

ZONING BOARD OF APPEALS APPLICATION

REFERRED TO TP&Z _____

Applicant
Street Town
Telephone
Legal Representative (if any)
Address

Date Filed & Fee Paid
Date Hearing Scheduled
Sign Deposit Paid On
Will Post Own []
Sign Taken On
Sign Inspected on Site

Exact Location of Property Involved
Assessor's Key # (If No Street # Indicated)
Legal Property Owner

Under the provisions of Section 8-7, Connecticut General Statutes, the undersigned hereby appeals:

- 1. For relief (a variance) from the restrictions imposed in Section(s) ... of the Glastonbury Zoning Regulations.
2. For a special exception as provided in Section ... of the Glastonbury Zoning Regulations.
3. From an adverse ruling by ... the Building Official, Glastonbury.
4. For the approval required by the State of Connecticut agency named below.

Describe in detail(in space provided on page 2 or on a separate sheet) what it is you want to do. State why this violates the Section(s) of the Glastonbury Zoning Regulations cited above. If a variance is sought, what hardship related to your particular property is claimed? If a special exception is sought, explain how all requirements for this exception have been met. If this is an appeal from a ruling of the Building Official/ Zoning Enforcement Officer state why you feel the ruling is wrong. (Use back of this form, if necessary)

We/I hereby depose and say that all the above statements contained in any papers submitted herewith are true to the best of my knowledge and belief.

Applicant

Owner, If Not Applicant (Required)

Date

Date

SEE PERTINENT INFORMATION ON NEXT PAGE

Include TEN (10) copies of everything submitted including the application and a map of the property involved. Locate all structures thereon and their relation to buildings on adjacent property and to the highway with approximate distances therefrom. Floor plans of buildings which you desire to erect or to alter must be provided in sufficient detail to make intelligent presentation of your plans. Also, include ten (10) copies of all supporting documentation.

FILING FEE OF \$185.00 tendered herewith. Applicants whose cases come under Section 14-55, 14-322, Connecticut General Statutes will be charged an additional fee to pay the cost of publication and the expenses of the public hearing.

DESCRIPTION IN DETAIL:

Ten copies of this Application and all supporting documentation are required



REAR ELEVATION
COPYRIGHT © 2022 BY HOME DESIGNING SERVICE, LTD.



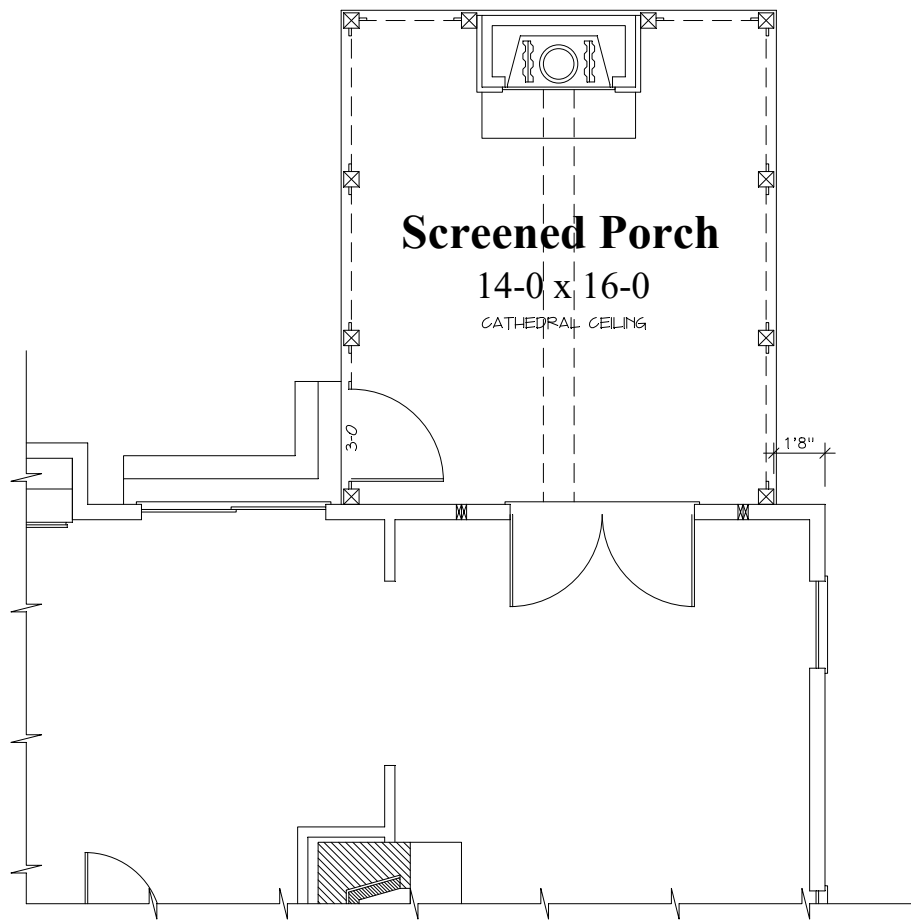
LEFT ELEVATION

COPYRIGHT © 2022 BY HOME DESIGNING SERVICE, LTD.



RIGHT ELEVATION

COPYRIGHT © 2022 BY HOME DESIGNING SERVICE, LTD.



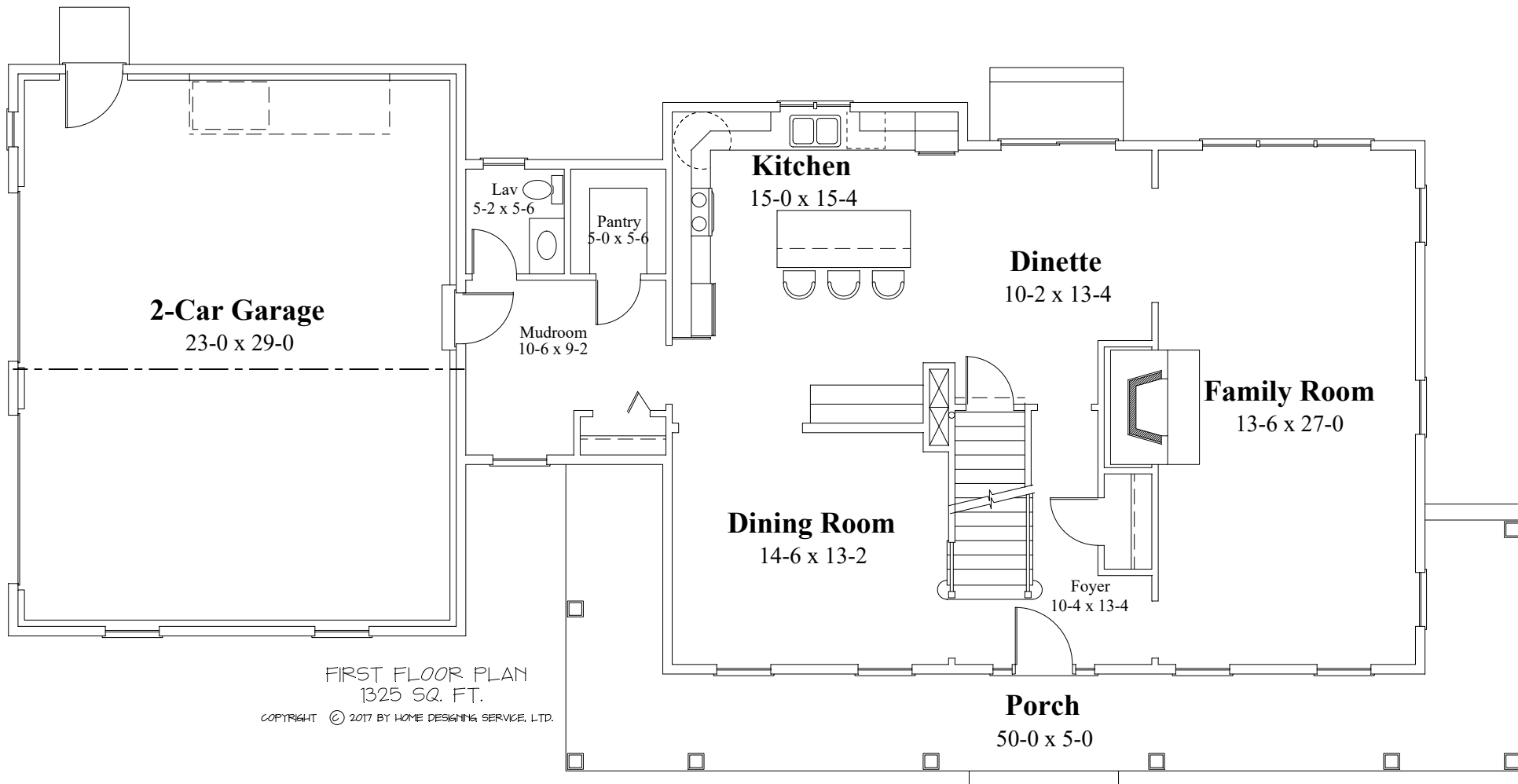
Screened Porch

14-0 x 16-0

CATHEDRAL CEILING

FIRST FLOOR PLAN

COPYRIGHT © 2022 BY HOME DESIGNING SERVICE, LTD.



FIRST FLOOR PLAN
1325 SQ. FT.

COPYRIGHT © 2017 BY HOME DESIGNING SERVICE, LTD.

Exhibit A: Location and Rear Features



Exhibit B: West side features



Exhibit C: View from Property Line + 20 feet elevation change



Exhibit D: View from house out to property line



Exhibit E: Side view





SITE LOCATION MAP
SCALE: 1"=1,000'

SANITARY SYSTEM DESIGN

NUMBER OF BEDROOMS	4
PERCOLATION RATE	1.25 MIN./IN.
ABSORPTION AREA REQUIRED	660 S.F. (MIN.)
USE 4" WIDE ABSORPTION TRENCHES	220 L.F. REQ'D
USE 2 ROWS @	110 L.F. EACH
SEPTIC TANK CAPACITY	1250 GAL. (MIN.)
SEPTIC TANK CAPACITY IS TO BE INCREASED BY 250 GALLONS IF A GARBAGE DISPOSAL IS INSTALLED.	

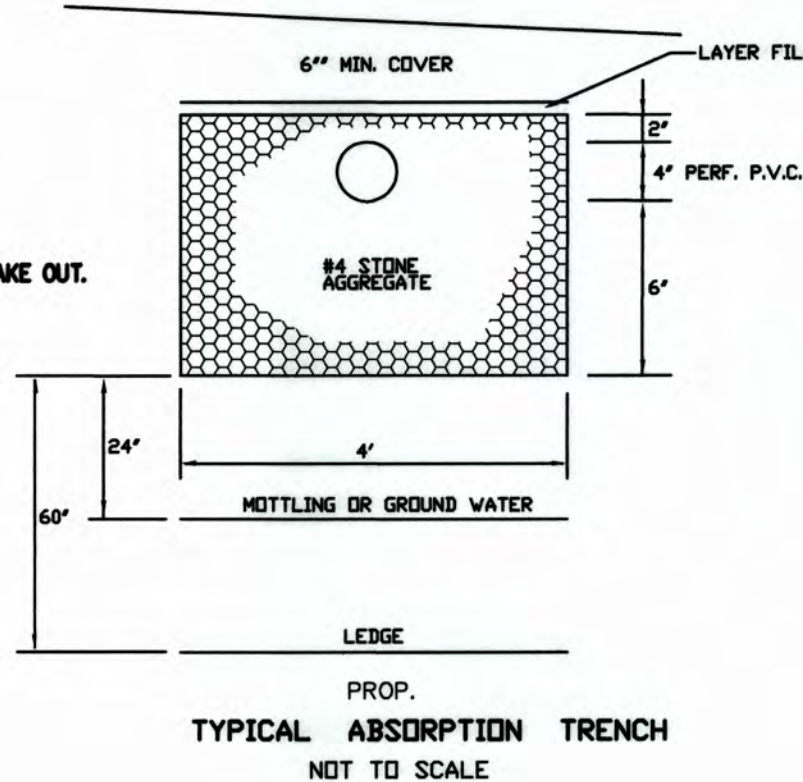
SANITARY SYSTEM ELEVATIONS

BOTTOM OF TRENCH	101.8	100.6
FL. DISTRIBUTION LINE	102.3	101.1
DISTRIBUTION BOX OUTLET	102.5	---
DISTRIBUTION BOX INLET	102.6	101.4
SEPTIC TANK OUTLET	102.5	102.70
SEPTIC TANK INLET	102.75	102.95
FL. 4" PVC @ FDN. WALL	103.20	103.70
TOP OF FOUNDATION	113.50	---
BASEMENT FLOOR	104.8±	---
TOP OF SEPTIC TANK	103.5	---

BENCHMARK TO BE SET IN AREA OF SEPTIC SYSTEM AT TIME OF STAKE OUT. RESTRICTIVE LAYER GREATER THAN 60", M.S.S. NOT REQUIRED.

RESERVE AREA CALCULATION

- NUMBER OF BEDROOMS EQUALS 4
- PERCOLATION RATE: 1.25 MIN./IN.
- RESERVE LEACHING AREA EQUALS 660 S.F. TOTAL
- ELA: 11.0 S.F./L.F. = 60 L.F. (MANTIS 536-8 UNITS)
- USE 1 ROW @ 60 L.F.



AGRICULTURAL CAVEAT

PLEASE NOTE: AGRICULTURAL ACTIVITIES OCCUR ON PROPERTIES ABUTTING THIS SUBDIVISION SITE. POTENTIAL LOT OWNERS SHOULD BE AWARE THAT THESE ACTIVITIES INCLUDE USE OF HEAVY FARMING EQUIPMENT/MACHINES AT EARLY MORNING HOURS AND WEEKENDS AND APPLICATION OF PESTICIDES, FERTILIZER AND MANURE.

EXCAVATION OPERATION CAVEAT

PLEASE NOTE: EXCAVATION ACTIVITIES OCCUR ON PROPERTIES ABUTTING THIS SUBDIVISION SITE. POTENTIAL LOT OWNERS SHOULD BE AWARE THAT THESE ACTIVITIES INCLUDE USE OF HEAVY EQUIPMENT, NOISE & TRUCK TRAFFIC DURING THE HOURS OF OPERATION

EXISTING FOUNDATION LOCATED IN FIELD AS SHOWN ON 8-10-17

REFERENCE MADE TO A MAP TITLED:

"SUBDIVISION PLAN DUG ROAD SUBDIVISION II PREPARED FOR PAUL FOOHEY GASTONBURY, CONN." BY MEGSON, HEAGLE & FRIEND C.E. & L.S. GASTONBURY, CT. DATE: 1-20-15 SCALE: 1"=20' REV. 8-24-15 MAP NO. 1-15-1S SHEET 2 OF 6

LOT MAY BE SUBJECT TO A CL&P EASEMENT

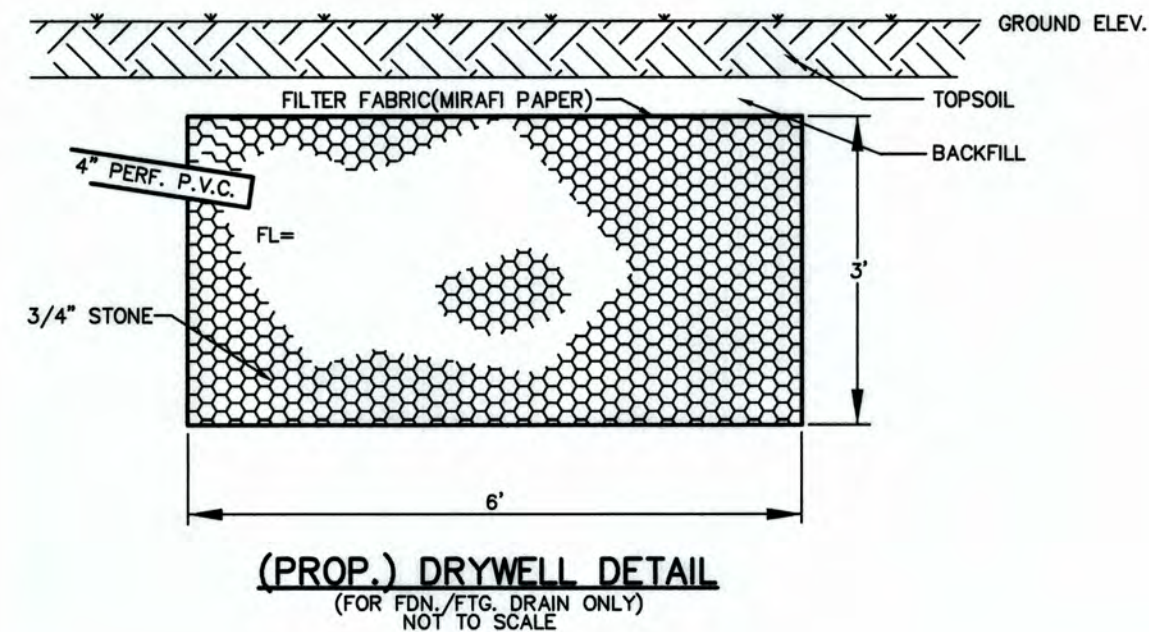
NO ZONING VIOLATIONS

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON. THIS SURVEY WAS PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTION 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC., ON SEPTEMBER 26, 1996. TYPE OF SURVEY: DEPENDENT RESURVEY. BOUNDARY DETERMINATION CATEGORY: ZONING LOCATION SURVEY CLASS OF ACCURACY: A-2

JOHN L. HEAGLE P.E. & L.S. # 9396

NOTES:
TREE STUMPS AND BLASTED ROCK SHALL NOT BE BURIED ON SITE
IN THE EVENT THAT BLASTING IS NEEDED FOR CONSTRUCTION, A PRE-BLAST SURVEY SHALL BE REQUIRED FOR NEARBY PROPERTIES.
UNDERGROUND FUEL STORAGE TANKS SHALL BE PROHIBITED TO REDUCE THE POTENTIAL OF CONTAMINATION TO WETLANDS, WATERCOURSES, AND GROUNDWATER RESOURCES.
HEALTHY MATURE TREES WILL BE PRESERVED AND SAVED WHEN POSSIBLE. SAID TREES SHALL BE PROTECTED WITH THE USE OF HIGH VISIBILITY CONSTRUCTION FENCE DURING CONSTRUCTION OR OTHERWISE PROTECTED AS REQUIRED BY STAFF.

* NOTE: FOOTING DRAINS MAY BE REQUIRED IF SOIL CONDITIONS WARRANT. INSPECT AND DETERMINE NEED AT THE TIME OF FOOTING PLACEMENT. IF REQUIRED AND OUTLET INTO A DRYWELL, RIP RAP OUTLET OR STREET STORM DRAINAGE SYSTEM CANNOT BE ACHIEVED BY GRAVITY A SUMP PUMP WILL BE REQUIRED.



SOILS DATA

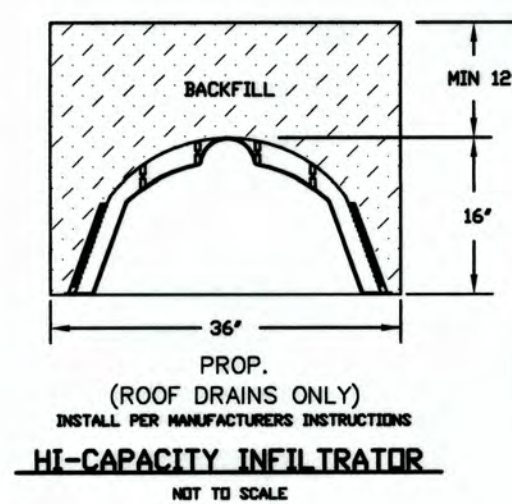
TEST PIT #:	1
DATE:	4-7-15
DEPTH:	8.6'
GROUND WATER:	NONE
MOTTLING:	NONE
MATERIAL:	0.0 - 0.7' TOPSOIL 0.7 - 2.8' SANDY LOAM 2.8 - 8.8' SAND
TEST PIT #:	2
DATE:	4-7-15
DEPTH:	8.7'
GROUND WATER:	NONE
MOTTLING:	NONE
MATERIAL:	0.0 - 0.7' TOPSOIL 0.7 - 3.0' SANDY LOAM 3.0 - 8.7' SAND
TEST PIT #:	3
DATE:	4-7-15
DEPTH:	8.8'
GROUND WATER:	NONE
MOTTLING:	NONE
MATERIAL:	0.0 - 0.7' TOPSOIL 0.7 - 3.8' SANDY LOAM 3.8 - 8.8' SAND
TEST PIT #:	4
DATE:	4-7-15
DEPTH:	8.6'
GROUND WATER:	NONE
MOTTLING:	NONE
MATERIAL:	0.0 - 0.8' TOPSOIL 0.8 - 2.5' SANDY LOAM 2.5 - 8.6' SAND

PERC:	P-1
DATE:	4-29-15
DEPTH:	40.8'
RATE:	1.25 MIN./IN.
PERC:	P-2
DATE:	4-29-15
DEPTH:	36'
RATE:	2.5 MIN./IN.

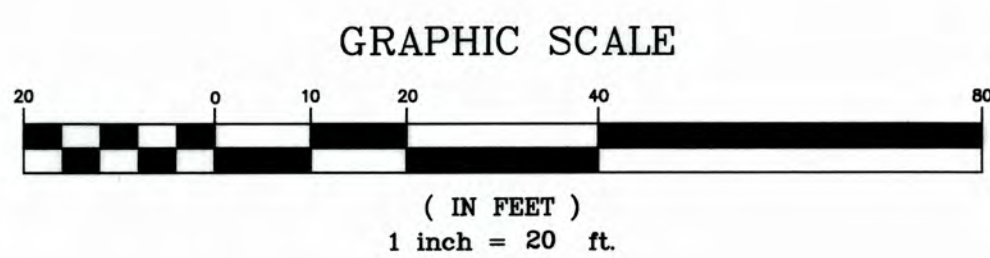
HOUSE SITE DEVELOPMENT

PLOT PLANS FOR EACH LOT SHALL INDICATE PROPOSED SEDIMENTATION AND EROSION CONTROLS. THE PROPOSED HOUSE LOCATION, LOT GRADING, LIMIT OF TREE CLEARING, DRIVEWAY DESIGN, SEPTIC SYSTEM DESIGN AND SITE DRAINAGE PLAN SHALL ALSO BE SHOWN. THESE PLANS SHALL BE SUBJECT TO REVIEW AND APPROVAL BY THE TOWN.
ALL DRIVEWAY SHOULDERS SHOULD BE STABILIZED IMMEDIATELY UPON COMPLETION OF ROUGH GRADING. SHOULDER SEED BED PREPARATION SHOULD FOLLOW THE GENERAL NOTES PROVIDED. HAY BALES OR FILTER FABRIC SHOULD BE USED TO ENTRAP ANY SEDIMENT GENERATED FROM EXPOSED SOIL SURFACES. DRIVEWAY ROADS BEDS SHALL BE STABILIZED WITH COMPACTED ROAD AGGREGATE AS SOON AS POSSIBLE.
TOPSOIL AND EXCAVATED SUBSOIL FROM THE FOUNDATION AREA SHOULD BE STOCKPILED WITHIN THE AREA OF DISTURBANCE IF NOT USED FOR ON SITE REGRADING. EACH STOCKPILE MUST BE ADEQUATELY RINGED WITH SEDIMENT CONTROL MATERIALS (I.E. HAY BALES AND/OR FILTER FABRIC FENCE).
ANY ADDITIONAL STOCKPILING OF LUMBER OR BUILDING MATERIALS SHOULD ALSO BE CONFINED TO THE AREA OF DISTURBANCE. SIMILARLY, VEHICULAR MOVEMENT SHOULD BE DIRECTED TO ESTABLISHED PARKING AREAS. PROPOSED LEACHING SYSTEM AREAS MUST NOT BE IMPACTED BY VEHICULAR TRAFFIC OR UTILIZED AS PARKING AREAS. DEVELOPMENT OF SEWAGE DISPOSAL LEACHING AREAS SHOULD BE STAGED TO FOLLOW HOUSE SITE PREPARATION. ONLY THE PRIMARY LEACHING SYSTEM NEED BE CLEARED OF EXISTING VEGETATION IN COORDINATION WITH THE APPROVED SEPTIC SYSTEM DESIGN. RESERVE AREAS SHOULD REMAIN UNALTERED IF SITE CONDITIONS PERMIT.
CONTRACTOR SHALL PROVIDE DUMPSTERS AT EACH HOUSE SITE DURING CONSTRUCTION FOR DISPOSAL OF CONSTRUCTION WASTE MATERIALS. THERE SHALL BE NO OUTSIDE STOCKPILES OF CONSTRUCTION WASTE MATERIALS OR DEBRIS.

THE BUILDING LOT SHALL BE LOAMED, SEEDING AND MULCHED WITH STRAW PRIOR TO ISSUANCE OF A C.O. IF THE SEASON DOES NOT PERMIT SEEDING - THEN THE LOT MUST BE STABILIZED WITH STRAW OR NETTING TO PREVENT WINTER AND SPRING EROSION. THE ENVIRONMENTAL PLANNER WILL CHECK LOTS FOR NONCOMPLIANCE WITH EROSION CONTROLS AND STABILIZATION REQUIREMENTS. IF NECESSARY, THE C.O. WILL BE WITHHELD UNTIL THE LOT IS DEEMED STABLE.
PLEASE NOTE - THE BUILDER/OWNER IS RESPONSIBLE FOR ALL EROSION CONTROL AND STABILIZATION REQUIREMENTS. PLEASE REVIEW THE APPROVED PLOT PLAN FOR EROSION CONTROL REQUIREMENTS INDICATED IN YELLOW.
CONTOURS TAKEN FROM FIELD TOPOGRAPHIC SURVEY. ALL PROPOSED ELEVATIONS ARE IN RELATION TO CONTOURS SHOWN. FINAL ELEVATIONS MAY BE ADJUSTED AS FIELD CONDITIONS WARRANT.
NOTE: VERIFY ALL UTILITY LOCATIONS IN THE FIELD PRIOR TO START OF ANY WORK (SEE NOTE BELOW).
WARNING: THESE PLANS NOT TO BE USED FOR LOCATION OF UNDERGROUND UTILITIES - CALL BEFORE YOU DIG 1-800-922-4455 TWO WORKING DAYS



HI-CAPACITY INFILTRATOR
NOT TO SCALE
ROOF DRAIN DESIGN (HOUSE)
ROOF AREA @ 1/2" RUNOFF / 24 HOURS
ROOF AREA X 1/2" = VOL. (FT³)
16.3 FT³ = NO. INFILTRATORS
2,382 S.F. X 1/2" = 99.3 FT³
99.3 / 16.3 = 6.09 UNITS
USE 7 UNITS X 6.25' = 43.75 L.F.



ZONE: RURAL RESIDENCE
LOT AREA = 40,005 S.F.
= 0.918 AC.

LEGEND

- PROPOSED IRON PIN
- PROPOSED CONTOUR
- EXISTING CONTOUR
- STAKED HAY BALES/SILT FENCE
- PROP. ROOF DRAIN
- POSS. FOOTING DRAIN
- PROP. SPOT ELEV.
- PROP. CLEARING
- GRADE TO DRAIN
- PROP. UGND UTILITIES

SEE SHEET 2 OF 2 FOR GENERAL NOTES & DETAILS

BUILDER:
DRAGHI & CARON CONSTRUCTION, LLC
8 COLEMAN ROAD
GASTONBURY, CT 06033
(860) 338-4865

MEGSON, HEAGLE & FRIEND
CIVIL ENGINEERS & LAND SURVEYORS, LLC
81 RANKIN ROAD
GASTONBURY, CONN. 06033
PHONE (860) - 659-0587

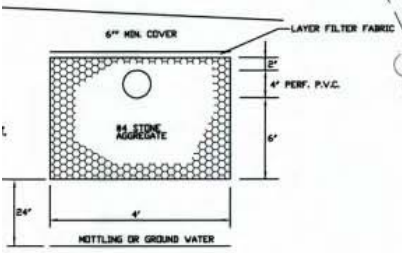
DRAGHI & CARON CONSTRUCTION, LLC
GASTONBURY, CONN.

CK. BY: JHS
DRW. BY: PEJ
DATE: 5-4-17
SCALE: 1"=20'
SHEET 1 OF 2
MAP NO. 22-17-1PP

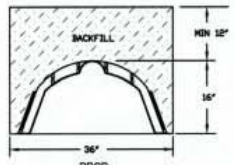
REV. 8-11-17 EXISTING FOUNDATION CERTIFICATION
REV. 5-22-17 REVISED SEPTIC ELEVATIONS

P:\2017\PROJECTS\22-17-1PP.dwg 8/11/2017 2:48:57 PM EDT

PROPOSED IRON PINS OF IRON SHALL BE DRIVEN IN ACCORDANCE WITH SECTION 14 OF THE TOWN OF GLASTONBURY SUBDIVISION REGULATIONS.

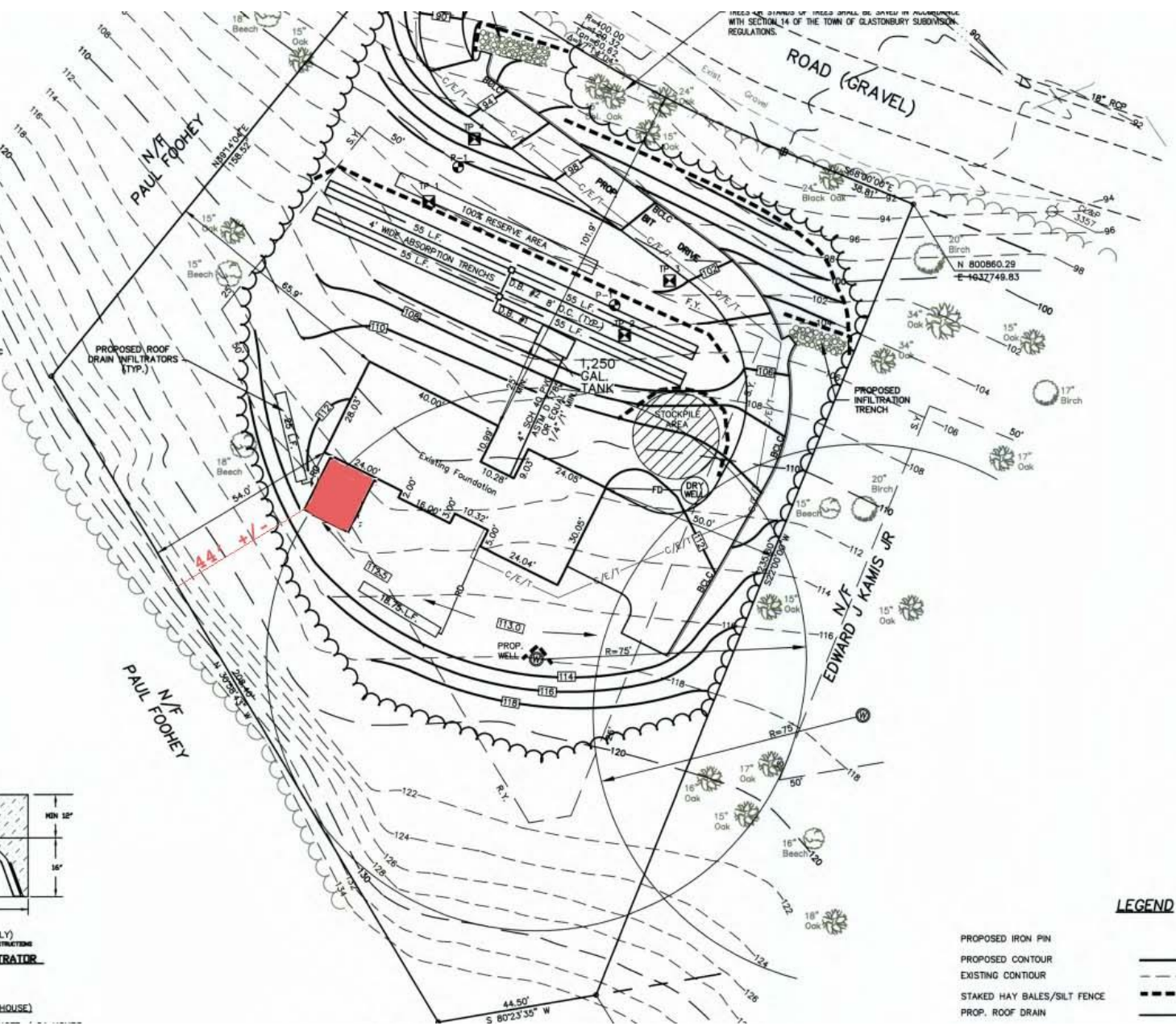


PROP.
TYPICAL ABSORPTION TRENCH
NOT TO SCALE



PROP.
(ROOF DRAINS ONLY)
DETAIL PER MANUFACTURER'S INSTRUCTIONS
HI-CAPACITY INFILTRATOR
NOT TO SCALE

ROOF DRAIN DESIGN (HOUSE)



LEGEND

- PROPOSED IRON PIN ○
- PROPOSED CONTOUR ——— 118
- EXISTING CONTOUR - - - - - 116
- STAKED HAY BALES/SILT FENCE ————
- PROP. ROOF DRAIN ————

Owner of Record

GIS ID: 19400220
Owner: WOLF BRENDAN+ABIGAIL
Co-Owner:
Address: 220 DUG RD
City, State ZIP: S GLASTONBURY, CT 06073-2002

Account Number: 19400S6A
Property Address: 220 DUG RD

Parcel Information

Map/Street/Lot D12 / 1940 / S06AA **Property ID:** 106567
Developer Lot ID: 1 **Water:**
Parcel Acreage: 0.92 **Sewer:**
Zoning Code: RR **Census:** 5205.01



Property highlighted in blue

Valuation Summary

Item	Appraised Value	Assessed Value
Buildings	401100	280800
Land	131300	91900
Appurtenances	0	0
Total	532400	372700

Owner of Record

WOLF BRENDAN+ABIGAIL
 FOOHEY PAUL+MARIE

Deed / Page Sale Date Sale Price

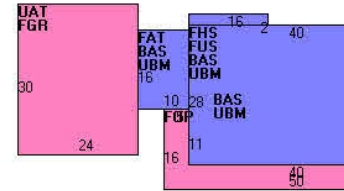
3428/0243 2017-06-23 158000
 3001/0339 2012-07-23 0



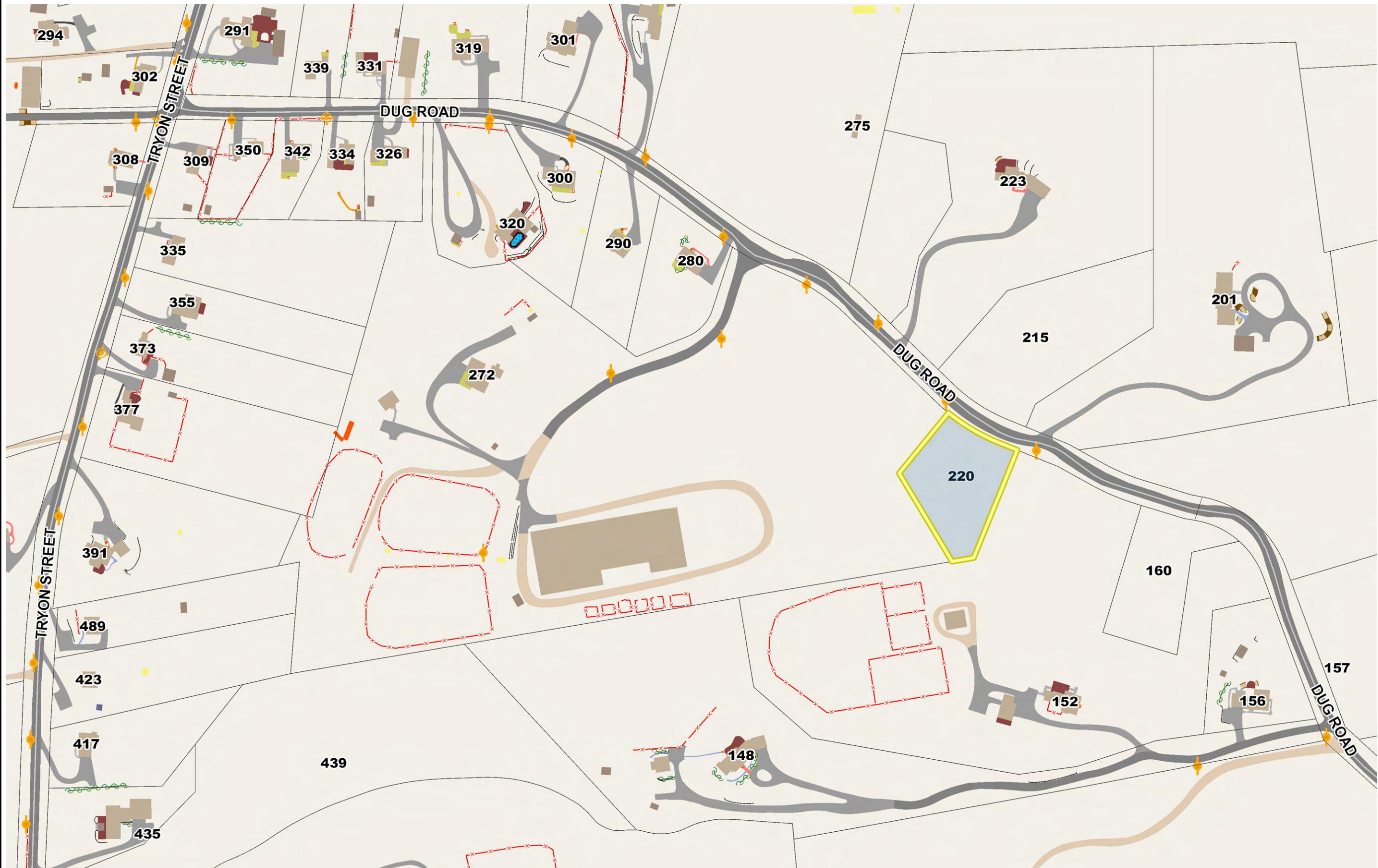
Building Information

Building ID 104459

Year Constructed : 2017 **Number of Rooms :** 9
Building Type : Residential **Number of Bedrooms :** 05
Style : Modern Colonial **Number of Bathrooms :** 3
Occupancy : Single Family **Number of Half-Baths :** 1
Stories : No e **Exterior Wall :** Vinyl
Building Zone : RR **Interior Wall :** Drywall
Roof Type : Gable **Interior Floor :** Hardwood
Roof Material : Asphalt Shingl **Interior Floor #2 :** Carpet
Est. Gross S.F. : 6451 **Air Conditioning Type :** Central
Est. Living S.F. : 3136 **Heat Type :** Forced Air
Fuel Type : Gas-Propane Ta



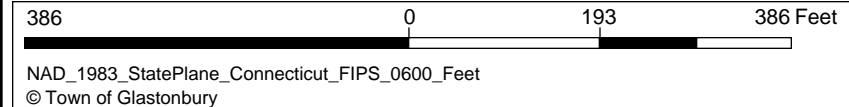
Subarea Type	Est. Gross S.F.	Est. Living S.F.	Outbuilding Type	Est. Gross S.F.	Comments
First Floor	1312	1312			
Concrete Patio	372	0			
Finished Attic	160	32			
Basement, Finished	800	0			
Garage	720	0			
Half Story, Finished	1120	672			
Porch, Open	335	0			
Upper Story, Finished	1120	1120			
Basement	512	0			



Legend

- Property Line
- Address Points
- Street Centerlines
 - State Highway
 - Secondary Roads
- Utility Poles, Towers and Lights
 - Utility poles without street light
 - Utility pole with street light
 - Light Pole
 - Transmission or Cellphone Tower
 - Electric Box for traffic signals
- Buildings
 - Building
 - Out building
 - Area under construction
 - Building foundation
 - Mobile home, trailer
 - Ruined building or structure
- Ancillary Structures
 - Solar Panels on ground
 - Smokestack
 - Water storage tank
 - Dam Structure
 - Bus Shelter
 - Deck
 - Flight of Stairs
 - Fuel storage tank
 - Generator
 - Miscellaneous Structure
 - Miscellaneous tank
 - Porch
 - Swimming pool above ground
 - Swimming pool inground
 - Urban Plaza Structure
- Patios and Equipment Pads
 - Patio
 - Equipment Pad
- Walls
 - Headwall
 - Retaining wall
 - Stone Wall (not retaining)
 - Wall
 - Wall in urban area for sitting
 - Wingwall
- Areas Under Construction
 - Fence
 - Fences
 - Guardrail along road
 - Hedges
 - Jersey Barrier along roads
- Pavement Markings
 - Roadways
 - Paved road
 - Unpaved road
 - Traffic Island
 - Parking
 - Paved parking area with 4 or more spaces
 - Unpaved parking area with 4 or more spaces
 - Driveways
 - Paved Driveway
 - Unpaved Driveway
 - Bridges
- Sidewalks-Public
 - Bituminous sidewalk
 - Brick sidewalk
 - Concrete sidewalk
 - Gravel sidewalk
 - Unknown material
- Sidewalks-Private
 - Bituminous sidewalk
 - Brick sidewalk
 - Concrete sidewalk
 - Gravel sidewalk
 - Unknown material
- Street Foliage

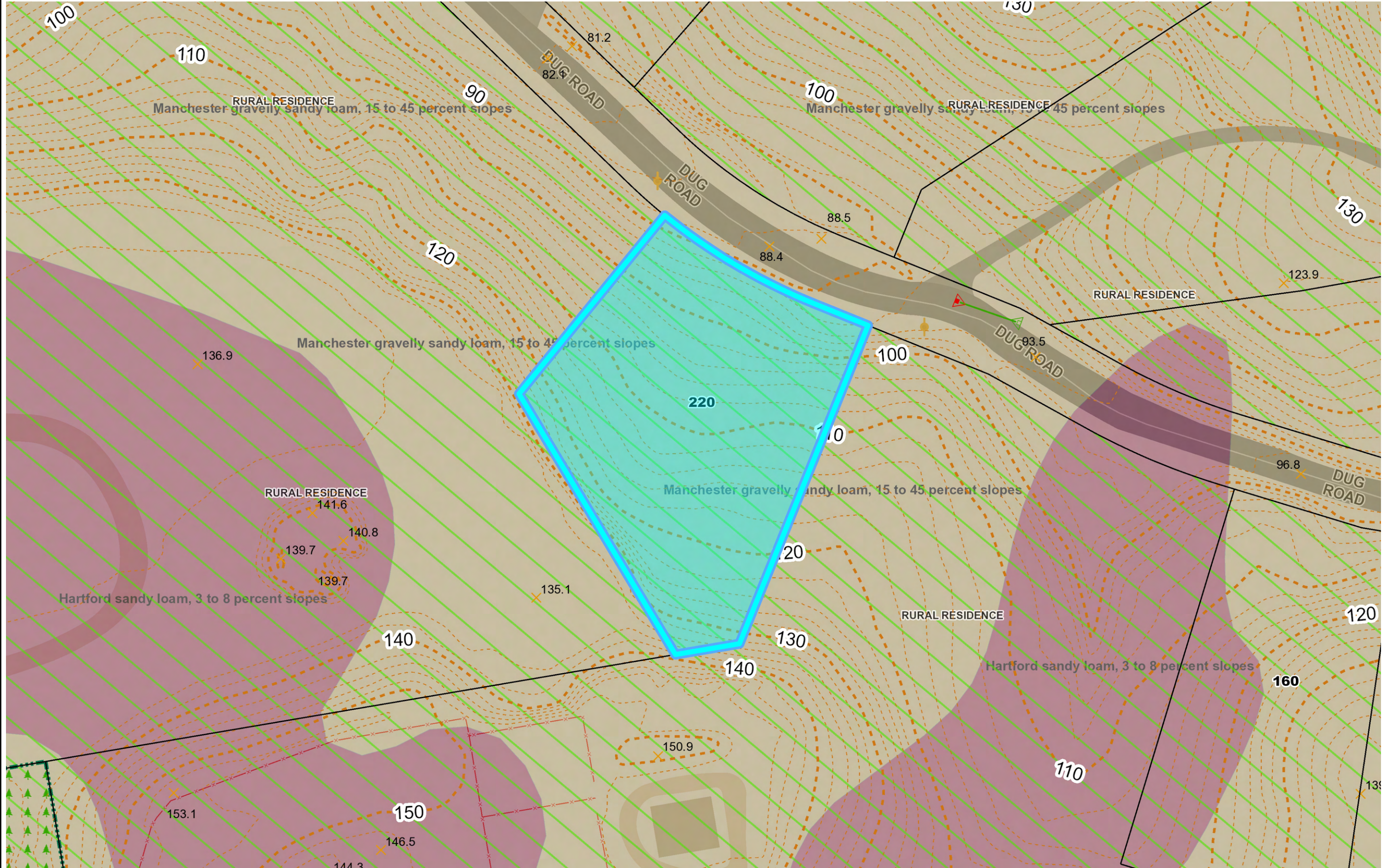
1:2,318



This map is a user generated static output from an Internet mapping site and is for reference only. Property boundaries and other data layers that appear on this map may or may not be accurate, current, or otherwise reliable. The Town of Glastonbury and the mapping companies assume no legal responsibility for the information contained in this data.

THIS MAP DOES NOT REPRESENT A LEGAL BOUNDARY DETERMINATION.

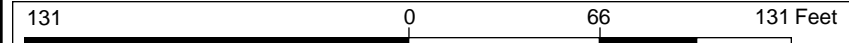
Notes
Enter Map Description



Legend

- Town Center Village District
- Property Line
- Address Points
- Sanitary Force Main "Private"
- Sanitary Manhole "Private"
 - Active, Gravity
 - Active, Pressure
 - Capped, Gravity
- Sanitary Gravity Main "Private"
 - Active, 6" - 8"
 - Active, 10" - 18"
 - Active, 24" - 36"
 - Capped, 8"
- Glastonbury Fire Hydrants
- Manchester Fire Hydrants
- MDC Fire Hydrants
- Sanitary Pump Stations
- Sanitary Manhole
 - Active, Gravity
 - Active, Pressure
 - Capped, Gravity
- Sanitary Gravity Main
 - Active, 6" - 8"
 - Active, 10" - 18"
 - Active, 24" - 36"
 - Capped, 8"
- Sanitary Force Main
 - 2" - 4"
 - 10" - 18"
- Storm Inlet Structures
 - Catch Basin
 - Flared End
 - Headwall
 - Overflow
 - Pipe End
 - Yard Drain
- Storm Outlet Structures
 - End Wall
 - Flared End
 - Pipe End
- Storm Manhole
- Storm Gravity Lines
 - Culvert, 42" - Larger
 - Culvert, 15" - 36"
 - Collector, 54" - 84"
 - Collector, 30" - 48"
 - Collector, 18" - 27"
 - Collector, 1" - 15"
- Storm Open Channel
- Storm Gravity Lines - (Abandoned)
- Storm Detention Ponds
- Dams
 - Glastonbury Fire Hydrants
 - Manchester Fire Hydrants
 - MDC Fire Hydrants
- Sewer Easement
- Drainage Easement
- Conservation Easement
- Schools
- Fire Stations
- Municipal
- Parks
- Libraries
- Cemeteries
- Wells
- Building Zones
 - Adaptive Redevelopment
 - Planned Area Development
 - Planned Bus/Dev
 - Travel
 - Planned Industrial

1:787



NAD_1983_StatePlane_Connecticut_FIPS_0600_Feet
© Town of Glastonbury

This map is a user generated static output from an Internet mapping site and is for reference only. Property boundaries and other data layers that appear on this map may or may not be accurate, current, or otherwise reliable. The Town of Glastonbury and the mapping companies assume no legal responsibility for the information contained in this data.

THIS MAP DOES NOT REPRESENT A LEGAL BOUNDARY DETERMINATION.

Notes
Enter Map Description