

ZONING BOARD OF APPEALS
APPLICATION

REFERRED TO TP&Z \_\_\_\_\_

Applicant Sean Macomber
Street 89 Pembroke Terrace Town Glastonbury
Telephone 860-378-7997
Legal Representative (if any)
Address 89 Pembroke Terrace, Glastonbury

Date Filed & Fee Paid
Date Hearing Scheduled
Sign Deposit Paid On
Will Post Own
Sign Taken On
Sign Inspected on Site

Exact Location of Property Involved 89 Pembroke Terrace RR
Assessor's Key # (If No Street # Indicated)
Legal Property Owner Sean and Kristine Macomber

Under the provisions of Section 8-7, Connecticut General Statutes, the undersigned hereby appeals:

- 1. For relief (a variance) from the restrictions imposed in Section(s) 7.1.b.2b.1 of the Glastonbury Zoning Regulations.
2. For a special exception as provided in Section 7.1.b.2b.1 of the Glastonbury Zoning Regulations.
3. From an adverse ruling by the Building Official, Glastonbury.
4. For the approval required by the State of Connecticut agency named below.

Describe in detail (in space provided on page 2 or on a separate sheet) what it is you want to do. State why this violates the Section(s) of the Glastonbury Zoning Regulations cited above. If a variance is sought, what hardship related to your particular property is claimed? If a special exception is sought, explain how all requirements for this exception have been met. If this is an appeal from a ruling of the Building Official/ Zoning Enforcement Officer state why you feel the ruling is wrong. (Use back of this form, if necessary)

We/I hereby depose and say that all the above statements contained in any papers submitted herewith are true to the best of my knowledge and belief.

Sean Macomber
Applicant

Owner, If Not Applicant
(Required)

8/5/22
Date

Date

SEE PERTINENT INFORMATION ON NEXT PAGE

**Include TEN (10) copies of everything submitted including the application and a map of the property involved.** Locate all structures thereon and their relation to buildings on adjacent property and to the highway with approximate distances therefrom. Floor plans of buildings which you desire to erect or to alter must be provided in sufficient detail to make intelligent presentation of your plans. Also, include ten (10) copies of all supporting documentation.

**FILING FEE OF \$185.00** tendered herewith. Applicants whose cases come under Section 14-55, 14-322, Connecticut General Statutes will be charged an additional fee to pay the cost of publication and the expenses of the public hearing.

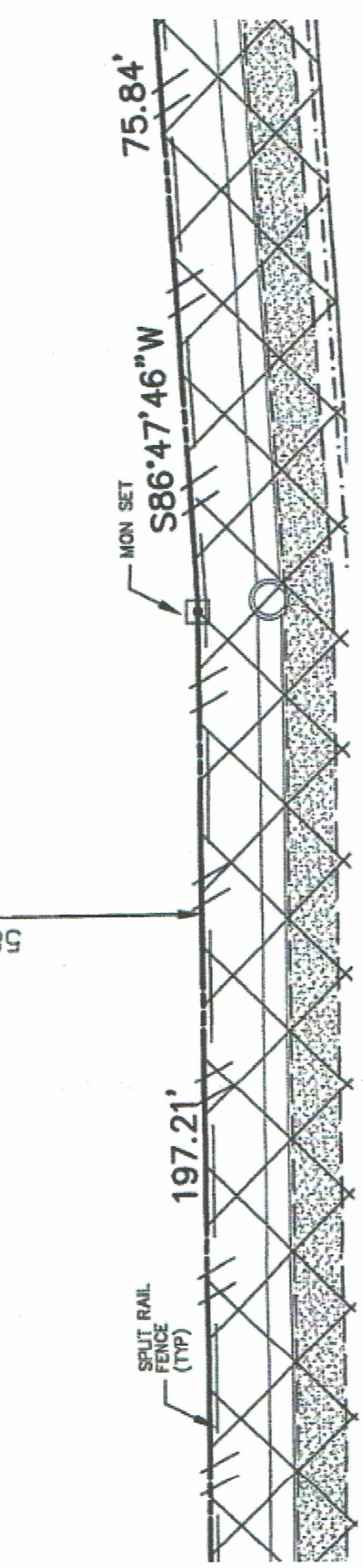
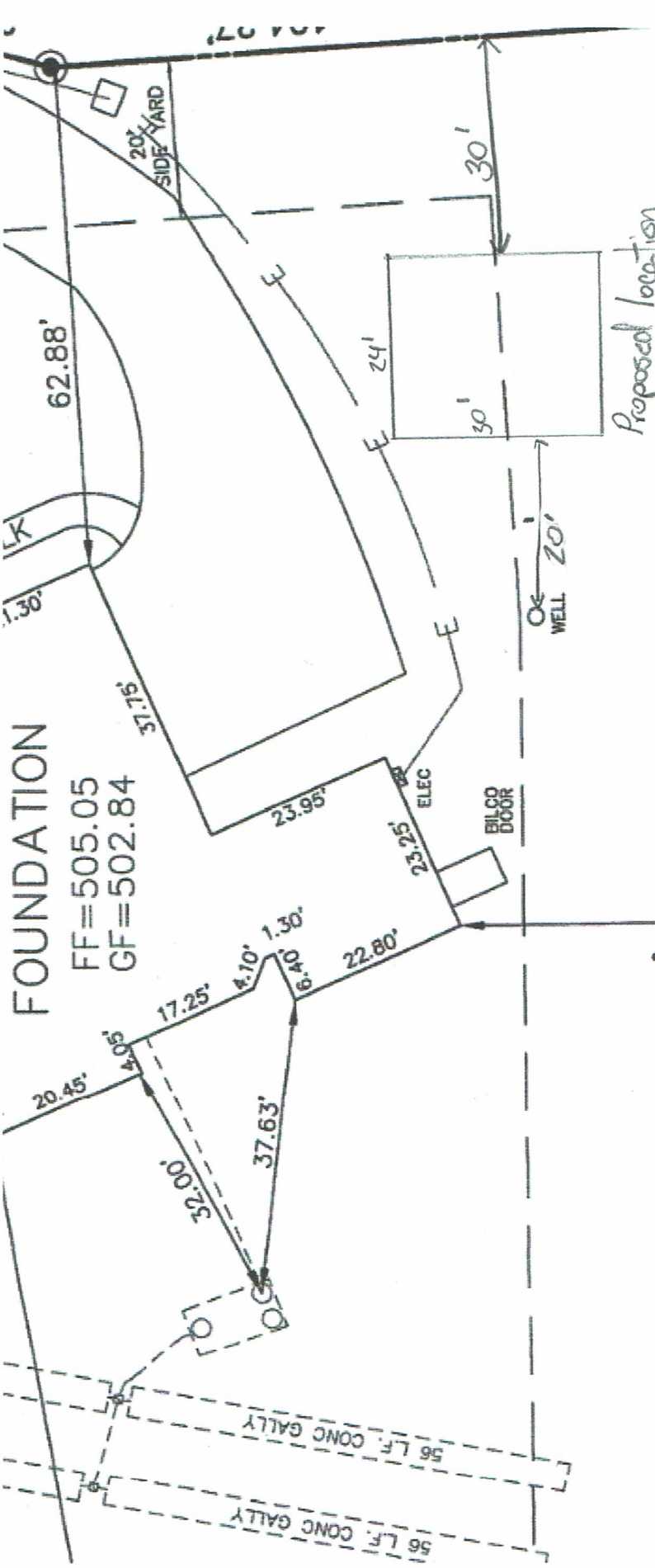
**DESCRIPTION IN DETAIL:**

This application is a request for special exemption for a 4th car and variance for a 5th car garage. Request is to be allowed to build a detached 1 1/2 story 24x30 garage. Currently have 4 adults living at the property and so we have 4 vehicles, but with lawn and snow equipment are only able to store 2 in the garage while 1 is parked on the driveway and the other is stored off site. Having the additional space will allow us to store all vehicles inside as well as store outdoor furniture inside and have enough space for future vehicles and/or equipment (snow plow, atv, trailer, etc.)

Structure will be more than 75 feet from the street and less than 15 feet in height. The maximum total floor area of the structure will be 720 sq feet. In addition to the existing pool shed (195 sq feet), the total maximum floor area will be 915 sq feet which is under 25% of the house sq footage.

Attached is the proposed location.

**Ten copies of this Application and all supporting documentation are required**



GRAPHIC SCALE

