



THIS MAP IS NOT VALID IF MODIFIED IN ANY WAY AND/OR DOES NOT BEAR THE EMBOSSED SEAL OF THE UNDERSIGNED

I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.

MARK W. FRIEND  
P.E. # 15818

**MECSON, HEAGLE & FRIEND**  
CIVIL ENGINEERS & LAND SURVEYORS, LLC  
81 RANKIN ROAD  
GLASTONBURY, CONN. 06033  
PHONE (860)-659-0567

**SITE PLAN**  
**121 KREIGER LANE**  
PREPARED FOR  
**GENERAL LANDSCAPING, LLC**  
GLASTONBURY, CONN.

REV. 4-6-21 PROPOSED STORAGE BIN LOCATIONS

CK. BY: MWF  
DRW. BY: TCJ  
DATE: 2-18-22  
SCALE: 1"=20'  
SHEET 2 OF 6  
MAP NO. 131-20-15P

**Required Water Quality Volume**

$WQV = \frac{(1-R)RA}{12}$  Where

$R = 0.05 + 0.009(I) \quad 0.05 + 0.009(70) = 0.680$

$I = \% \text{ Impervious} = \frac{27,878 \text{ S.F.}}{40,073 \text{ S.F.}} = 70\%$

$A = \text{area of the catchment} = 0.92 \text{ AC}$

$WQV = \frac{(1-0.680)(0.92)}{12} = 0.052 \text{ AC-FT} = \mathbf{2,271 \text{ CF}}$

**WQV provided = 3,609 CF > 2,271 CF**

- Conclusions**
- The existing Town drainage system will adequately convey a 10 year return frequency storm without surcharge in accordance with the Town of Glastonbury Engineering Department requirements. This is consistent with the original design of the Kreiger Lane drainage system which anticipated full development of the industrial lots.
  - The proposed SWMB will provide a storage capacity in excess of 150% of the Water Quality Volume (WQV) which is 2,271 CF.
  - No adverse impacts from development will be created for downstream areas.
  - The Water Quality Volumes from the project will be collected and infiltrated within the SWMB.
  - The proposed Stormwater Management Measures exceed the goals of the 2004 Connecticut Stormwater Quality Manual.

**\* VARIANCE NEEDED FROM SECTIONS 4.15.1 & 4.15.2 TO ALLOW ACCESSORY STRUCTURES WITHOUT A PRINCIPAL STRUCTURE**

**ZONING INFORMATION**

ZONE: **PLANNED COMMERCE/GW-1**  
AREA = 40,073 S.F.  
= 0.92 AC.  
PROPOSED USE: **LANDSCAPE MATERIAL STORAGE & EMPLOYEE PARKING**

ZONING TABLE		
PLANNED COMMERCE	REQUIRED/ALLOWED	PROPOSED/PROVIDED
LOT AREA	40,000 S.F.	40,073 S.F. (0.920 AC)
LOT FRONTAGE	150 FT	150.0 FT.
FRONT YARD SETBACK	50 FT	N/A
SIDE YARD SETBACK	25 FT	N/A
REAR YARD SETBACK	25 FT	N/A
OPEN SPACE	30% (12,022 S.F.)	30.2% (12,103 S.F.)

TOWN OF GLASTONBURY MS4 PERMIT INFORMATION	IMPERVIOUS AREA	DIRECTLY CONNECTED IMPERVIOUS AREA
PRE-DEVELOPMENT	0.00 AC	0.000 AC
POST-DEVELOPMENT	0.64 AC	0.015 AC
NET CHANGE (+ OR -)	0.64 AC	0.015 AC

**PARKING TABLE**

PROPOSED STORAGE AREA = 12,928 S.F.

1 SPACE/2500 S.F. REQUIRED  
12,928/2500 = 5.1 SPACES REQUIRED  
15 SPACES PROVIDED ( 1 H.C. VAN SPACE)

GENERAL LANDSCAPING, LLC	PLANNED COMMERCE/GW-1
PROJECT/APPLICANT	ZONE
121 KREIGER LANE	
PROJECT ADDRESS	
SPECIAL PERMIT SECTION	TPZ CHAIRMAN
DATE SPECIAL PERMIT APP'D	DIRECTOR OF COMMUNITY DEVELOPMENT
NOTE: ALL SHEETS OF THIS PLAN SET ARE LOCATED IN THE OFFICE OF COMMUNITY DEVELOPMENT FILE NO.	

**SOILS DATA**

TEST PIT 1  
DATE: 9-15-21  
MATERIAL:  
0-6" - 108" RED FINE SAND  
MOTTLING: NONE  
GROUNDWATER: NONE

**NOTES:**

NO BITUMINOUS CURBING IS PROPOSED ON THIS SITE

EXISTING ELEVATIONS FROM ACTUAL FIELD SURVEY

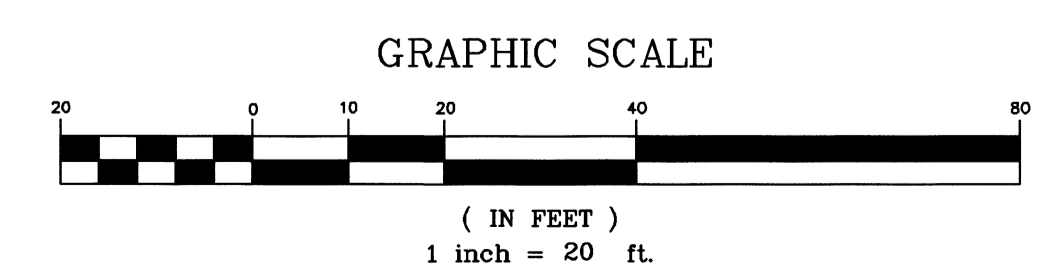
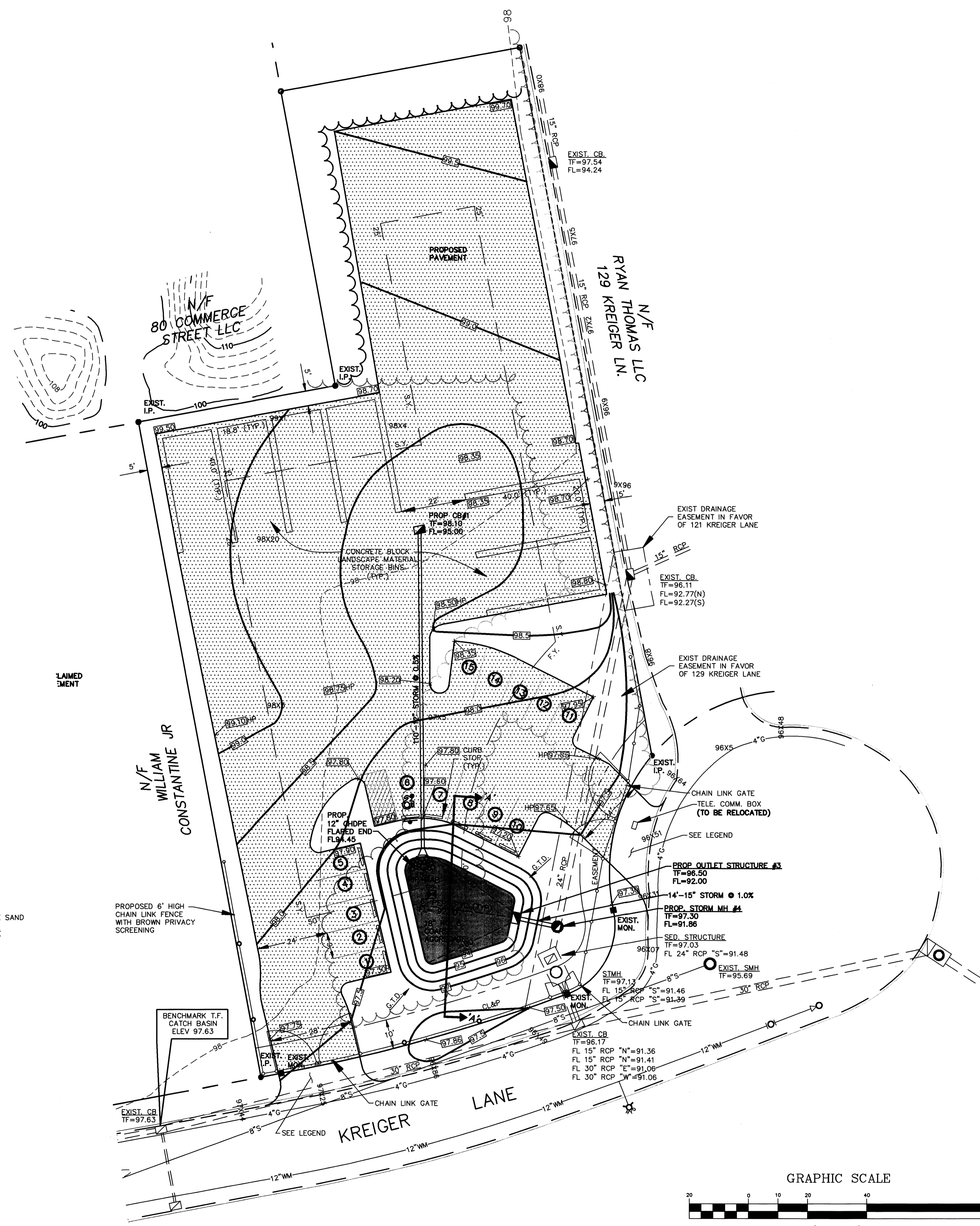
ALL CONSTRUCTION METHODS TO CONFORM TO CONN. DOT FORM 818 AND/OR THE TOWN STANDARD SPECIFICATION

HORIZONTAL DATUM REFERS TO NAD83

VERTICAL DATUM REFERS TO NGVD88

THE CONTRACTOR SHALL NOTIFY THE TOWN OF GLASTONBURY ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, SANITARY SEWER INSTALLATION, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, OR ANY EXCAVATION IN THE TOWN RIGHT-OF-WAY TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:00 AM-4:30 PM MONDAY THRU FRIDAY AT (860)652-7735.

**WARNING: THESE PLANS NOT TO BE USED FOR LOCATION OF UNDERGROUND UTILITIES. CALL BEFORE YOU DIG 1-800-922-4455 TWO WORKING DAYS BEFORE YOU DIG.**



**LEGEND**

PROP. CONTOUR	264
EXIST. 4" GAS MAIN	4"G
EXIST. 12" WATER MAIN	12"WM
EXIST. 8" SANITARY SEWER	8"S
EXIST. CONTOUR MINOR	
EXIST. CONTOUR MAJOR	
EXISTING LIMIT OF CLEARING	
PROPOSED LIMIT OF CLEARING	
EXISTING EDGE OF PAVEMENT	
EXIST. 6" BITUMINOUS CURB	
PROPOSED HANDICAPPED SIGN	
PROP. SPOT ELEVATIONS	53.60
PROPOSED UNDERDRAIN	UD
PROPOSED CATCH BASIN	
PROPOSED BITUMINOUS DRIVE TO TOWN OF GLASTONBURY STANDARDS	

LEGEND		
COMMON NAME	QTY	
SHRUB, DECIDUOUS		
WINTERBERRY, APOLLO	3	⊗
WINTERBERRY, BERRY HEAVY	6	⊗
SHRUB, EVERGREEN BROADLEAF		
RHODODENDRON PJM	12	⊗
SHRUB, EVERGREEN CONIFER		
ARBORVITAE, DARK AMERICAN	14	⊗
TREE, DECIDUOUS		
AMELANCHIER, AUTUMN BRILLIANCE	2	⊗
DOGWOOD, ARTIC FIRE	6	⊗
MAPLE, AUTUMN BLAZE	1	⊗
TREE, EVERGREEN		
CEDAR, EASTERN RED	2	⊗



20FT TOWN AND UTILITY EASEMENT

KREIGER LANE

RETENTION POND TO BE SEEDED WITH AN ATHLETIC SUN AND SHADE SEED MIX ON ALL SIDE SLOPES

THE BOTTOM OF THE RENTION POND: PLEASE REFER TO THE CIVIL DRAWINGS AND NOTES

PROPOSED FENCE AND GATE LOCATION, SEE CIVIL NOTES FOR MATERIAL SELECTION AND DETAILS

Revision #: L-001

Date: 2/28/2022

Scale:

1" = 10'

Landscape Plan: Yard Lot

General Landscaping LLC

Landscape Design by: Jarrod Sansoucy

General Landscaping