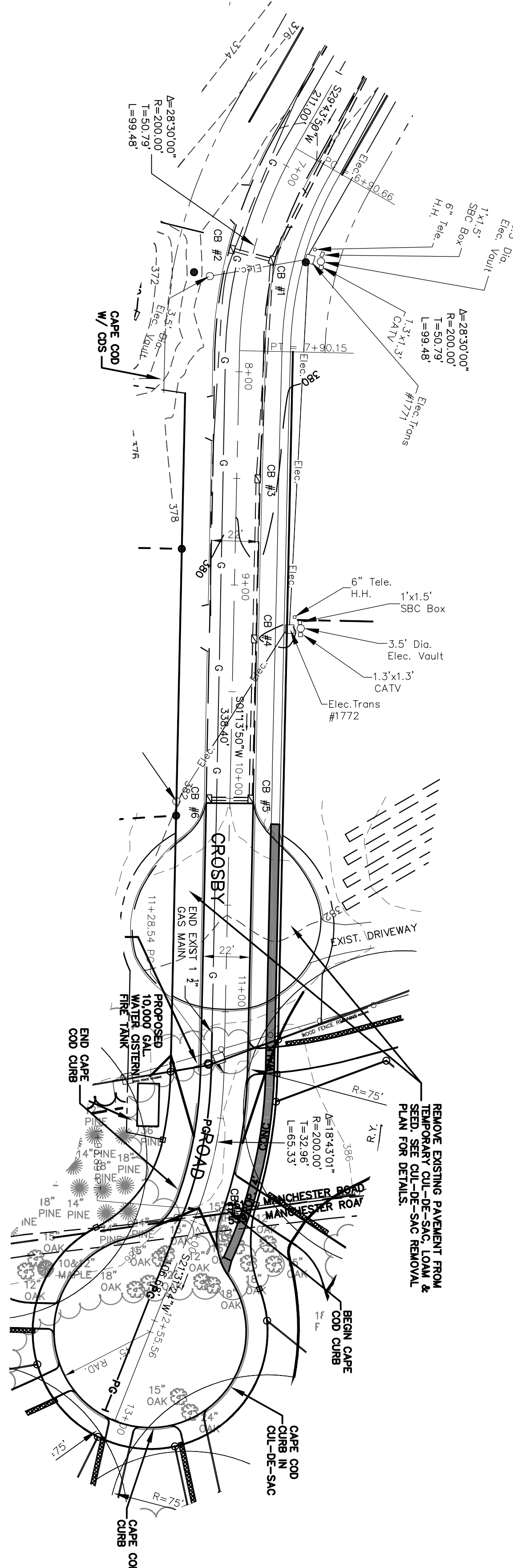
MEGSON, HEAGLE & FRIEND
 CIVIL ENGINEERS & LAND SURVEYORS, LLC
 81 RANKIN ROAD
 GLASTONBURY, CONN. 06033
 PHONE (860)-659-0587

I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.

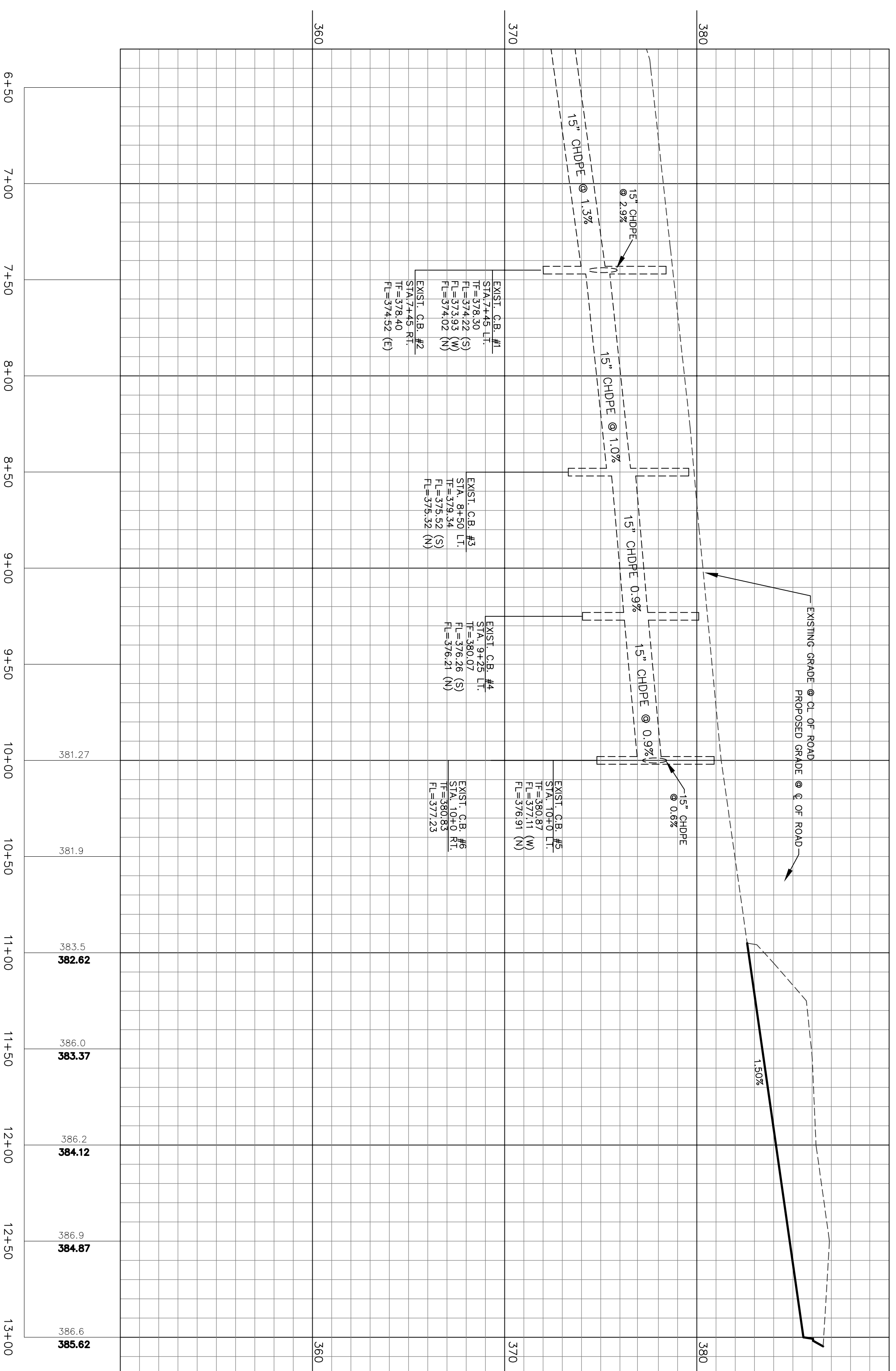
 MARK W. FRIEND P.E. # 15818

GENERAL NOTES

ALL CONSTRUCTION METHODS TO CONFORM TO COMM. D.O.T. FORM 818 AND/OR THE TOWN STANDARD SPECIFICATIONS.
 ALL UTILITIES TO BE INSTALLED UNDERGROUND.
 THE LOCATION OF ALL EXISTING UTILITIES SHOWN IS APPROXIMATE. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION AND FOR COORDINATING CONNECTION OF PROPOSED AND EXISTING UTILITIES.
 ANY UNSUITABLE MATERIAL IN PAVEMENT AREAS TO BE REMOVED AND REPLACED WITH SUITABLE MATERIAL, AS DIRECTED BY THE TOWN.
 TOWN MAY REQUIRE CHANGES TO THE PLAN TO ADDRESS PROBLEMS THAT MAY RESULT IN THE FIELD.
 ALL UNDERGROUND UTILITIES TO BE INSTALLED/DIRECTED BY APPROPRIATE AUTHORITIES.
 ALL UNDERGROUND UTILITIES MUST BE INSTALLED BEFORE ROADWAY PAVEMENT.
 ALL CATCH BASIN GRATES SHALL BE TYPE A BICYCLE FRIENDLY GRATES.
 FOUNDATION DRAINS AND ROOF LEADER INFILTRATOR SYSTEMS SHALL BE DEPICTED ON ALL LOT PLANS.
 ALL LOTS WITH FOOTING DRAINS THAT CONNECT TO CATCH BASINS WILL REQUIRE A PRIVATE DRAINAGE PERMITS RELEASE OF CLAIM WAIVER FROM THE TOWN OF GASTONBURY ONCE THE ROAD IS FINALLY ACCEPTED.
WARNING: THESE PLANS NOT TO BE USED FOR LOCATION OF UNDERGROUND UTILITIES BEFORE YOU DIG.
 TOPOGRAPHY TAKEN FROM ACTUAL FIELD SURVEY AND TOWN OF GASTONBURY TOPOGRAPHIC MAPS.
 VERTICAL DATUM REPRESENTS NAVD 88.
 ALL PROPOSED SPOURWAY CONSTRUCTION SHALL BE CONSTRUCTED TO THE TOWN OF GASTONBURY STANDARDS UTILIZING CLASS F CONCRETE. ALL PROPOSED SIDEWALKS SHALL BE TREATED WITH A CONCRETE SEALER.
 ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH WITH TOWN OF GASTONBURY SPECIFICATIONS OR AS DIRECTED BY THE TOWN ENGINEER.
 THE CONTRACTOR SHALL NOTIFY THE TOWN OF GASTONBURY ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, SANITARY SEWER INSTALLATION, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, OR ANY EXPLANATION IN THE TOWN RIGHT-OF-WAY TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:00 AM AND 4:30 PM MONDAY THROUGH FRIDAY AT (860) 652-7735. STREET TREE LOCATION & SPECIES SHALL BE DETERMINED AT THE TIME OF LOT PLAN SUBMITTAL.



CUL-DE-SAC DETAIL
SCALE: 1"=20'



Station	Existing G.B. #	Existing S/A	Existing T/E	Existing R/L	Existing W
7+50	EXIST. G.B. #1	S/A=7.7+4.8	T/E=374.42	R/L=374.42 (S)	W=374.42 (N)
8+00	EXIST. G.B. #2	S/A=7.7+4.8	T/E=374.42	R/L=374.42 (S)	W=374.42 (N)
8+50	EXIST. G.B. #3	S/A=7.7+4.8	T/E=374.42	R/L=374.42 (S)	W=374.42 (N)
9+00	EXIST. G.B. #4	S/A=7.7+4.8	T/E=374.42	R/L=374.42 (S)	W=374.42 (N)
9+50	EXIST. G.B. #5	S/A=7.7+4.8	T/E=374.42	R/L=374.42 (S)	W=374.42 (N)
10+00	EXIST. G.B. #6	S/A=7.7+4.8	T/E=374.42	R/L=374.42 (S)	W=374.42 (N)
10+50	EXIST. G.B. #7	S/A=7.7+4.8	T/E=374.42	R/L=374.42 (S)	W=374.42 (N)
11+00	EXIST. G.B. #8	S/A=7.7+4.8	T/E=374.42	R/L=374.42 (S)	W=374.42 (N)
11+50	EXIST. G.B. #9	S/A=7.7+4.8	T/E=374.42	R/L=374.42 (S)	W=374.42 (N)
12+00	EXIST. G.B. #10	S/A=7.7+4.8	T/E=374.42	R/L=374.42 (S)	W=374.42 (N)
12+50	EXIST. G.B. #11	S/A=7.7+4.8	T/E=374.42	R/L=374.42 (S)	W=374.42 (N)

LEGEND
 EXISTING 1/2" GAS MAIN
 PROPOSED 1/2" GAS MAIN
 PROPOSED ELEVATION

TOWN PLAN & ZONING COMMISSION APPROVAL	PLAN & ZONING COMMISSION CHAIRMAN
CROSBY II SUBDIVISION	COMMUNITY DEVELOPMENT DIRECTOR
RURAL RESIDENCE/5W-1 ZONE	TOWN ENGINEER
SUBDIVIDER	COMPLETION DATE FOR SUBDIVISION IMPROVEMENTS
REJEAN JACQUES	TOWN ENGINEER
SUBDIVISION APPROVAL DATE	
FILE NO.	

I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.

 MARK W. FRIEND P.E. # 15818

MEGSON, HEAGLE & FRIEND
 CIVIL ENGINEERS & LAND SURVEYORS, LLC
 81 RANKIN ROAD
 GASTONBURY, CONN. 06033
 PHONE (860)-659-0587

PLAN & PROFILE
CROSBY II SUBDIVISION
 PREPARED FOR
REJEAN JACQUES
 GLASTONBURY, CONN

APPPLICANT/OWNER:
 REJEAN JACQUES
 1048 HOFERWELL ROAD
 SOUTH GASTONBURY, CT 06489
 860-358-7741

DATE: 8-10-22
 SCALE: SHOWN
 SHEET 4 OF 11
 MAP NO. 30-21-1P

DRW. BY: BTC
 CK. BY: MWF

TOWN PLAN & ZONING COMMISSION APPROVAL	
CROSBY II SUBDIVISION	RURAL RESIDENCE/GW-1
SUBDIVISION NAME	ZONE
REJEAN JACQUES	
SUBDIVIDER	
SUBDIVISION APPROVAL DATE	PLAN & ZONING COMMISSION CHAIRMAN
COMPLETION DATE FOR SUBDIVISION IMPROVEMENTS	COMMUNITY DEVELOPMENT DIRECTOR
FILE NO.	TOWN ENGINEER

NOTE: ALL PROPOSED SIDEWALK CONSTRUCTION SHALL BE CONSTRUCTED TO THE TOWN OF GLASTONBURY STANDARDS UTILIZING CLASS F CONCRETE. ALL PROPOSED SIDEWALKS SHALL BE TREATED WITH A CONCRETE SEALER.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH WITH TOWN OF GLASTONBURY SPECIFICATIONS OR AS DIRECTED BY THE TOWN ENGINEER.

NOTE: THE CONTRACTOR SHALL NOTIFY THE TOWN OF GLASTONBURY ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE SANITARY SEWER EXCAVATION WORK. THE TOWN ENGINEER SHALL BE PRESENT FOR ALL EXCAVATION IN THE TOWN RIGHT-OF-WAY TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:00-4:30 PM MONDAY THRU FRIDAY AT (860) 652-7735.

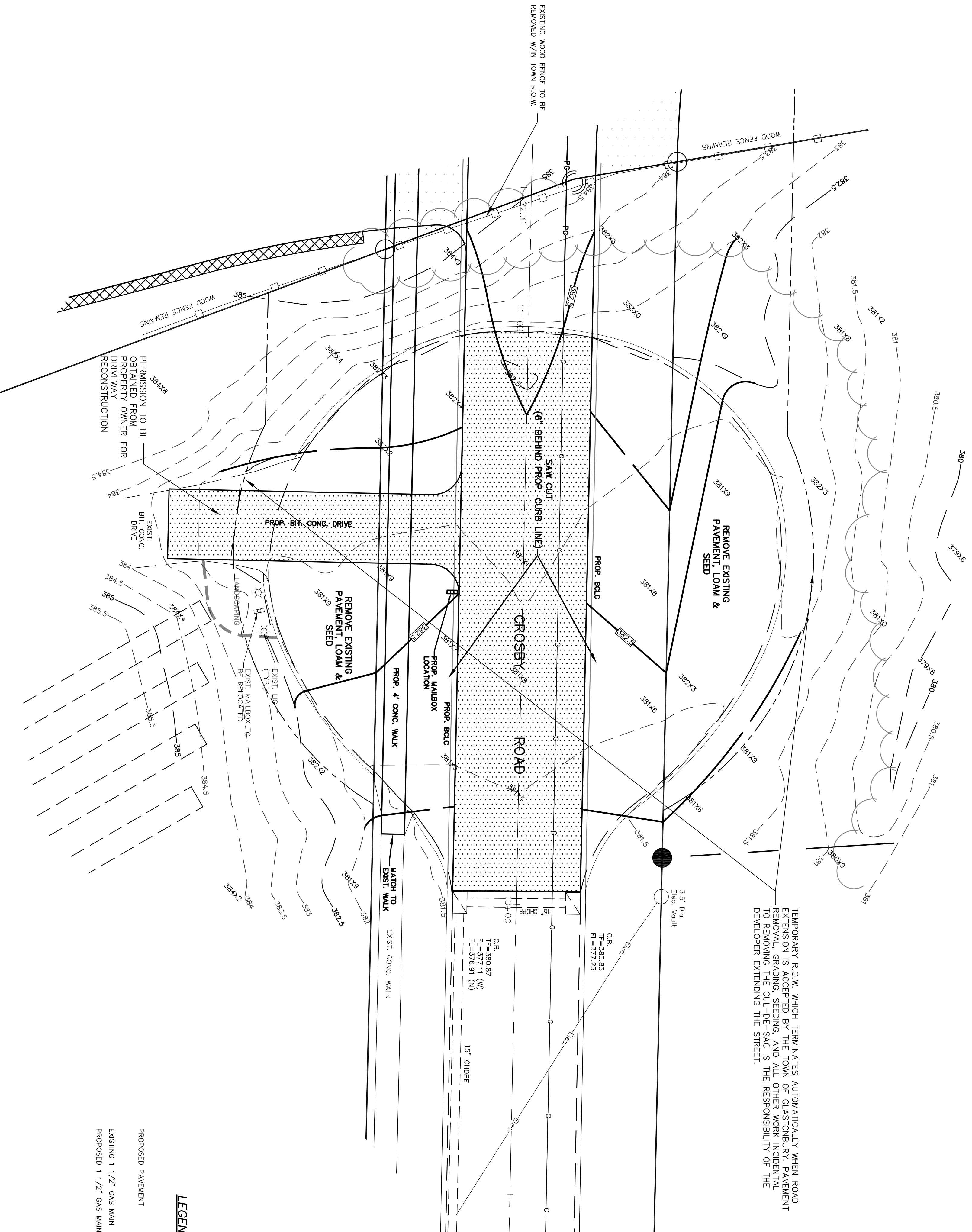
NOTE: TOPOGRAPHY TAKEN FROM ACTUAL FIELD SURVEY AND TOWN OF GLASTONBURY TOPOGRAPHIC MAPS.

VERTICAL DATUM REPRESENTS NAVD 88.

WARNING: THESE PLANS NOT TO BE USED FOR LOCATION OF UNDERGROUND UTILITIES - CALL BEFORE YOU DIG 1-800-922-4455 TWO WORKING DAYS BEFORE YOU DIG.



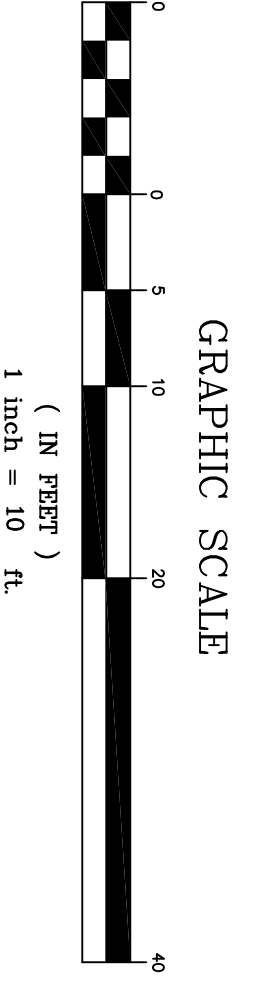
TEMPORARY R.O.W. WHICH TERMINATES AUTOMATICALLY WHEN ROAD EXCAVATION IS COMPLETED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING GRADING, SEEDING, AND ANY OTHER WORK INCIDENT TO REMOVING THE CUL-DE-SAC IS THE RESPONSIBILITY OF THE DEVELOPER EXTENDING THE STREET.



LEGEND

	PROPOSED PAVEMENT
	EXISTING 1 1/2" GAS MAIN
	PROPOSED 1 1/2" GAS MAIN
	C
	P

PRELIMINARY
11-2-22



CUL-DE-SAC REMOVAL PLAN
CROSBY II SUBDIVISION
PREPARED FOR
REJEAN JACQUES
GLASTONBURY, CONN

MEGSON, HEAGLE & FRIEND
CIVIL ENGINEERS & LAND SURVEYORS, LLC
81 RANKIN ROAD
GLASTONBURY, CONN. 06033
PHONE (860)-659-0587

I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.

MARK W. FRIEND P.E. # 15818

OK BY:	MWF
DRW. BY:	BTC
DATE:	8-10-22
SCALE:	1"=10'
SHEET:	5 OF 11
MAP NO.	30-21-10D5

APPLICANT/OWNER:
REJEAN JACQUES
1048 HOPWELL ROAD
GLASTONBURY, CT 06033
860-952-4741

TOWN PLAN & ZONING COMMISSION APPROVAL	RURAL RESIDENCE (RW-1)
CROSBY II SUBDIVISION	ZONE
SUBDIVISION NAME	REJEAN JACQUES
SUBDIVIDER	
SUBMISSION APPROVAL DATE	PLAN & ZONING COMMISSION CHAIRMAN
COMPLETION DATE FOR SUBMISSION IMPROVEMENTS	COMMUNITY DEVELOPMENT DIRECTOR
FILE NO.	TOWN ENGINEER

SOILS LEGEND

- 37A - MANCHESTER GRAVELLY SANDY LOAM 0-3%
- 37E - MANCHESTER GRAVELLY SANDY LOAM 3-15%
- 103 - RIPPOWAM FINE SANDY LOAM

NOTE: TOPOGRAPHY TAKEN FROM ACTUAL FIELD SURVEY AND TOWN OF GLASTONBURY TOPOGRAPHIC MAPS. VERTICAL DATUM REPRESENTS NAVD 83.

WARNING - THESE PLANS NOT TO BE USED FOR LOCATION OF UNDERGROUND UTILITIES - CALL BEFORE YOU DIG 1-800-922-4450 TWO WORKING DAYS BEFORE YOU DIG.

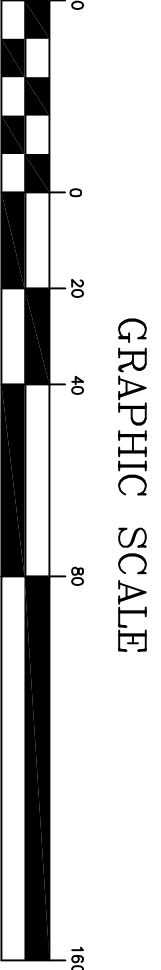
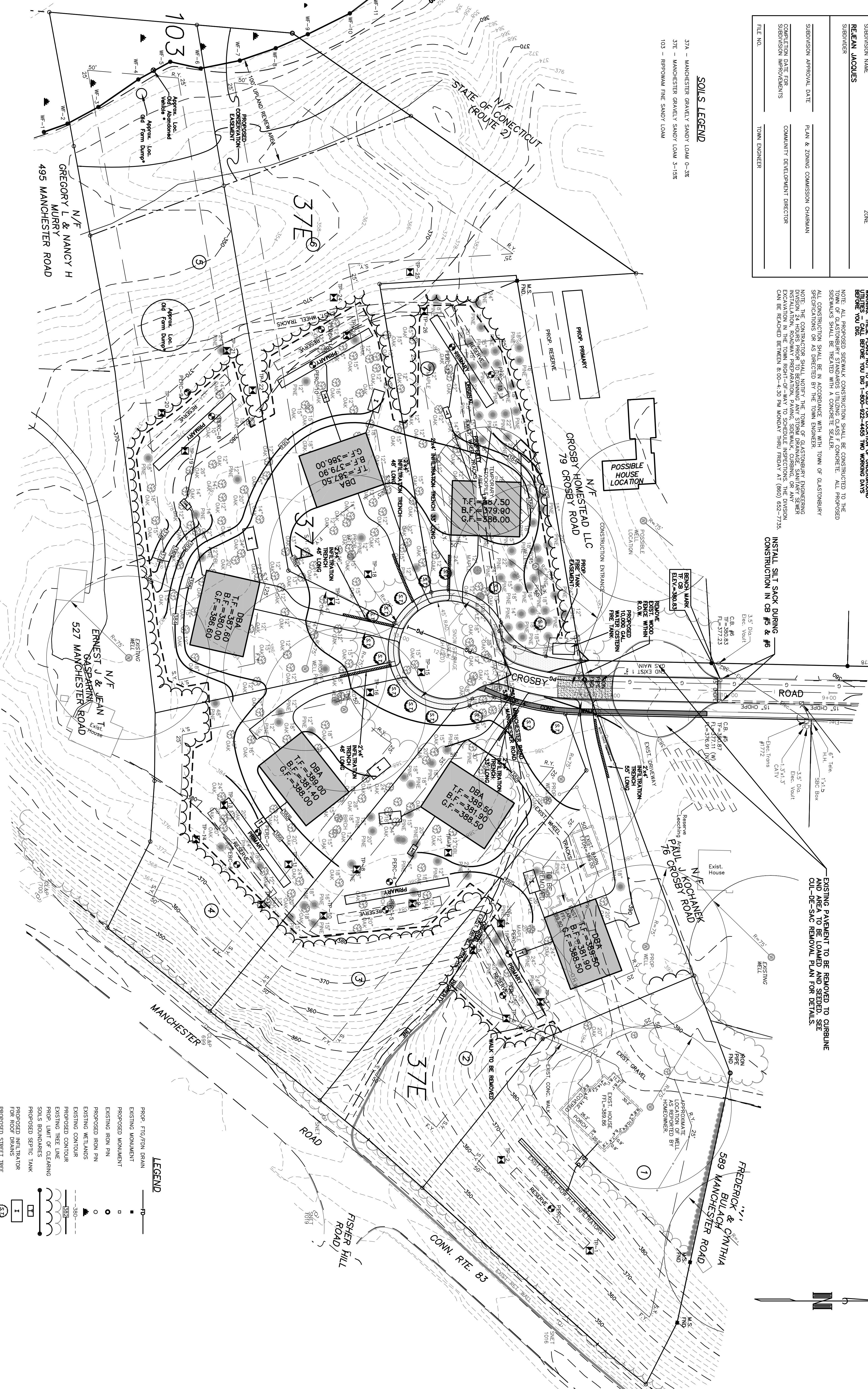
NOTE: ALL PROPOSED STORMWATER CONSTRUCTION SHALL BE CONSTRUCTED TO THE TOWN OF GLASTONBURY STANDARDS UTILIZING CLASS F CONCRETE. ALL PROPOSED SIDEWALKS SHALL BE TREATED WITH A CONCRETE SEALER.

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NOTE: THE CONTRACTOR SHALL NOTIFY THE TOWN OF GLASTONBURY ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, SANITARY SEWER INSTALLATION, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, OR ANY EXCAVATION IN THE TOWN RIGHT-OF-WAY TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:00-4:30 PM MONDAY THRU FRIDAY AT (860) 692-7735.

INSTALL SILT SACK DURING CONSTRUCTION IN CB #5 & #6

EXISTING PAVEMENT TO BE REMOVED TO CURBLINE AND REPAVED AND SEEDED. SEE CUL-DE-SAC REMOVAL PLAN FOR DETAILS.



I HAVE REVIEWED THE WETLAND BOUNDARIES AS SHOWN ON THIS PLAN AND AM OF THE OPINION THAT THEY REPRESENT THE SOIL BOUNDARIES MARKED BY ME IN THE FIELD.

MARK W. FRIEND
SOIL SCIENTIST

LEGEND

	PROPOSED FTG/FDN DRAIN
	EXISTING MONUMENT
	PROPOSED MONUMENT
	PROPOSED IRON PIN
	EXISTING WETLANDS
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING TREE LINE
	SOIL BOUNDARIES
	PROPOSED SEPTIC TANK
	PROPOSED INFILTRATOR FOR ROOF DRAINS
	PROPOSED STREET TREE
	STAKED HAY BALES/SILT FENCE
	ANTI-TRACKING PAD

PRELIMINARY
11-2-22

APPLICANT/OWNER:
REJEAN JACQUES
599 MANCHESTER ROAD
SOUTH GLASTONBURY, CT 06489
860-952-4741

<p>STORMWATER POLLUTION CONTROL PLAN CROSBY II SUBDIVISION PREPARED FOR REJEAN JACQUES GLASTONBURY, CONN</p>	<p>MEGSON, HEAGLE & FRIEND CIVIL ENGINEERS & LAND SURVEYORS, LLC 81 RANKIN ROAD GLASTONBURY, CONN. 06033 PHONE (860)-659-0587</p>	<p>I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.</p> <p></p> <p>MARK W. FRIEND P.E. # 15818</p>
<p>DATE: 8-10-22 SCALE: 1"=40' SHEET: 6 OF 11 MAP NO. 30-21-15W</p>	<p>DRW. BY: BTC CHK. BY: MWF</p>	

GENERAL

THESE GUIDELINES SHALL APPLY TO ALL WORK CONSISTING OF ANY AND ALL TEMPORARY AND/OR PERMANENT MEASURES TO CONTROL WATER POLLUTION AND SOIL EROSION AS MAY BE REQUIRED. DURING THE CONSTRUCTION OF THE PROJECT.

IN GENERAL, ALL CONSTRUCTION ACTIVITIES SHALL PROCEED IN SUCH A MANNER SO AS NOT TO POLLUTE ANY WETLANDS, WATERCOURSES, WATERBODIES, AND CONDUIT CARRIAGE MANSION. THE CONTRACTOR SHALL LIMIT NORMAL AS POSSIBLE. THE SURFACE AREA PERMANENT AND TEMPORARY POLLUTION CONTROL MEASURES TO PREVENT CONTAMINATION OF ADJACENT WETLANDS, WATERCOURSES AND WATERBODIES, AND TO PREVENT INSURANCE AS POSSIBLE, EROSION ON THE SITE.

CONSTRUCTION METHODS, IN GENERAL, SHALL BE IN ACCORDANCE WITH THE PROVISIONS SET FORTH IN THE CONNECTICUT CODEBOOK ON SOIL AND WATER CONSERVATION (2002) BY THE CONNECTICUT CODEBOOK ON SOIL AND WATER CONSERVATION.

PROJECT DESCRIPTION

This project generally consists of the construction of a residential subdivision consisting of building lots. The total paved area is 31.31 acres. A small wetland area of wetlands is located on-site. An extension of the cut-dike sea approximately 200 feet in length and 22 feet wide is proposed to access the lot. The lots will be served with wells and on-site septic systems. Management basin to treat the roadway runoff. This basin is designed to treat stormwater quality as well as mitigate any impacts from increased peak flows. It is sited in accordance with the Connecticut Water Quality Standards. Stormwater leaving the site will be adequately treated to prevent any degradation of downstream areas.

SITE DISTURBANCE

This site will have a disturbed area of approximately 6.40 acres for construction of the road and 4.5 acres for house construction. Total impervious cover will be 6.9 acres.

AVERAGE RUNOFF COEFFICIENT AFTER CONSTRUCTION IS 0.33

SITE SPECIFIC EROSION AND SEDIMENTATION ISSUES

1. AVOID STEEPER SLOPES ON PROPERTY.
2. PREVENTION OF SEGMENTATION ONTO NEIGHBORING PROPERTIES.
3. PREVENTION OF SEGMENTATION TRACKING ONTO ROADS.
4. UTILIZATION OF TEMPORARY EROSION CONTROLS FOR WINTER STABILIZATION.

HOUSE SITE DEVELOPMENT

ALL DRIVEWAY SHOULDERS SHOULD BE STABILIZED IMMEDIATELY UPON COMPLETION OF HOUSE GRADING. SHOULDER SEED BED PREPARATION SHOULD FOLLOW THE GENERAL SEEDING GUIDELINES. DRIVEWAY SURFACES, DRIVEWAY BERMWAYS, ROADSIDES SHALL BE STABILIZED WITH COMPACTED ROAD AGGREGATE AS SOON AS POSSIBLE.

TOPSOIL AND EXCAVATED SUBSOIL FROM THE FOUNDATION AREA SHOULD BE STOCKPILED WITHIN THE AREA OF DISTURBANCE IF NOT USED FOR ON-SITE REGRADING. EACH STOCKPILE MUST BE ADEQUATELY RINGED WITH SEGMENT CONTROL MATERIALS (I.E. HAY BALES AND/OR SILT FENCE).

ANY ADDITIONAL STOCKPILING OF LUMBER OR BUILDING MATERIALS SHOULD ALSO BE CONFINED TO THE AREA OF DISTURBANCE. SIMILARLY, VEHICULAR MOVEMENT SHOULD BE DIRECTED TO ESTABLISHED PARKING AREAS.

SOIL BOUNDARIES AND SOIL TYPES TAKEN FROM THE MAP AND GEOGRAPHIC CENTER SHOULD BE IDENTIFIED ON AS STABILIZATION MATERIAL SHALL BE TAKEN ON STREET TREE TYPE, MINIMUM 2 1/2" CALIPER SIZE AND LOCATION TO BE DETERMINED AT TIME OF PLOT PLAN SUBMITTAL.

PLOT PLANS FOR EACH LOT SHALL INDICATE PROPOSED SEGMENTATION AND EROSION CONTROLS. ALSO THE PROPOSED HOUSE LOCATION, LOT GRADING, LIMIT OF TREE CLEARING, DRIVEWAY DESIGN, AND SITE DRAINAGE PLAN SHALL BE SHOWN. THESE PLANS SHALL BE SUBJECT TO REVIEW AND APPROVAL BY THE TOWN.

UPON APPROVAL OF INDIVIDUAL SITE PLAN DEVELOPMENT, THE LIMITS OF DEVELOPMENT SHOULD BE ESTABLISHED IN THE FIELD FOR EACH PROPOSED RESIDENTIAL STRUCTURE. STRUCTURES ARE RECOMMENDED.

LAND GRADING

- GENERAL:**
1. THE RESHAPING OF THE GROUND SURFACE BY EXCAVATION AND FILLING OR A COMBINATION OF BOTH, TO OBTAIN PLANNED GRADES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING BASIC CRITERIA:
 - A) THE CUT FACE OF EARTH EXCAVATION SHALL NOT BE STEEPER THAN TWO HORIZONTAL TO ONE VERTICAL (2:1).
 - B) THE PERMANENT EXPOSED FACES OF FILLS SHALL NOT BE STEEPER THAN TWO HORIZONTAL TO ONE VERTICAL (2:1).
 - C) THE CUT FACE OF ROCK EXCAVATION SHALL NOT BE STEEPER THAN ONE HORIZONTAL TO FOUR VERTICAL (1:4).
 - D) NO FILL SHOULD BE PLACED WHERE IT WILL SLIDE OR WASH UPON THE PROGRESS OF ANOTHER OWNER OR UPON ADJACENT WETLANDS, WATERCOURSES OR WATERBODIES.
 2. INSTALLATION OF SEGMENT AND EROSION CONTROLS SUCH AS HAY BALES AND SILT FENCES SHALL BE INSTALLED IMMEDIATELY UPON COMPLETION OF GRADING BY THE CONTRACTOR UNTIL THE SOIL SURFACE IS STABILIZED.
 3. IF NECESSARY, LATERAL WATER DIVERSION SHALL BE INSTALLED ACROSS THE GRADED ROADWAY TO PREVENT DOWN-SLOPE OUTFLOW AND EROSION AS SHOWN ON THE STORM WATER POLLUTION CONTROL PLANS.
 4. HAY BALES SHALL BE STAKED AND SILT FENCES SHALL BE PROPERLY SECURED. SEDIMENT WILL BE REMOVED FROM ALL CATCHMENTS AS NECESSARY.
 5. PRIOR TO ANY REGRADING, STONE APRON SHALL BE PLACED BY THE ENTRANCE TO THE WORK AREA IN ORDER TO REDUCE MUD AND OTHER SEDIMENTS FROM LEAVING THE SITE.
 6. PROVISIONS SHOULD BE MADE TO CONDUIT SURFACE WATER SAFELY TO STORM DRAINS, TO PREVENT SURFACE RUNOFF FROM DAMAGING CUT FACES AND FILL SLOPES.
 7. EXCAVATIONS SHOULD NOT BE MADE SO CLOSE TO PROPERTY LINES AS TO ENDANGER ADJACENT PROPERTY WITHOUT PROTECTING SUCH PROPERTY FROM EROSION, SLIDING, SETTLING OR CRACKING.

WINDBLOWN SEDIMENT

GENERAL:

1. ALL WINDBLOWN SEDIMENTS SHALL BE CONTROLLED AT ALL TIMES. THE SITE SHOULD BE MAINTAINED TO PREVENT ANY WINDBLOWN SEDIMENTS FROM LEAVING THE SITE. PREDETERMINED TRAFFIC ROUTES FOR ALL TRAFFIC SHALL BE ESTABLISHED BY THE SITE CONTRACTOR TO MINIMIZE DUST. TEMPORARY AND PERMANENT WINDING AND TRUCKWAY AND CONTROL MECHANICAL SWEEPERS SHALL BE USED ON ALL PAVED SURFACES TO PREVENT DUST BUILD UP DURING THE COURSE OF SITE WORK.

METHODS:

1. NON ASPHALTIC SOIL THICKENERS ARE ACCEPTABLE AND SHOULD BE APPLIED ACCORDING TO MANUFACTURER'S GUIDELINES.
2. WATER IS ACCEPTABLE BUT MUST BE APPLIED OFTEN IN HOT, DRY WEATHER.
3. CRUSHED STONE OR COARSE GRAVEL CAN ALSO BE USED.

TOPSOILING

GENERAL:

1. TOPSOIL SHALL BE SPREAD OVER ALL EXPOSED AREAS IN ORDER TO PROVIDE A SOIL MEDIUM HAVING FAVORABLE CHARACTERISTICS FOR THE ESTABLISHMENT, GROWTH AND MAINTENANCE OF VEGETATION.
2. REMOVE ALL LARGE STONES, TREE LIMBS, ROOTS, AND CONSTRUCTION DEBRIS.
3. APPLY LIME ACCORDING TO SOIL TEST OR AT THE RATE OF TWO (2) TONS PER ACRE MATERIAL.
4. TOPSOIL SHOULD HAVE PHYSICAL, CHEMICAL AND BIOLOGICAL CHARACTERISTICS FAVORABLE TO THE GROWTH OF PLANTS.
5. AN ORGANIC MATTER CONTENT BETWEEN 6 & 20 PERCENT IS HIGHLY DESIRABLE.
6. AVOID LIGHT COLORED LOWER SUBSOIL MATERIAL.

APPLICATION:

1. AVOID SPREADING WHEN TOPSOIL IS WET OR FROZEN.
2. SPREAD TOPSOIL UNIFORMLY TO A DEPTH OF AT LEAST FOUR (4") INCHES.

EROSION CHECKS

- GENERAL:**
1. TEMPORARY PERVIOUS BARRIERS USING BALES OF HAY OR STRAW, HELD IN PLACE WITH STAKES DRIVEN THROUGH THE BALES AND BURIED INTO THE GROUND, OR SEGMENT FILTER FABRIC FASTENED TO A FENCE POST AND BURIED INTO THE GROUND, SHALL BE INSTALLED AND MAINTAINED AS REQUIRED TO CHECK EROSION AND REDUCE SEDIMENTATION.
 3. BALES SHALL BE SECURELY ANCHORED IN PLACE BY WOOD STAKES OR EQUIVALENT BARS DRIVEN THROUGH THE BALES AND INTO THE GROUND. THE FIRST STAKE IN EACH BALE SHALL BE ANGLED TOWARD THE PREVIOUSLY LAID BALE TO FORCE BALES TOGETHER.
 4. FILTER FABRIC SHALL BE SECURELY FASTENED AT THE TOP OF A THREE (3) FOOT HIGH FENCE AND BURIED A MINIMUM OF FOUR (4") INCHES INTO THE SOIL. SEAMS BETWEEN SECTIONS OF FILTER FABRIC SHALL OVERLAP A MINIMUM OF TWO (2) FEET.
 5. INSTALLATION AND MAINTENANCE:
 1. BALED HAY EROSION BARRIERS SHALL BE INSTALLED AT ALL STORM SEWER INLETS.
 2. BALED HAY EROSION BARRIERS AND SEGMENT FILTER FENCES SHALL BE INSTALLED AT APPROPRIATE LOCATIONS INDICATED ON THE PLAN AND IN ADDITIONAL AREAS AS MAY BE DEMAND DURING CONSTRUCTION.
 3. ALL EROSION CHECKS SHALL BE MAINTAINED UNTIL ADJACENT AREAS ARE STABILIZED.
 4. INSPECTION SHALL BE FREQUENT (AT MINIMUM MONTHLY AND BEFORE AND AFTER HEAVY RAIN) AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
 5. EROSION CHECKS SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPED STORMWATER FLOW OR DRAINAGE.

TEMPORARY VEGETATIVE COVER

- GENERAL:**
1. TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED ON ALL UNPROTECTED AREAS THAT PRODUCE SEDIMENT, AREAS WHERE FINAL GRADING HAS BEEN COMPLETED AND AREAS WHERE THE ESTIMATED PERIOD OF BARE SOIL EXPOSURE IS LESS THAN 12 MONTHS.
 2. SITE PREPARATION:
 1. INSTALL REQUIRED SURFACE WATER CONTROL MEASURES.
 2. REMOVE LOOSE ROCK, STONE, AND CONSTRUCTION DEBRIS FROM AREA.
 3. APPLY LIME ACCORDING TO SOIL TEST OR AT A RATE OF ONE (1) TON OF GROUND DOLOMITE LIMESTONE PER ACRE (3 LBS. PER 100 SQUARE FEET).
 4. APPLY FERTILIZER ACCORDING TO SOIL TEST OR AT THE RATE OF 300 LBS OF 10-10-10 PER ACRE (7 LBS. PER 1,000 SQUARE FEET).
 5. UNLESS HYDROSEEDING, WORK IN LIME AND FERTILIZER TO A DEPTH OF FOUR (4") INCHES USING A DISK OR ANY SUITABLE EQUIPMENT.
 6. TILLAGE SHOULD ACHIEVE A REASONABLY UNIFORM, LOOSE SEEDBED. WORK ON CONTOUR IF SITE IS SLOPING.
 3. ESTABLISHMENT:
 1. USE ANNUAL PERGRASS AT A RATE OF 40 LBS./AC. OR SUITABLE EQUIVALENT AS SPECIFIED IN THE GUIDELINES.
 2. SEEDING TO BE DONE FROM APRIL 1ST TO JUNE 15 OR AUGUST 1ST TO OCTOBER 1ST. SEEDING SHALL BE DONE AT A RATE OF 100 LBS. PER ACRE. SEEDING SHALL INCLUDE STOCKPILE AREAS.
 3. APPLY SEED UNIFORMLY ACCORDING TO THE RATE INDICATED BY BROADCASTING.
 4. UNLESS HYDROSEEDING, COVER PERGRASS SEEDS WITH NOT MORE THAN 1/4 INCH OF SOIL WITH SUITABLE EQUIPMENT. COVER SANDWATERS AND SMALL GRASSES WITH 1/2 INCH SOIL MULCH IMMEDIATELY AFTER SEEDING, IF REQUIRED, ACCORDING TO THE GUIDELINES IN THE GUIDELINES.

PERMANENT VEGETATIVE COVER

GENERAL:

1. PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED AS VARIOUS SECTIONS OF THE PROJECT ARE COMPLETED IN ORDER TO STABILIZE THE SOIL, REDUCE DOWNSTREAM DAMAGE FROM SEASONAL RAINFALL, AND TO ENHANCE THE ESTHETIC VALUE OF THE SITE.
2. PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED IMMEDIATELY AFTER FINAL GRADING HAS BEEN COMPLETED AND A PERMANENT COVER IS NEEDED.

SITE PREPARATION:

1. INSTALL REQUIRED SURFACE WATER CONTROL MEASURES.
2. REMOVE LOOSE ROCK, STONE AND CONSTRUCTION DEBRIS FROM AREA.
3. PERFORM ALL PLANNING OPERATIONS PARALLEL TO THE CONTOURS OF THE SLOPE.
4. APPLY TOPSOIL AS INDICATED ELSEWHERE HEREIN.
5. APPLY FERTILIZER ACCORDING TO SOIL TEST OR:
 - SPRING SEEDING: BEFORE SEEDING, 300 LBS OF 10-10-10 FERTILIZER PER ACRE (7 LBS PER 1,000 SQUARE FEET); THEN SIX (6) TO EIGHT (8) WEEKS LATER APPLY ON THE SURFACE AN ADDITIONAL 300 LBS OF 10-10-10 FERTILIZER PER ACRE.
 - FALL SEEDING: WORK DEEPLY IN SOIL, BEFORE SEEDING, 600 LBS OF 10-10-10 FERTILIZER PER ACRE (14 LBS PER 1,000 SQUARE FEET).

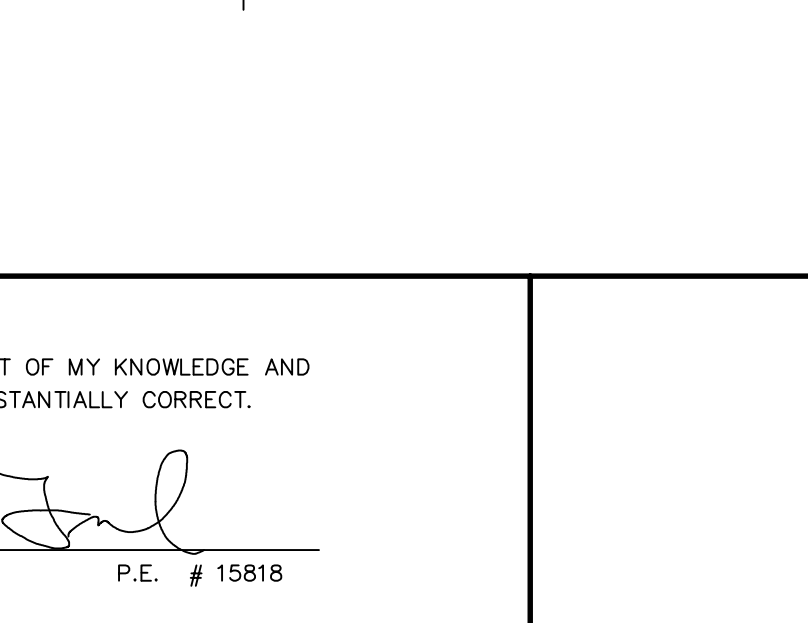
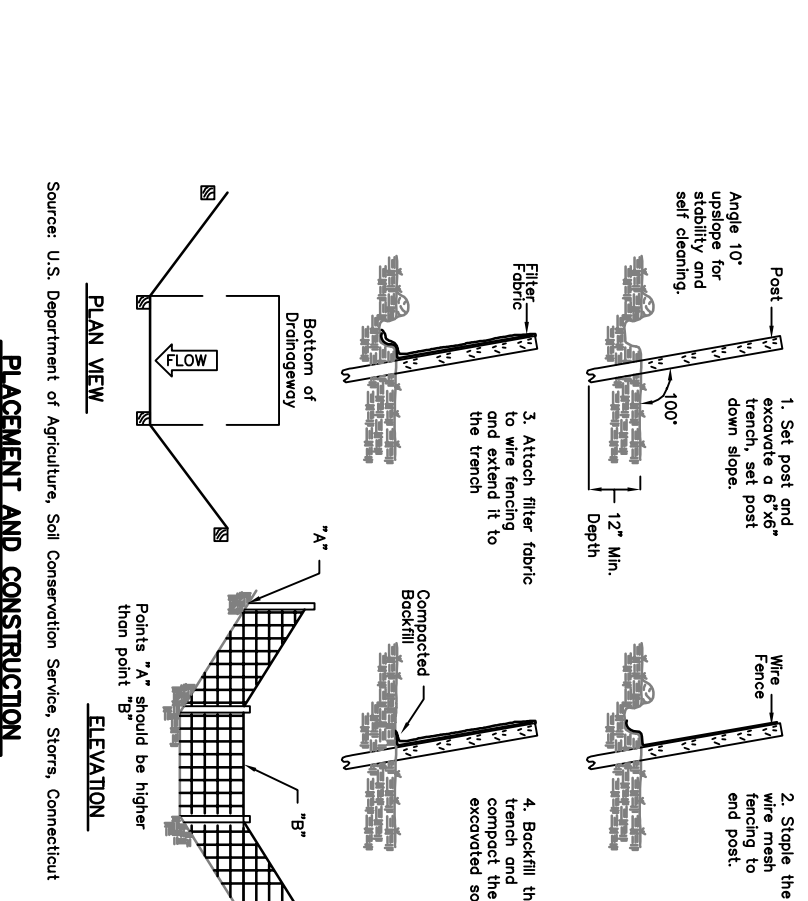
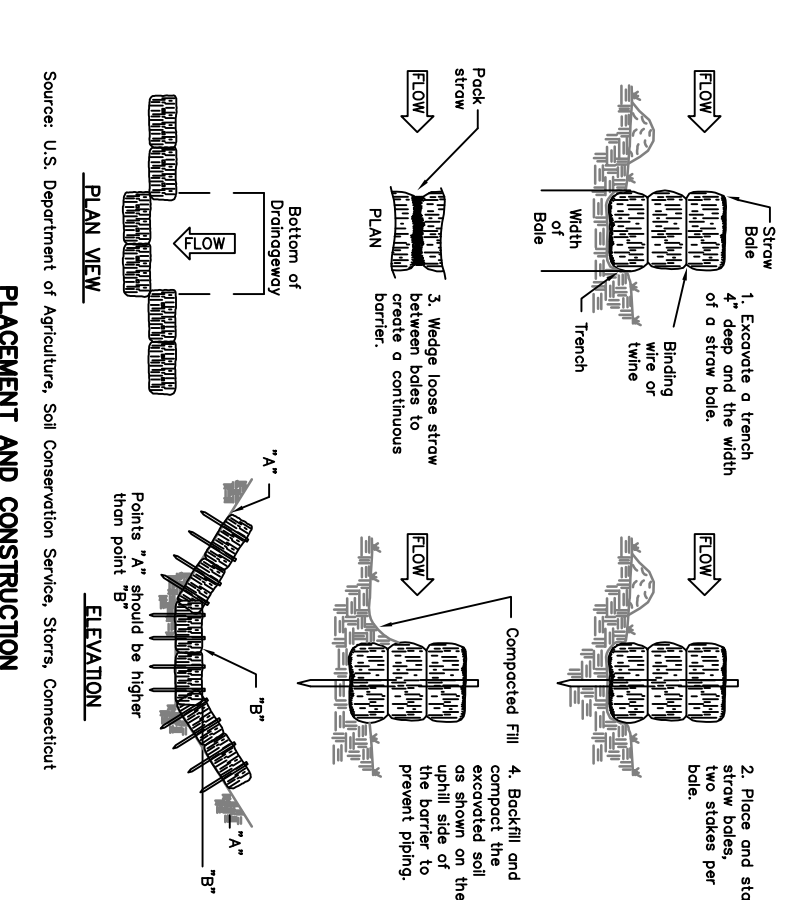
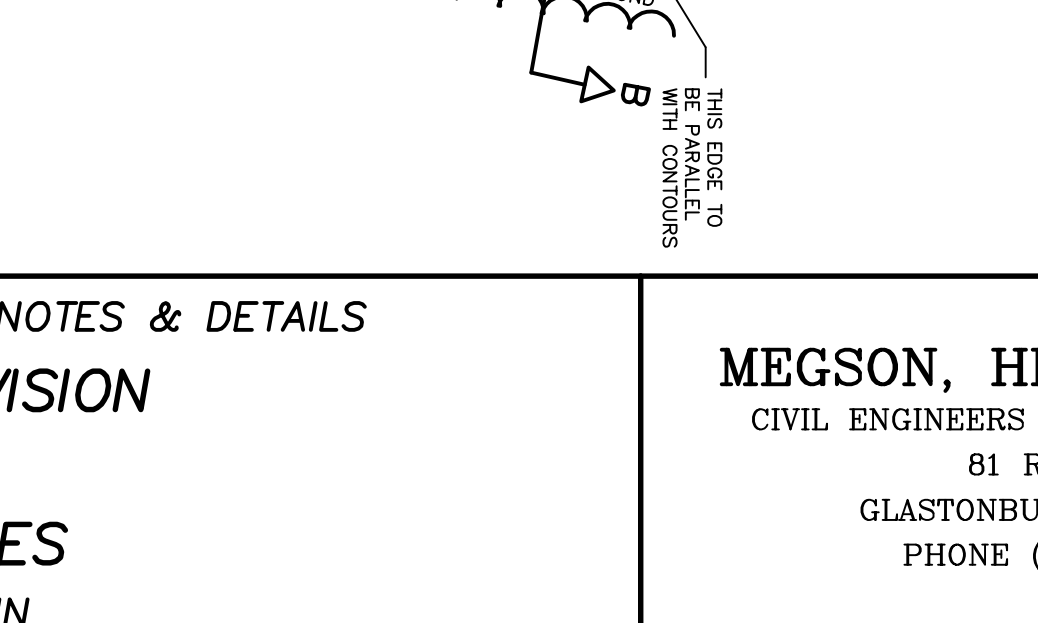
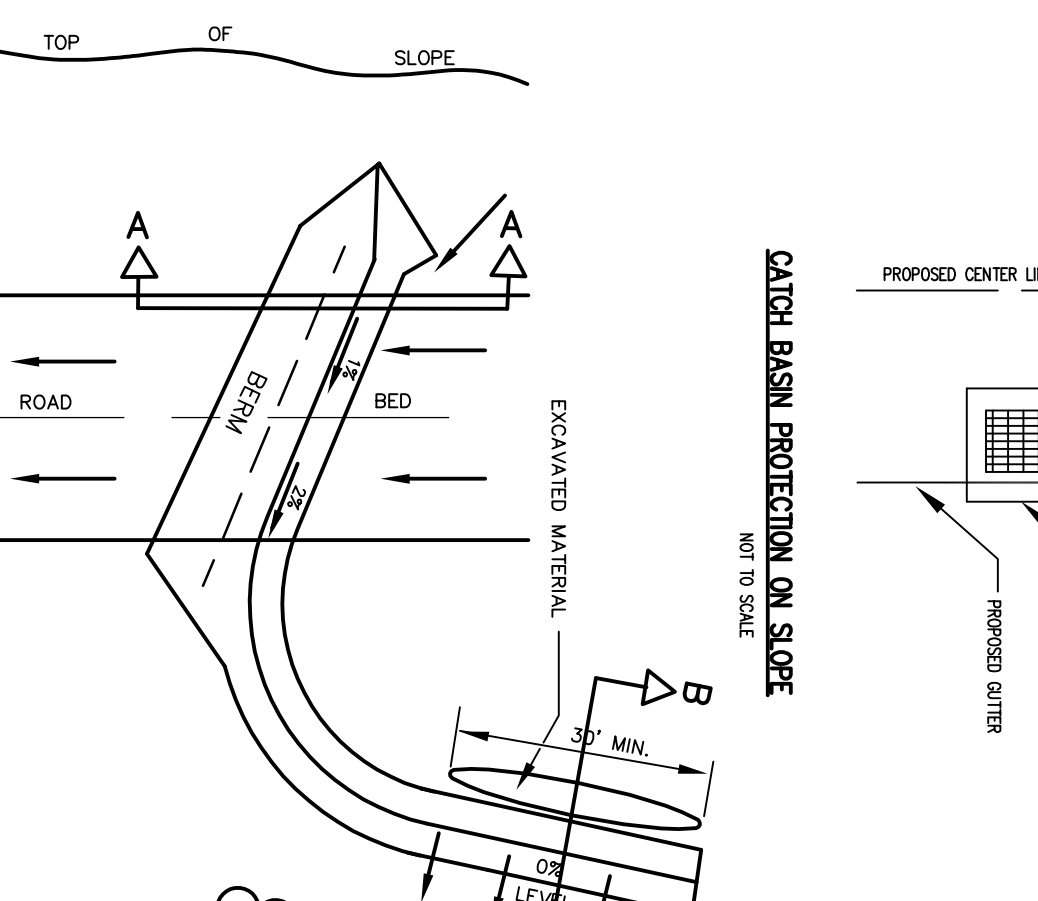
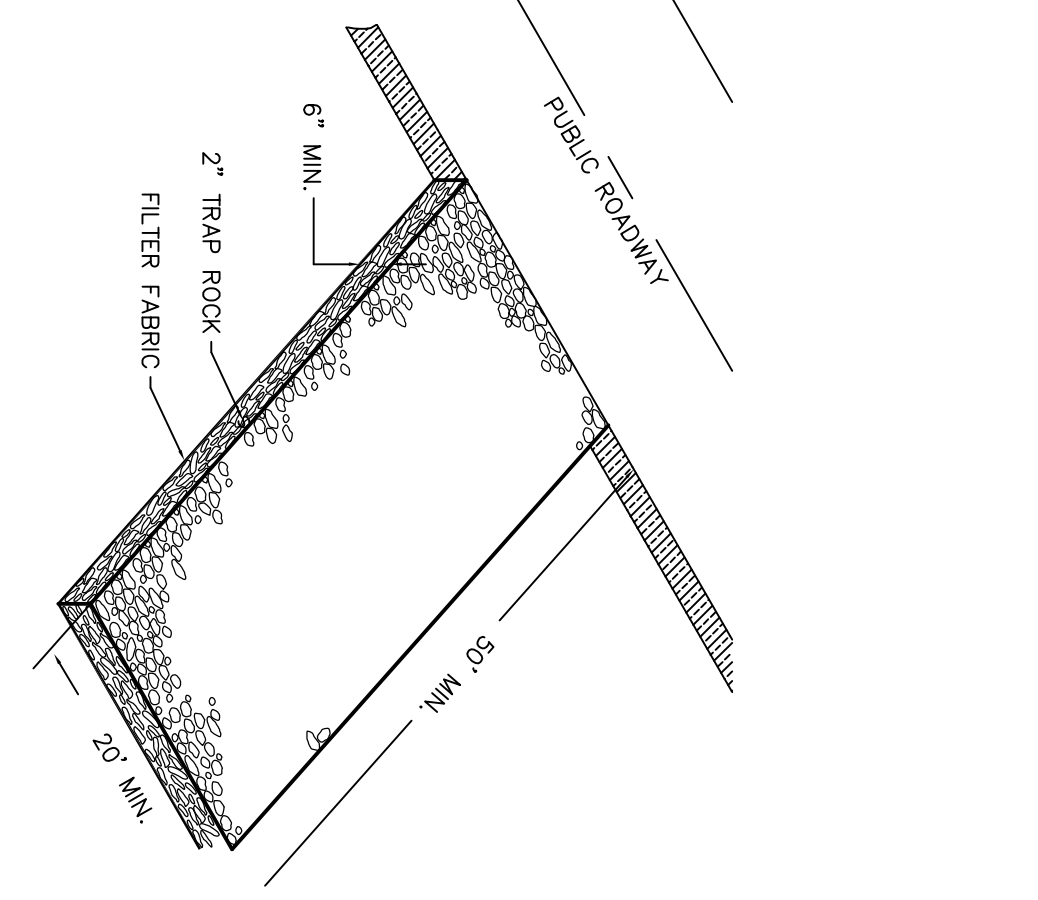
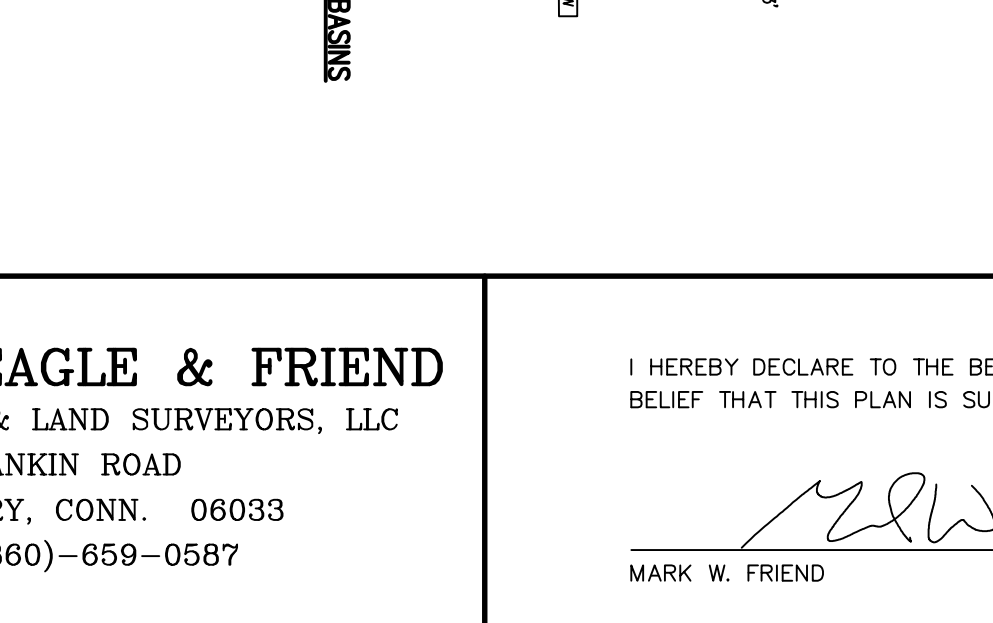
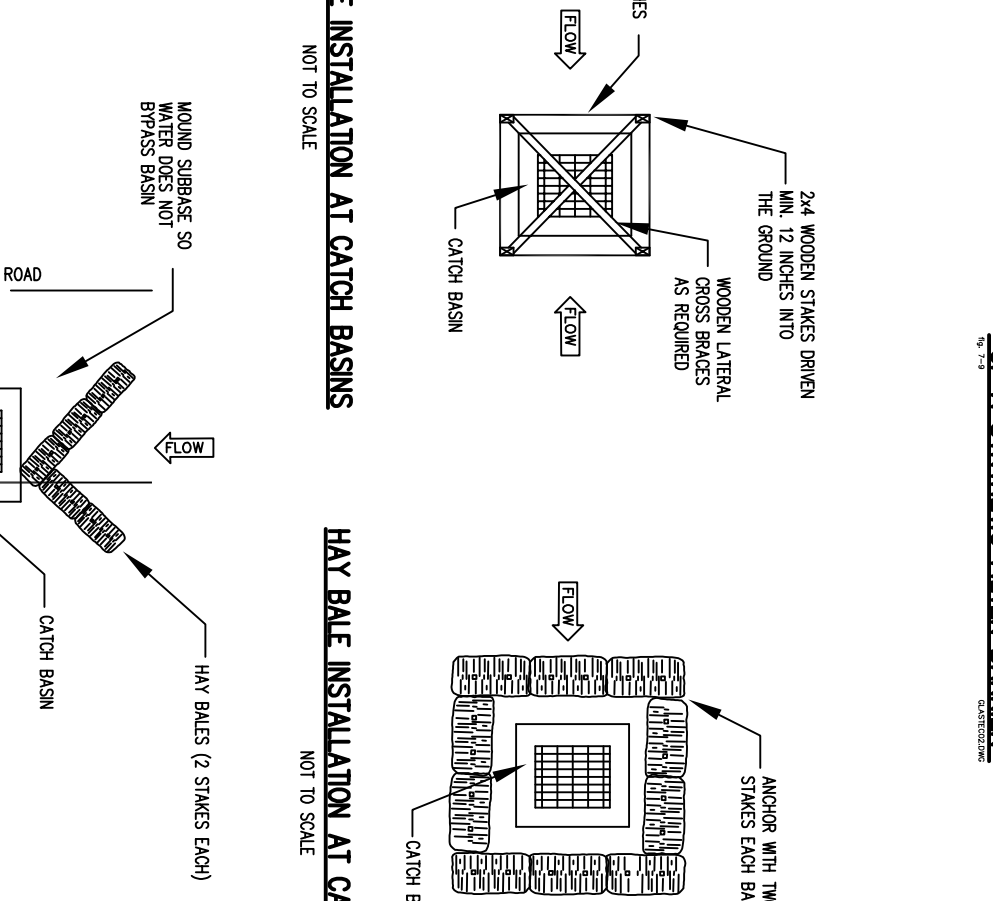
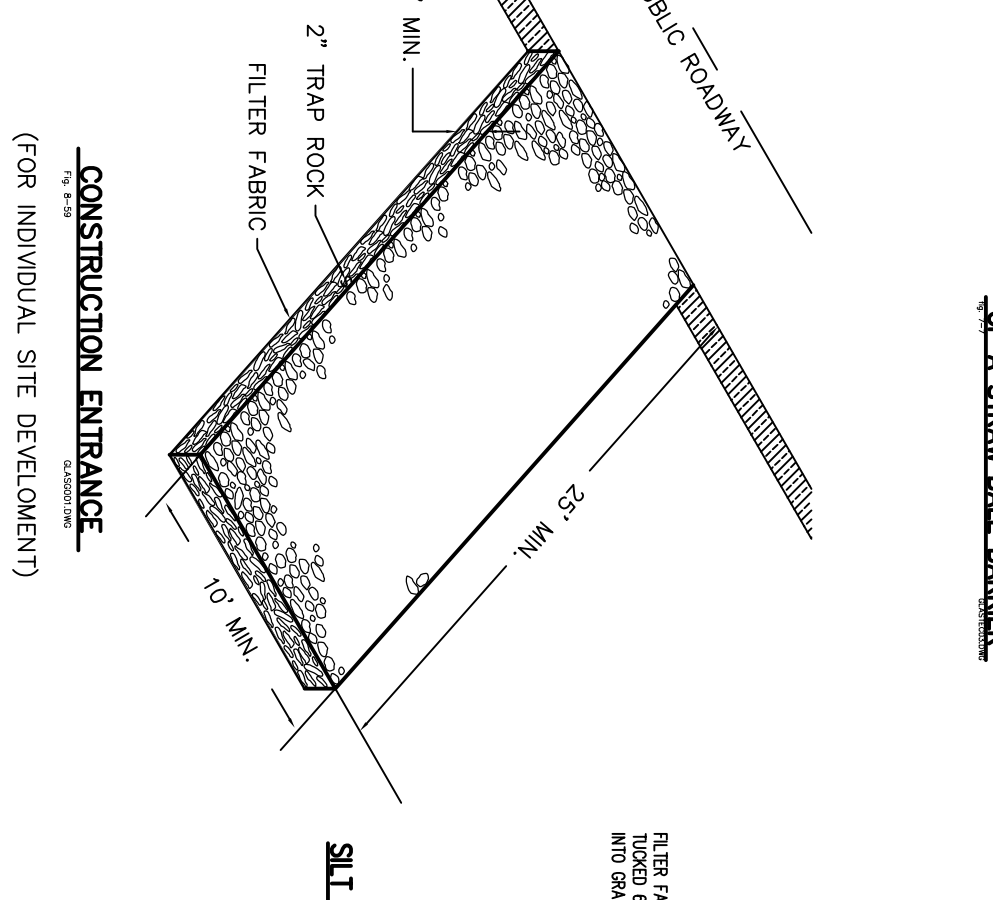
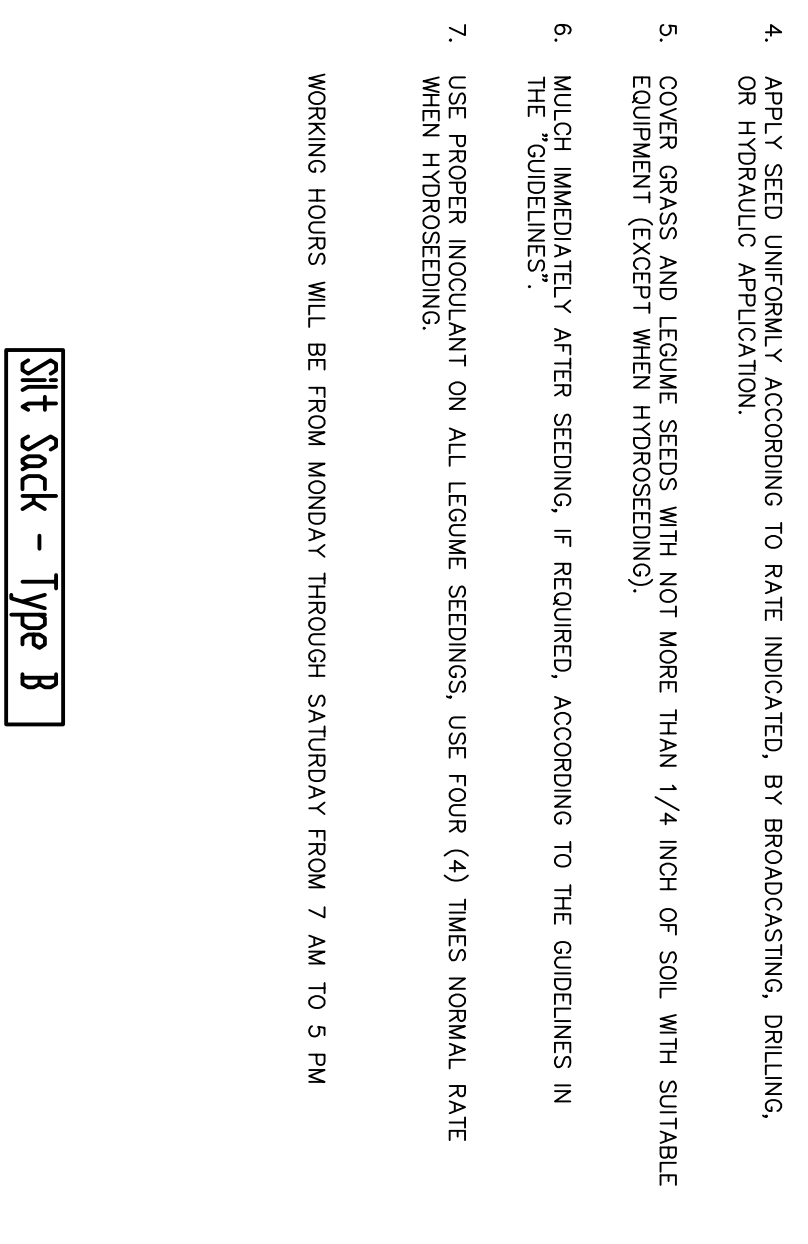
ESTABLISHMENT:

1. SODDING AND ROW SEEDING WITH CULTIPACKER OR OTHER SIMILAR EQUIPMENT PRIOR TO SEEDING (EXCEPT WHEN HYDROSEEDING).
2. SELECT ADAPTED SEED MIXTURE AS FOLLOWS. NOTE RATES AND THE SEEDING DATES.

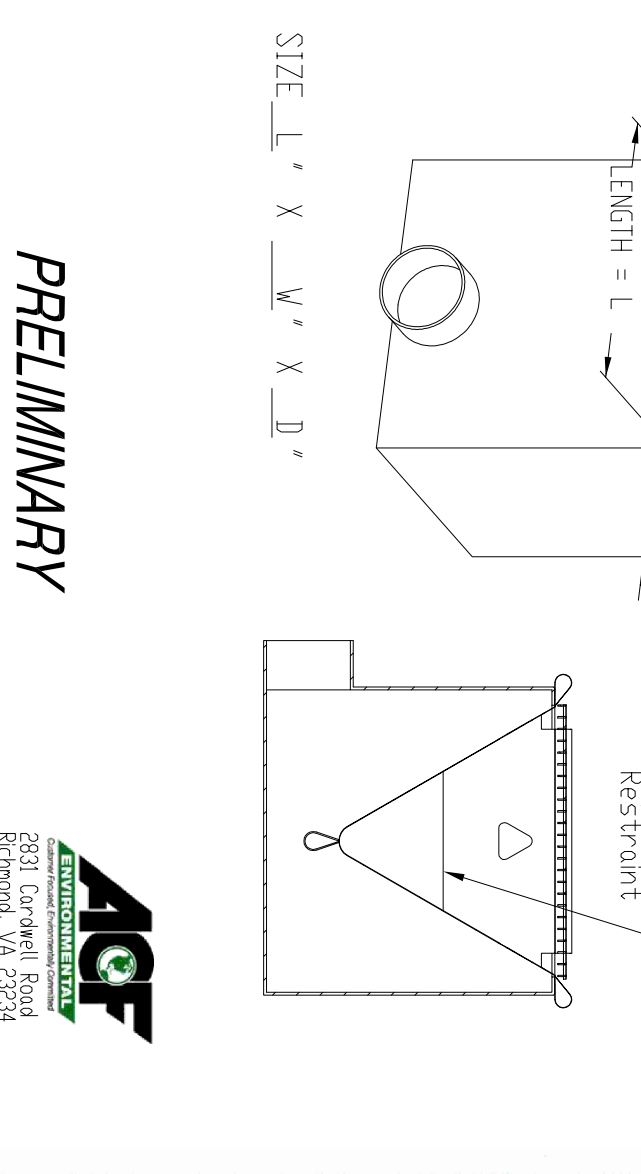
SINIXT TO PARTIALLY SINIXT SITES	SEEDING	SEEDING
KENTUCKY BLUEGRASS	20	0.50
CREeping RED FESCUE	20	0.50
PERENNIAL RYEGRASS	0	0.00
PERENNIAL TIFGRASS	0	0.00
TOTAL	45	1.10
SHADOX SITES		
CREeping RED FESCUE	60	1.00
PERENNIAL RYEGRASS	0	0.00
TOTAL	60	1.10
DEVELOPING SITES		
CREeping RED FESCUE	40	1.00
TALL FESCUE	20	0.50
TOTAL	60	1.50

APPLY NEW ENGLAND WET MIX - 18 LBS./AC S.F.
APPLY NEW ENGLAND WET MIX - 1 LB./2500 S.F.

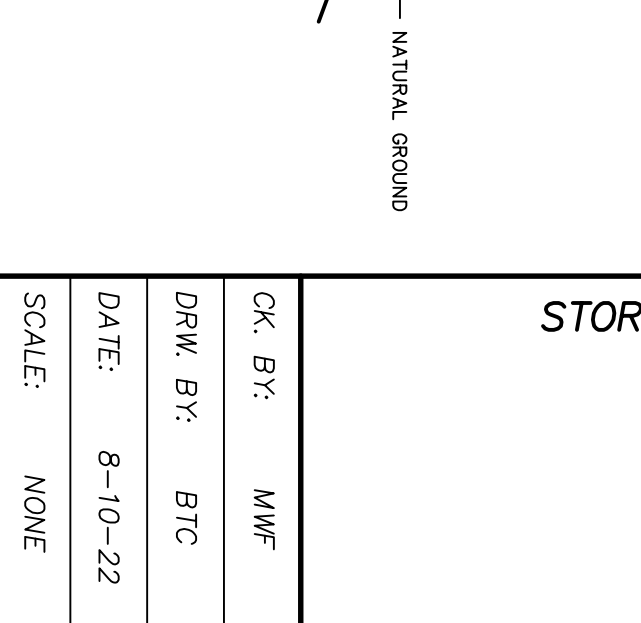
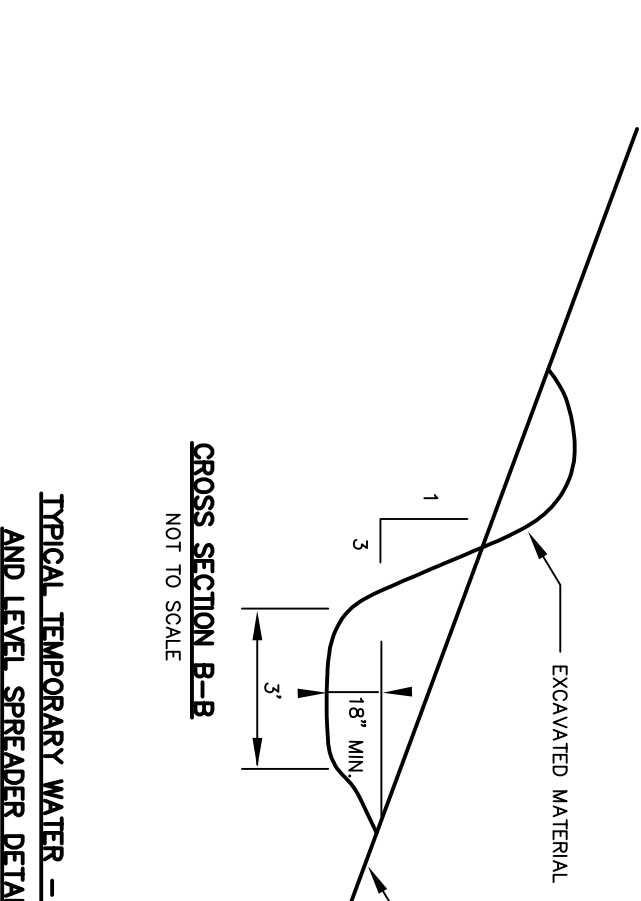
3. FINAL SEEDING SHALL TAKE PLACE PRIOR TO OCTOBER 1ST AS SEEDING AFTER THIS DATE RUNS A DISTINCT CHANCE OF FAILURE DUE TO ADVERSE WEATHER. ANY AREAS THAT ARE DISTURBED BETWEEN OCTOBER 1ST AND APRIL 1ST SHALL BE STABILIZED BY HYDROSEEDING IMMEDIATELY. HYDROSEEDING SHALL BE COMPLETED IMMEDIATELY AFTER FINAL SEEDING.
 4. APPLY SEED UNIFORMLY ACCORDING TO RATE INDICATED, BY BROADCASTING, DRILLING, OR HYDRAULIC APPLICATION.
 5. COVER GRASS AND LEGUME SEEDS WITH NOT MORE THAN 1/4 INCH OF SOIL, WITH SUITABLE EQUIPMENT (EXCEPT WHEN HYDROSEEDING).
 6. MULCH IMMEDIATELY AFTER SEEDING, IF REQUIRED, ACCORDING TO THE GUIDELINES IN THE GUIDELINES.
 7. USE PROPER NOCULTIVATION ON ALL LEGUME SEEDINGS, USE FOUR (4) TIMES NORMAL RATE WHEN HYDROSEEDING.
- WORKING HOURS WILL BE FROM MONDAY THROUGH SATURDAY FROM 7 AM TO 5 PM



TOWN PLAN & ZONING COMMISSION APPROVAL	
GROSBY II SUBDIVISION	RIBAL RESPONSE/09-1
SUBDIVISION NAME	ZONE
REJEAN JACQUES	
SUBDIVIDER	
SUBDIVISION APPROVAL DATE	PLAN & ZONING COMMISSION CHAIRMAN
COMPLETION DATE FOR SUBDIVISION IMPROVEMENTS	COMMUNITY DEVELOPMENT DIRECTOR
FILE NO.	TOWN ENGINEER



LOCATION	ACTION
LONG-TERM STORMWATER MAINTENANCE SCHEDULE	TO BE COMPLETED BY THE CONTRACTOR AND SUBMITTER TO THE TOWN ENGINEER WITHIN 30 DAYS OF THE DATE OF THE PERMIT. THE SCHEDULE SHALL BE SUBMITTED TO THE TOWN ENGINEER WITHIN 30 DAYS OF THE DATE OF THE PERMIT.
STREETS	SEEKING USING TRENCH OR RECONSTRUCTION THE STREET. NOTE: IF RE-CONSTRUCTION ON OTHER ALTERNATIVE TO CONVENTIONAL SAND AND SILT FILTERS IS REQUIRED, THE TRENCH SHALL BE INSTALLED FOR STREET TRAFFIC MAY BE USED.
CATCH BASIN	CATCH BASINS SHALL BE 18" MIN. DEEP. CATCH BASINS SHALL BE 18" MIN. DEEP. CATCH BASINS SHALL BE 18" MIN. DEEP.
STABILIZATION	INSPECT FOR ACCUMULATION OF SEDIMENT AND FLUWING DEBRIS IN CATCH BASIN. CLEAN CATCH BASIN AS REQUIRED.
CONSTRUCTION	INSPECT FOR ACCUMULATION OF SEDIMENT AND FLUWING DEBRIS IN CATCH BASIN. CLEAN CATCH BASIN AS REQUIRED.
CONSTRUCTION	INSPECT FOR ACCUMULATION OF SEDIMENT AND FLUWING DEBRIS IN CATCH BASIN. CLEAN CATCH BASIN AS REQUIRED.



STORMWATER POLLUTION CONTROL NOTES & DETAILS

CROSBY II SUBDIVISION

PREPARED FOR
REJEAN JACQUES
GLASTONBURY, CONN

MEGSON, HEAGLE & FRIEND
CIVIL ENGINEERS & LAND SURVEYORS, LLC

81 RANKIN ROAD
GLASTONBURY, CONN. 06033
PHONE (860)-659-0587

I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.

Mark W. Friend
MARK W. FRIEND P.E. # 15818

DATE: 8-10-22
SCALE: NONE
SHEET 7 OF 11
MAP NO. 20-21-15W

NOTE: WATER-GAINS TO BE USED BY TOWN OF GLASTONBURY CONSERVATION ENFORCEMENT OFFICER AS FIELD CONDITIONS WARRANT.

TOWN PLAN & ZONING COMMISSION APPROVAL	
CROSBY II SUBDIVISION	RURAL RESIDENCE/GW-1
SUBDIVISION NAME	ZONE
REJEAN JACQUES	
SUBDIVIDER	
SUBDIVISION APPROVAL DATE	PLAN & ZONING COMMISSION CHAIRMAN
COMPLETION DATE FOR SUBDIVISION IMPROVEMENTS	COMMUNITY DEVELOPMENT DIRECTOR
FILE NO.	TOWN ENGINEER

NOTE: TOPOGRAPHY TAKEN FROM ACTUAL FIELD SURVEY AND TOWN OF GLASTONBURY TOPOGRAPHIC MAPS. VERTICAL DATUM REPRESENTS NAVD 83.

WARNING - THESE PLANS NOT TO BE USED FOR LOCATION OF UNDERGROUND UTILITIES - CALL BEFORE YOU DIG 1-800-922-4455 TWO WORKING DAYS BEFORE YOU DIG.

NOTE: ALL PROPOSED SEWER/STORM CONSTRUCTION SHALL BE CONSTRUCTED TO THE TOWN OF GLASTONBURY STANDARDS UTILIZING CLASS F CONCRETE. ALL PROPOSED SIDEWALKS SHALL BE TREATED WITH A CONCRETE SEALER.

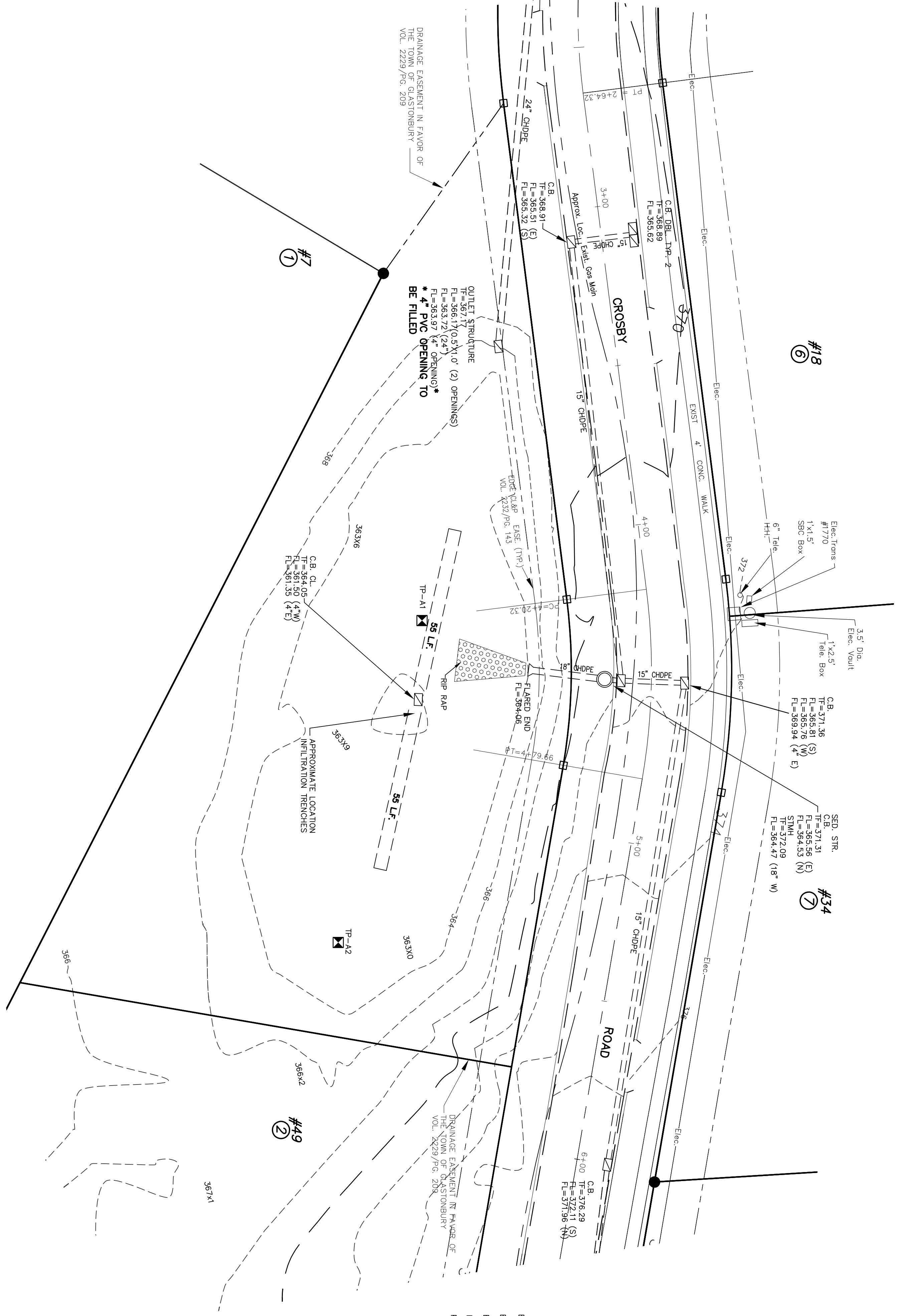
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH WITH TOWN OF GLASTONBURY SPECIFICATIONS OR AS DIRECTED BY THE TOWN ENGINEER.

NOTE: THE CONTRACTOR SHALL NOTIFY THE TOWN OF GLASTONBURY ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, SANITARY SEWER INSTALLATION, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, OR ANY EXCAVATION IN THE TOWN RIGHT-OF-WAY TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:00-4:30 PM MONDAY THRU FRIDAY AT (860) 692-7735.

TEST PIT DATA
TEST PITS DONE ON 10-22-2024
WITNESSED BY TOM WICKO

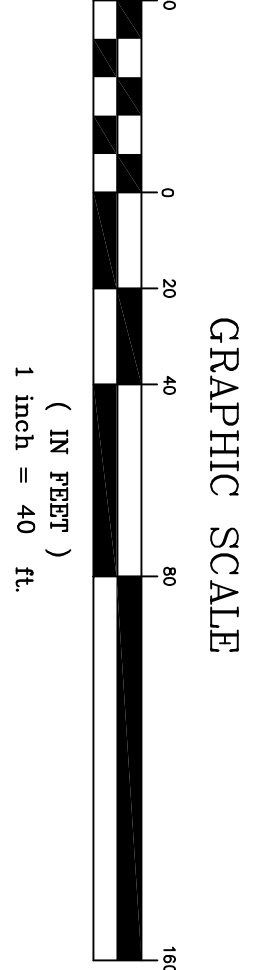
TEST PIT #1:
 DEPTH OF HOLE: 120"
 GROUNDWATER: NONE
 MOTTLING: NONE
 MATERIAL: 10" TOPSOIL
 10" - 36" FINE SANDY LOAM
 36" - 120" SANDY GRAVEL

TEST PIT #2:
 DEPTH OF HOLE: 128"
 GROUNDWATER: NONE
 MOTTLING: NONE
 MATERIAL: 12" TOPSOIL
 12" - 45" FINE SILTY LOAM
 45" - 52" FINE SAND
 52" - 128" SANDY GRAVEL



LEGEND

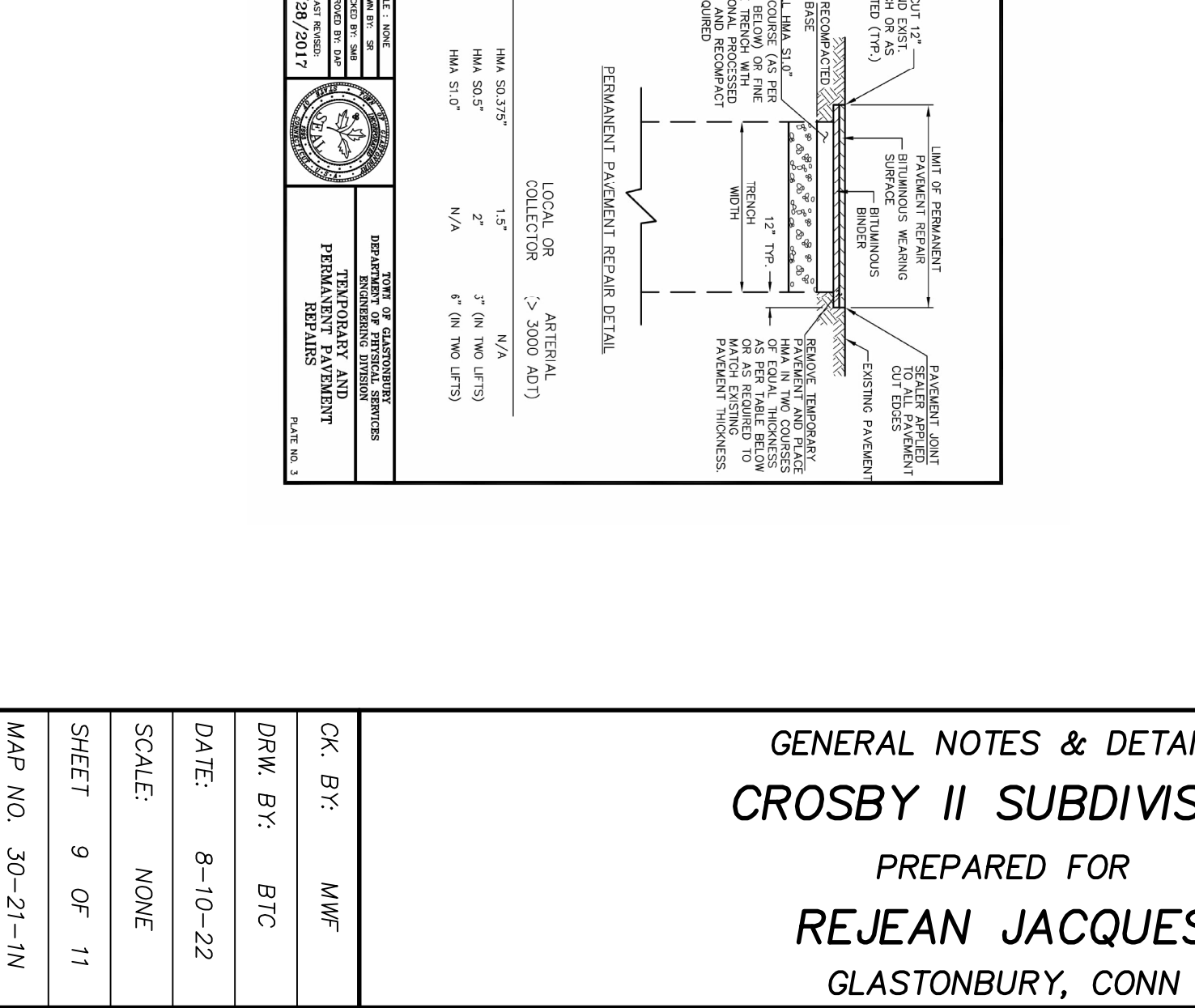
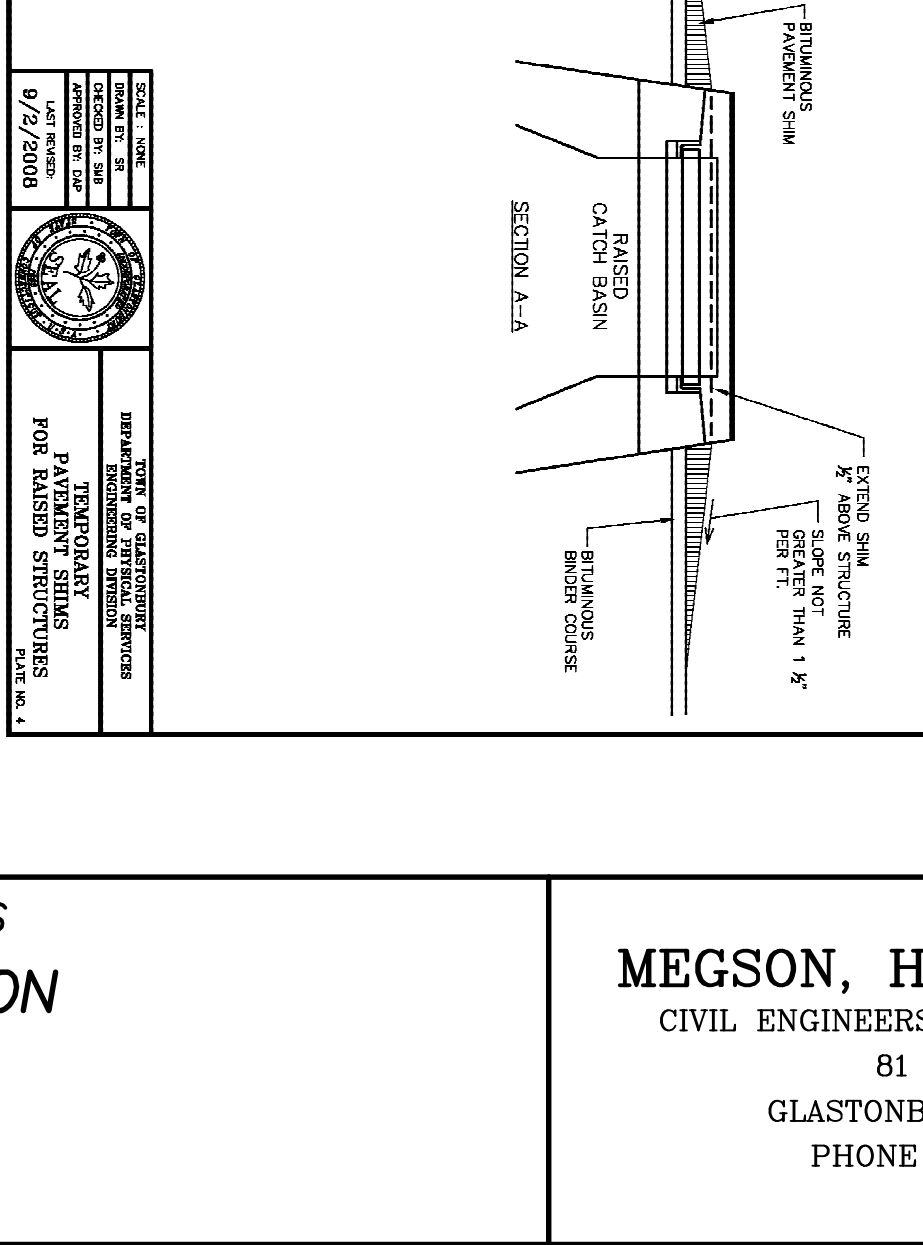
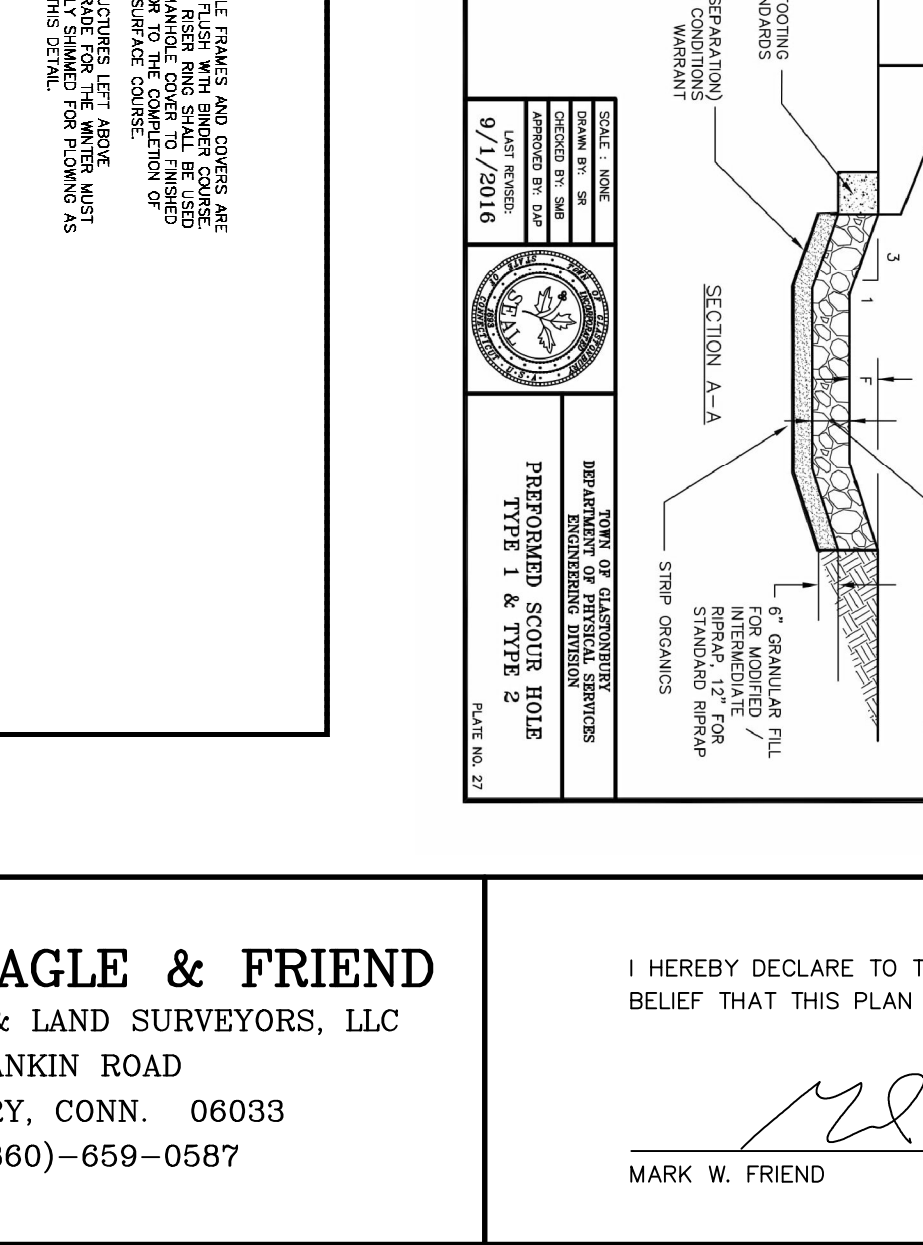
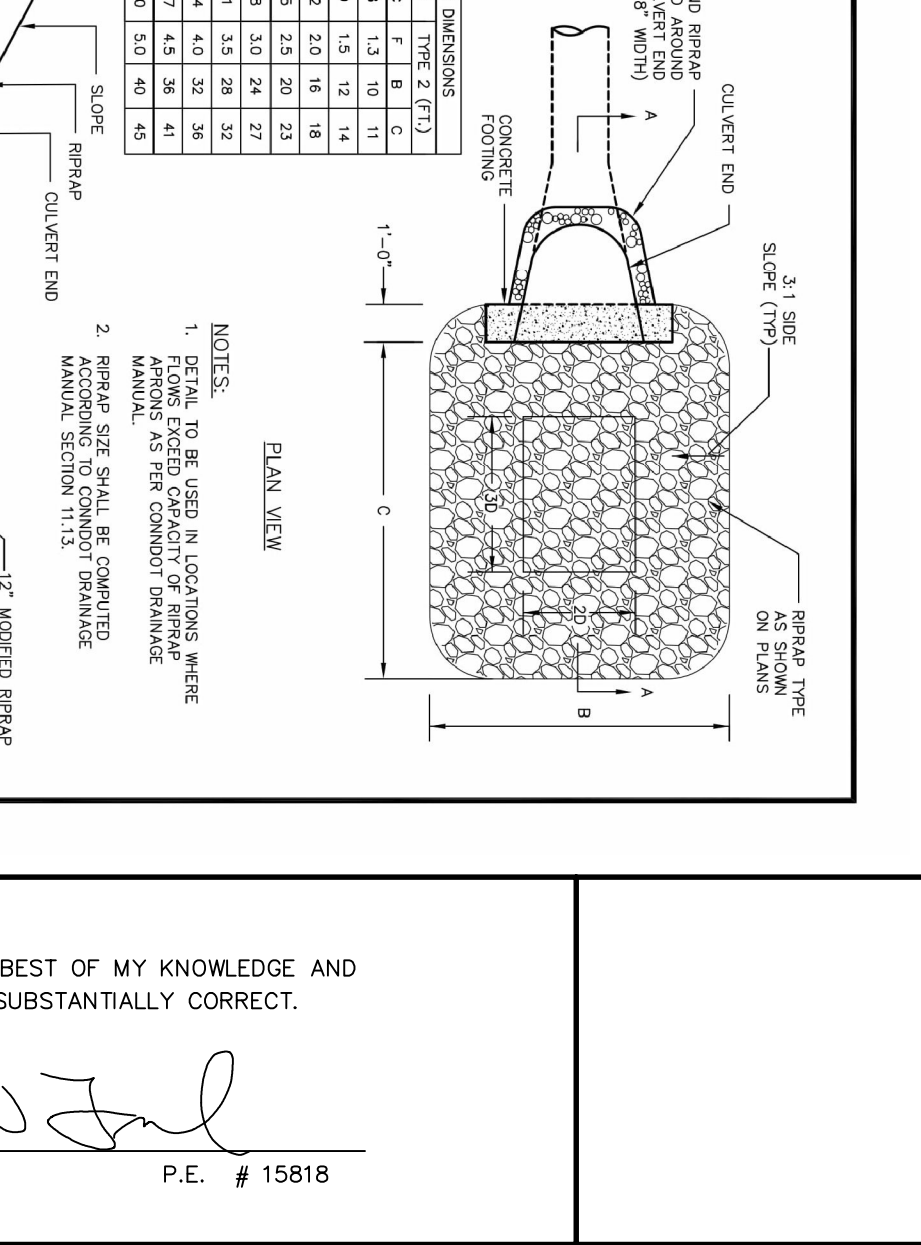
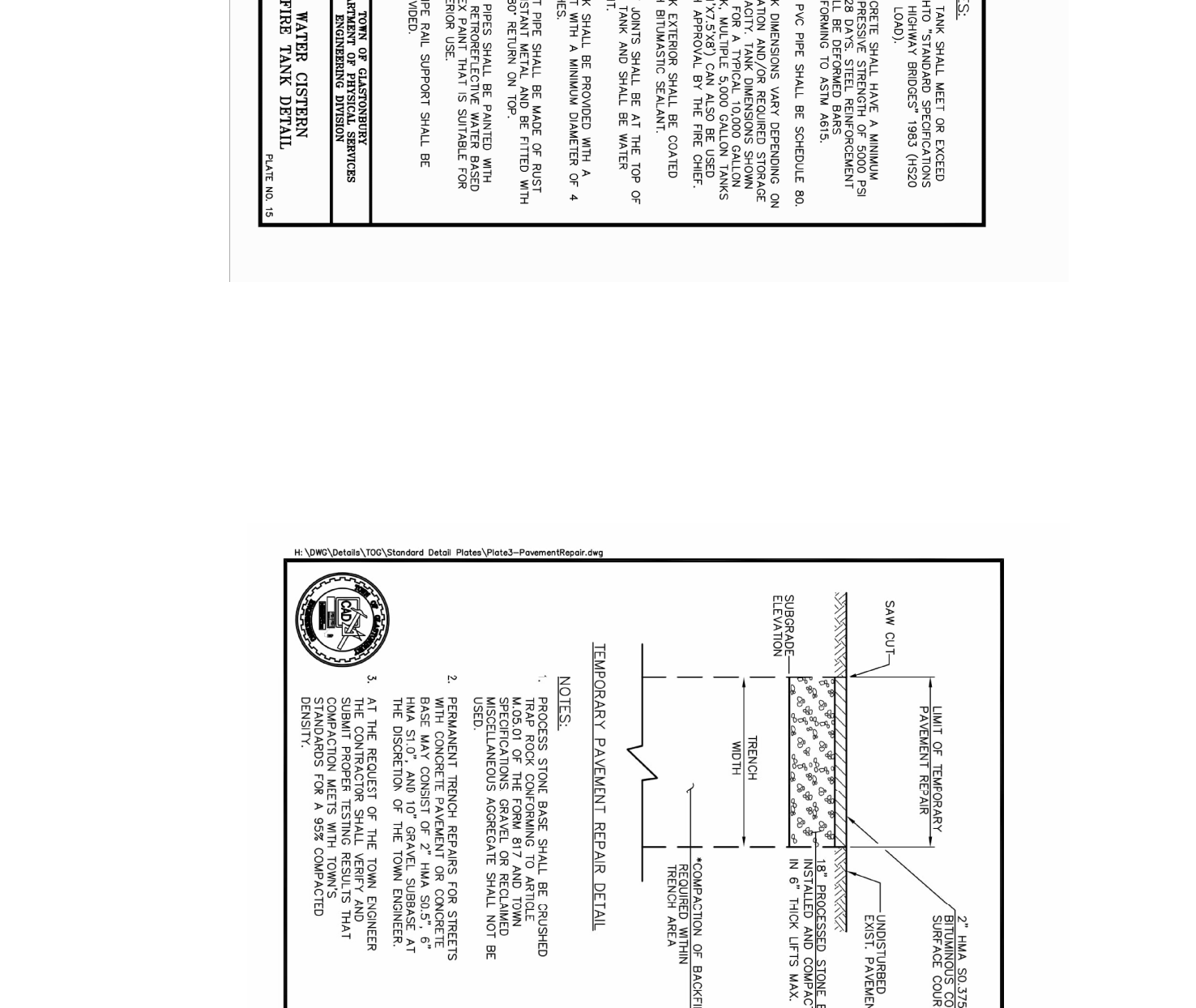
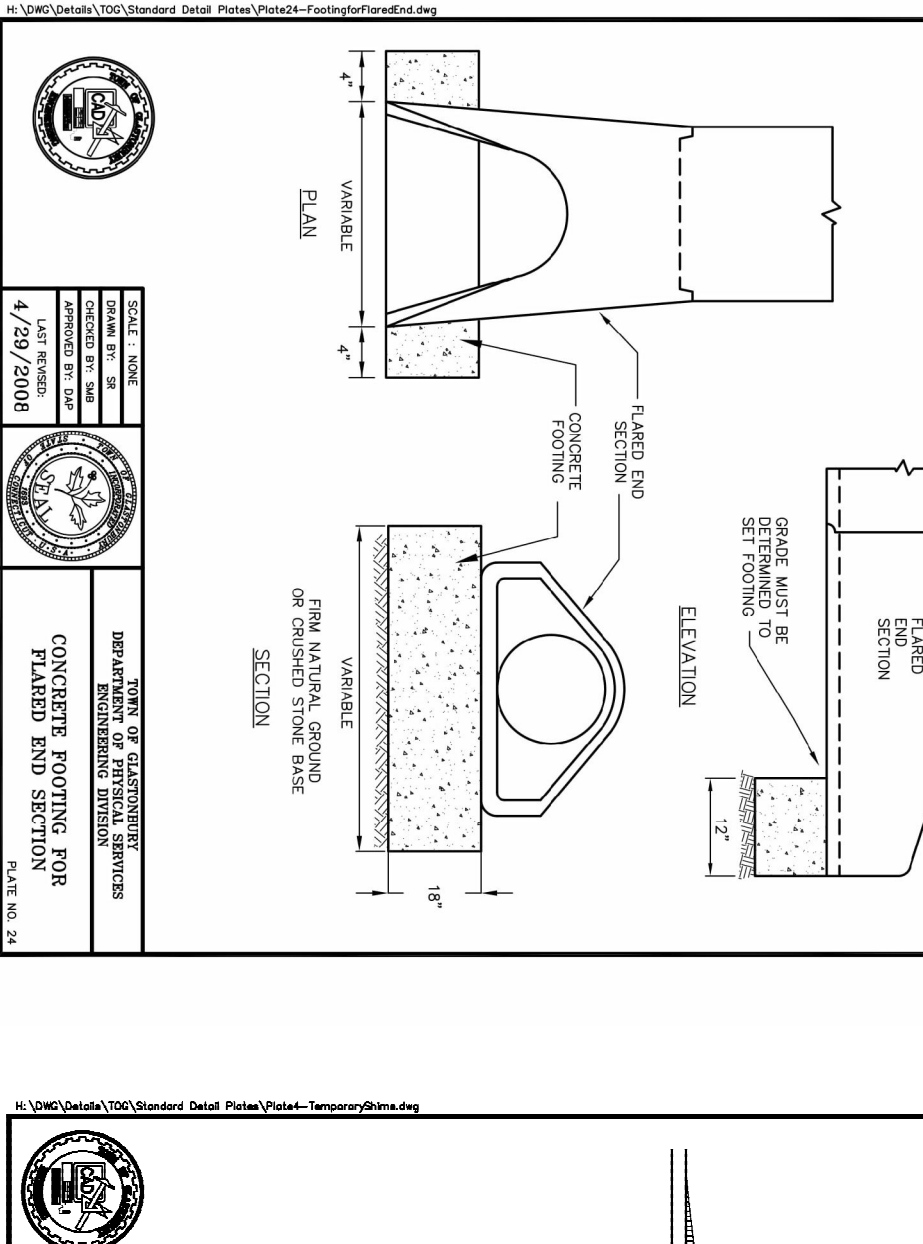
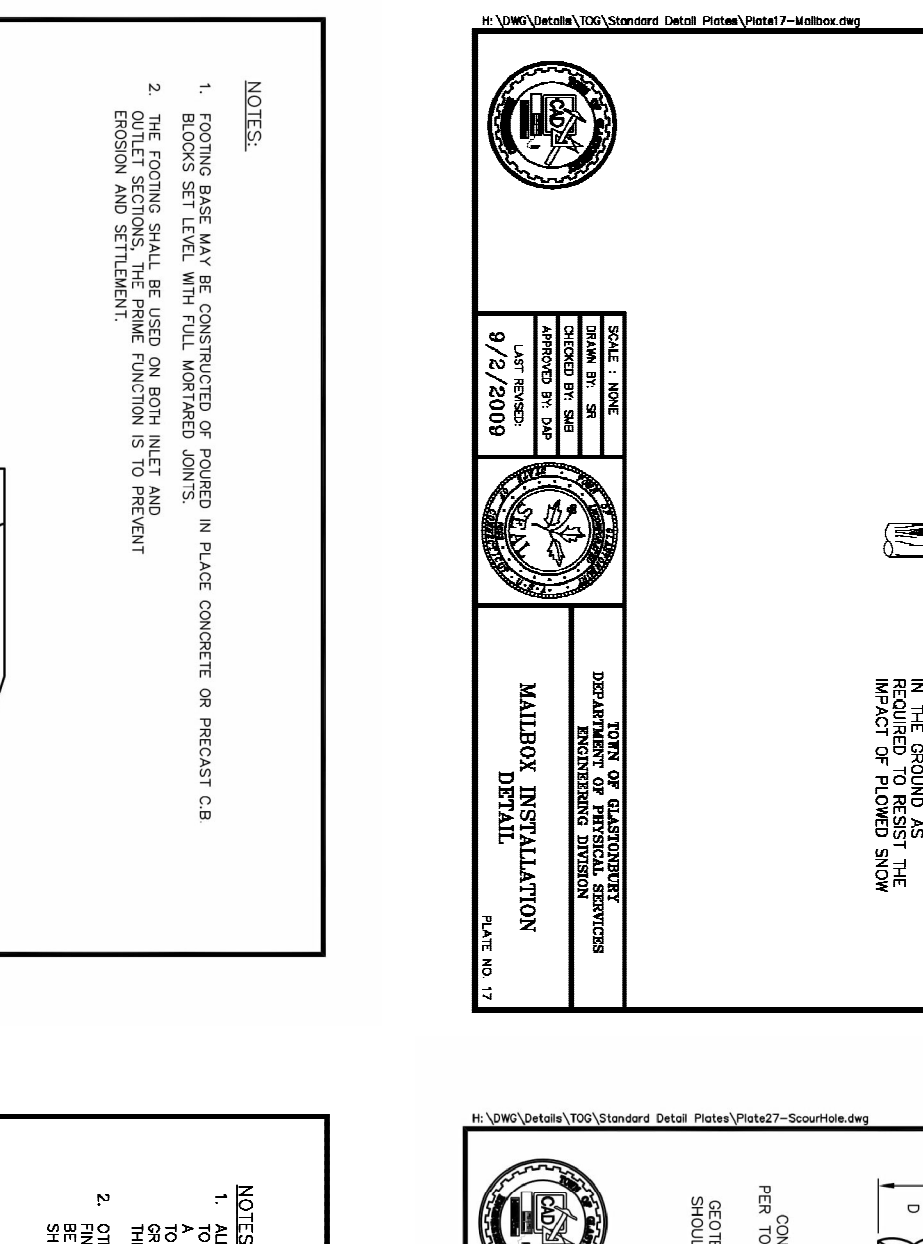
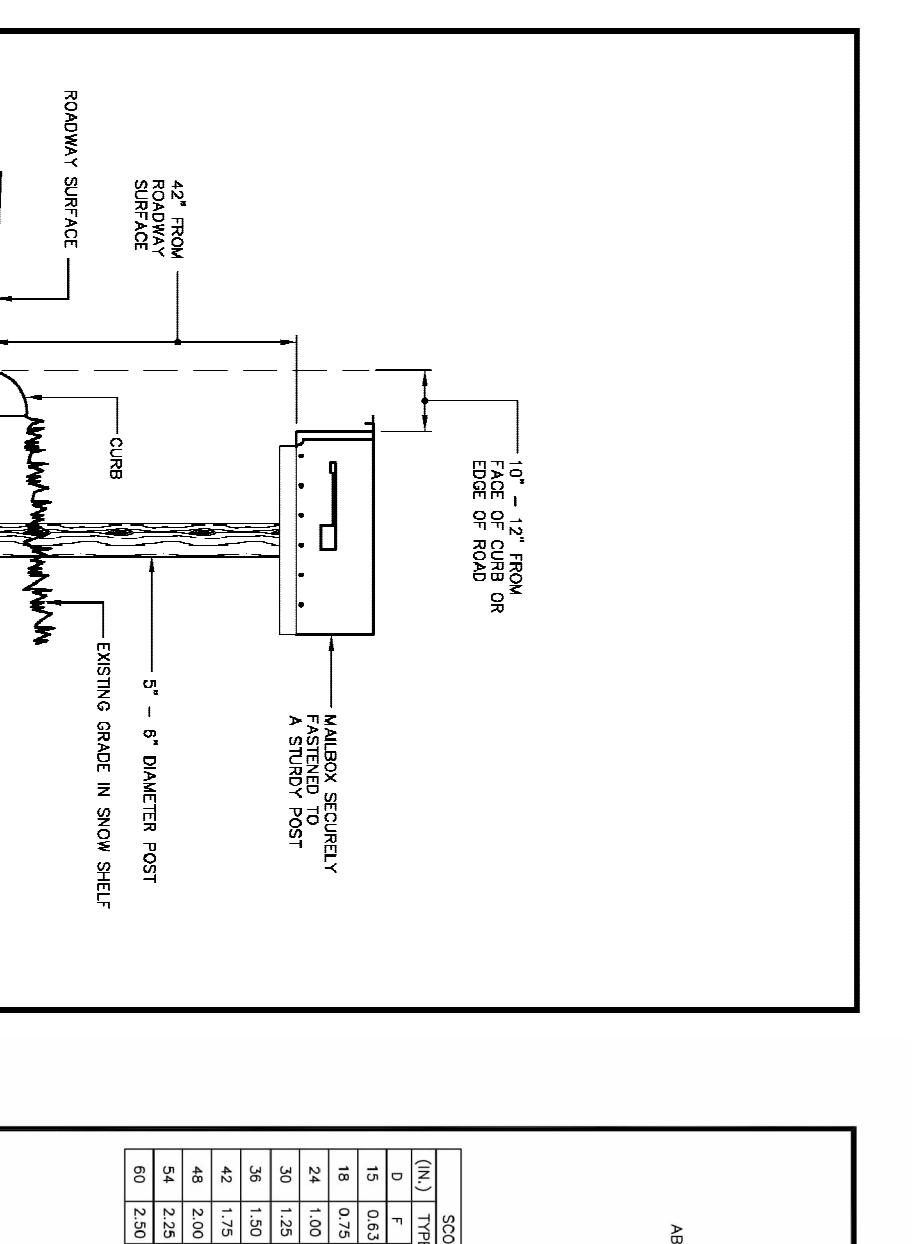
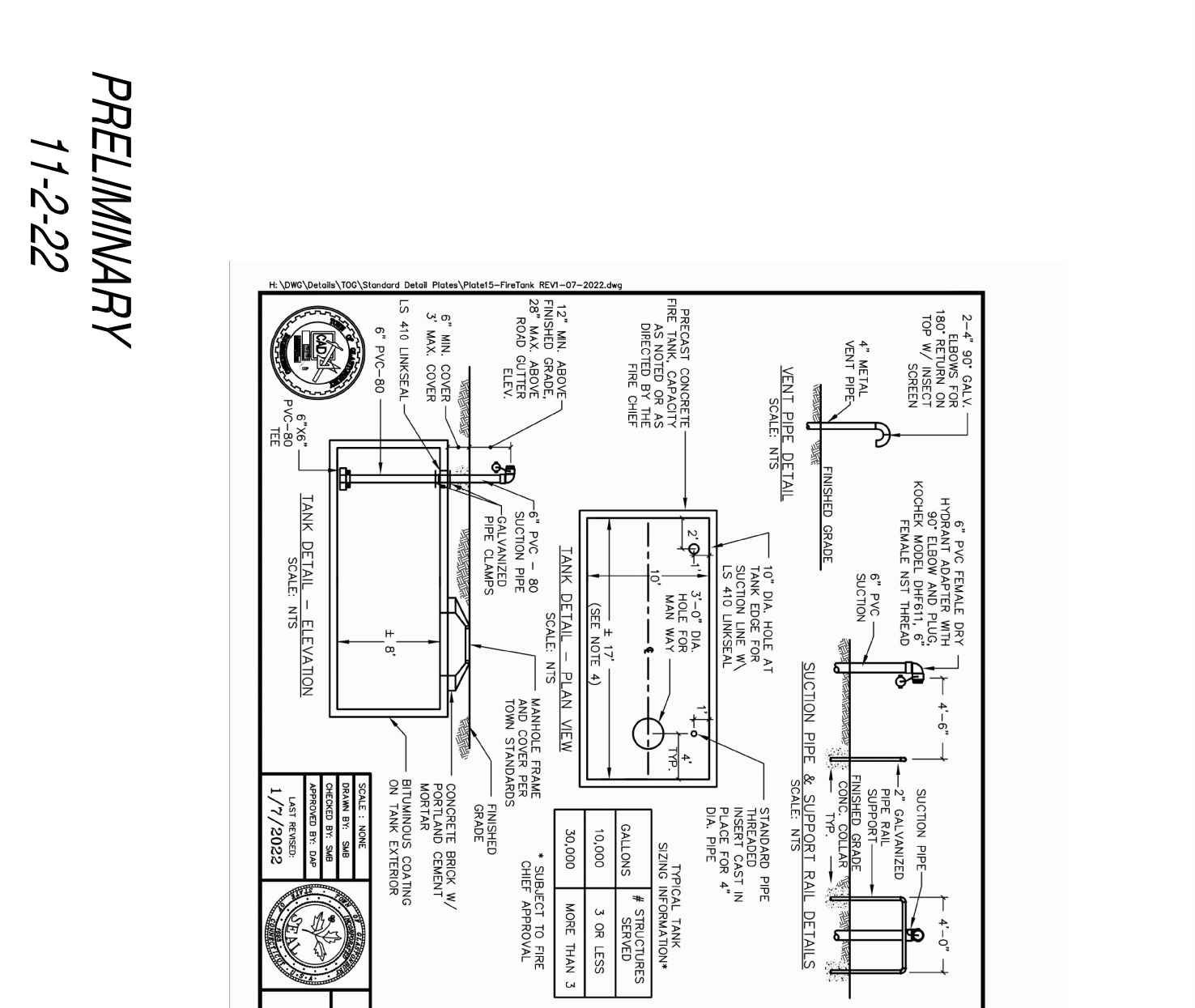
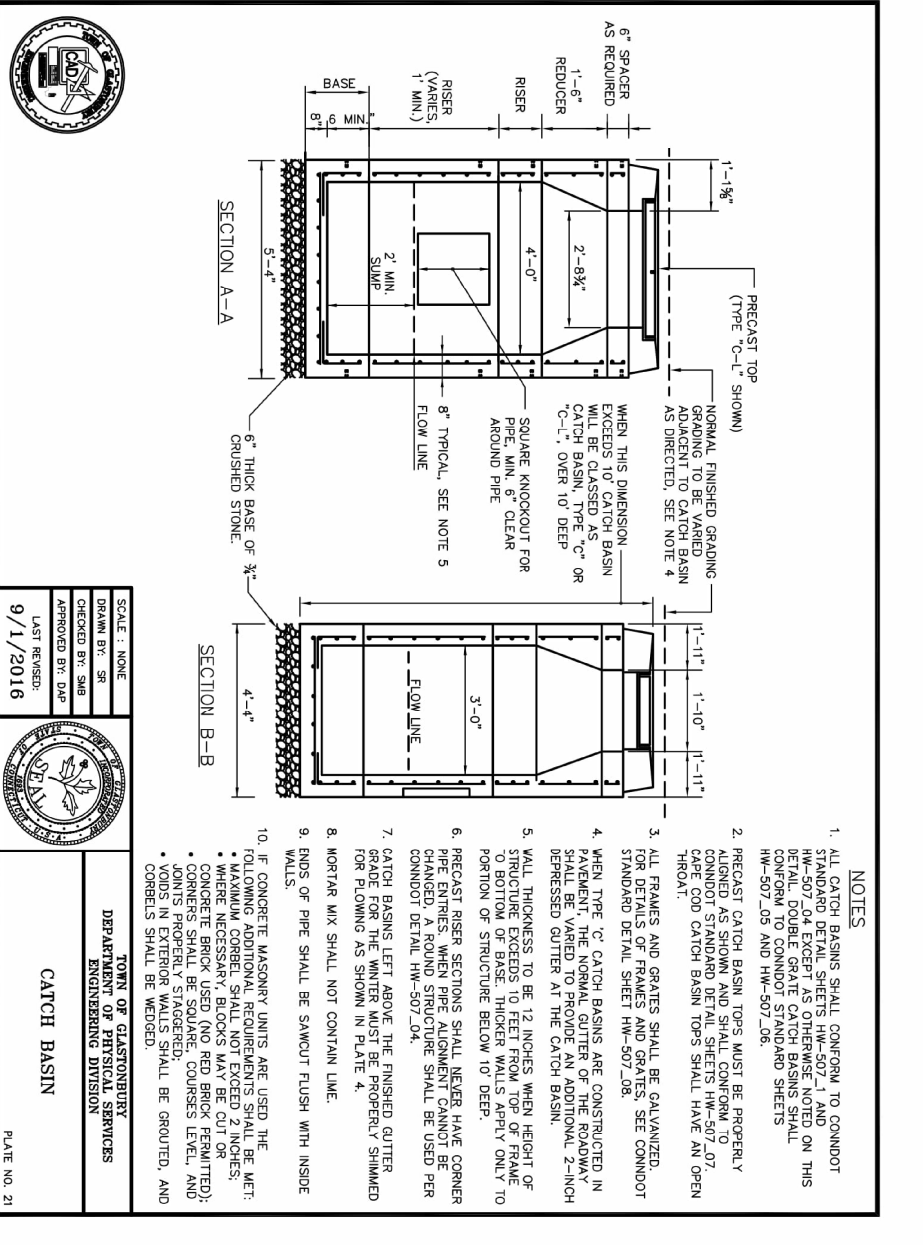
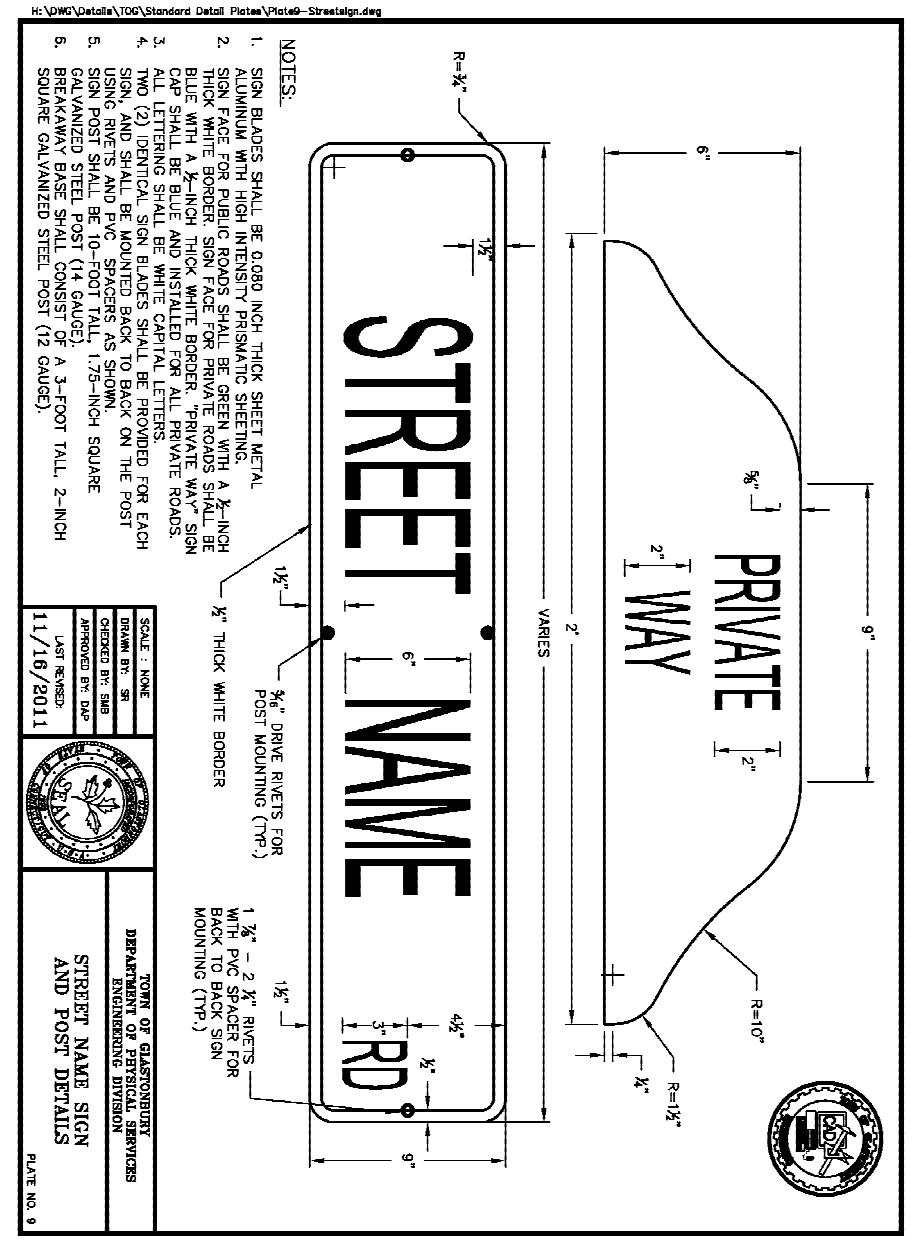
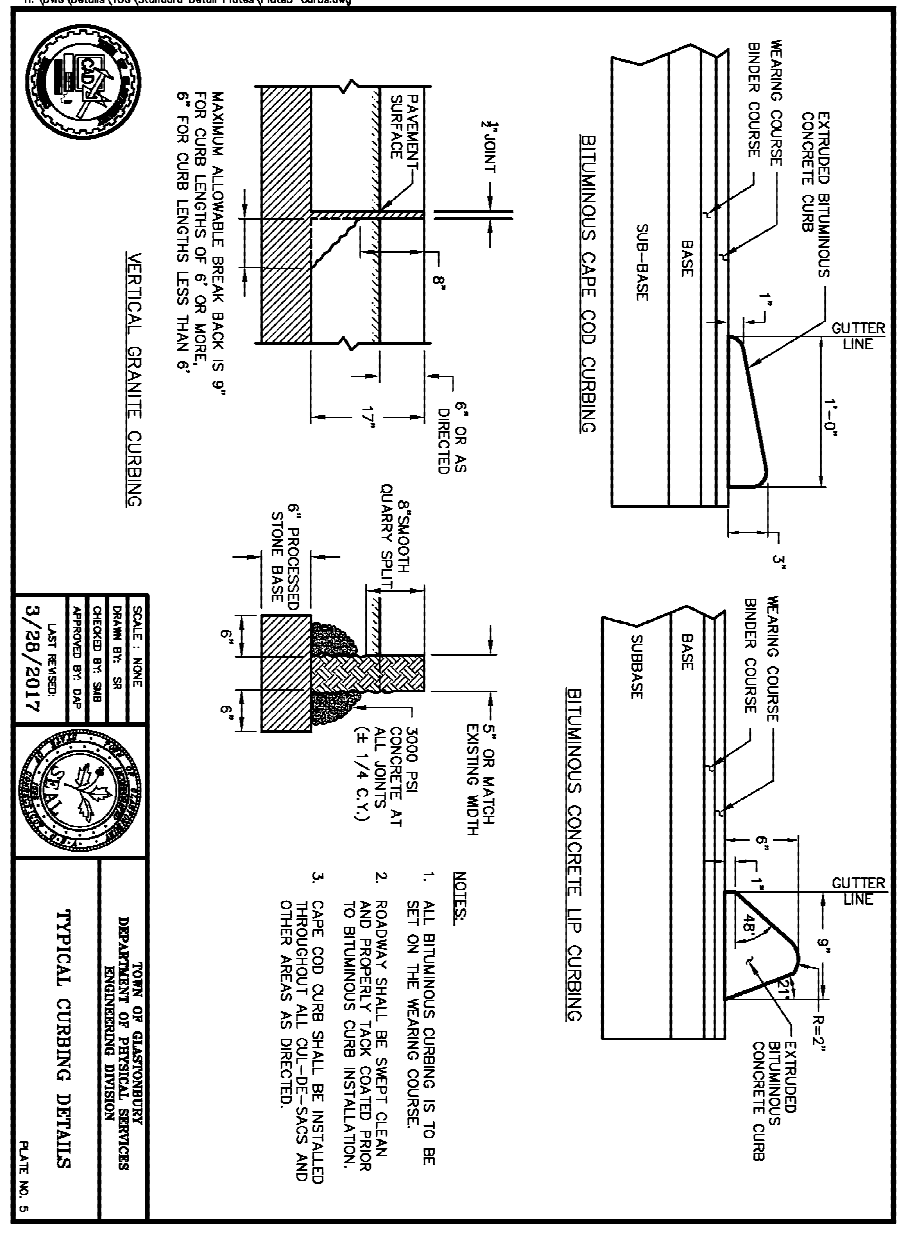
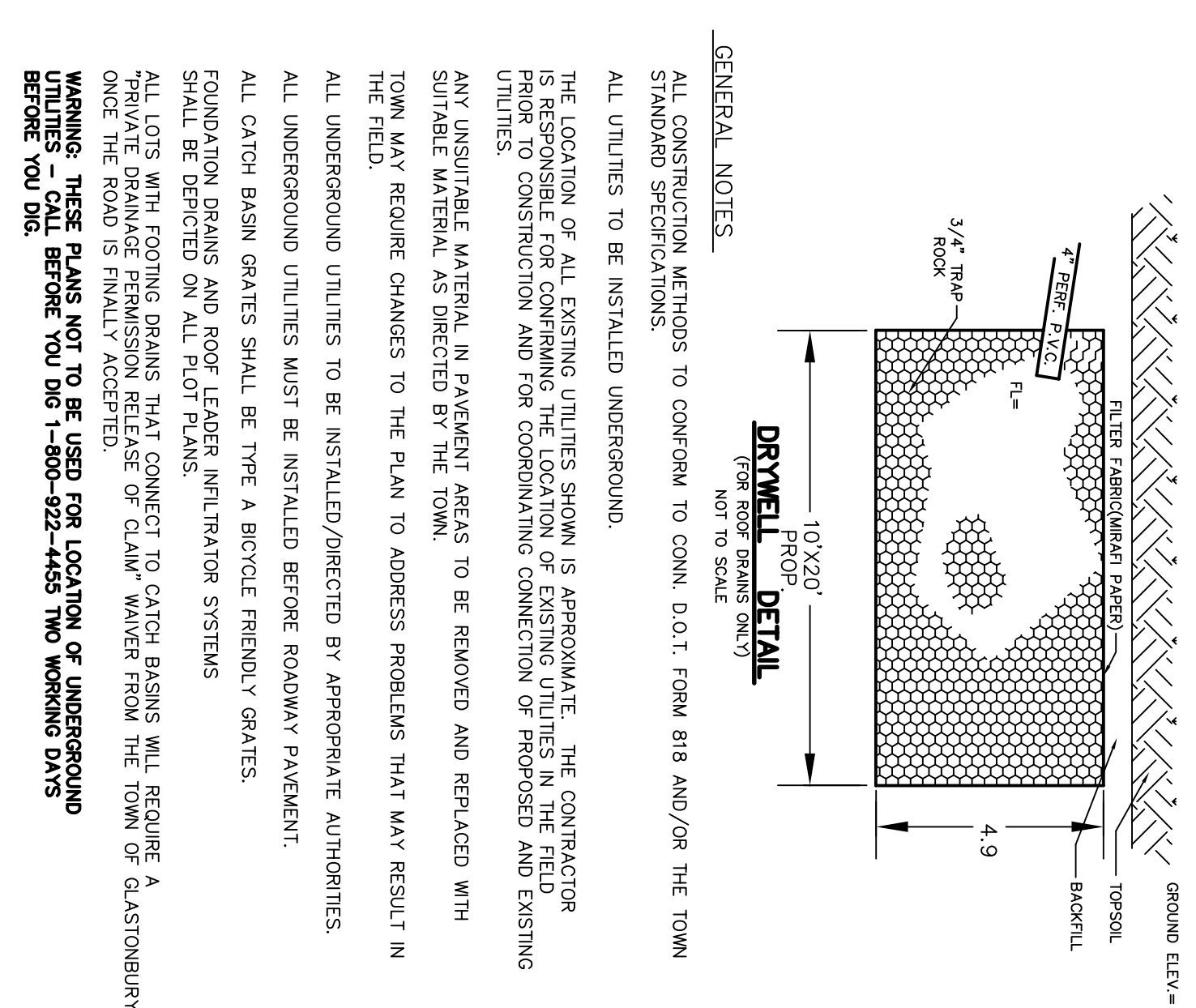
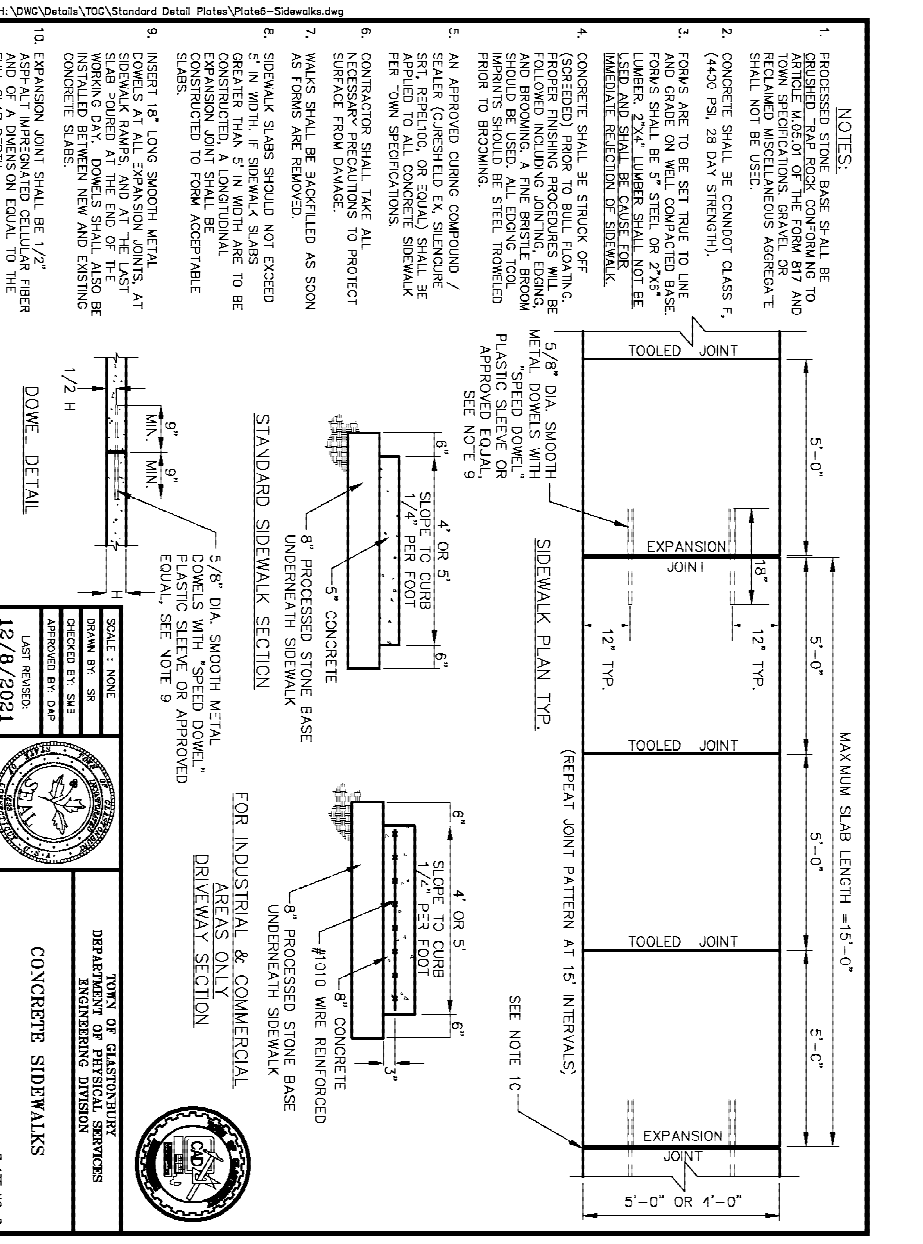
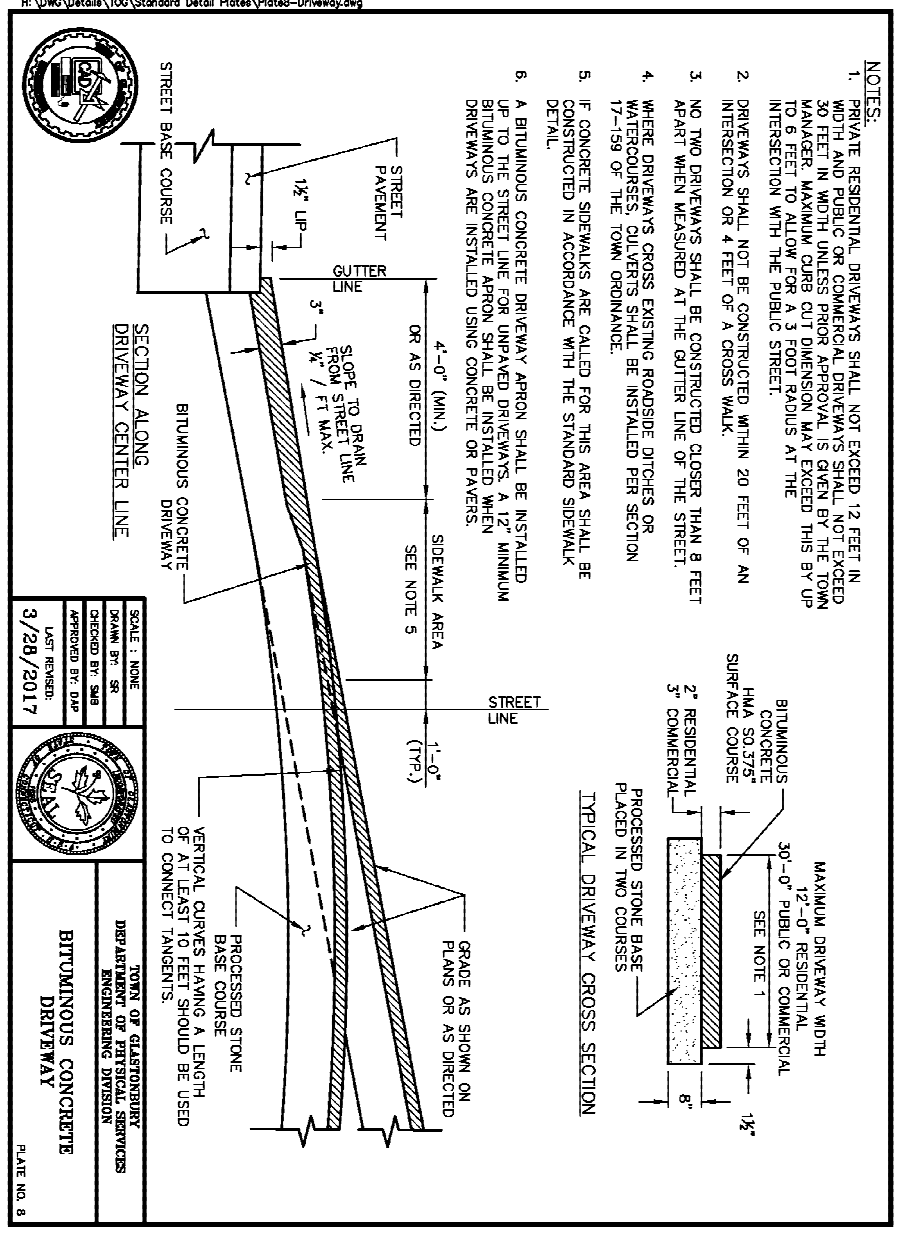
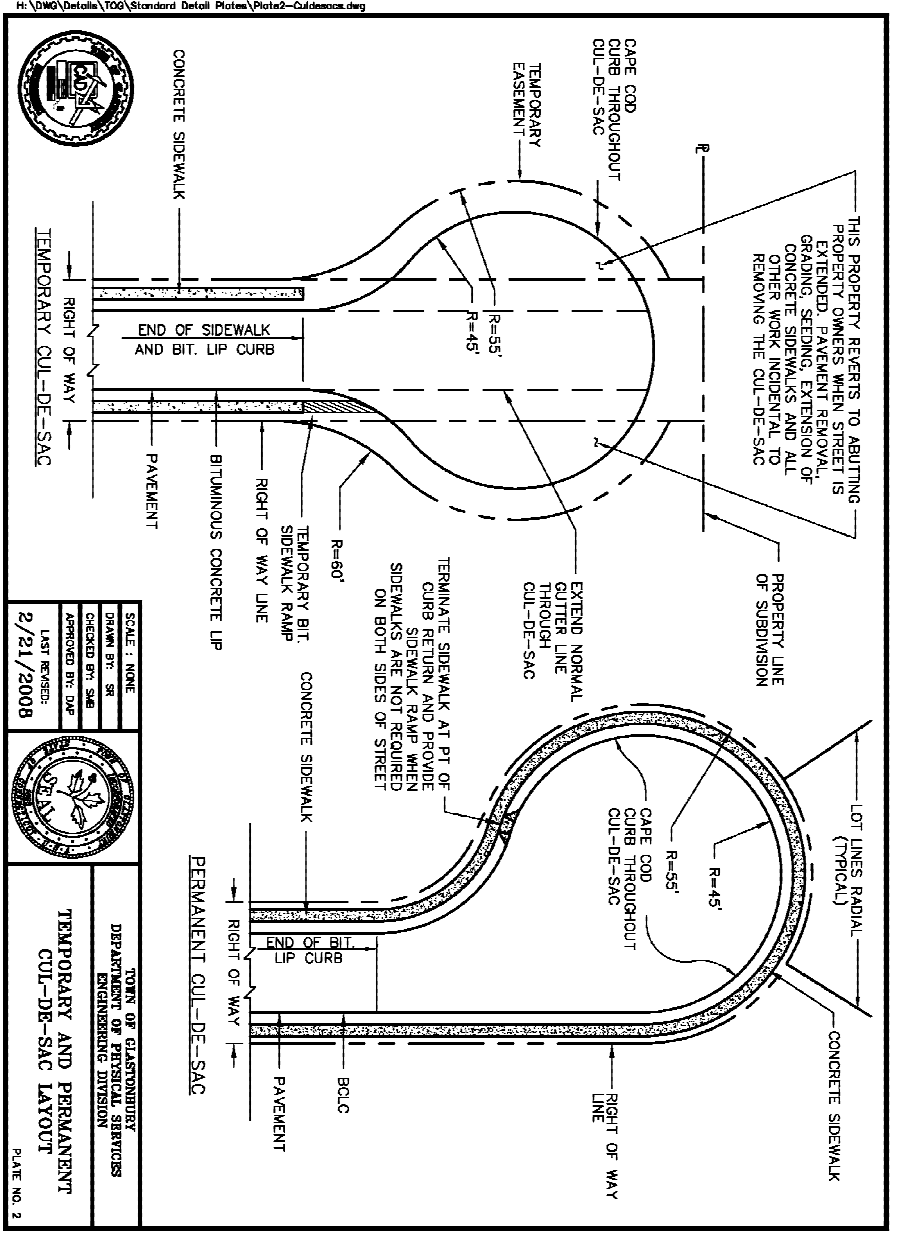
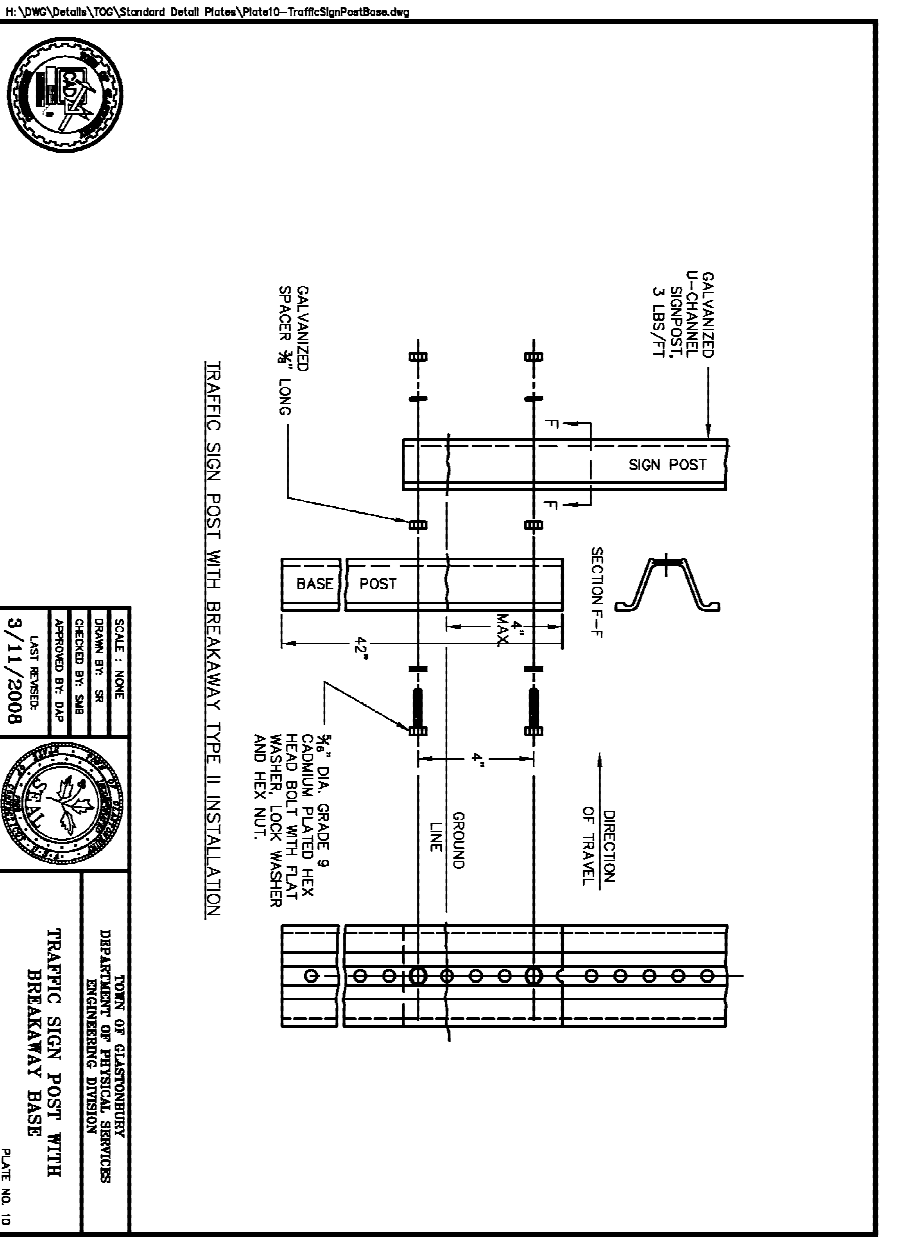
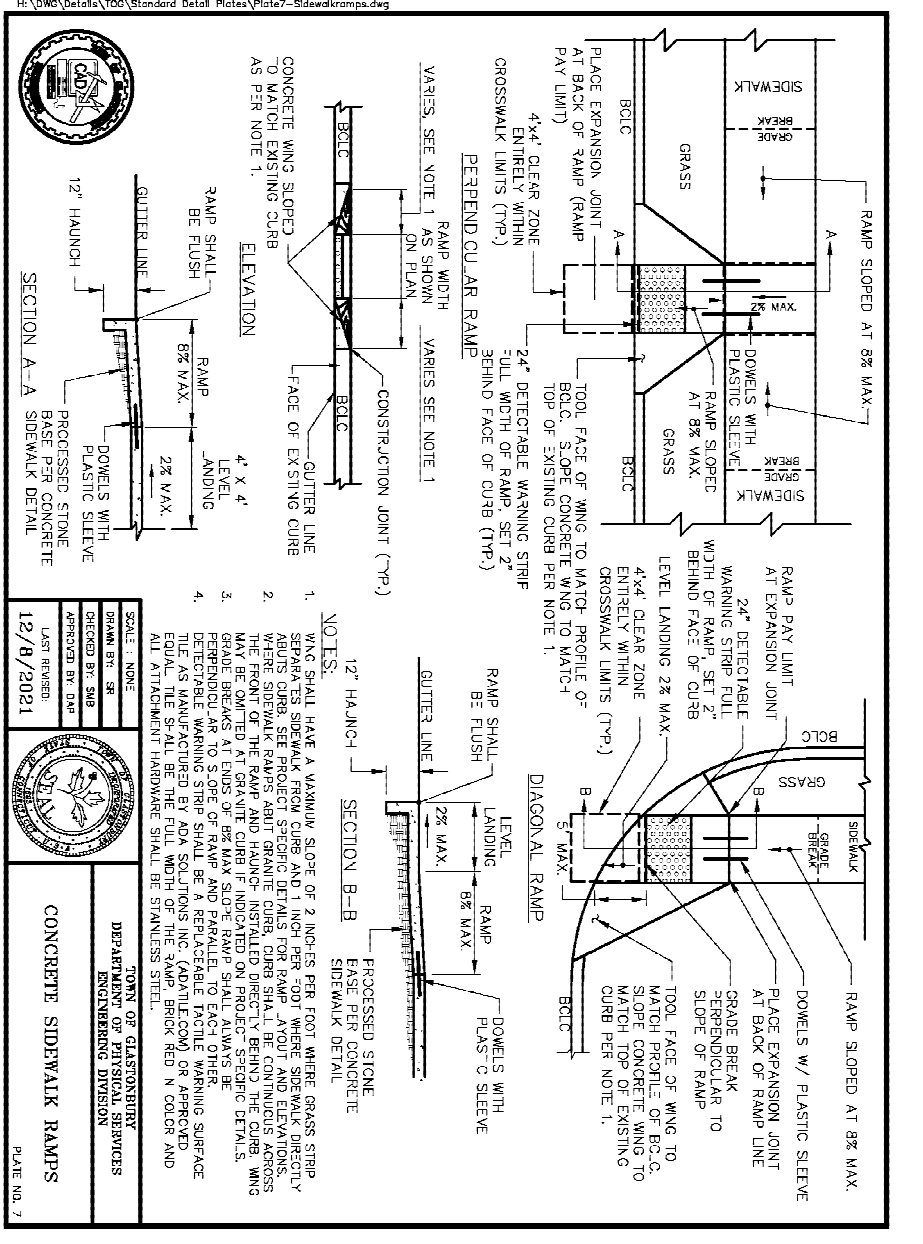
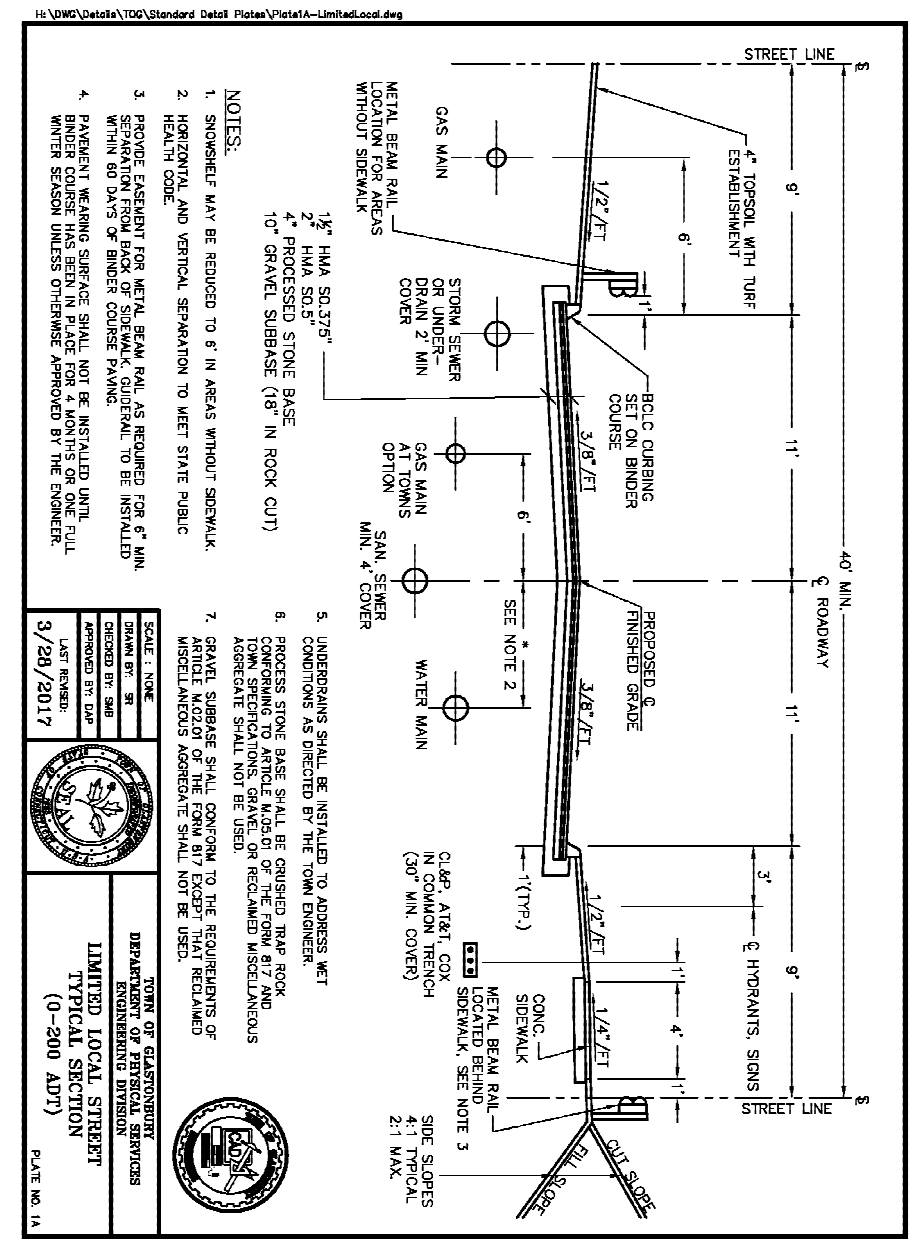
- EXISTING MONUMENT
- EXISTING IRON PIN
- EXISTING SPOT ELEVATION
- EXISTING CONTOUR
- PROPOSED CONTOUR



PRELIMINARY
 11-2-22

APPLICANT/OWNER:
 REJEAN JACQUES
 5001H GLASTONBURY
 860-952-4741

<p>STORMWATER MANAGEMENT BASIN MODIFICATION PLAN</p> <p>CROSBY II SUBDIVISION</p> <p>PREPARED FOR</p> <p>REJEAN JACQUES</p> <p>GLASTONBURY, CONN</p>	<p>MEGSON, HEAGLE & FRIEND</p> <p>CIVIL ENGINEERS & LAND SURVEYORS, LLC</p> <p>81 RANKIN ROAD GLASTONBURY, CONN. 06033 PHONE (860)-659-0587</p>	<p>I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.</p> <p><i>Mark W. Friend</i></p> <p>MARK W. FRIEND P.E. # 15818</p>
<p>CHK. BY: MWF</p> <p>DATE: 8-10-22</p> <p>SCALE: 1"=20'</p> <p>SHEET 8 OF 11</p> <p>MAP NO. 30-21-1B</p>	<p>DRW. BY: BTC</p>	



ADD. TEST PITS

LOT 1	TEST PIT #1 DATE: 4-6-21 0' - 12" TOPSOIL 12" - 40" FINE SANDY LOAM 44" - 120 COARSE SAND MOTTLING: NONE (ROOTS 6±) GROUNDWATER: NONE	LOT 2	TEST PIT #3 DATE: 4-27-21 0' - 12" TOPSOIL 12" - 28" FINE SANDY LOAM 28" - 156" SAND AND GRAVEL MOTTLING: NONE (ROOTS 8±) GROUNDWATER: NONE	LOT 3	TEST PIT #7 DATE: 4-15-21 0.0' - 0.3' TOPSOIL 0.3' - 1.2' LIGHT BROWN FINE SAND, GRAVEL 1.2' - 10.2' DARK BROWN SAND, GRAVEL MOTTLING: NONE (ROOTS 6.0') GROUNDWATER: NONE	LOT 4	TEST PIT #11 DATE: 4-16-21 0' - 2' LEAF LITTER 2' - 6" TOPSOIL 6" - 18" FINE SANDY LOAM 18" - 120" COARSE SAND AND GRAVEL MOTTLING: NONE (ROOTS 7±) GROUNDWATER: NONE	LOT 5	TEST PIT #19 DATE: 4-19-21 0.0' - 0.4' TOPSOIL 0.4' - 1.0' LIGHT BROWN FINE SAND, GRAVEL 1.0' - 12.0' BROWN SAND, GRAVEL MOTTLING: NONE (ROOTS 5.0') GROUNDWATER: NONE	LOT 6	TEST PIT #23 DATE: 4-20-21 0.0' - 0.5' TOPSOIL 0.5' - 1.1' LIGHT BROWN FINE SAND 1.1' - 10.5' DARK BROWN SAND, GRAVEL MOTTLING: NONE GROUNDWATER: NONE	LOT 7	TEST PIT #26 DATE: 4-20-21 0.0' - 0.4' TOPSOIL 0.4' - 1.0' LIGHT BROWN FINE SAND 1.0' - 11.0' DARK BROWN FINE SAND MOTTLING: NONE GROUNDWATER: NONE	LOT 8	TEST PIT #15 DATE: 4-14-21 0.0' - 0.4' TOPSOIL 0.4' - 1.5' LIGHT BROWN FINE SAND, 1.5' - 10.0' GRAVEL, SILT LEDE: NONE MOTTLING: NONE (ROOTS 5.0') GROUNDWATER: NONE	LOT 9	TEST PIT #25 DATE: 4-20-21 0.0' - 0.3' TOPSOIL 0.3' - 1.2' LIGHT BROWN FINE SAND 1.2' - 11.0' LIGHT BROWN FINE SAND MOTTLING: NONE GROUNDWATER: NONE
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TEST PIT #2 DATE: 4-6-21 0' - 10" TOPSOIL 10" - 40" FINE SANDY LOAM 40" - 144" FINE SANDY LOAM MOTTLING: NONE GROUNDWATER: NONE	TEST PIT #4 DATE: 4-27-21 0' - 2" LEAF LITTER 2" - 8" TOPSOIL 8" - 30" FINE SANDY LOAM 30" - 132" FINE SANDY LOAM MOTTLING: NONE (ROOTS 6±) GROUNDWATER: NONE	TEST PIT #6 DATE: 4-15-21 0.0' - 0.6' TOPSOIL 0.6' - 1.3' DARK BROWN FINE SAND, GRAVEL 1.3' - 10.0' DARK BROWN SAND, GRAVEL MOTTLING: NONE (ROOTS 6.5') GROUNDWATER: NONE	TEST PIT #8 DATE: 4-16-21 0' - 2" LEAF LITTER 2" - 6" TOPSOIL 6" - 24" FINE SANDY LOAM 24" - 124" COARSE SAND AND GRAVEL MOTTLING: NONE (ROOTS 7±) GROUNDWATER: NONE	TEST PIT #10 DATE: 4-15-21 0.0' - 0.7' TOPSOIL 0.7' - 1.5' DARK BROWN FINE SAND, GRAVEL 1.5' - 4.2' DARK BROWN COARSE SAND, 4.4' - 9.2' DARK BROWN SAND, GRAVEL MOTTLING: NONE (ROOTS 5.5') GROUNDWATER: NONE	TEST PIT #12 DATE: 4-19-21 0.0' - 0.3' TOPSOIL 0.3' - 1.0' BROWN FINE SAND, LOAM 1.0' - 10.0' BROWN SAND, GRAVEL MOTTLING: NONE (ROOTS 6.0') GROUNDWATER: NONE	TEST PIT #14 DATE: 4-16-21 0' - 2" LEAF LITTER 2" - 6" TOPSOIL 6" - 24" FINE SANDY LOAM 24" - 134" COARSE SAND & GRAVEL MOTTLING: NONE GROUNDWATER: NONE	TEST PIT #16 DATE: 4-14-21 0.0' - 0.5' TOPSOIL 0.5' - 1.3' LIGHT BROWN FINE SAND 1.3' - 11.0' BROWN FINE SAND, GRAVEL MOTTLING: NONE GROUNDWATER: NONE	TEST PIT #18 DATE: 4-14-21 0.0' - 0.4' TOPSOIL 0.4' - 1.4' LIGHT BROWN FINE SAND, 1.4' - 10.0' DARK BROWN SAND, GRAVEL MOTTLING: NONE (ROOTS 5.0') GROUNDWATER: NONE	TEST PIT #20 DATE: 4-20-21 0.0' - 0.3' TOPSOIL 0.3' - 1.2' LIGHT BROWN FINE SAND 1.2' - 11.0' LIGHT BROWN FINE SAND MOTTLING: NONE GROUNDWATER: NONE	TEST PIT #22 DATE: 4-20-21 0.0' - 0.3' TOPSOIL 0.3' - 1.2' LIGHT BROWN FINE SAND 1.2' - 11.0' LIGHT BROWN FINE SAND MOTTLING: NONE GROUNDWATER: NONE	TEST PIT #24 DATE: 4-20-21 0.0' - 0.5' TOPSOIL 0.5' - 1.3' LIGHT BROWN FINE SAND 1.3' - 11.0' BROWN SAND, GRAVEL MOTTLING: NONE GROUNDWATER: NONE	TEST PIT #27 DATE: 4-14-21 0.0' - 0.5' TOPSOIL 0.5' - 1.9' GRAVEL, SILT 1.9' - 10.0' DARK BROWN SAND, GRAVEL MOTTLING: NONE (ROOTS 5.0') GROUNDWATER: NONE	TEST PIT #28 DATE: 4-14-21 0.0' - 0.4' TOPSOIL 0.4' - 1.8' GRAVEL, SILT 1.8' - 10.0' DARK BROWN SAND, GRAVEL MOTTLING: NONE (ROOTS 4.5') GROUNDWATER: NONE
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TEST PIT #31 DATE: 4-23-22 PERC. TEST #1 DEPTH: 23 1/2" RATE: 4 MIN./IN.	TEST PIT #32 DATE: 4-23-22 PERC. TEST #2 DEPTH: 23 1/2" RATE: 4 MIN./IN.	TEST PIT #33 DATE: 4-23-22 PERC. TEST #3 DEPTH: 23 1/2" RATE: 4 MIN./IN.	TEST PIT #34 DATE: 4-23-22 PERC. TEST #4 DEPTH: 23 1/2" RATE: 4 MIN./IN.	TEST PIT #35 DATE: 4-23-22 PERC. TEST #5 DEPTH: 23 1/2" RATE: 4 MIN./IN.	TEST PIT #36 DATE: 4-23-22 PERC. TEST #6 DEPTH: 23 1/2" RATE: 4 MIN./IN.	TEST PIT #37 DATE: 4-23-22 PERC. TEST #7 DEPTH: 23 1/2" RATE: 4 MIN./IN.	TEST PIT #38 DATE: 4-23-22 PERC. TEST #8 DEPTH: 23 1/2" RATE: 4 MIN./IN.	TEST PIT #39 DATE: 4-23-22 PERC. TEST #9 DEPTH: 23 1/2" RATE: 4 MIN./IN.	TEST PIT #40 DATE: 4-23-22 PERC. TEST #10 DEPTH: 23 1/2" RATE: 4 MIN./IN.	TEST PIT #41 DATE: 4-23-22 PERC. TEST #11 DEPTH: 23 1/2" RATE: 4 MIN./IN.	TEST PIT #42 DATE: 4-23-22 PERC. TEST #12 DEPTH: 23 1/2" RATE: 4 MIN./IN.	TEST PIT #43 DATE: 4-23-22 PERC. TEST #13 DEPTH: 23 1/2" RATE: 4 MIN./IN.	TEST PIT #44 DATE: 4-23-22 PERC. TEST #14 DEPTH: 23 1/2" RATE: 4 MIN./IN.	TEST PIT #45 DATE: 4-23-22 PERC. TEST #15 DEPTH: 23 1/2" RATE: 4 MIN./IN.
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SEPTIC DESIGN (USE 4 BEDROOM HOUSE) MISS CALCULATION NOT REQUIRED RESTRICTIVE LAYER > 60"	LOT 1 (RESERVE) PERC. = 10 MIN./IN.(ASSUMED) E.L.A. = 577.9 S.F. RESTRICTIVE LAYER= NONE 4. TRENCHES 3 SF./F. = 192.5 L.F. USE 2 ROWS = 96.2' TRENCHES USE 3 ROWS = 64.2' TRENCHES	LOT 2 PERC. = 10 MIN./IN.(ASSUMED) E.L.A. = 577.9 S.F. RESTRICTIVE LAYER= NONE 4. TRENCHES 3 SF./F. = 192.5 L.F. USE 2 ROWS = 96.2' TRENCHES USE 3 ROWS = 64.2' TRENCHES	LOT 3 PERC. = 10 MIN./IN.(ASSUMED) E.L.A. = 577.9 S.F. RESTRICTIVE LAYER= NONE 4. TRENCHES 3 SF./F. = 192.5 L.F. USE 2 ROWS = 96.2' TRENCHES USE 3 ROWS = 64.2' TRENCHES	LOT 4 PERC. = 10 MIN./IN.(ASSUMED) E.L.A. = 577.9 S.F. RESTRICTIVE LAYER= NONE 4. TRENCHES 3 SF./F. = 192.5 L.F. USE 2 ROWS = 96.2' TRENCHES USE 3 ROWS = 64.2' TRENCHES	LOT 5 PERC. = 10 MIN./IN.(ASSUMED) E.L.A. = 577.9 S.F. RESTRICTIVE LAYER= NONE 4. TRENCHES 3 SF./F. = 192.5 L.F. USE 2 ROWS = 96.2' TRENCHES USE 3 ROWS = 64.2' TRENCHES	LOT 6 PERC. = 10 MIN./IN.(ASSUMED) E.L.A. = 577.9 S.F. RESTRICTIVE LAYER= NONE 4. TRENCHES 3 SF./F. = 192.5 L.F. USE 2 ROWS = 96.2' TRENCHES USE 3 ROWS = 64.2' TRENCHES	LOT 7 PERC. = 10 MIN./IN.(ASSUMED) E.L.A. = 577.9 S.F. RESTRICTIVE LAYER= NONE 4. TRENCHES 3 SF./F. = 192.5 L.F. USE 2 ROWS = 96.2' TRENCHES USE 3 ROWS = 64.2' TRENCHES
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* SEPTIC DESIGN BASED ON 4 BEDROOM HOUSE FOR ILLUSTRATIVE PURPOSES ONLY. ACTUAL HOUSES MAY HAVE MORE BEDROOMS IF SUITABLE.

TOWN PLAN & ZONING COMMISSION APPROVAL	
CROSBY II SUBDIVISION	RURAL RESIDENCE/GW-1
SUBDIVISION NAME	ZONE
REJEAN JACQUES	
SUBDIVIDER	
SUBDIVISION APPROVAL DATE	PLAN & ZONING COMMISSION CHAIRMAN
COMPLETION DATE FOR SUBDIVISION IMPROVEMENTS	COMMUNITY DEVELOPMENT DIRECTOR
FILE NO.	TOWN ENGINEER

PRELIMINARY
11-2-22

SOILS DATA	MEGSON, HEAGLE & FRIEND CIVIL ENGINEERS & LAND SURVEYORS, LLC 81 RANKIN ROAD GLASTONBURY, CONN. 06033 PHONE (860)-659-0587	I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.  MARK W. FRIEND P.E. # 15818
CROSBY II SUBDIVISION PREPARED FOR REJEAN JACQUES GLASTONBURY, CONN		
CK BY: MWF DRW BY: BTC DATE: 8-10-22 SCALE: NONE SHEET 10 OF 11 MAP NO. 30-21-15D		

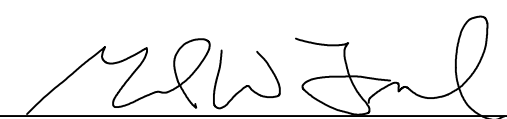
TOWN PLAN & ZONING COMMISSION APPROVAL	
CROSBY II SUBDIVISION	RURAL RESIDENCE/GW-1
SUBDIVISION NAME	ZONE
REJEAN JACQUES	
SUBDIVIDER	
SUBDIVISION APPROVAL DATE	PLAN & ZONING COMMISSION CHAIRMAN
COMPLETION DATE FOR SUBDIVISION IMPROVEMENTS	COMMUNITY DEVELOPMENT DIRECTOR
FILE NO.	TOWN ENGINEER

PRELIMINARY
11-2-22

CONDITIONS OF APPROVAL
CROSBY II SUBDIVISION
 PREPARED FOR
REJEAN JACQUES
 GLASTONBURY, CONN

MEGSON, HEAGLE & FRIEND
 CIVIL ENGINEERS & LAND SURVEYORS, LLC
 81 RANKIN ROAD
 GLASTONBURY, CONN. 06033
 PHONE (860)-659-0587

I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.


 MARK W. FRIEND P.E. # 15818

CHK. BY: MWF
 DRW. BY: BTC
 DATE: 8-10-22
 SCALE: NONE
 SHEET 11 OF 11
 MAP NO. 30-21-100A