

Buckingham Place

1199 Manchester Road, Glastonbury

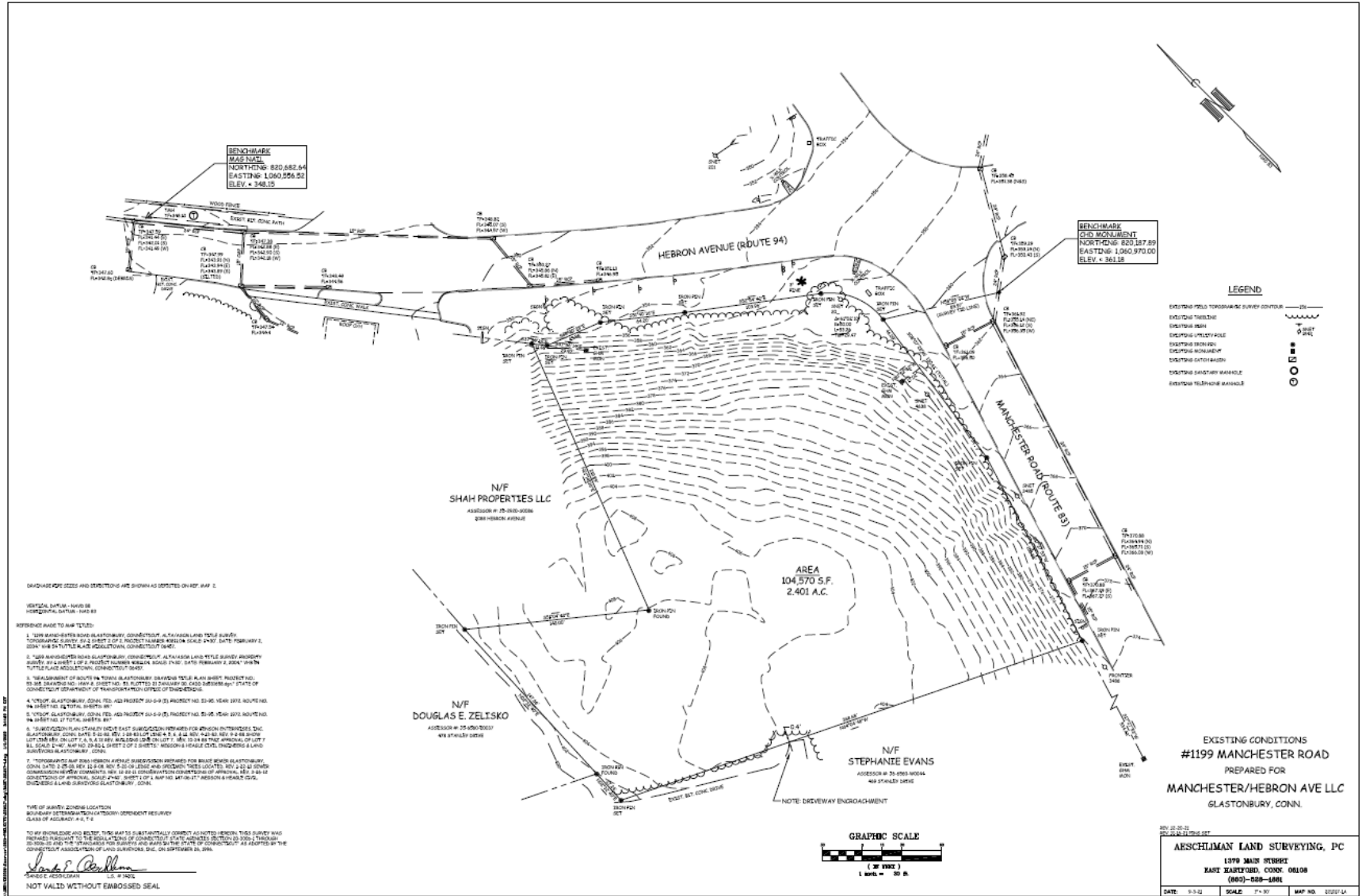


Glastonbury Architectural & Site Design Review Committee
May 17, 2022

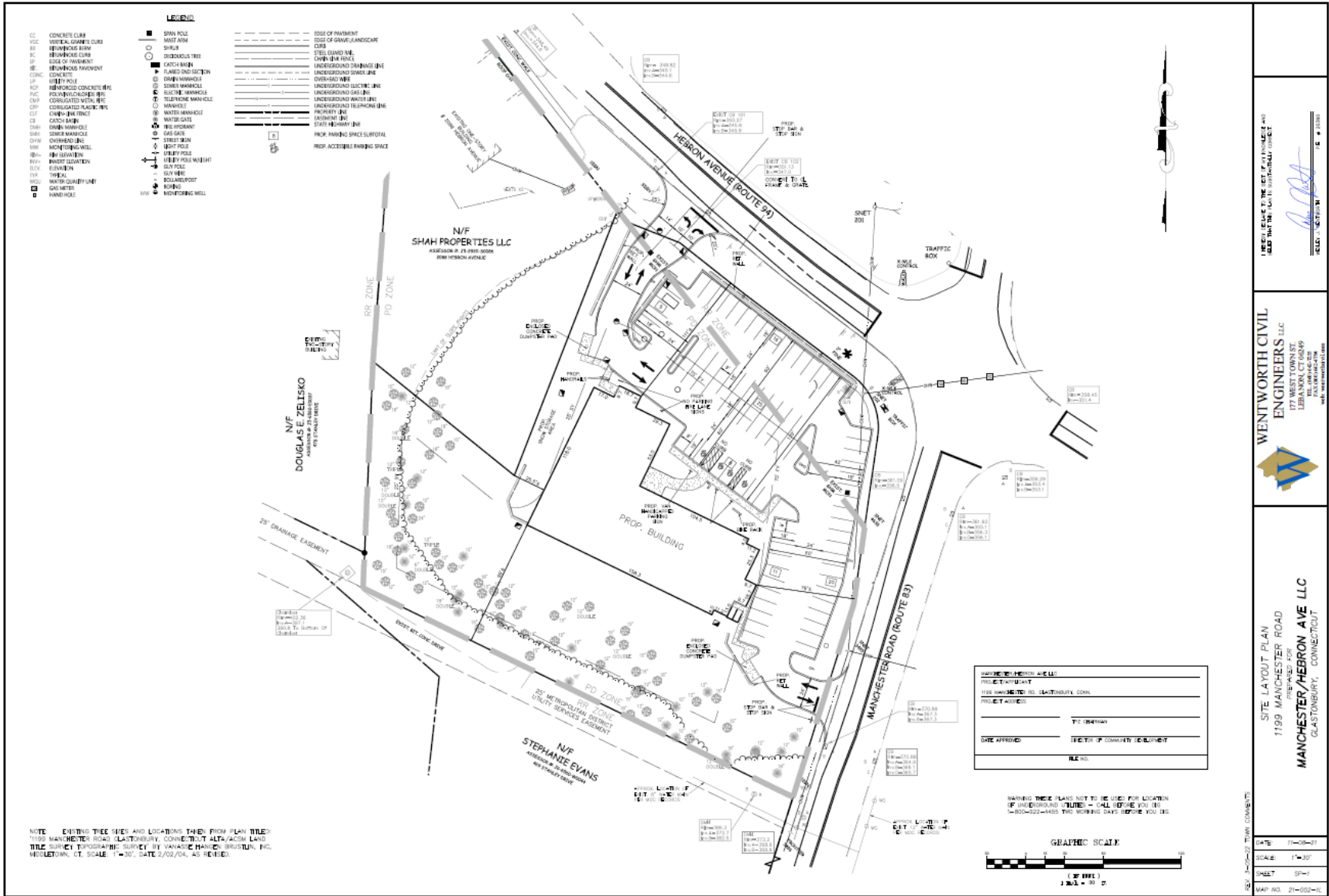
Subject Property



Existing Conditions



Site Plan



UNLESS INDICATED TO THE CONTRARY, ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.

[Signature]
 PROJECT ENGINEER

WENTWORTH CIVIL ENGINEERS, LLC
 111 WASHINGTON ST
 LEBANON, CT 06240
 TEL: 860-339-0100
 FAX: 860-339-0101

MANCHESTER/HERRON AVE LLC
 1199 MANCHESTER ROAD
 GASTONSBURY, CONNECTICUT

DATE: 11-09-21
 SCALE: 1"=30'
 SHEET: 01-1
 MAP NO: 21-002-01

Rear & Front Elevations



HEBRON BUILDING GROUP 118 N. 10th Street, Suite 100 Raleigh, NC 27601 Phone: 919.833.1111 Fax: 919.833.1112 Website: www.hebronbuilding.com	
PRELIMINARY ELEVATION	
HEERON AVE. APARTMENT BUILDING MANCHESTER HEERON AVE, LLC 118 N. 10th Street Raleigh, NC 27601	
PA-3	

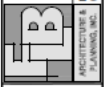
Side Elevations



RIGHT SIDE ELEVATION
SCALE: 1/8"=1'-0"



LEFT SIDE ELEVATION
SCALE: 1/8"=1'-0"

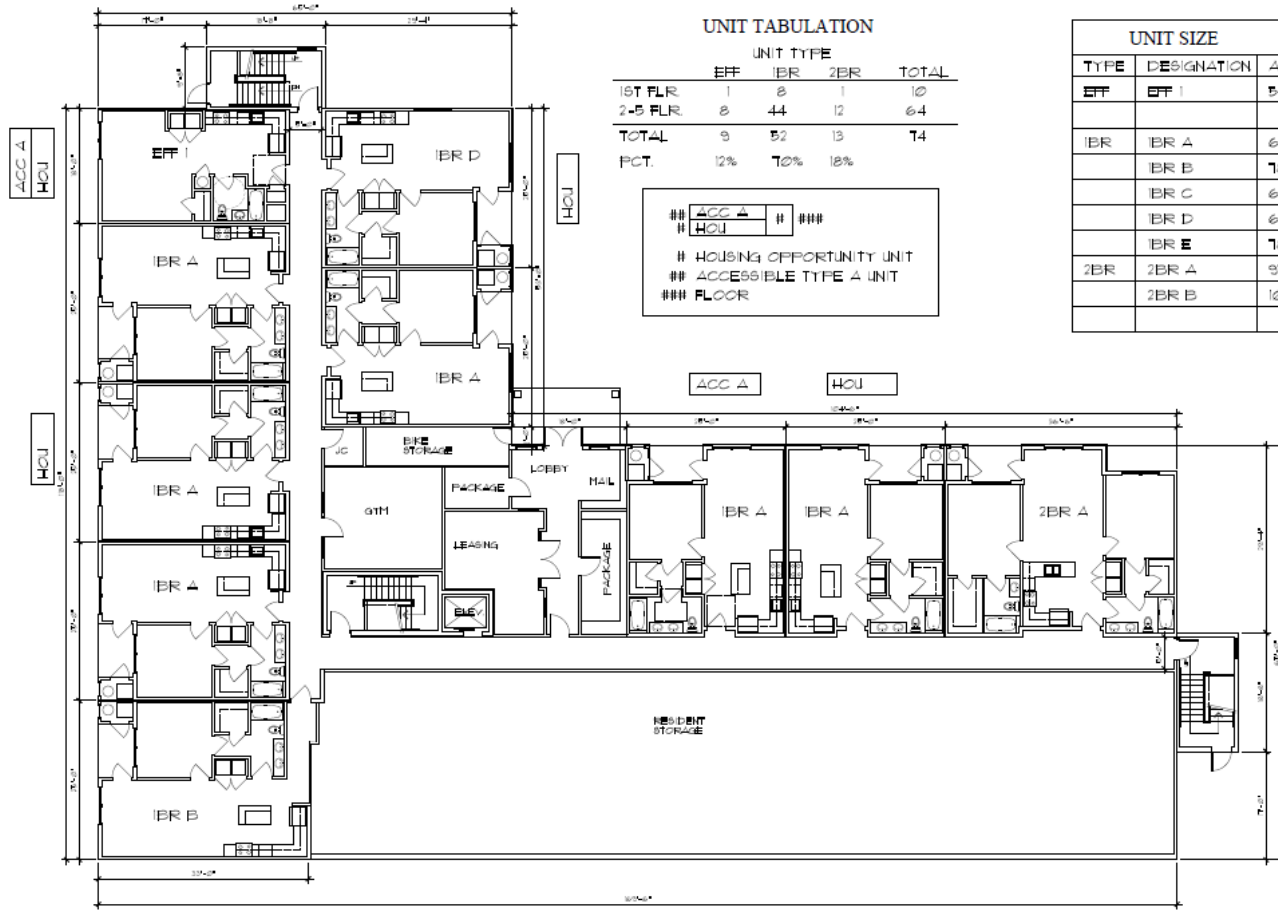


T&B ARCHITECTURE & PLANNING, INC.
1115 South Lakes Blvd. Stamford, CT 06907
Tel: 203.264.1234 Fax: 203.264.1235
www.tandb.com

PROJECT: HERKON AVE. APARTMENT BUILDING
MANCHESTER HERKON AVE. LLC
MANCHESTER, CT

DATE: 02/22
DRAWN BY: [blank]
CHECKED BY: [blank]
SCALE: PA-4

Sample Floor Plan – 1st Floor



UNIT TABULATION

	UNIT TYPE			TOTAL
	EFF	IBR	2BR	
1ST FLR	1	8	1	10
2-5 FLR	8	44	12	64
TOTAL	9	52	13	74
PCT.	12%	70%	18%	

■ ACC A
 ■ HOU
 ■ HOUSING OPPORTUNITY UNIT
 ■ ACCESSIBLE TYPE A UNIT
 ■ FLOOR

UNIT SIZE

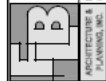
TYPE	DESIGNATION	AREA
EFF	EFF 1	540 SF
IBR	IBR A	678 SF
	IBR B	781 SF
	IBR C	651 SF
	IBR D	678 SF
	IBR E	781 SF
2BR	2BR A	972 SF
	2BR B	1000 SF

DATE: 10/20/2015
 DRAWN BY: MATT BISHOP

PROJECT: HEYER TRAIL APARTMENT BUILDING
 PRELIMINARY FIRST FLOOR PLAN

ADDRESS: HEYER TRAIL APARTMENT BUILDING
 MANCHESTER HEYER TRAIL, LLC
 MANCHESTER, NH 03104

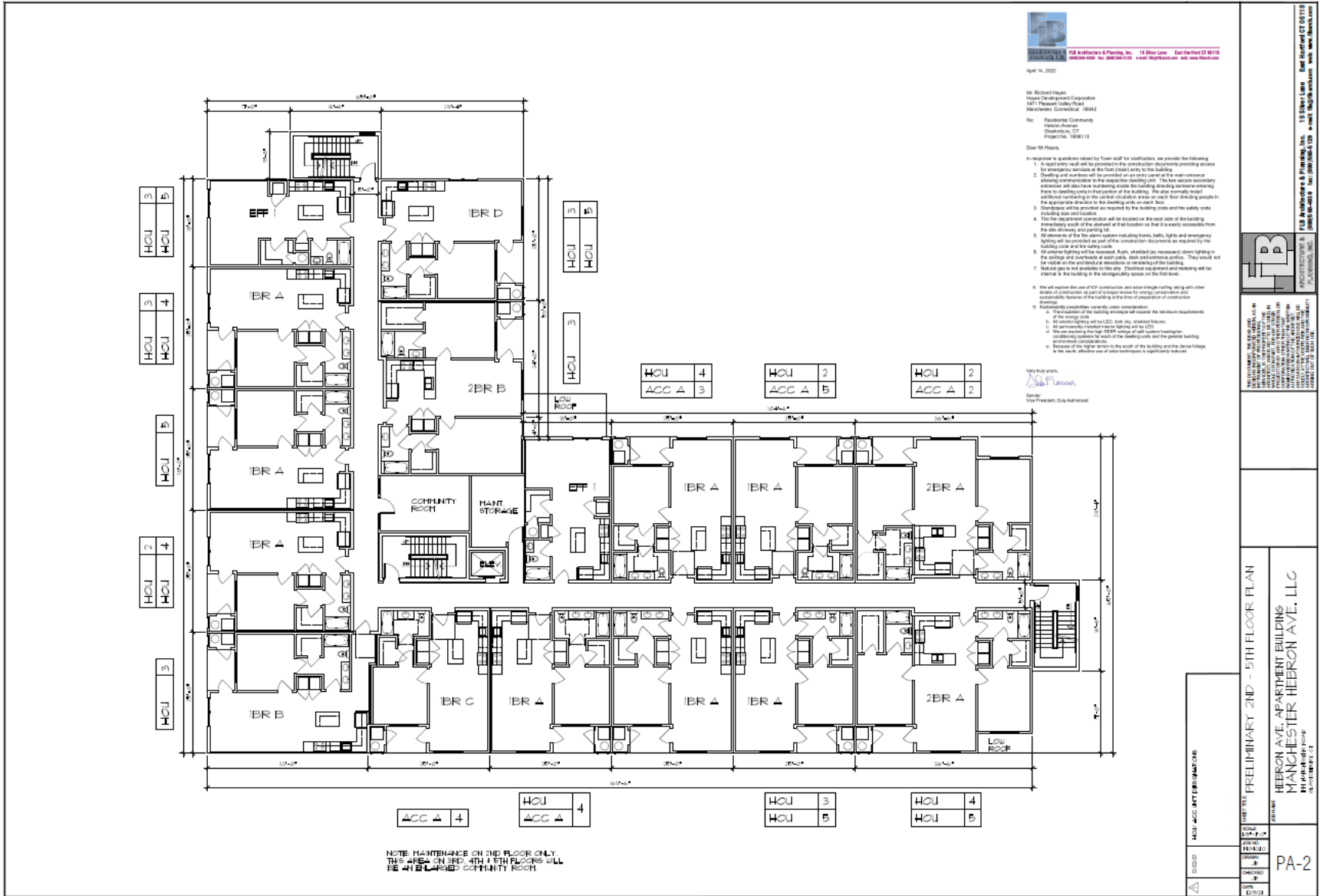
PA-1



BISHOP ARCHITECTURE & PLANNING, INC.
 ARCHITECTS/PLANNERS
 1000 W. 10th Street, Suite 100
 Manchester, NH 03104
 Tel: (603) 888-1111 Fax: (603) 888-1111
 www.bishoparch.com

10/20/2015
 MATT BISHOP

Sample Floor Plan – 2nd Floor



ARCHITECTURE & PLANNING, INC.
 19 Silver Lane
 East Hartford, CT 06118
 Tel: (860) 264-1139 Fax: (860) 264-1138 www.aplinc.com

Mr. Richard Hayes
 Hayes Development Corporation
 1471 Pleasant Valley Road
 Manchester, Connecticut 06102

- In response to questions raised by Town staff for clarification, we provide the following:
1. A rapid entry walk will be provided in the construction documents providing access for emergency services at the front lobby entry to the building.
 2. During the construction will be provided on an entry corridor of the apartment allowing communication to the inspection checking unit. This has access secondary entrance will allow fire exiting from the building during an emergency.
 3. Fire extinguishers will be provided in the common circulation areas at each fire exit in the appropriate direction to the dwelling units on each floor.
 4. Stairwells will be provided as required by the building code and the safety code including space and location.
 5. The fire equipment construction will be located on the east side of the building immediately west of the elevator at the location of the fire control room.
 6. All elements of the fire alarm system including horns, bells, lights and emergency lighting will be provided as part of the construction documents as required by the building code and the safety code.
 7. All exterior lighting will be recessed. Recessed (as necessary) down lighting in the ceiling and landscape at each unit, lobby and entrance porch. This would not be visible on the exterior or windows or the interior of the building.
 8. Hot gas will not be available to the unit. Electrical equipment and wiring will be placed in the building in the appropriate space on the first level.

We will require the use of GFCI construction and also single string wiring along with other means of construction and GFCI wiring to be installed in the common areas.

Handwritten notes: "See Plan" and "See Section".

Signature: [Signature]
 Title: Vice President, Duty Authorized

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 19 Silver Lane
 East Hartford, CT 06118
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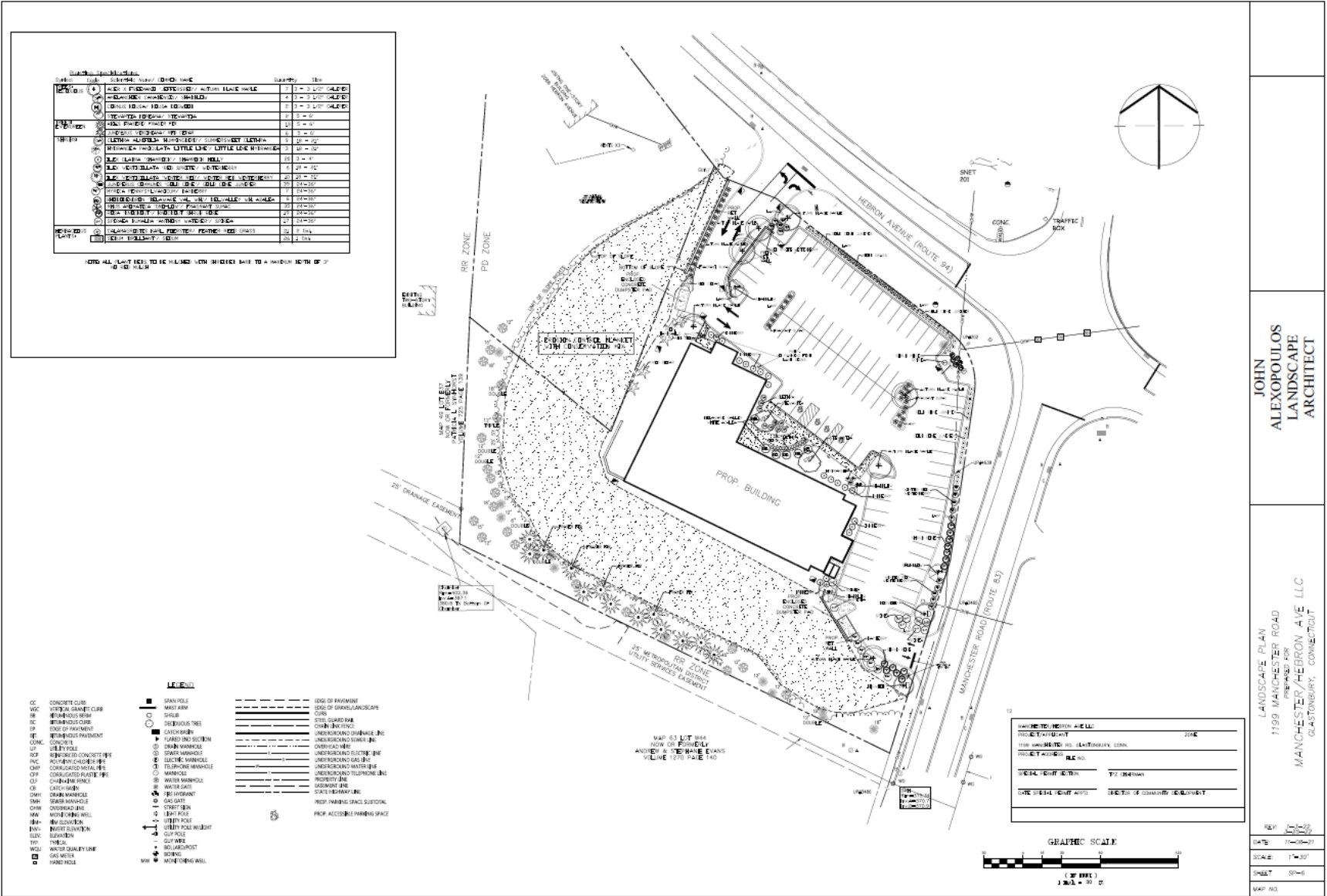
PRELIMINARY 2ND - 5TH FLOOR PLAN
 HEBRON AVE. APARTMENT BUILDING
 MANCHESTER HEBRON AVE. LLC
 191 Silver Lane, East Hartford, CT 06118

DATE: 03/20/20
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT NO: [Number]
 SHEET NO: PA-2

Community Design



Landscaping Plan



JOHN
ALEXOPOULOS
LANDSCAPE
ARCHITECT

LANDSCAPE PLAN
1199 MANCHESTER ROAD
PREPARED FOR
MANCHESTER/HEBRON AVE. LLC
GASTONBURY, CONNECTICUT

REV: 11/10/23
DATE: 11/10/23
SCALE: 1" = 30'
SHEET: 01-6
MAP: 03