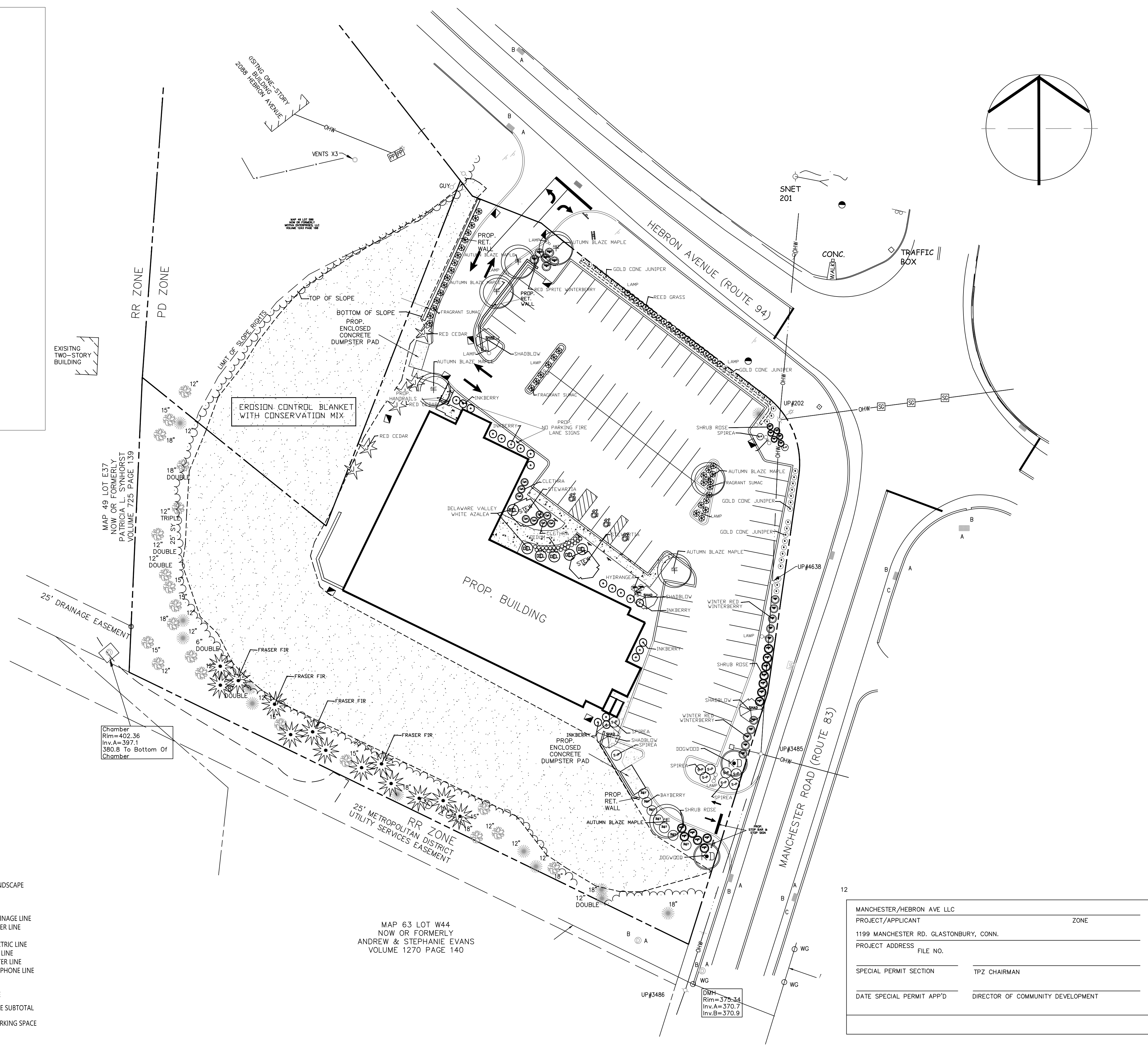


Symbol	Code	Scientific Name/ COMMON NAME	Quantity	Size
TREES: DECIDUOUS	(C)	ACER X FREEMANII 'JEFFERRED'/ AUTUMN BLAZE MAPLE	7	3 - 3 1/2" CALIPER
	(M)	AMELANCHIER CANADENSIS/ SHADBLD	4	3 - 3 1/2" CALIPER
	(W)	CORNUS KOUSA/ KOUSA DOGWOOD	2	3 - 3 1/2" CALIPER
	(S)	STEWARTIA KOREANA/ STEWARTIA	2	5 - 6'
TREES: EVERGREEN	(E)	ABIES FRASERI/ FRASER FIR	13	5 - 6'
	(J)	JUNIPERUS VIRGINIANA/ RED CEDAR	6	5 - 6'
SHRUBS:	(H)	CLETHRA ALNIFOLIA 'HUMMINGBIRD'/ SUMMERSWEET CLETHRA	9	18 - 21"
	(L)	HYDRANGEA PANICULATA 'LITTLE LIME'/ LITTLE LIME HYDRANGEA	3	18 - 21"
	(I)	ILEX GLABRA 'SHAMROCK'/ SHAMROCK HOLLY	20	3 - 4'
	(R)	ILEX VERTICILLATA 'RED SPRITE'/ WINTERBERRY	6	18 - 21"
	(W)	ILEX VERTICILLATA 'WINTER RED'/ WINTER RED WINTERBERRY	10	18 - 21"
	(J)	JUNIPERUS COMMUNIS 'GOLD CONE'/ GOLD CONE JUNIPER	39	24"-36"
	(M)	MYRICA PENNSYLVANICUM/ BAYBERRY	7	24"-36"
	(D)	RHOODODENDRON 'DELAWARE VAL. WH./ DEL. VALLEY WH. AZALEA	6	24"-36"
	(S)	RHUS ARDMATICA 'GRO-LD'/ FRAGRANT SUMAC	35	24"-36"
	(R)	ROSA 'KNOCKOUT'/ KNOCKOUT SHRUB ROSE	19	24"-36"
HERBACEOUS PLANTS:	(G)	SPIRAEA BUMALDA 'ANTHONY WATERER'/ SPIREA	17	24"-36"
	(C)	CALAMAGROSTIS KARL FODERSTER/ FEATHER REED GRASS	21	2 Gal.
	(S)	SEDUM 'BRILLIANT'/ SEDUM	26	1 Gal.

NOTE: ALL PLANT BEDS TO BE MULCHED WITH SHREDDED BARK TO A MAXIMUM DEPTH OF 3" NO RED MULCH

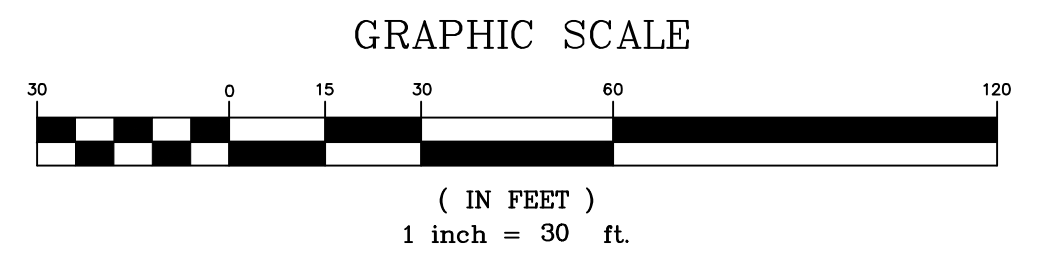


LEGEND

- | | | | |
|-------|--------------------------|----------------------|--------------------------------|
| CC | CONCRETE CURB | SPAN POLE | EDGE OF PAVEMENT |
| VGC | VERTICAL GRANITE CURB | MAST ARM | EDGE OF GRAVEL/LANDSCAPE CURB |
| BB | BITUMINOUS BERM | SHRUB | STEEL GUARD RAIL |
| BC | BITUMINOUS CURB | DECIDUOUS TREE | CHAIN LINK FENCE |
| EP | EDGE OF PAVEMENT | CATCH BASIN | UNDERGROUND DRAINAGE LINE |
| BIT. | BITUMINOUS PAVEMENT | FLARED END SECTION | UNDERGROUND SEWER LINE |
| CONC. | CONCRETE | DRAIN MANHOLE | OVERHEAD WIRE |
| UP | UTILITY POLE | SEWER MANHOLE | UNDERGROUND ELECTRIC LINE |
| RCP | REINFORCED CONCRETE PIPE | ELECTRIC MANHOLE | UNDERGROUND GAS LINE |
| PVC | POLYVINYLCHLORIDE PIPE | TELEPHONE MANHOLE | UNDERGROUND WATER LINE |
| CMP | CORRUGATED METAL PIPE | MANHOLE | UNDERGROUND TELEPHONE LINE |
| CP | CORRUGATED PLASTIC PIPE | WATER MANHOLE | PROPERTY LINE |
| CLF | CHAIN-LINK FENCE | WATER GATE | EASEMENT LINE |
| CB | CATCH BASIN | FIRE HYDRANT | STATE HIGHWAY LINE |
| DMH | DRAIN MANHOLE | GAS GATE | PROP. PARKING SPACE SUBTOTAL |
| SMH | SEWER MANHOLE | STREET SIGN | PROP. ACCESSIBLE PARKING SPACE |
| OHW | OVERHEAD LINE | UTILITY POLE | |
| MW | MONITORING WELL | UTILITY POLE W/LIGHT | |
| RIM= | RIM ELEVATION | GUY POLE | |
| INV= | INVERT ELEVATION | GUY WIRE | |
| ELEV. | ELEVATION | BOLLARD/POST | |
| TYP. | TYPICAL | BORING | |
| WQU | WATER QUALITY UNIT | MONITORING WELL | |
| WQ | GAS METER | | |
| □ | HAND HOLE | | |

MAP 63 LOT W44
NOW OR FORMERLY
ANDREW & STEPHANIE EVANS
VOLUME 1270 PAGE 140

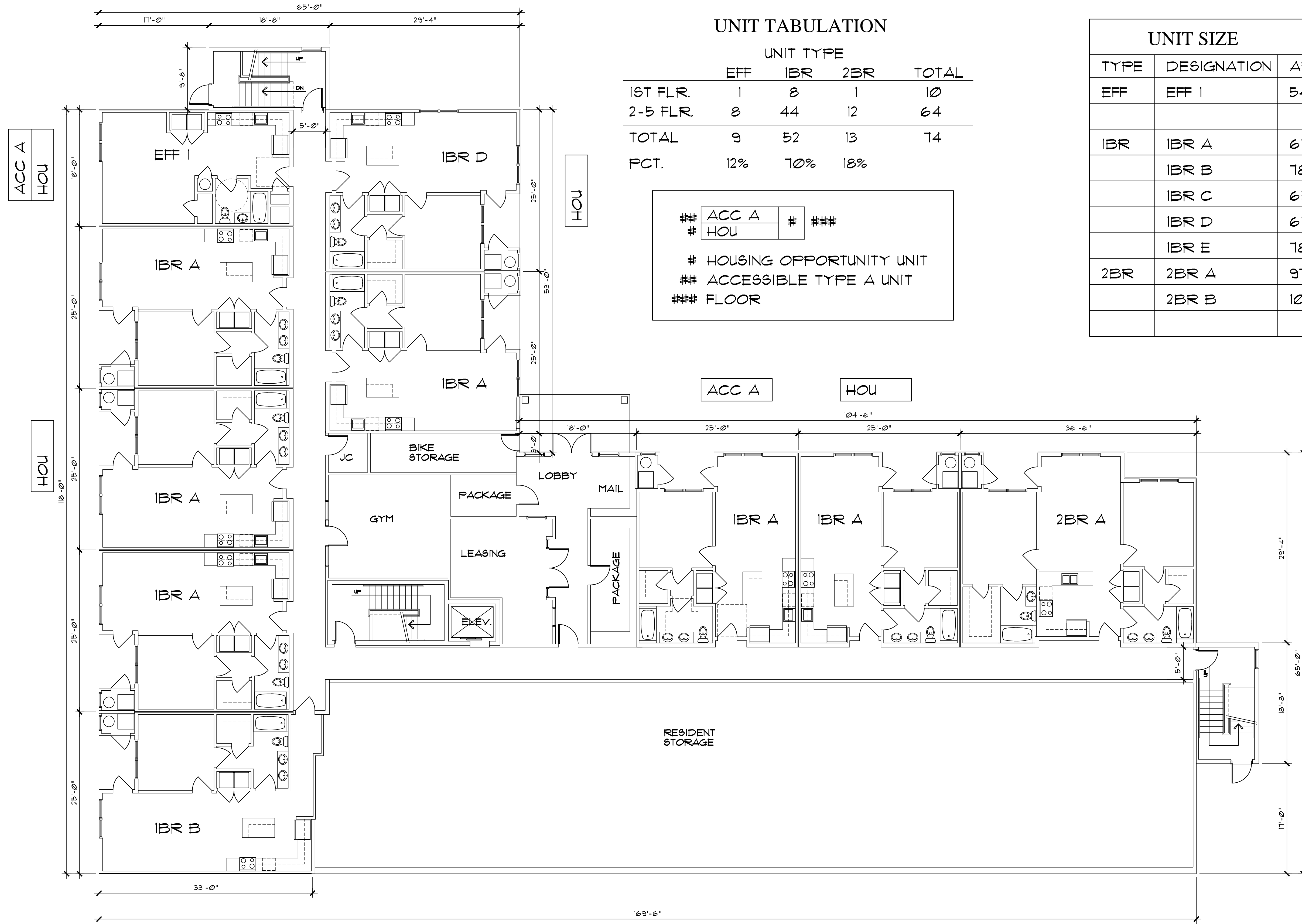
MANCHESTER/HEBRON AVE LLC
PROJECT/APPLICANT
1199 MANCHESTER RD. GLASTONBURY, CONN.
PROJECT ADDRESS FILE NO.
SPECIAL PERMIT SECTION TPZ CHAIRMAN
DATE SPECIAL PERMIT APP'D DIRECTOR OF COMMUNITY DEVELOPMENT



JOHN
ALEXOPOULOS
LANDSCAPE
ARCHITECT

LANDSCAPE PLAN
1199 MANCHESTER ROAD
PREPARED FOR
MANCHESTER/HEBRON AVE LLC
GLASTONBURY, CONNECTICUT

REV: 1-3-22
3-25-22
DATE: 11-08-21
SCALE: 1" = 30'
SHEET SP-6
MAP NO.



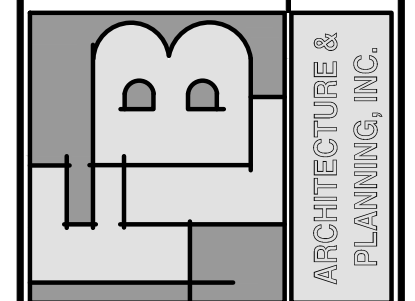
UNIT TABULATION

	UNIT TYPE			TOTAL
	EFF	IBR	2BR	
1ST FLR.	1	8	1	10
2-5 FLR.	8	44	12	64
TOTAL	9	52	13	74
PCT.	12%	70%	18%	

ACC A # ###
 # HOU # ###
 # HOUSING OPPORTUNITY UNIT
 ## ACCESSIBLE TYPE A UNIT
 ### FLOOR

UNIT SIZE

TYPE	DESIGNATION	AREA
EFF	EFF 1	540 SF
IBR	IBR A	679 SF
	IBR B	781 SF
	IBR C	651 SF
	IBR D	679 SF
	IBR E	781 SF
2BR	2BR A	972 SF
	2BR B	1000 SF



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PRELIMINARY FIRST FLOOR PLAN
 HEBRON AVE. APARTMENT BUILDING
 MANCHESTER HEBRON AVE. LLC
 1199 MANCHESTER ROAD
 GLASTONBURY, CT

12/22/21 HOU/ ACC UNIT DESIGNATIONS
 SCALE 1/8"=1'-0"
 JOB NO. H09010
 DRAWN JB
 CHECKED JB
 DATE 12/23/21
 PA-1



FLB Architecture & Planning, Inc. 19 Silver Lane East Hartford CT 06118
 (860)568-4030 fax: (860)568-5129 e-mail: flb@fbarch.com web: www.fbarch.com

April 14, 2022

Mr. Richard Hayes
 Hayes Development Corporation
 1471 Pleasant Valley Road
 Manchester, Connecticut 06042

Re: Residential Community
 Hebron Avenue
 Glastonbury, CT
 Project No. 19090.10

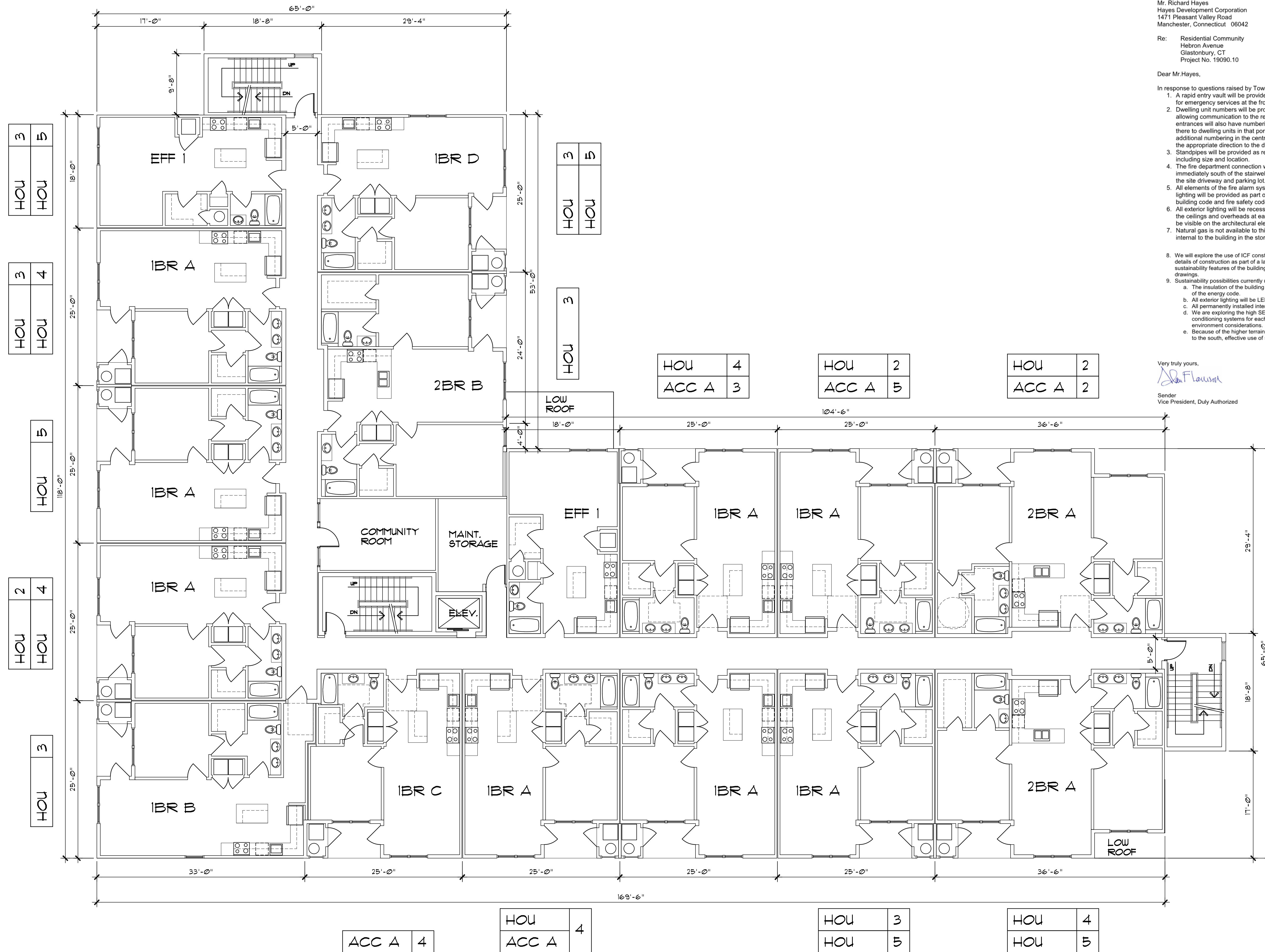
Dear Mr. Hayes,

- In response to questions raised by Town staff for clarification, we provide the following:
1. A rapid entry vault will be provided in the construction documents providing access for emergency services at the front (main) entry to the building.
 2. Dwelling unit numbers will be provided on an entry panel at the main entrance allowing communication to the respective dwelling unit. The two secure secondary entrances will also have numbering inside the building directing someone entering there to dwelling units in that portion of the building. We also normally install additional numbering in the central circulation areas on each floor directing people in the appropriate direction to the dwelling units on each floor.
 3. Standpipes will be provided as required by the building code and fire safety code including size and location.
 4. The fire department connection will be located on the east side of the building immediately south of the stairwell at that location so that it is easily accessible from the site driveway and parking lot.
 5. All elements of the fire alarm system including horns, bells, lights and emergency lighting will be provided as part of the construction documents as required by the building code and fire safety code.
 6. All exterior lighting will be recessed, flush, shielded (as necessary) down lighting in the ceilings and overheads at each patio, deck and entrance portico. They would not be visible on the architectural elevations or rendering of the building.
 7. Natural gas is not available to this site. Electrical equipment and metering will be internal to the building in the storage/utility space on the first level.
 8. We will explore the use of ICF construction and solar shingle roofing along with other details of construction as part of a larger review for energy conservation and sustainability features of the building at the time of preparation of construction drawings.
 9. Sustainability possibilities currently under consideration:
 - a. The insulation of the building envelope will exceed the minimum requirements of the energy code.
 - b. All exterior lighting will be LED, dark sky, shielded fixtures.
 - c. All permanently installed interior lighting will be LED.
 - d. We are exploring the high SEER ratings of split system heating/air-conditioning systems for each of the dwelling units and the general building environment considerations.
 - e. Because of the higher terrain to the south of the building and the dense foliage to the south, effective use of solar techniques is significantly reduced.

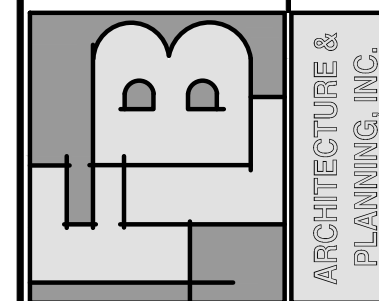
Very truly yours,

J. Flausner

Sender:
 Vice President, Duly Authorized



NOTE: MAINTENANCE ON 2ND FLOOR ONLY.
 THIS AREA ON 3RD, 4TH & 5TH FLOORS WILL
 BE AN ENLARGED COMMUNITY ROOM.



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SHEET TITLE: PRELIMINARY 2ND - 5TH FLOOR PLAN
 JOB NAME: HEBRON AVE. APARTMENT BUILDING
 MANCHESTER HEBRON AVE. LLC
 1188 MANCHESTER ROAD
 GLASTONBURY, CT

SCALE: 1/8"=1'-0"
 JOB NO. 19090.10
 DRAWN: JB
 CHECKED: JB
 DATE: 12/21/21

PA-2

12/22/21 HOU/ ACC UNIT DESIGNATIONS

- CERTAINEED LANDMARK "PEWTER" ARCHITECTURAL SHINGLES, TYP'L
- CERTAINEED BOARD & BATTEN "COLONIAL WHITE" VINYL SIDING & PVC TRIM
- PVC FASCIA & SUBFASCIA
- CERTAINEED VINYL CLAPBOARD "STERLING GRAY" SIDING
- PVC HORIZONTAL BAND (WHITE)
- CERTAINEED VINYL CLAPBOARD "SEAGRASS" SIDING & PVC TRIM "WHITE"
- PVC RAISED PANEL "WHITE"
- VINYL RAILING SYSTEM "WHITE"
- CERTAINEED NORTHWOODS SHINGLE 7" STRAIGHT EDGE PERFECTION "STERLING GRAY" VINYL SHINGLE SIDING
- CULTURED STONE SCULPTED ASHLAR "SILVER SHORE" STONE



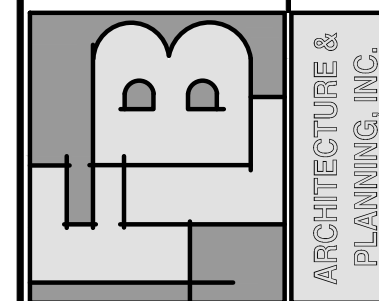
FRONT ELEVATION
SCALE: 1/8"=1'-0"

PVC RAISED PANEL ENTRY FASCIA & COLUMNS "WHITE"

- CERTAINEED LANDMARK "PEWTER" ARCHITECTURAL SHINGLES, TYP'L
- CERTAINEED BOARD & BATTEN "COLONIAL WHITE" VINYL SIDING & PVC TRIM
- PVC FASCIA & SUBFASCIA
- CERTAINEED VINYL CLAPBOARD "STERLING GRAY" SIDING
- PVC HORIZONTAL BAND (WHITE)
- VINYL RAILING SYSTEM "WHITE"
- PVC RAISED PANEL "WHITE"
- CERTAINEED NORTHWOODS SHINGLE 7" STRAIGHT EDGE PERFECTION "STERLING GRAY" VINYL SHINGLE SIDING
- CERTAINEED VINYL CLAPBOARD "SEAGRASS" SIDING & PVC TRIM "WHITE"
- CONCRETE



REAR ELEVATION
SCALE: 1/8"=1'-0"



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FLB Architecture & Planning, Inc. 19 Silver Lane East Hartford CT 06118
(860)568-4030 fax: (860)568-5129 e-mail: flb@flbarch.com web: www.flbarch.com

PRELIMINARY ELEVATION

HEBRON AVE. APARTMENT BUILDING
MANCHESTER HEBRON AVE. LLC
189 MANCHESTER ROAD
GLASTONBURY, CT

12/22/21	HOU/ ACC UNIT DESIGNATIONS/ BLDG HT.
----------	--------------------------------------

SCALE	1/8"=1'-0"
JOB NO.	1909010
DRAWN	JB
CHECKED	JB
DATE	12/22/21

PA-3



- CERTAINTEED LANDMARK "PEWTER" ARCHITECTURAL SHINGLES, TYP'L
- CERTAINTEED BOARD & BATTEN "COLONIAL WHITE" VINYL SIDING & PVC TRIM
- PVC FASCIA & SUBFASCIA
- CERTAINTEED VINYL CLAPBOARD "STERLING GRAY" SIDING
- PVC HORIZONTAL BAND (WHITE)
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- CULTURED STONE SCULPTED ASHLAR "SILVER SHORE" STONE
- CONCRETE

MEAN ROOF HEIGHT

5TH FLOOR 9'-0"

4TH FLOOR 10'-6"

3RD FLOOR 10'-6"

2ND FLOOR 10'-6"

CONCRETE 10'-6"

1ST FLOOR

51'-0"

59'-1 1/4"

RIGHT SIDE ELEVATION
SCALE: 1/8"=1'-0"



- CERTAINTEED LANDMARK "PEWTER" ARCHITECTURAL SHINGLES, TYP'L
- CERTAINTEED BOARD & BATTEN "COLONIAL WHITE" VINYL SIDING & PVC TRIM
- PVC FASCIA & SUBFASCIA
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MEAN ROOF HEIGHT

5TH FLOOR 9'-0"

4TH FLOOR 10'-6"

3RD FLOOR 10'-6"

2ND FLOOR 10'-6"

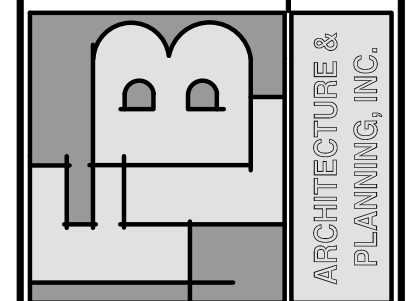
1ST FLOOR 10'-6"

51'-0"

59'-1 1/4"

LEFT SIDE ELEVATION
SCALE: 1/8"=1'-0"

PVC RAISED PANEL ENTRY FASCIA & COLUMNS "WHITE"



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PRELIMINARY ELEVATION

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MANCHESTER HEBRON AVE. LLC
1188 MANCHESTER ROAD
GLASTONBURY, CT

12/22/21	HOU/ ACC UNIT DESIGNATIONS/ BLDG HT.
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SHEET TITLE	SCALE	1/8"=1'-0"
JOB NO.	1909010	
DRAWN	JB	
CHECKED	JB	
DATE	12/23/21	

PA-4