WAREHOUSE 38

RESIDENTIAL CONVERSION 38 HUBBARD STREET

LAC GROUP, LLC OWNER

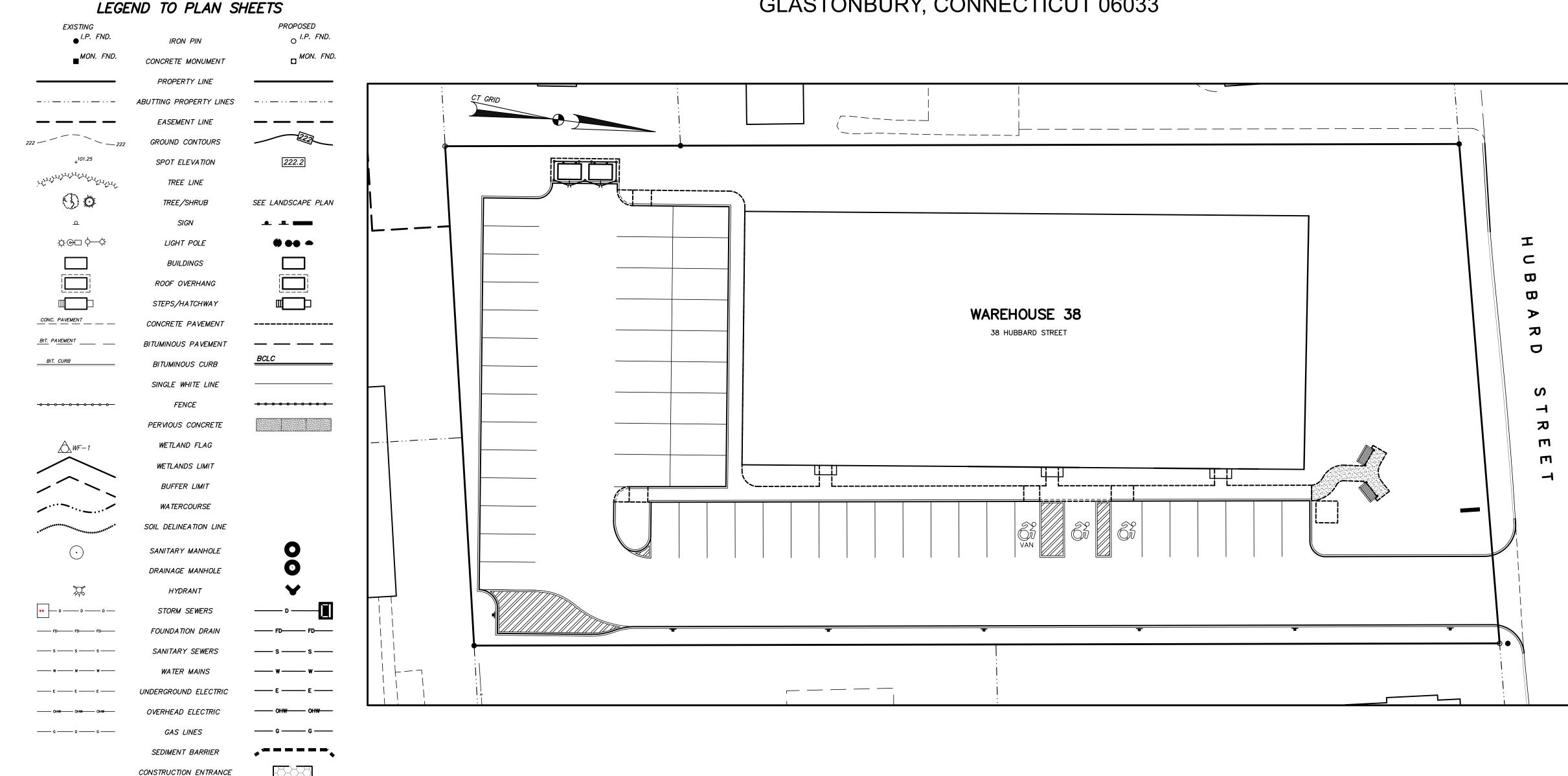
J S ADVISORS, LLC APPLICANT

GLASTONBURY, CONNECTICUT

PREPARED BY

DUTTON ASSOCIATES, LLC

67 EASTERN BOULEVARD GLASTONBURY, CONNECTICUT 06033

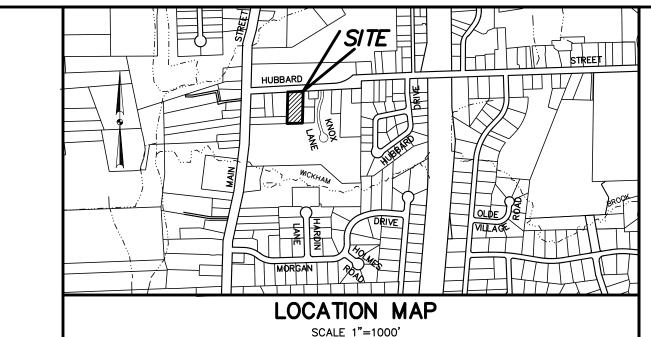


UNDERGROUND UTILITY NOTE:

UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROLE TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO THE UNDERSIGNED. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL

THE CONTRACTOR SHALL NOTIFY THE TOWN OF GLASTONBURY ENGINEERING DIVISION 24 HOURS
PRIOR TO BEGINNING ANY STORM DRAINAGE, SANITARY SEWER INSTALLATION, ROADWAY
PREPARATION, PAVING, SIDEWALK, CURBING, OR ANY EXCAVATION IN THE TOWN RIGHT-OF-WAY
TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:00 AM - 4:30 PM
MONDAY THROUGH FRIDAY AT (860)-652-7735

A-21-050-LTG-D
LIGHTING DE
A-21-050-LTG-D
LIGHTING DE
A-21-050-LTG-D
A-21-050-LT



PROPOSED ARZ ZONE (RES A EXISTING)						
ITEM	REQUIRED/ALLOWED	EXISTING	PROPOSED			
LOT AREA	N/A	52,690 S.F	52,690 S.F			
LOT FRONTAGE	N/A	160.64 FT.	160.64 FT.			
FRONT YARD	N/A	28.49 FT.	50.08 FT.			
SIDE YARD	N/A	25.40 FT. / 8.12 FT.	56.08 FT. / 21.18 FT.			
REAR YARD	N/A	73.65 FT.	89.39 FT.			
BUILDING COVERAGE	N/A	19,595 S.F./37.2%	14,795/28.1%			
F.A.R.	0.5***	0.91**	0.84**			
# OF UNITS	N/A	N/A	30			
IMPERVIOUS AREA	N/A	30,120 S.F. /57.2%	35,836 S.F. /68.0%			
OPEN SPACE	N/A	22,570 S.F. / 42.8%	16,854 SF. / 32.0%			
PARKING	45 SPACES*	N/A	45 SPACES			

* BASED ON 1.5 SPACES PER UNIT

NOT FULLY ENCLOSED

POST-DEVELOPMENT

NET CHANGE

*** SEE CHART BELOW

*** FIRST 5 ACRES: 0.5 OR F.A.R. OF EXISTING STRUCTURES, EXCESS OF 5 ACRES:

FLOOR AREA RATIO CALCULATION IN ACCORDANCE WITH §4.17(C)) FAR = TOTAL BUILDING FLOOR AREA BETWEEN EXTERIOR WALLS/ TOTAL AREA OF LOT THE TOTAL LOT AREA CALCULATION SHALL NOT INCLUDE THE AREA OF ANY OF THE FOLLOWING NATURAL

THIRD FLOOR	TOTAL	48,117 S.F.	52,690 S.F.	44,274 S.F.	A/AE). 52,690 S.F.
THIRD FLOOR					A/AE).
WAREHOUSE	MAIN WAREHOUSE	14,759 S.F.		14,759 S.F.	FLOOD HAZARD AREA (ZONE
	EAST ADDITION	57 S.F.			• OS.F. 100-YEAR
	BOILER ROOM	655 S.F.	1		INCLINE OF 25%
	SOUTH ADDITION	700 S.F.	52,690 S.F.		0 S.F. SLOPES WITH AN
WAREHOUSE SECOND FLOOR	MAIN WAREHOUSE	14,759 S.F.		14,759 S.F.	AND/OR WATERCOURSES
	GREENHOUSE	1,715 S.F.	_		WETLANDS
FIRST FLOOR	WAREHOUSE	,		,	O S.F. INLAND
WAREHOUSE	MAIN	14,759 S.F.	1	14,759 S.F.	52,690 S.F.
ACCESSORY STRUCTURE	REAR BUILDING	713 S.F.			
					CALCULATION)
		FLOOR AREA	THE LOT	FLOOR AREA	(BUILDABLE AREA
					TOTAL AREA OF
100-YE/	AR FLOOD HAZAR	D AREA (ZONE A/ EXISTING FLOOR AREA	TOTAL AREA OF	PROPOSED FLOOR AREA	TOTAL AF

TOWN OF GLASTONBURY MS—4 PERMIT INFORMATION

TOTAL IMPERVIOUS AREA

PRE—DEVELOPMENT

0.6914 ACRES

0.0736 ACRES

+0.1541 ACRES

JAMES W. DUTTON, L.S. #70074

This document is an instrument of professional service, and shall not be used, whole or in part, for any project other that for which it was created without the expres written consent of DUTTON ASSOCIATES, LLI Any unauthorized use, reuse, modification conversion of this document shall be at the user's sole risk without liability or legal exposure to DUTTON ASSOCIATES, LLC.

© 2013 — DUTTON ASSOCIATES, LLC.

0.0448 ACRES

0.0064 ACRES

JOHN R. MARTUCCI, P.E. #1949

SHEET & INDEX PLAN
REHOUSE 38
IVERSION - 38 HUBBARD ST
GROUP, LLC OWNER

	TABLE OF CONTENTS	
<u>PLAN NUMBER</u>	<u>DESCRIPTION</u>	SHEET NUMBER
A-21-050-IND	TITLE SHEET AND INDEX PLAN	1 OF 17
A-21-050-BND	PROPERTY BOUNDARY & EXISTING TOPOGRAPHIC SURVEY	2 OF 17
A-21-050-DEMO	DEMOLITION PLAN	3 OF 17
A-21-050-LAY	LAYOUT PLAN	4 OF 17
A-21-050-U	UTILITY PLAN	5 & 6 OF 17
A-21-050-GRD	GRADING PLAN	7 OF 17
A-21-050-E/S	EROSION & SEDIMENTATION CONTROL PLAN	8 OF 17
	LANDSCAPE PLAN	9 OF 17
A-21-050-LTG	LIGHTING PLAN	10 OF 17
A-21-050-LTG-D	LIGHTING DETAILS	11 OF 17
A-21-050-D1, D2 & D3	DETAILS & NOTES 12, 13	, 14 & 15 OF 17

REVISIONS:

08/25/2021 - STORM DRAINS

12/20/2021 - UPDATE

12/30/2021 - UPDATE

DATE: 08/04/2021

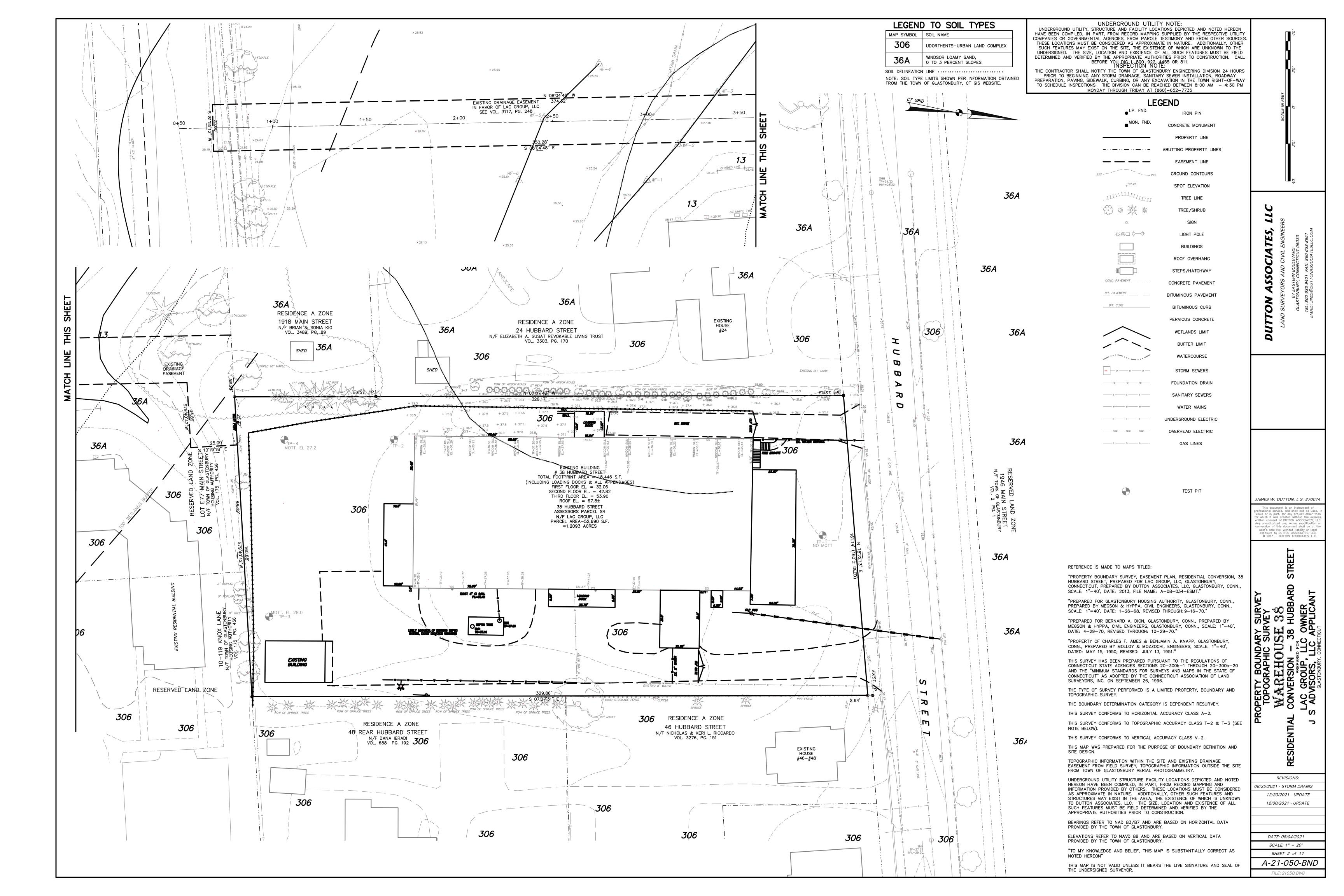
SCALE: 1" = 20'

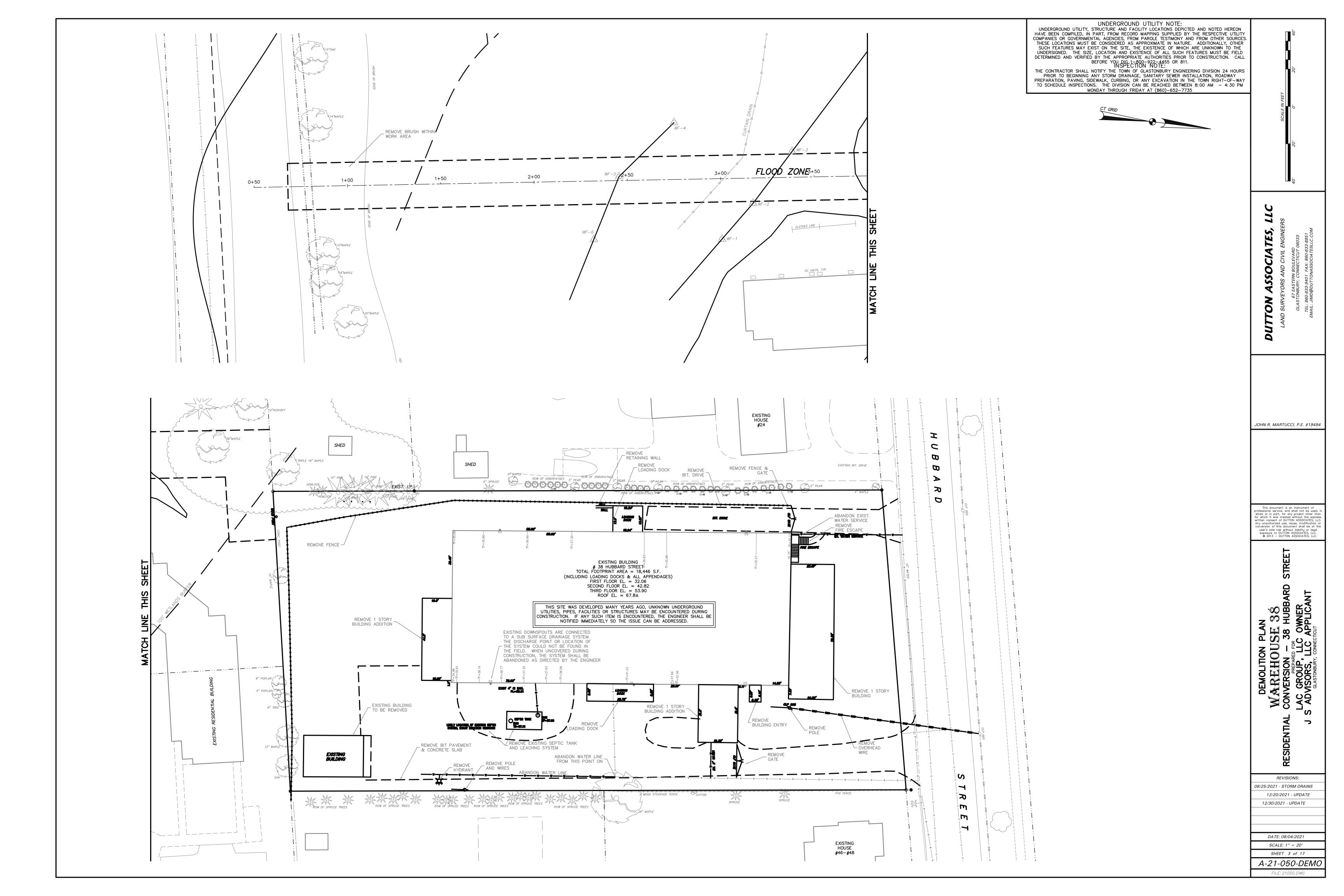
SHEET 1 of 17

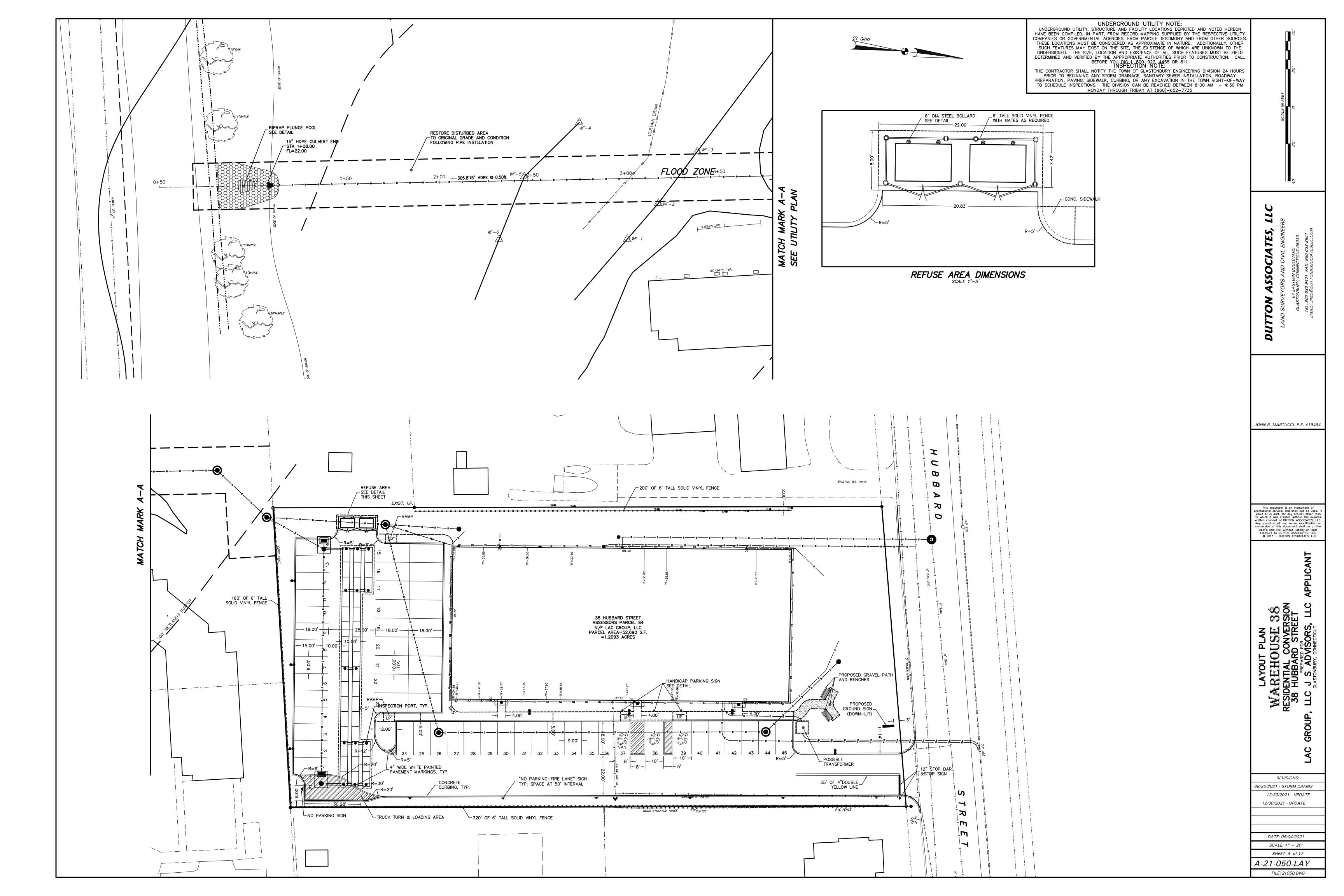
A-21-050-IND

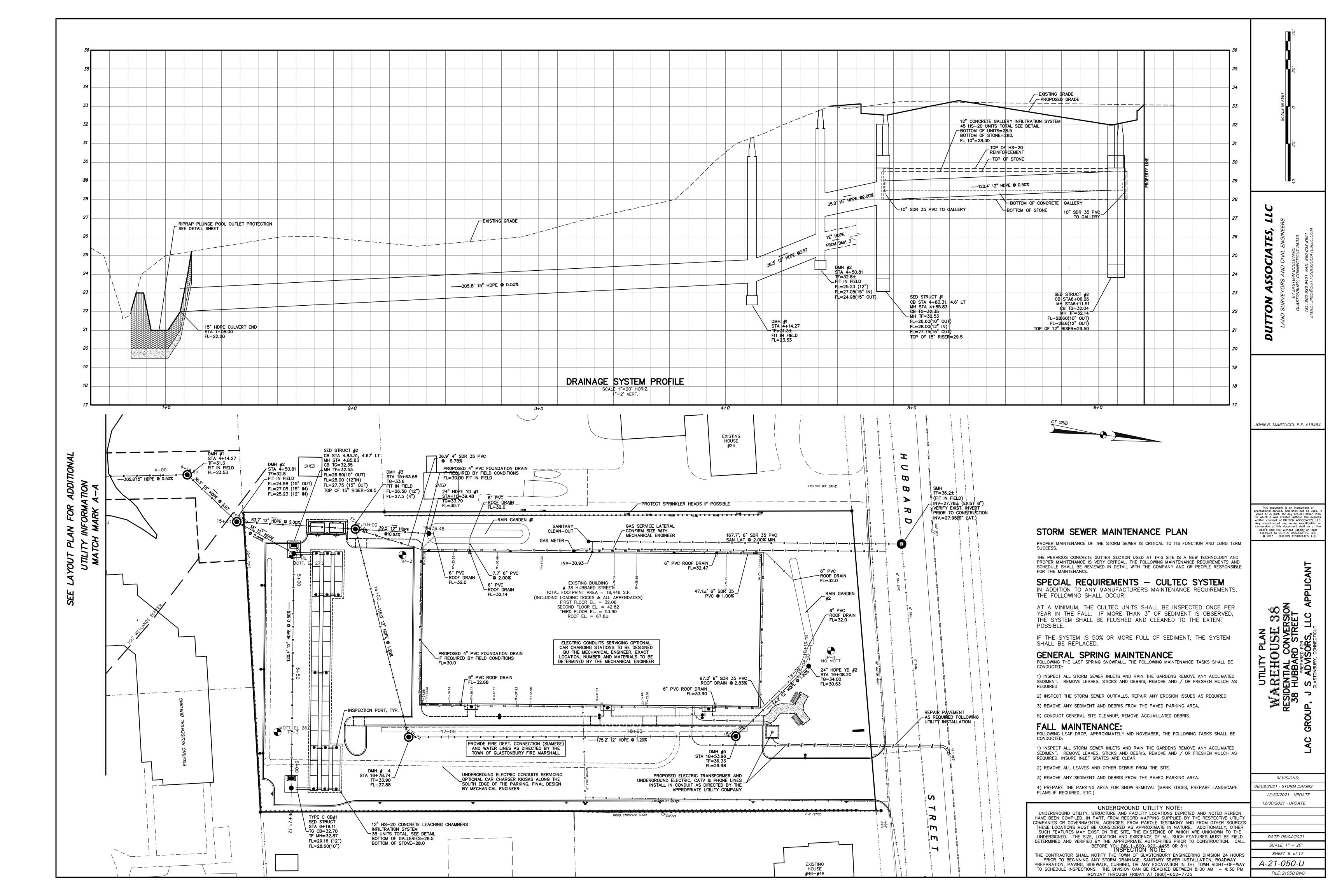
TOWN PLAN & ZONING SUBMISSION 12-30-2021

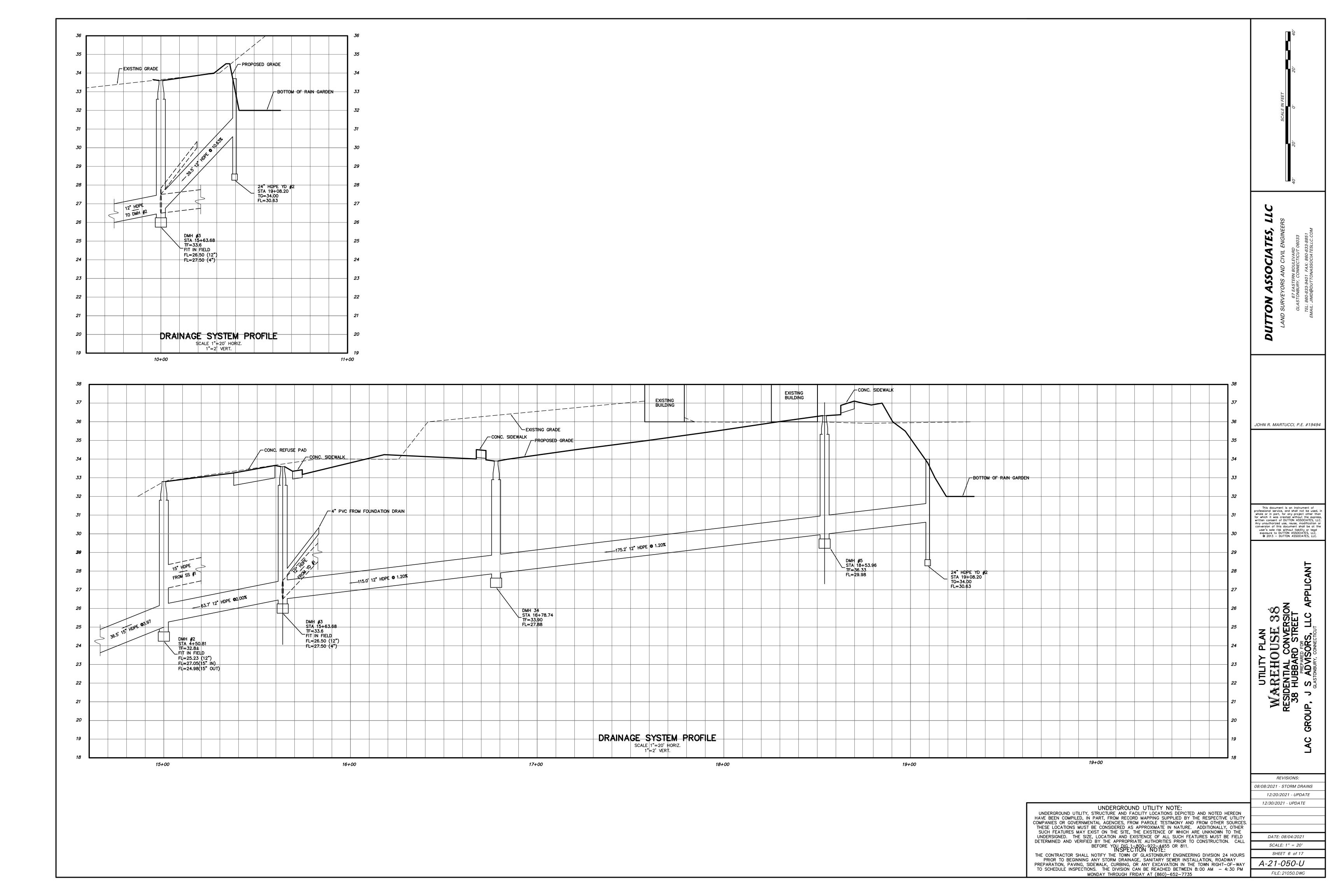
SOIL STOCKPILE

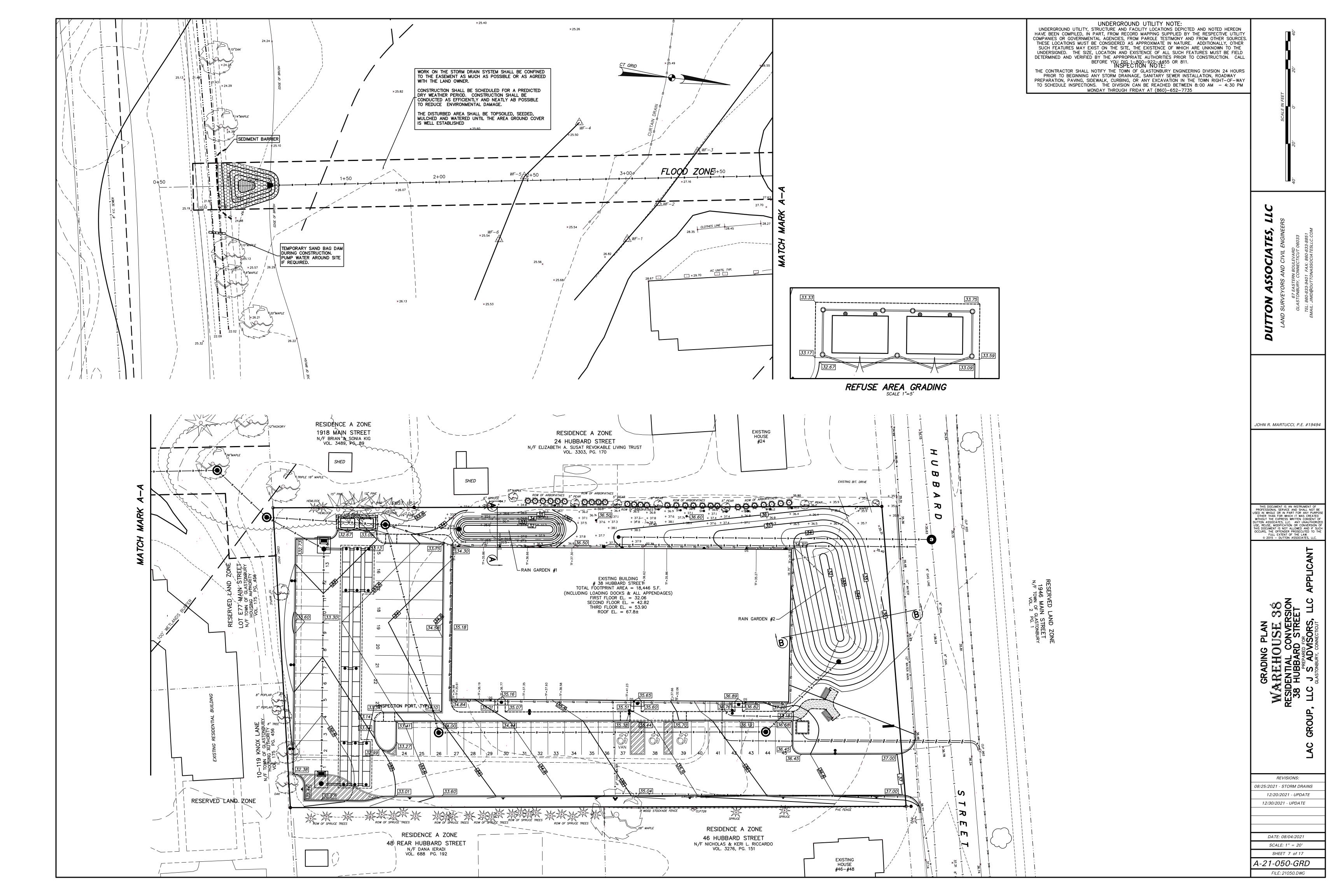


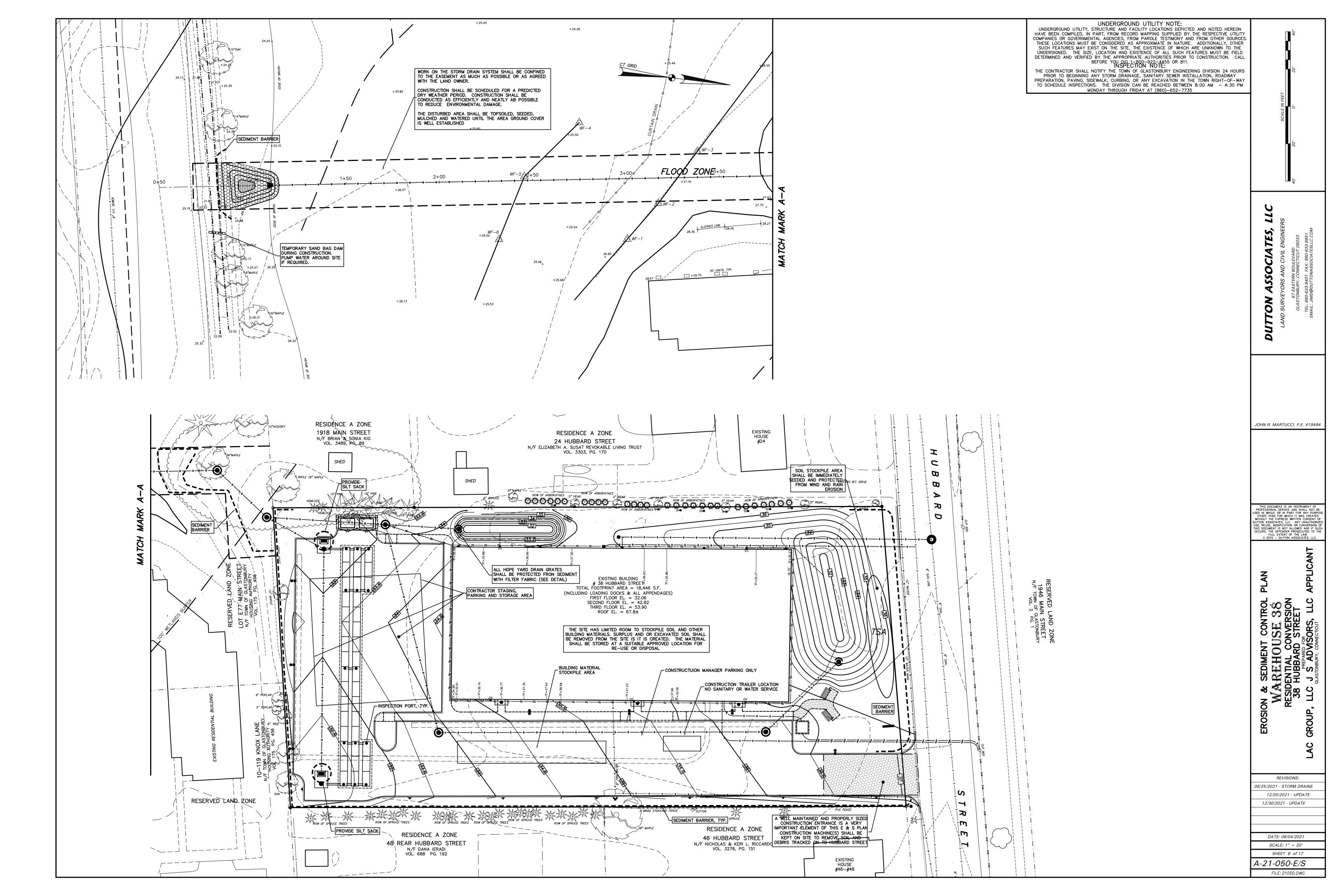


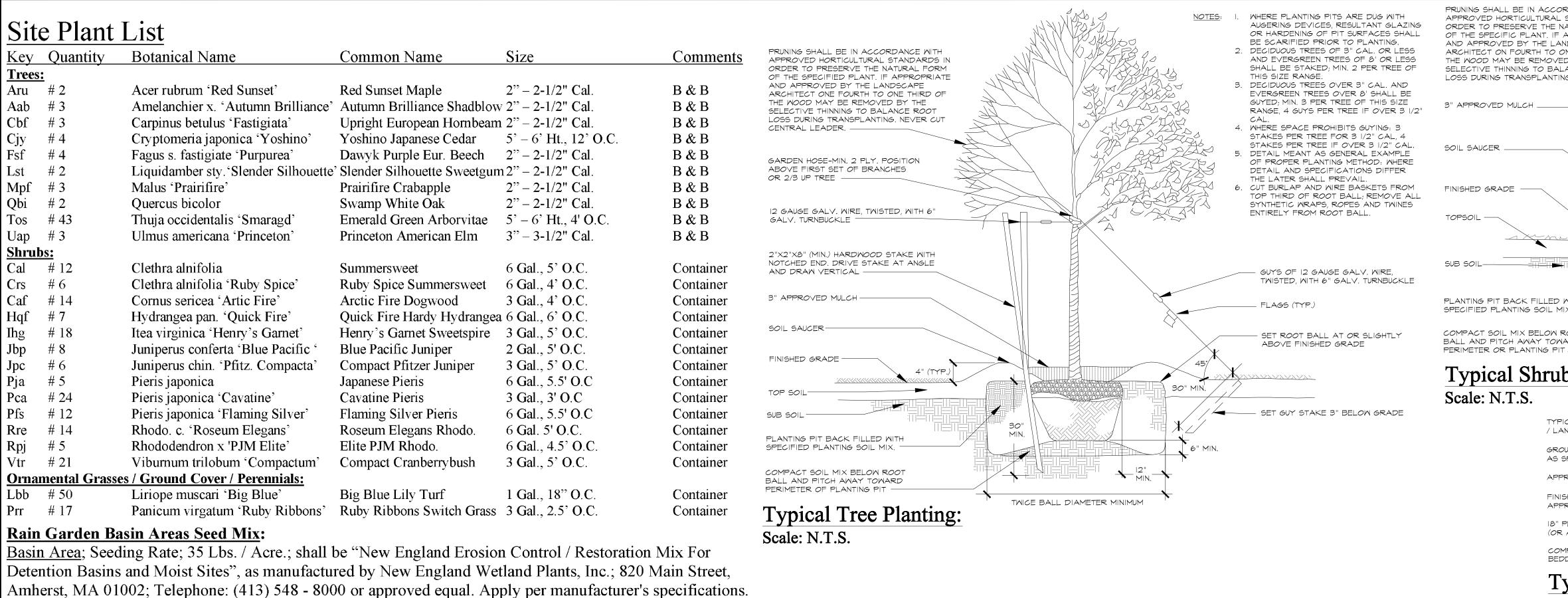








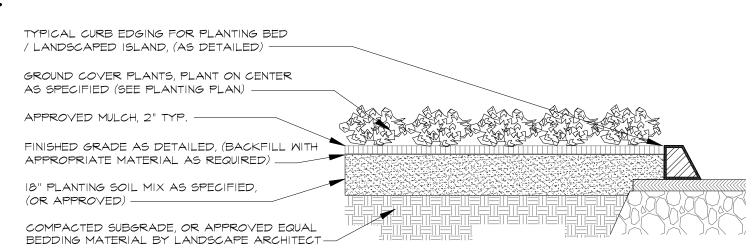




PRUNING SHALL BE IN ACCORDANCE WITH APPROVED HORTICULTURAL STANDARDS IN ORDER TO PRESERVE THE NATURAL FORM WHERE PLANTING PITS ARE DUG WITH OF THE SPECIFIC PLANT. IF APPROPRIATE AUGERING DEVICES, RESULTANT AND APPROVED BY THE LANDSCAPE GLAZING OR HARDENING OF PIT ARCHITECT ON FOURTH TO ONE THIRD OF SURFACES SHALL BE SCARIFIED PRIOR THE WOOD MAY BE REMOVED BY TO PLANTING. SELECTIVE THINNING TO BALANCE ROOT CUT BURLAP FROM TOP THIRD OF ROOT LOSS DURING TRANSPLANTING. BALL. (FOR ALL BALLED AND BURLAP MATERIAL), REMOVE ALL SYNTHETIC WRAPS, ROPED AND TWINED ENTIRELY 3" APPROVED MULCH $_$ FROM THE ROOT BALL OR PLANT. DETAIL MEANT AS GENERAL EXAMPLE OF PROPER PLANTING METHOD, WHERE DETAIL AND SPECIFICATIONS DIFFER, THE LATTER SHALL PREVAIL. SOIL SAUCER FINISHED GRADE PLANTING PIT BACK FILLED WITH COMPACT SOIL MIX BELOW ROOT BALL AND PITCH AWAY TOWARDS

Typical Shrub Planting:

Scale: N.T.S.



Typical Groundcover / Perennial Bed Planting: Scale: N.T.S.

TWICE BALL DIAMETER MINIMUM

GENERAL PLANTING NOTES:

1. All plant material to be nursery grown stock subject to applicable A.A.N. standards.

- 2. The Contractor shall supply all plants in quantities sufficient to complete the work shown on the drawings and listed in the plant list. In the event of a discrepancy between quantities shown in the plant lists and those required by the drawings, the larger number shall apply
- 3. All plants shall be inspected by the Landscape Architect. Any plant material that is deemed unsatisfactory shall be immediately removed from the Site and replaced with acceptable specimens at the
- 4. Prior to installation, plant material shall be located on site by the Contractor for approval by the Landscape Architect. Any installations which were not approved by the Landscape Architect, and which are requested to be moved, will be done so at the Contractors expense. Precise location of items not dimensioned on the plan to be scaled off the plan and field staked by the Contractor, for approval, as per note
- 5. All shrub massing plantings and tree pits shall be mulched to a min. depth of 3" with shredded pine bark or hardwood mulch, as detailed.
- 6. All trees under 3" caliper shall be staked. All trees 3" caliper and greater shall be guyed, as detailed.
- 7. The Contractor is responsible for any damaged vegetation and shall replace or repair any damage at his own expense. Unless otherwise specified, all plant material shall be under guarantee for a minimum of one vear for formal acceptance by the Owner.
- 8. The Contractor should contact "Call Before You Dig" at 1-800-922-4455, (811), and not commence with construction activity unless they have field verified the existence of subsurface utilities and demarcated their location within the development envelope.
- 9. Regardless of the results by adherence to activities described in Item 8. above, the Contractor is responsible for locating all utilities in the field. Where plant materials may interfere with utilities, the Contractor shall notify the Owner and Landscape Architect to coordinate their relocation prior to the installation of that material. Approval of plant material relocation must conform to the conditions dictated in
- 10. All shrub and groundcover planting areas shall have minimum continuous beds of topsoil, 18" deep. Bare Root plantings shall have a minimum topsoil bed of 12", unless otherwise specified.
- 11. For planting soil mix, see specifications and/or planting details. 12. All existing rill, gulley and or channel erosion shall be filled with appropriate backfill material, fine raked, scarified and stabilized with appropriate vegetative material and / or appropriate sedimentation and erosion control measures, as required. Refer to appropriate Stabilization Seed Mix and / or Sedimentation
- 13. Adjustments in the location of proposed plant material, as a result of existing vegetation determined in the field to remain, shall be approved by the Landscape Architect prior to installation, pursuant to the conditions dictated in Item 4. above.
- 14. Bare Root and Sprig planting areas shall be hydro-seeded first with specified Seed Mix for immediate stabilization. Once hydro-seed activity has been successfully completed, clear a 1' diameter area around each proposed Sprig and / or Bare Root planting bed, prior to installation of that specified plant material. 15. Additional Planting material and / or increased seeding rates may be required by the Owner, Landscape Architect as site conditions dictate. Additional materials shall be compensated, to the mutual agreement of the Owner and the Contractor, and shall be approved and located as directed by the Landscape Architect, and pursuant to the conditions specified in these General Notes.

General Turf Establishment and Management Narrative:

1. Soil Testing

A composite soil sample from the subject property will be collected and delivered to a University of Connecticut Cooperative Extension office for testing of soil nutrient levels (i.e., pH, nitrogen, phosphorus, calcium, magnesium, potassium) prior to a fertilizer application. The Extension office will recommend a fertilizer application rate based upon these test results. The actual fertilizer application rate will follow this recommendation. This will ensure against an excessive fertilizer application, which could lead to chemical leaching or export.

2. Slow-Release Fertilizers Slow-release fertilizers will be applied to lawns, planted trees and shrubs. These can include, but are not limited to, organic-based fertilizers. A variety of commercial slow-release nitrogen fertilizer products are available (e.g.,

Milorganite, isobutylidene diurea, coated ureas, etc.). Advantages of slow-release fertilizers include the supply of a steady nitrogen source, and reduced nitrogen leaching. By combining small amounts of soluble nitrogen sources with slow-release nitrogen products, nitrogen availability can be extended without a threat of leaching. 3. Fertilizer Application Schedule Fertilizer will be applied three times annually to the subject property: early to late May (after the threat of cool, wet

weather has passed), late August to early September, and mid-September to mid-October. If the soil test indicates a need for lime, it will be applied at the last fertilization date. 4. Integrated Pest Management (IPM)

IPM is an integrated, preventative approach to maintaining healthy turf and landscape plants. IPM recognizes that, although chemicals are an important component of a turf management plan, other strategies are available to maintain a healthy lawn. A central premise of IPM is to treat pest problems as they arise on an as-needed basis only, using a variety of biological (e.g., natural predators), chemical and cultural (e.g., disease-resistant seed) practices

July

PI

S

06492

ORD

田

DRIV

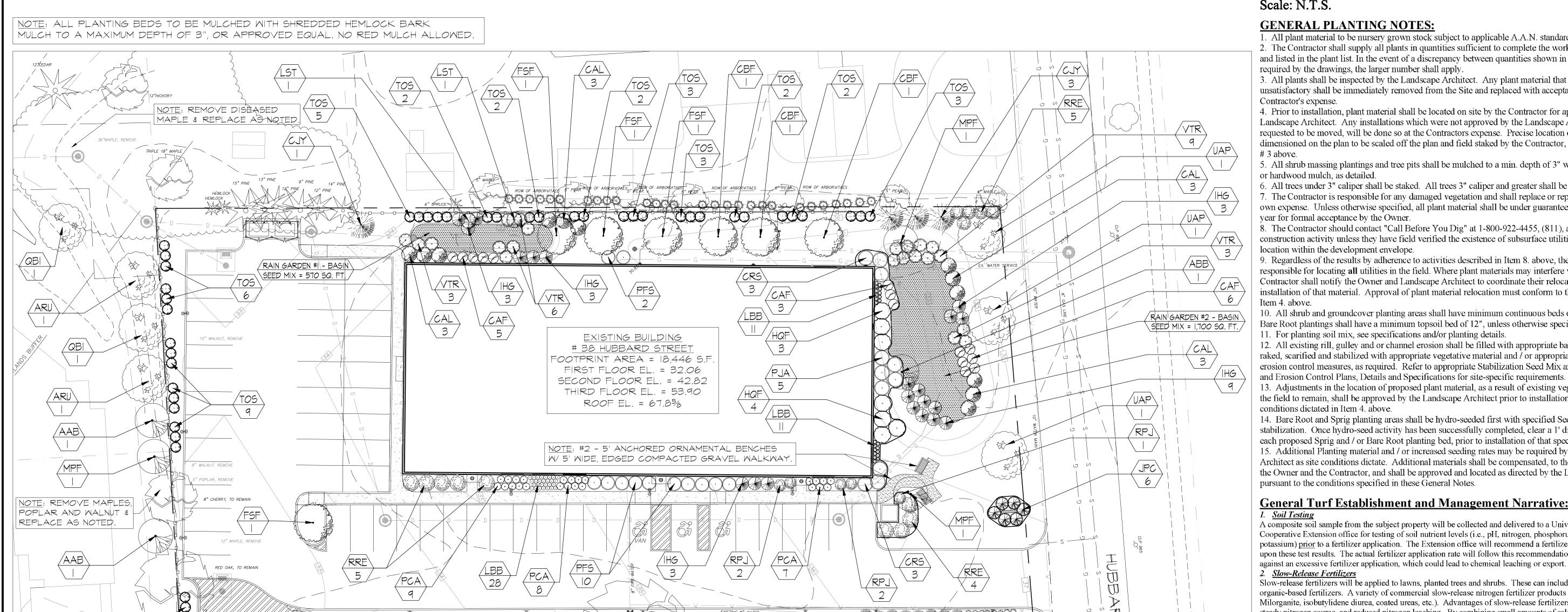
90

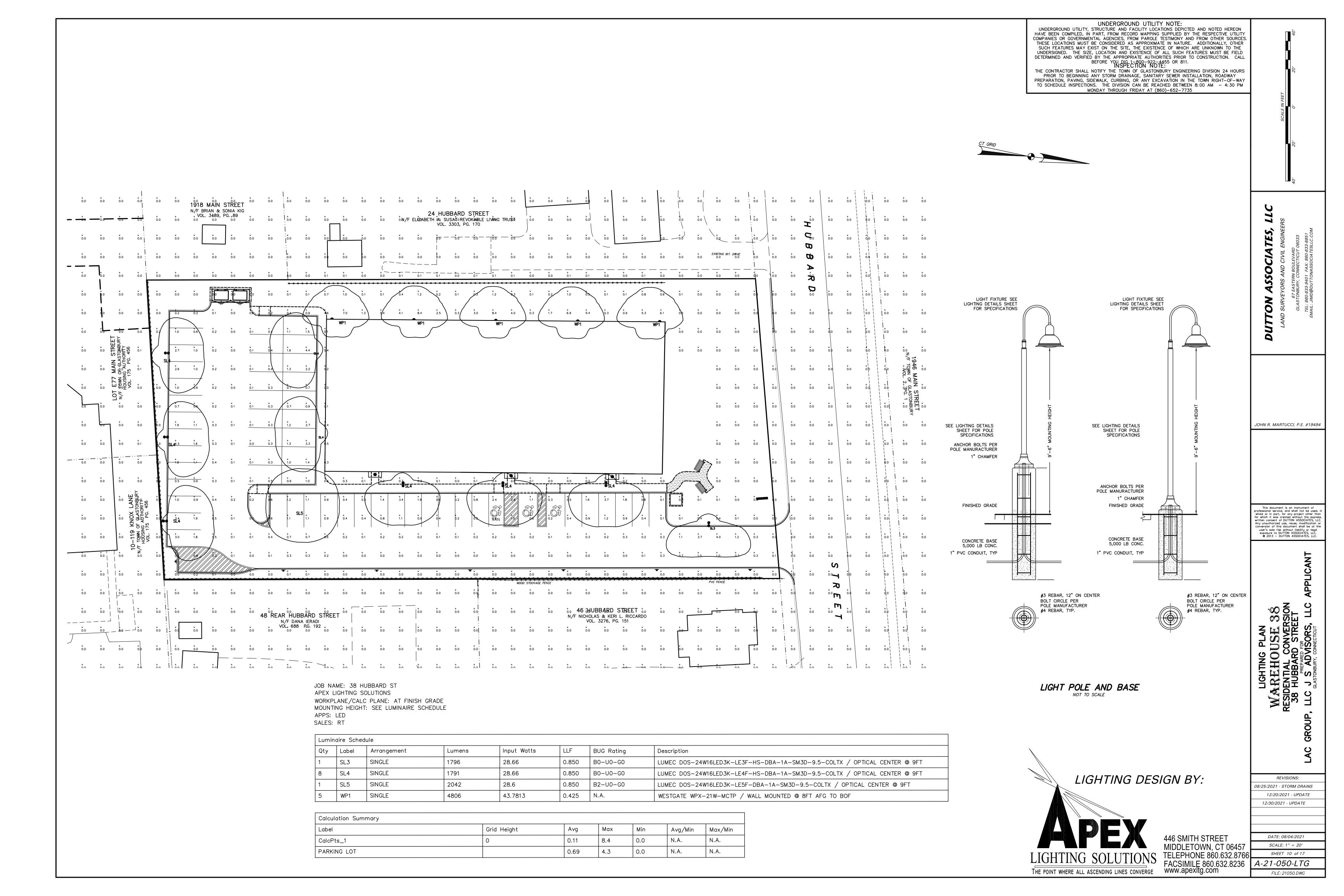
rop

#3

Warehouse

repared By: Robert C. Schechinger, Jr. ASLA 772 Farmington Avenue Farmington, CT 06032 elephone: (860) 478 - 7839 Email: Biff.Design@sbcglobal.net Website: BiffLandDesign.com Sheet No.





EPA: .64 sq ft / weight: 35 lb (15.9 kg) Note: 3D image may not represent color or option selected. Logos above include link, click to access.

1 Luminaire DOS-24W16LED3K-LE3F-VOLT-HS-COLTX

Description of Components:

457mmø

Housing: In a round shape, this housing is made of die cast A380 aluminum, c/w a watertight grommet, mechanically assembled to the bracket with four bolts 5/16-18 UNC. This suspension system permits for a full rotation of the luminaire in Access-Mechanism: A die cast A360 aluminum technical ring with latch, hinge and a cast-in decorative skirt. The mechanism shall offer tool-free access to the inside of the luminaire. An embedded memory-retentive gasket shall ensure

Light Engine: LEDgine composed of 5 main components: Heat Sink / Lens / LED Module / Optical System / Driver Electrical components are RoHS compliant.

Heat Sink: Made of cast aluminum optimising the LEDs efficiency and life. Product does not use any cooling device with moving parts (only passive cooling device). Lens: Made of soda-lime tempered flat glass lens, mechanically assembled and sealed onto the lower part of the heat sink. Lamp: (Not included), Light-emitting diodes (LED) . Lumen output available through ies file.16 LED package., ED 17 bulb, medium base.

LED Module: Composed of 16 high-performance white LEDs. Color temperature as per ANSI/NEMA bin Warm White, 3000 Kelvin nominal (3045K +/- 175K or 2870K to 3220K), CRI 70 Min. 75 Typical.

Optical System: (LE3F), IES type III (asymmetrical). Composed of high-performance optical grade PMMA acrylic refractor

Robert Tierney (Reference=L77653-4) POLE PROVIDED WITH MOTION SENSOR FOR BI LEVEL CONTROL LEDGINE OF LIGHT OUTPUT

EPA: .64 sq ft / weight: 35 lb (15.9 kg)

Note: 3D image may not represent color or option selected.

Logos above include link, click to access.

Qty 1 Luminaire DOS-24W16LED3K-LE4F-VOLT-HS-COLTX

18''ø

457mmø

Housing: In a round shape, this housing is made of die cast A380 aluminum, c/w a watertight grommet, mechanically assembled to the bracket with four bolts 5/16-18 UNC. This suspension system permits for a full rotation of the luminaire in Access-Mechanism: A die cast A360 aluminum technical ring with latch, hinge and a cast-in decorative skirt. The mechanism shall offer tool-free access to the inside of the luminaire. An embedded memory-retentive gasket shall ensure

Description of Components:

Light Engine: LEDgine composed of 5 main components: Heat Sink / Lens / LED Module / Optical System / Driver

Electrical components are RoHS compliant. Heat Sink: Made of cast aluminum optimising the LEDs efficiency and life. Product does not use any cooling device with

moving parts (only passive cooling device). Lens: Made of soda-lime tempered flat glass lens, mechanically assembled and sealed onto the lower part of the heat sink. Lamp: (Not included), Light-emitting diodes (LED). Lumen output available through ies file.16 LED package., ED 17 bulb,

LED Module: Composed of 16 high-performance white LEDs. Color temperature as per ANSI/NEMA bin Warm White, 3000 Kelvin nominal (3045K +/- 175K or 2870K to 3220K), CRI 70 Min. 75 Typical. Optical System: (LE4F), IES type IV (asymmetrical). Composed of high-performance optical grade PMMA acrylic refractor

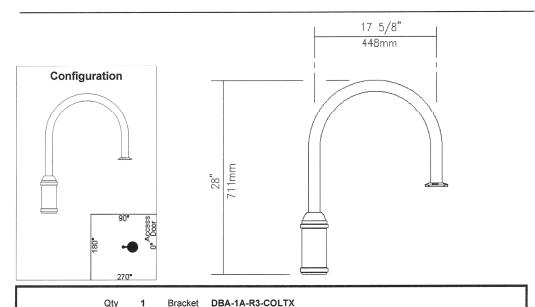
Robert Tierney (Reference=L77653-2)

lenses to achieve desired distribution optimized to get maximum spacing, target lumens and a superior lighting uniformity. Optical system is rated IP66. Performance shall be tested per LM-63, LM-79 and TM-15 (IESNA) certifying its photometric performance. Street side indicated. Complete with a (HS) House side shield.0% uplight and U0 per IESNA TM-15. Driver: High power factor of 90% minimum. Electronic driver, operating range 50/60 Hz. Auto-adjusting universal voltage input from 120 to 277 VAC rated for both application line to line or line to neutral, Class 1, THD of 20% max. Maximum ambient operating temperature from -40F(-40C) to 130F(55C) degrees.

Surge Protector: Surge protector tested in accordance with ANSI/IEEE C62.45 per ANSI/IEEE C62.41.2 Scenario I Category C High Exposure 10kV/10kA waveforms for Line-Ground, Line-Neutral and Neutral-Ground, and in accordance with U.S. DOE (Department of Energy) MSSLC (Municipal Solid-State Street Lighting Consortium) model specification for LED roadway luminaires electrical immunity requirements for High Test Level 10kV / 10kA

Robert Tierney (Reference=L77653-2)

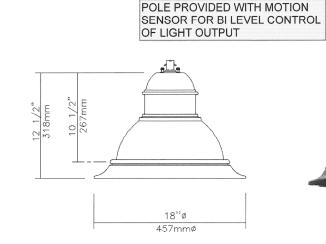
Bracket Properties (Weight and EPA): 3 lbs (1.4 kg), .53 ft²



Description of Components:

Arm: Shall be made from bent aluminum tubing 6061-T6, 1 5/8" (41mm) outside diameter, welded. Adaptor: Made of cast 356 aluminum. Slip-fits on a 3" (76mm) outside diameter x 6" (152mm) long tenon. Mechanically fastened by two sets of three set screws.

Robert Tierney (Reference=L77653-3)



TYPE SL5

EPA: .64 sq ft / weight: 35 lb (15.9 kg) Note: 3D image may not represent color or option selected.

Logos above include link, click to access.

Qty 1 Luminaire DOS-24W16LED3K-LE5F-VOLT-COLTX

Description of Components: Housing: In a round shape, this housing is made of die cast A380 aluminum, c/w a watertight grommet, mechanically

assembled to the bracket with four bolts 5/16-18 UNC. This suspension system permits for a full rotation of the luminaire in Access-Mechanism: A die cast A360 aluminum technical ring with latch, hinge and a cast-in decorative skirt. The mechanism shall offer tool-free access to the inside of the luminaire. An embedded memory-retentive gasket shall ensure

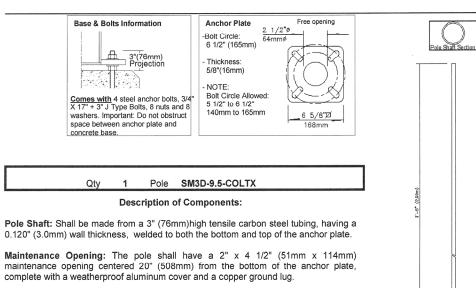
Light Engine: LEDgine composed of 5 main components: Heat Sink / Lens / LED Module / Optical System / Driver Electrical components are RoHS compliant.

Heat Sink: Made of cast aluminum optimising the LEDs efficiency and life. Product does not use any cooling device with moving parts (only passive cooling device). Lens: Made of soda-lime tempered flat glass lens, mechanically assembled and sealed onto the lower part of the heat sink. Lamp: (Not included), Light-emitting diodes (LED) . Lumen output available through ies file.16 LED package., ED 17 bulb,

LED Module: Composed of 16 high-performance white LEDs. Color temperature as per ANSI/NEMA bin Warm White, 3000 Kelvin nominal (3045K +/- 175K or 2870K to 3220K), CRI 70 Min. 75 Typical. Optical System: (LE5F), IES type V (symmetrical). Composed of high-performance optical grade PMMA acrylic refractor SPEC20210714_101402_10361_0

LUMEC

Robert Tierney (Reference=L77653-2)



0.120" (3.0mm) wall thickness, welded to both the bottom and top of the anchor plate. Maintenance Opening: The pole shall have a 2" x 4 1/2" (51mm x 114mm) maintenance opening centered 20" (508mm) from the bottom of the anchor plate, complete with a weatherproof aluminum cover and a copper ground lug.

Base Cover: Two piece round base cover made from cast 356 aluminum. mechanically fastened with stainless steel screws. Note: A tenon will be provided when the luminaire or bracket does not fit directly on

IMPORTANT: Lumec strongly recommends the installation of the complete lighting assembly with all of its accessories upon the anchoring of the pole. This will ensure that the structural integrity of the product is maintained throughout its lifetime. Pole Weight: 35 lbs (15.9 kg)

Robert Tierney (Reference=L77653-2)

Wiring: Gauge (#14) TEW/AWM 1015 or 1230 wires, 6" (152mm) minimum exceeding the bracket.

Hardware: All exposed screws shall be complete with Ceramic primer-seal basecoat to reduce seizing of the parts and offers a high resistance to corrosion. All seals and sealing devices are made and/or lined with EPDM and/or silicone and/or

Anchor Bolts: Anchor bolts made of ASTM F1554 grade 55 steel with a minimum yield strength of 55,000 psi. Nuts made of ASTM F1554-99 grade A steel or better. The thread adjustment is ANSI class 2B regardless of the diameter of the bolts. Washers made of ASTM grade F-844 steel or better. All galvanized parts are hot-dip galvanized with minimum requirement

Finish: Textured color to be advised (Product Standard Color only): (COLTX) and in accordance with the AAMA 2603 standard. Application of polyester powder coat paint (4 mils/100 microns) with ± 1 mils/24 microns of tolerance. The Thermosetting resins provides a discoloration resistant finish in accordance with the ASTM D2244 standard, as well as luster retention in Keeping with the ASTM D523 standard and humidity proof in accordance with the ASTM D2247 standard The surface treatment achieves a minimum of 2000 hours for salt spray resistant finish in accordance with testing

Note: IMPORTANT: All missing details must be clearly specified on the return of these approval drawings. Thank you for your cooperation. COLOR:_____ / VOLTAGE:_____

Pole Information: (R3), Bracket to be mounted on top of a 3" (76mm) outside diameter round pole or tenon.

LED products manufacturing standard: The electronic components sensitive to electrostatic discharge (ESD) such as light emitting diodes (LEDs) are assembled in compliance with IEC61340-5-1 and ANSI/ESD S20.20 standards so as to eliminate ESD events that could decrease the useful life of the product.

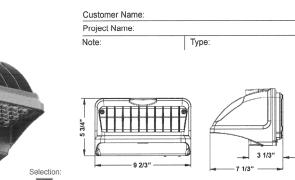
Quality Control: The manufacturer must provide a written confirmation of its ISO 9001-2008 and ISO 14001-2004

Certification: The manufacturer will have to supply a copy of approval products certificate, CSA or UL. **Mechanical resistance:** This design information is intended as a general guideline only. The customer is solely responsible for proper selection of pole, luminaire, accessories and foundation under the given site conditions and intended usage. The addition of any other item to the pole may dramatically impact the wind load on that pole. It is strongly recommended that a qualified professional be consulted to analyze the loads given the user's specific needs to ensure proper selection of the pole, luminaire, accessories, and foundation. Lumec assumes no responsibility for such complete

analysis or product selection. Failure to insure proper site analysis, pole selection, loads and installation can result in pole

failure, leading to serious injury or property damage. Web site information details: / $\underline{\text{cULus Certification}}$ / $\underline{\text{CSA Pole Certification}}$

WPX SERIES Outdoor Lighting WPX-42W-MCTP LED CUT-OFF WALL PACK



TYPE WP1

WESTGATE

M.TP LED Wall Pack Light series can be widely used as Exterior or 9 2/3" (W) x 5 3/4" (H) x 7 1/3" (D) Interior LED lighting for Hotels, Garages, Commercial Buildings, Public areas, Schools and Hospitals, etc.

 High Light Transmittance, Anti-UV and Fire Resistant PC
 Die-Cast Aluminum With Powder Coat Finish (Dark 7-Year Warranty Multi CCT and Power (Switches are inside fixture)

Technical Specifications

Electrical: Voltage: 120-277VAC 60Hz Wattage: 11W/ 21W/ 32W/ 42W Power Factor: >0.95

Efficacy: 135 LPW

Mechanical: Color Temperatures: 3000K/ 4000K/ 5000K Die-Cast Aluminum With Powder Coat Finish (Dark

High Light Transmittance, Anti-UV and Fire Resistant Shatterproof PC Lens Operating Temperature: -4°F to 104°F
IP 65

Applications: LED Wall Pack Light series can be widely used as Exterior or Interior LED lighting for Hotels, Garages, Commercial Buildings, Public areas, Schools and

Multi CCT and Power (Switches are inside fixture)

The Type II Distribution Is Used for Wide WalkWays,

Long, Narrow Lighting Total Lumens: 5670LM Max.

Rated life: 70,000 Hrs

Color Rendering Index: CRI ≥ 80

on Ramps and Entrance Roadways, As Well As Other

Other Models: 80W | 10800LM | WPX-80W-MCTP

Full Cutoff, Dark sky Compliant

Wet Location

7-Year Warranty

Other Views:

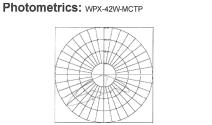
WPX-2

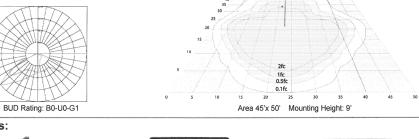
-OPT-S

CEDUS DIMANUC IP65 PICCATION

Phone: (877) 805-2252 | Fax: (877) 805-2252













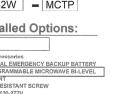






ODEL NO.	Wattage	Voltage	Lumens	Color Temp.	BUG Rating	LPW
	11W		1485LM	3000K		
21 W-MCTP	21W	120~277V	2835LM	4000K	B0-U0-G1	135
EN-3MRLV-5	32W		4320LM	5000K		
	42W		5670LM			

Sample Ordering Model Wattage. Color Temp. WPX **=** 42W **=** MCTP Factory-Installed Options:





FACTORY-INSTALLED OPTIONS:

Example: 1. WPX-42W-MCTP 2. WPX-42W-MCTP OPT-EM-OD1INT

(FOR WPX 42W MCTP FIXTURE 120-277V)

UNDERGROUND UTILITY NOTE: UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROLE TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO THE UNDERSIGNED. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455 OR 811.
INSPECTION NOTE:

THE CONTRACTOR SHALL NOTIFY THE TOWN OF GLASTONBURY ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, SANITARY SEWER INSTALLATION, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, OR ANY EXCAVATION IN THE TOWN RIGHT-OF-WAY TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:00 AM - 4:30 PM MONDAY THROUGH FRIDAY AT (860)-652-7735

550 NO.

JOHN R. MARTUCCI, P.E. #19494

This document is an instrument of professional service, and shall not be used, i whole or in part, for any project other than for which it was created without the express written consent of DUTTON ASSOCIATES, LLC

written consent of DUTION ASSOCIATES, LLC.

Any unauthorized use, reuse, modification or conversion of this document shall be at the user's sole risk without liability or legal exposure to DUTTON ASSOCIATES, LLC.

© 2013 – DUTTON ASSOCIATES, LLC.

REVISIONS: 08/25/2021 - STORM DRAINS 12/20/2021 - UPDATE 12/30/2021 - UPDATE

A-21-050-LTG-D

FILE: 21050.DWG

DATE: 08/04/2021 SCALE: AS SHOWN SHEET 11 of 17

THE POINT WHERE ALL ASCENDING LINES CONVERGE

LIGHTING DESIGN BY:

PERMANENT VEGETATIVE COVER:

THE PURPOSE OF PERMANENT VEGETATIVE COVER IS TO STABILIZE EXPOSED SOIL, REDUCE DAMAGE FROM WIND & WATER EROSION AND ENHANCE THE ENVIRONMENT.

TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED ON ALL SOIL STOCKPILE AREAS WHICH WILL BE IN PLACE FOR MORE THAN 21 DAYS BETWEEN AUGUST 1 AND JUNE 15.

PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED AS SOON AS POSSIBLE ON AREAS WHERE

PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED BETWEEN THE PRIME SEEDING DATES OF APRIL 15 THROUGH JUNE 15 AND AUGUST 15 THROUGH SEPTEMBER 15.

F TEMPORARY VEGETATIVE COVER CANNOT BE ESTABLISHED BETWEEN THE PRIME SEEDING DATES, THE AREA SHALL BE STABILIZED TO THE EXTENT POSSIBLE WITH TEMPORARY MULCH UNTIL THE NEXT PRIME SEEDING DATE.

REFER TO THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL FOR ADDITIONAL

SITE PREPARATION:

CONSTRUCTION HAS BEEN COMPLETED.

1. APPLICABLE EROSION AND SEDIMENTATION CONTROLS (SEDIMENT BARRIERS, ETC.) SHALL BE INSTALLED PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.

- 2. REMOVE LOOSE ROCK AND LARGE STONES, DEBRIS, TRASH, STUMPS AND OTHER NOXIOUS MATERIALS. 3. UNLESS HYDROSEEDED, APPLY LIME PER SOIL TEST OR AT THE RATE OF 135 LB PER 1000 S.F.
- 4. UNLESS HYDROSEEDED, APPLY FERTILIZER PER SOIL TEST OR AT THE RATE OF 7.5 LB PER 1000 S.F. OF 10-10-10 FERTILIZER AND 7 LB PER 1000 S.F. OF 38-0-0 OF SLOW RELEASE NITROGEN FOR TOPDRESSING.
- 5. UNLESS HYDROSEEDED, LIME AND FERTILIZER SHALL BE WORKED INTO SOIL TO A DEPTH OF 4". WHEN HYDROSEEDING, THE SOIL SHALL BE TILLED AS DESCRIBED BELOW. LIME AND FERTILIZER MAY BE APPLIED SIMULTANEOUSLY WITH THE SEED.
- 6. TILLAGE SHALL RESULT IN A UNIFORM CONTOUR, FREE FROM DEPRESSIONS AND WATER POCKETS.

1. SELECT AN APPROPRIATE SEED MIXTURE FROM THE LIST BELOW. ALTERNATE SEED MIXES SHALL BE APPROVED BY THE ENVIRONMENTAL PLANNER. APPLY PROPER INOCULANT WHEN USING LEGUME SEED.

- 2. SEED SHALL BE APPLIED UNIFORMLY BY BROADCASTING, DRILLING OR HYDRAULIC APPLICATION. 3. UNLESS HYDROSEEDED OR "CULTIPACKER" TYPE SEEDER IS USED, COVER THE SEEDS WITH NOT MORE THAN 1/4 INCH OF SOIL. THE SEEDBED SHALL BE FIRMED FOLLOWING SEEDING WITH A ROLLER OR LIGHT DRAG.
- 4. UNLESS HYDROSEEDED, APPLY MULCH AS REQUIRED IMMEDIATELY AFTER SEEDING.
- 5. SEEDING SHALL OCCUR BETWEEN APRIL 15 TO JUNE 15 AND / OR AUGUST 15 TO SEPTEMBER 15. 6. WHEN HYDROSEEDING, SEEDING RATES SHALL BE INCREASED BY 10 % (400% FOR LEGUMES).

FIBER MULCH SHALL BE USED WHEN HYDROSEEDING EXCEPT FOR CRITICAL AREAS WHICH SHALL BE MULCHED WITH STRAW MULCH.

RECOMMENDED SEED MIXES:

CREEPING RED FESCUE - 1.10 LB/1000 S.F. PERENNIAL RYEGRASS - 0.10 LB/1000 S.F.

SUNNY / PARTIALLY SUNNY SITE: KENTUCKY BLUEGRASS - 0.50 LB/1000 S.F CREEPING RED FESCUE - 0.50 LB/1000 S.F. PERENNIAL RYEGRASS - 0.10 LB/1000 S.F.

CREEPING RED FESCUE - 1.00 LB/1000 S.F. TALL FESCUE - 0.50 LB/1000 S.F.

GENERAL: THE PURPOSE OF MULCHING IS TO PROTECT THE SOIL, CONTROL RUNOFF AND PROMOTE PLANT GROWTH.

ALL AREAS WHICH HAVE BEEN TEMPORARILY OR PERMANENTLY SEEDED SHALL BE MULCHED IMMEDIATELY

MULCH SHALL BE USED ON ALL DISTURBED AREAS FOR PROTECTION FROM EROSION WHICH WILL BE EXPOSED FOR MORE THAN 21 DAYS AND CANNOT BE SEEDED WITHIN THE PRIME SEEDING DATES.

THE MATERIALS USED FOR MULCHING SHALL BE STRAW OR HAY FREE FROM COARSE MATTER AND WEEDS. WHEN HYDROSEEDING, MULCH SHALL BE APPLIED SIMULTANEOUSLY WITH THE SEED. MULCH MATERIAL AND APPLICATION RATE SHALL BE AS RECOMMENDED BY THE MANUFACTURER.

APPLICATION: MULCH SHALL BE APPLIED UNIFORMLY BY HAND OR BLOWER AT A RATE OF 90 LB/1000 S.F.

CRITICAL AREAS (SLOPES OVER 3 HORIZ. TO 1 VERT.) AND/OR AREAS IDENTIFIED ON THE PLAN SHALL BE MULCHED WITH HAY OR STRAW MULCH.

ANCHORING:

1. IF REQUIRED, MULCH SHALL BE ANCHORED IMMEDIATELY FOLLOWING APPLICATION.

2. STRAW AND HAY MULCH ON SLOPES IN EXCESS OF 5% SLOPE AND/OR AREAS AS DIRECTED BY THE ENVIRONMENTAL PLANNER SLOPE BE ANCHORED IN ACCORDANCE WITH CHAPTER 7 OF THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, LATEST EDITION.

TOPSOILING:

MATERIALS:

TOPSOIL SHALL BE FRIABLE AND LOAMY (LOAM, SANDY LOAM OR SILT LOAM) AND SHALL BE FREE OF DEBRIS, TRASH, STUMPS, ROCKS, ROOTS AND NOXIOUS WEEDS. IT SHALL GIVE EVIDENCE OF BEING ABLE TO SUPPORT HEALTHY VEGETATION AND CONTAIN NO SUBSTANCE THAT IS POTENTIALLY TOXIC TO PLANT

ALL TOPSOIL SHALL BE TESTED BY A RECOGNIZED LABORATORY AND SHALL MEET THE FOLLOWING REQUIREMENTS:

ORGANIC MATTER: NOT LESS THAN 1.5% BY WEIGHT. Ph RANGE: 6.0-7.5 (IF LESS THAN 6.0, LIME SHALL BE APPLIED AS REQUIRED). SOLUBLE SALTS: SHALL NOT EXCEED 500 ppm.

APPLICATION:

APPLICABLE EROSION AND SEDIMENTATION CONTROLS (SEDIMENT BARRIERS, ETC.) SHALL BE IN PLACE AND IN GOOD CONDITION PRIOR TO PLACING TOPSOIL.

TOPSOIL SHALL NOT BE APPLIED WHILE IN A FROZEN OR MUDDY CONDITION.

TO OBTAIN A UNIFORM SEEDBED. OVER COMPACTING SHALL BE AVOIDED.

TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED TO A MINIMUM COMPACTED DEPTH OF 4", SURFACE IRREGULARITIES SHALL BE CORRECTED AT TIME OF PLACEMENT TO AVOID DEPRESSIONS AND WATER POCKETS. TOPSOIL SHALL BE COMPACTED ONLY ENOUGH TO ENSURE GOOD CONTACT WITH THE UNDERLYING SOIL AND

TRENCH DE-WATERING:

GENERAL: THE PURPOSE OF TRENCH DE-WATERING IS TO PERMIT THE INSTALLATION OF UNDERGROUND UTILITY STRUCTURES AND SERVICES IN A STABLE ENVIRONMENT. THE EROSION & SEDIMENTATION CONCERN IS THE OUTFLOW FROM THE DE-WATERING OPERATION.

CONTROL METHOD: IF A SMALL AMOUNT OF WATER IS ENCOUNTERED, THE OUTFLOW SHALL BE PLACED SUCH THAT THE WATER IS

FLOW ONTO UNDISTURBED EXISTING VEGETATION UPSTREAM OF A SEDIMENT BARRIER.

ENCOURAGED TO DISPERSE OVER UNDISTURBED EXISTING VEGETATION, UPSTREAM OF A SEDIMENT BARRIER. IF LARGE AMOUNTS OF DE-WATERING IS REQUIRED, THE PUMP OUTLET SHALL BE DIRECTED INTO A 6" DIAMETER PERFORATED PIPE 50 FEET LONG (MIN.), LAID LEVEL ON EXISTING GRADE, WHERE THE WATER WILL

TEMPORARY VEGETATIVE COVER:

PLACE FOR MORE THAN 21 DAYS BETWEEN AUGUST 1 AND JUNE 15.

THE PURPOSE OF TEMPORARY VEGETATIVE COVER IS TO STABILIZE EXPOSED SOIL AND REDUCE WIND AND

TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED ON ALL SOIL STOCKPILE AREAS WHICH WILL BE IN

TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED ON AREAS WHERE CONSTRUCTION HAS BEEN COMPLETED AND PERMANENT STABILIZATION WILL NOT TAKE PLACE WITHIN 21 DAYS BETWEEN AUGUST 1 AND

IN ALL CASES, PERMANENT STABILIZATION SHALL BE COMPLETED WITHIN 12 MONTHS.

IF TEMPORARY VEGETATIVE COVER CANNOT BE ESTABLISHED BETWEEN THE PRIME SEEDING DATES INDICATED BELOW, THE AREA SHALL BE STABILIZED TO THE EXTENT POSSIBLE WITH TEMPORARY MULCH. REFER TO THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, LATEST ADDITION, FOR

SITE PREPARATION: 1. APPLICABLE EROSION AND SEDIMENTATION CONTROLS (SEDIMENT BARRIERS, ETC.) SHALL BE INSTALLED

- PRIOR TO ESTABLISHMENT OF TEMPORARY VEGETATIVE COVER. 2. REMOVE LOOSE ROCK AND LARGE STONES, DEBRIS, TRASH, STUMPS AND OTHER NOXIOUS MATERIALS.
- 3. APPLY LIME PER SOIL TEST OR AT THE RATE OF 50 LB PER 1000 S.F.
- 4. APPLY FERTILIZER PER SOIL TEST OR AT THE RATE OF 7 LB PER 1000 S.F. OF 10-10-10 FERTILIZER. 5. UNLESS HYDROSEEDED, LIME AND FERTILIZER SHALL BE WORKED INTO SOIL TO A DEPTH OF 4".
- 6. TILLAGE SHALL RESULT IN A UNIFORM CONTOUR, FREE FROM DEPRESSIONS AND WATER POCKETS.
- 1. APPLY ANNUAL RYEGRASS (OR APPROVED EQUAL) AT A RATE OF 1 LB PER 1000 S.F.
- 2. SEED SHALL BE APPLIED UNIFORMLY BY BROADCASTING, DRILLING OR HYDRAULIC APPLICATION.
- 3. UNLESS HYDROSEEDED, SEEDS SHALL BE COVERED WITH NOT MORE THAN 1/4 INCH OF SOIL.
- 4. APPLY MULCH AS REQUIRED IMMEDIATELY AFTER SEEDING.

5. SEEDING SHALL OCCUR BETWEEN APRIL 1 TO JUNE 15 AND / OR AUGUST 1 TO OCTOBER 1. GENERAL E & S NOTES:

ALL EROSION AND SEDIMENTATION CONTROL METHODS SHALL BE IN ACCORDANCE WITH THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENTATION CONTROL, LATEST EDITION UNLESS SPECIFICALLY NOTED

EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED WITHIN THE PROPER SEQUENCE DURING CONSTRUCTION (I.E. SEDIMENT BARRIERS INSTALLED DOWNSLOPE OF AREAS TO BE DISTURBED PRIOR

ALL DISTURBED AREAS SHALL BE COVERED WITH A MINIMUM OF 4 INCHES OF TOPSOIL, SEEDED AND MULCHED IMMEDIATELY UPON COMPLETION OF FINAL GRADING.

ALL SOIL STOCKPILE AREAS SHALL BE ENCIRCLED WITH SEDIMENT BARRIERS. TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED ON ANY STOCKPILE AREA WHICH IS TO REMAIN MORE THAN 21 DAYS. THE CONTRACTOR SHALL KEEP A SUPPLY OF EROSION AND SEDIMENTATION CONTROL TOOLS AND SUPPLIES ON SITE (SEDIMENT BARRIER, STONE, SHOVELS, ETC.).

THE CONTRACTOR SHALL INSPECT THE EROSION AND SEDIMENTATION CONTROLS WEEKLY AND PRIOR TO A PREDICTED RAIN EVENT. THE EROSION AND SEDIMENTATION CONTROLS SHALL BE REPAIRED OR MAINTAINED

THE CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED TO PREVENT WIND EROSION. THE METHOD USED SHALL BE APPROVED BU THE ENVIRONMENTAL PLANNER.

EROSION AND SEDIMENTATION CONTROL MEASURES ARE SUBJECT TO REVIEW AND APPROVAL BY THE TOWNS ENVIRONMENTAL PLANNER.

ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED AS DIRECTED BY THE TOWNS ENVIRONMENTAL PLANNER TO ADDRESS FIELD CONDITIONS. SEE THE ATTACHED EROSION CONTROL NARRATIVE, CONSTRUCTION SEQUENCE, CONSTRUCTION SCHEDULE FOR ADDITIONAL INFORMATION.

EROSION CONTROL NARRATIVE:

SITE / PROJECT DESCRIPTION: AREA=52,690 S.F. = 1.2096 AC. AREA OF DISTURBANCE: $65,000 \text{ S.f.} \pm = 1.5 \text{ AC.}$ (INCLUDES THE STORM OUTFALL) TOPOGRAPHY: FLAT

SOILS: UDORTHENTS AND WINDSOR SANDY LOAM

SITE CONDITIONS: DEVELOPED AS A WAREHOUSE WITH BIT. CONC. AND GRAVEL PARKING DRAINAGE: GENERALLY THE SITE FLOWS FROM THE NORTHEAST TO THE SOUTHWEST, THE SITE DOES NOT CONTAIN ANY EXISTING STORMWATER PIPE SYSTEM. DRYWELL LIKELY EXIST BUT WERE NOT FOUND. PROPOSAL: DEMOLITION OF MANY ACCESSORY STRUCTURES (ATTACHED & DETACHED) TO

THE MAIN WAREHOUSE AND CONV. CONSTRUCTION OF A NEW PAVE PARKING AREA. INSTALLATION OF NEW UTILITY SERVICES WHERE REQUIRED. CONSTRUCTION OF A NEW STORMWATER DRAINAGE SYSTEM. CONSTRUCTION OR EXTENSIVE GROUNDWATER INFILTRATION SYSTEMS. INSTALLATION OF NEW EXTENSIVE LANDSCAPING.

POTENTIAL E. & S. PROBLEMS / MITIGATION

THE FOLLOWING IS A DISCUSSION OF EROSION AND SEDIMENTATION CONCERNS AND THE SUGGESTED METHODS OF MITIGATION AND CONTROL. ALL EROSION AND SEDIMENTATION CONTROL METHODS AND MATERIALS ARE SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN OF GLASTONBURY. ADDITIONAL EROSION AND SEDIMENTATION CONTROLS MAY BE REQUIRED TO ADDRESS FIELD CONDITIONS.

1) SEDIMENT ENTERING THE EXISTING STORM SEWERS.

THE PLAN CALLS FOR ALL STORM SEWER INLET SUBJECT TO RUNOFF FROM THE DISTURBED AREA HAVE ITS INLET PROTECTED WITH FILTER FABRIC "SILT SACKS". THE "SILT SACK" PROTECTION SHOULD BE CHECKED AT REGULAR INTERVALS, THE ACCUMULATED SEDIMENT REMOVED AND THE FILTER FABRIC REPLACED TO AVOID EXCESSIVE PONDING AT THE INLETS.

2) WIND EROSION.

BECAUSE THE SITE IS SMALL AND SOMEWHAT PROTECTED BY TREES, WIND EROSION SHOULD NOT BE A MAJOR PROBLEM. IF WIND EROSION DOES OCCUR, THE SITE SHOULD BE WATERED OR STABILIZED BY OTHER MEANS TO REDUCE THE POTENTIAL FOR WIND EROSION.

3) INSPECTION AND MAINTENANCE OF E. & S. CONTROLS.

INSPECTION AND PROPER MAINTENANCE OF ALL EROSION AND SEDIMENTATION CONTROL SYSTEMS IS CRITICAL TO THE ULTIMATE SUCCESS OF THE PROJECT. THE PLAN REQUIRES THE SITE CONTRACTOR TO INSPECT AND MAINTAIN THE EROSION AND SEDIMENTATION CONTROL SYSTEMS ON AT LEAST A WEEKLY BASIS AND PRIOR TO A PREDICTED RAIN

4) EFFICIENT CONSTRUCTION AND TIMING.

TO MINIMIZE THE EROSION AND SEDIMENTATION CONTROL PROBLEMS, THE SITE CONTRACTOR SHOULD CAREFULLY PLAN THEIR CONSTRUCTION ACTIVITIES TO MINIMIZE THE PERIOD OF TIME THE SITE IS EXPOSED TO EROSIVE FORCES AND TIME THE STABILIZATION WITH PRIME SEEDING DATES.

CONSTRUCTION NOTES:

THIS SITE WAS DEVELOPED MANY YEARS AGO, OTHER UNDERGROUND UTILITIES, PIPES, FACILITIES OR STRUCTURES MAY BE ENCOUNTERED DURING CONSTRUCTION. IF ANY UNKNOWN ITEM IS ENCOUNTERED THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY SO THE ISSUE CAN BE ADDRESSED.

UNDERGROUND UTILITY STRUCTURE FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING AND INFORMATION PROVIDED BY OTHERS. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES AND STRUCTURES MAY EXIST IN THE AREA, THE EXISTENCE OF WHICH IS UNKNOWN TO DUTTON ASSOCIATES, LLC. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION.

ALL SCRAP METAL, TIRES AND OTHER DEBRIS SHALL BE REMOVED FROM THE SITE AT TIME OF DEMOLITION OF THE EXISTING FOUNDATIONS AND DISPOSED OF AT A SUITABLE LOCATION IN ACCORDANCE WITH ALL LAWS

TREE STUMPS, TRASH OR DEBRIS NOT BE BURIED ON SITE.

PRIOR TO CONSTRUCTION, ALL EXISTING STREET LINE MONUMENTATION SHALL BE STAKED AND FLAGGED. CARE SHOULD BE TAKEN DURING CONSTRUCTION NOT TO DAMAGE THE MONUMENTS. IF MONUMENTS ARE DAMAGED, THE CONTRACTOR SHALL REPLACE THE MONUMENTS.

PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES AT CROSSING AND CONNECTION POINTS. ANY CONFLICT OR DISCREPANCY WITH THE PLANS SHALL BE REPORTED TO THE ENGINEER SO THAT ADJUSTMENTS TO THE DESIGN CAN BE MADE.

CALL BEFORE YOU DIG: PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL REQUEST AN UNDERGROUND UTILITY MARK OUT BY CALLING THE CONNECTICUT UNDERGROUND UTILITY PROTECTION PLAN (PHONE 1-800-922-4455).

PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL COORDINATE CONSTRUCTION WITH OUTSIDE UTILITY COMPANIES PROVIDING SERVICE TO THE SITE. CONFLICTS WITH SUCH UTILITIES SHALL BE REPORTED TO THE ENGINEER SO THAT ADJUSTMENTS TO THE DESIGN CAN BE MADE.

THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS AND ARRANGE FOR ALL NECESSARY INSPECTIONS FOR THE WORK TO BE PERFORMED.

THE CONTRACTOR IS RESPONSIBLE FOR PAYMENT OF ALL PERMIT AND/OR INSPECTION FEES.

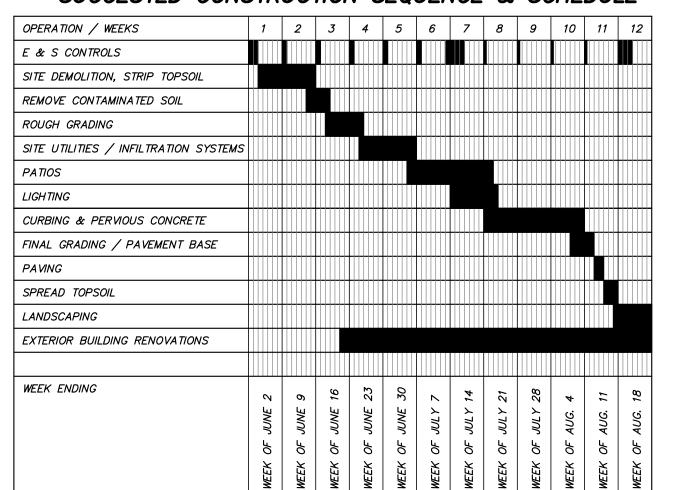
THE CONDITIONS OF APPROVAL ARE A PART OF THIS PLAN, THE CONTRACTOR SHALL CONFORM TO ALL APPLICABLE CONDITIONS.

CONSTRUCTION WASTE AND/OR DEBRIS SHALL BE DISPOSED OF ONLY AT APPROVED LOCATIONS AND IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL LAWS AND/OR REGULATIONS.

CONSTRUCTION METHODS AND MATERIALS SHALL BE IN ACCORDANCE WITH; THE NOTES AND DETAILS ON THESE PLANS, IF NOT ON SAID PLAN THE TOWN OR CITY STANDARD DETAILS AND SPECIFICATIONS AND IF NOT INCLUDED IN ABOVE, THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES AND INCIDENTAL CONSTRUCTION, FORM 816 AS APPLICABLE.

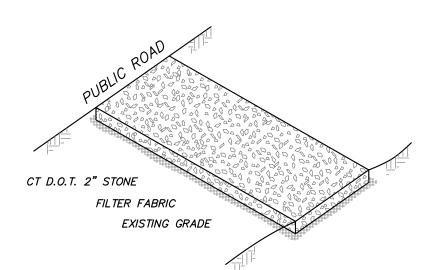
THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING STRUCTURES, SERVICES AND/OR PROPERTY CAUSED BY HIM DURING CONSTRUCTION. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER OF THE DAMAGED PROPERTY AT THE CONTRACTORS EXPENSE.

SUGGESTED CONSTRUCTION SEQUENCE & SCHEDULE

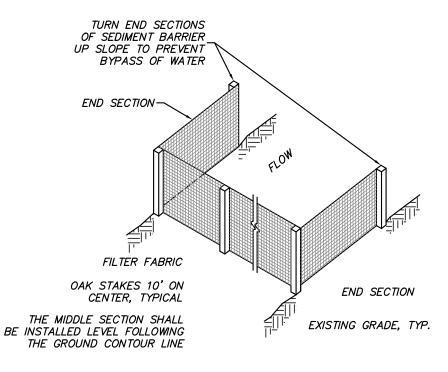


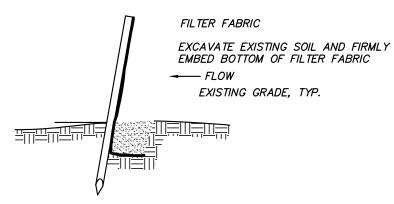
CONSTRUCTION SEQUENCE:

- 1. INSTALL APPLICABLE EROSION AND SEDIMENTATION CONTROLS.
- 2. SITE DEMOLITION / STRIP & STOCKPILE TOPSOIL
- 3. REMOVAL AND DISPOSAL OF CONTAMINATED SOIL.
- 4. START EXTERIOR BUILDING RENOVATIONS. 5. ROUGH GRADE SITE, PREPARE FOR UTILITY INSTALLATION.
- 6. INSTALL SITE UTILITIES, ELECTRIC, GAS, & STORM DRAINS AND INFILTRATION SYSTEMS.
- 7. INSTALL PATIO RETAINING WALLS AND PAVERS.
- 8. INSTALL LIGHT BASES AND WIRING.
- 9. INSTALL PRECAST CONCRETE CURB, SIDEWALKS, REFUSE AREA SLAB AND PERVIOUS PAVEMENT SECTIONS.
- 10. FINE GRADE SITE AND INSTALL PAVEMENT BASE.
- 11. PAVE SITE.
- 12. SPREAD TOPSOIL.
- 14. INSTALL LANDSCAPING AND CONDUCT FINAL SITE CLEAN-UP.



CONSTRUCTION ENTRANCE





EMBED STAKE 12" MIN.

NUMBER: TP-2 DATE:

SEDIMENT BARRIER NOT TO SCALE

TEST PIT DATA TESTPITS CONDUCTED ON 10/7/2013 BY DUTTON ASSOCIATES, LLC.

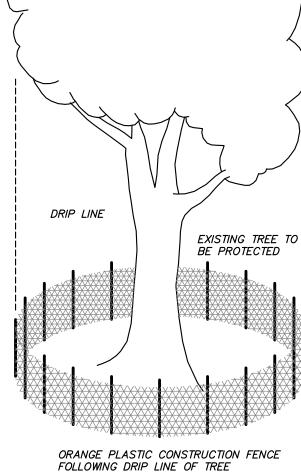
NUMBER: TP-1 DATE: 10/7/2013

MOTTLING EL=28.0

WITNESS: J.D.	LEDGE:	NONE	WITNESS:	J.D.	LEDGE:	NONE
DEPTH: 82"	WATER:	NONE	DEPTH:	90"	WATER:	@ 76 "
SOIL PROFILE:	MOTTLING:	NONE	SOIL PROF	TLE:	MOTTLING:	@ 64"
0"-7" TOPSOIL 7"-18" DARK BR 18"-24" ORIGINAL 24"-48" ORANGE/ 48"-82" GREY ME	TOPSOIL BROWN LOAM		24"-48"	ORIGINAL ORANGE/E	TOPSOIL BROWN LOAM DWN LOAMY	
TP EL=36.0				EL=28.67		
NUMBER: TP-3 D	ATE: 10/7	7/2013	NUMBER:	TP-4 D	ATE: 10/	7/2013
WITNESS: J.D.	LEDGE:	NONE	WITNESS:	J.D.	LEDGE:	NONE
DEPTH: 72"	WATER:	NONE	DEPTH:	<i>72"</i>	WATER:	NONE
SOIL PROFILE:	MOTTLING:	@ 57 "	SOIL PROF	TLE:	MOTTLING:	@ 60"
18"-28" ORIGINAL 28"-52" ORANGE/ 52"-72" REDDISH/	'BROWN LOAM TOPSOIL 'BROWN LOAM 'BROWN LOAM 2 FT. DOWN	IY SAND IY SAND ,	1	ORANGE/E	BROWN LOAM DWN LOAMY	
FOUND SOUTH	END OF PII	'	TD EL 30	16		
TP $FI = 32.75$	FI = 32 75			TP FI = 32 16		

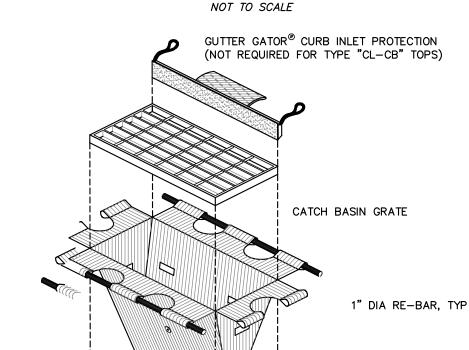
MOTTLING EL=27.16

PLACE FILTER FABRIC UNDER GRATE PRIOR TO INSTALLING INTO THE HDPE DROP IN STEEL GRATE



METAL FENCE POSTS, 10' ON CENTER, MAX.

TREE PROTECTION



"REGULAR FLOW" SILT SACK® BY ACF ENVIRONMENTAL OR APPROVED EQUAL

TYPE "C" OR "CL" CB TOP

JOHN R. MARTUCCI, P.E. #19494

0

This document is an instrument of professional service, and shall not be used, i whole or in part, for any project other than for which it was created without the express written consent of DUTTON ASSOCIATES, LLC

Any unauthorized use, reuse, modification of conversion of this document shall be at the user's sole risk without liability or legal exposure to DUTTON ASSOCIATES, LLC.

© 2013 — DUTTON ASSOCIATES, LLC.

ALL SILT SACKS ON SITE SHALL BE CHECKED WEEKLY AT A MINIMUM. ADDITIONALLY, THEY SHALL BE CHECKED (AND CLEANED AS REQUIRED) PRIOR TO AND FOLLOWING A RAIN EVENT. SEDIMENT REMOVED FROM THE SACKS SHALL BE DISPOSED OF AT A SUITABLE LOCATION AS THE SILT SACKS SHALL REMAIN IN PLACE UNTIL ALL UPSTREAM AREAS HAVE STABILIZED TO THE SATISFACTION OF THE TOWN ENVIRONMENTAL PLANNER. AT WHICH TIME THE SACKS ID DET SHALL BE REMOVE, ANY ACCUMULATED SEDIMENT PROPERLY DISPOSED OF. ADDITIONALLY,

ACF ENVIRONMENTAL 2831 CARDWELL ROAD RICHMOND, VA 23234 1-800-448-3636 WWW.ACFENVIRONMENTAL.COM

STORM INLET SEDIMENT CONTROL

NOT TO SCALE

ADDITIONAL INFORMATION CAN BE OBTAINED FROM:

WHEN THE SACK IS REMOVED, THE STORM STRUCTURE (& PIPE SYSTEM) SHALL BE

INSPECTED AND ANY ACCUMULATED SEDIMENT REMOVED, AND PROPERLY DISPOSED OF.

UNDERGROUND UTILITY NOTE: UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROLE TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO THE UNDERSIGNED. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL

THE CONTRACTOR SHALL NOTIFY THE TOWN OF GLASTONBURY ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, SANITARY SEWER INSTALLATION, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, OR ANY EXCAVATION IN THE TOWN RIGHT-OF-WAY TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:00 AM - 4:30 PM MONDAY THROUGH FRIDAY AT (860)-652-7735

12/20/2021 - UPDATE 12/30/2021 - UPDATE DATE: 08/04/2021

REVISIONS:

08/25/2021 - STORM DRAINS

SCALE: AS SHOWN SHEET 12 of 17 A-21-050-D1 FILE: 21050.DWG

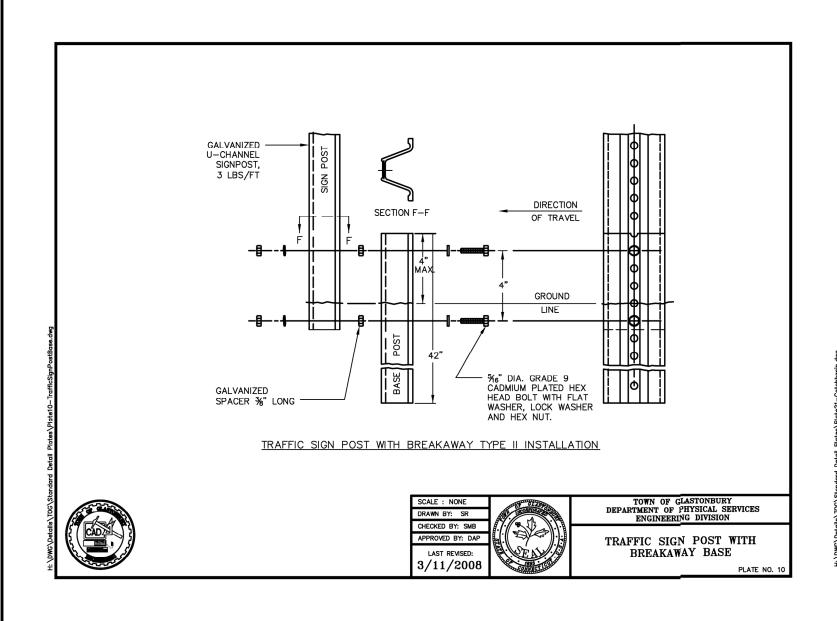
BEFORE YOU DIG 1-800-922-4455 OR 811.
INSPECTION NOTE:

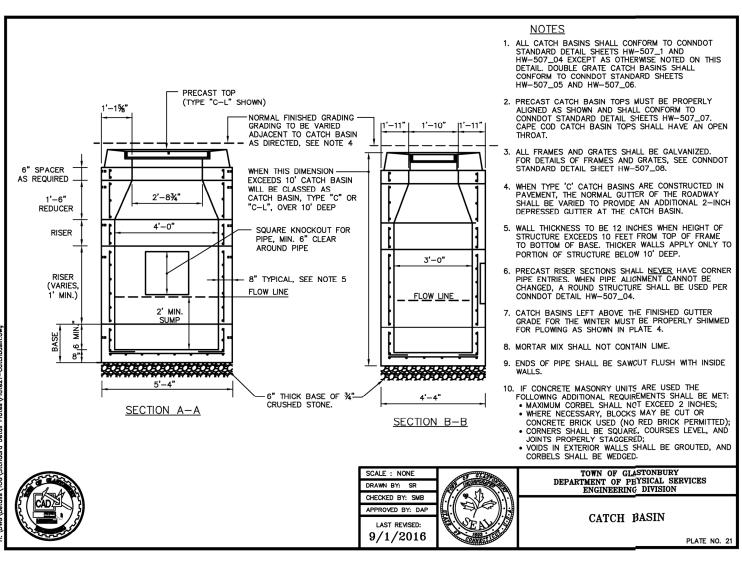
NOTES:

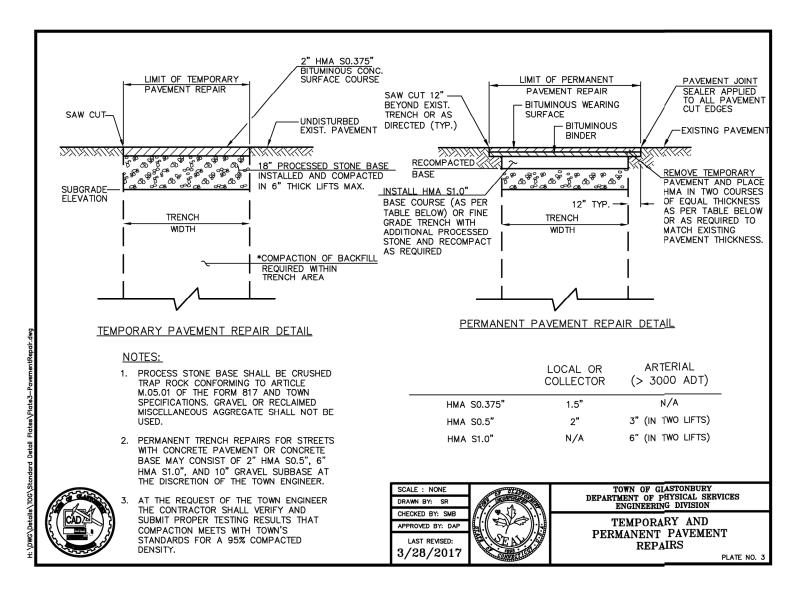
TO NOT POSE A DANGER TO WETLAND SYSTEMS.

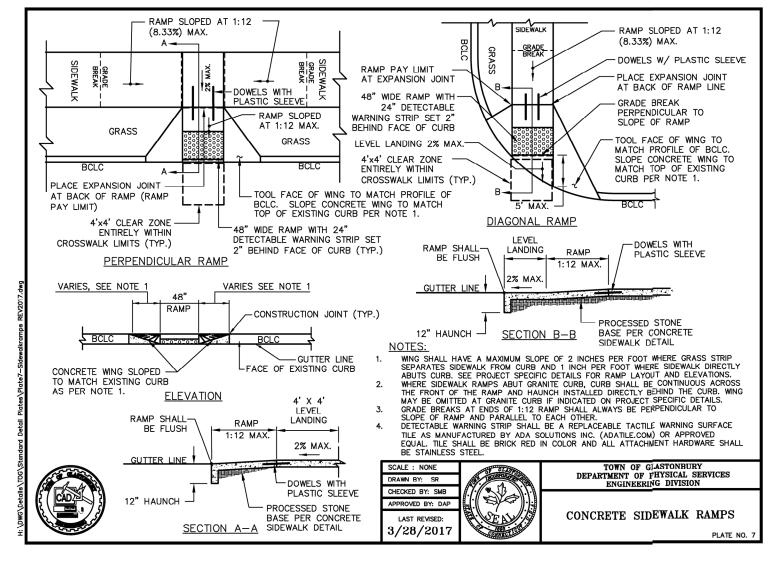
FINISHED GRADE SEDIMENT CONTROL HDPE YARD DRAINS

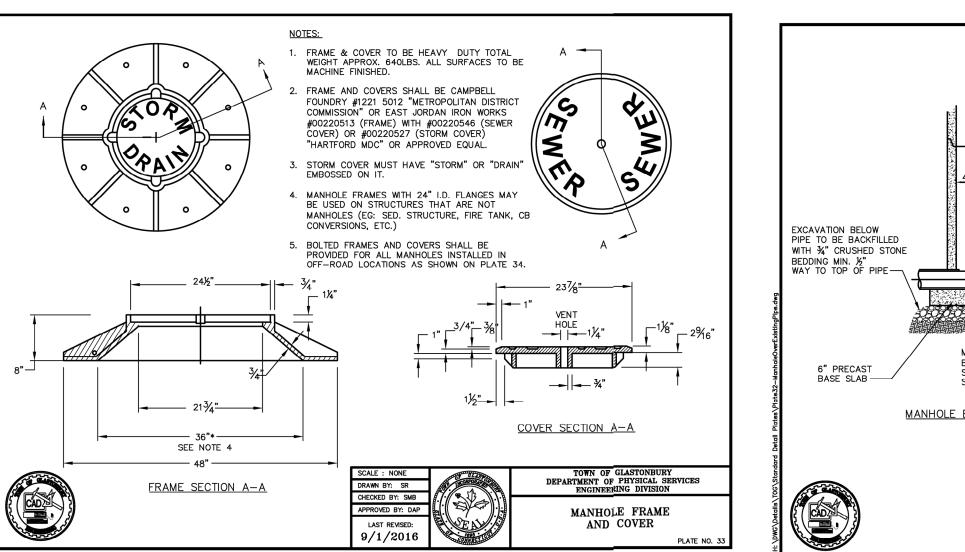
NOT TO SCALE

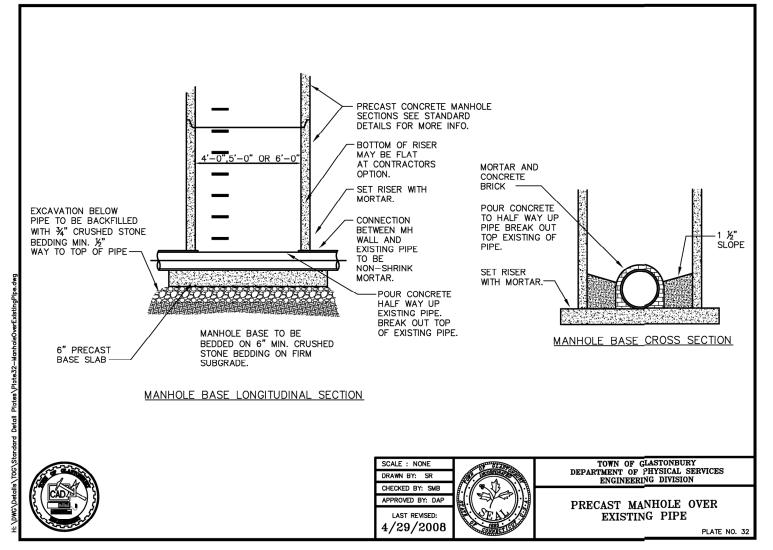


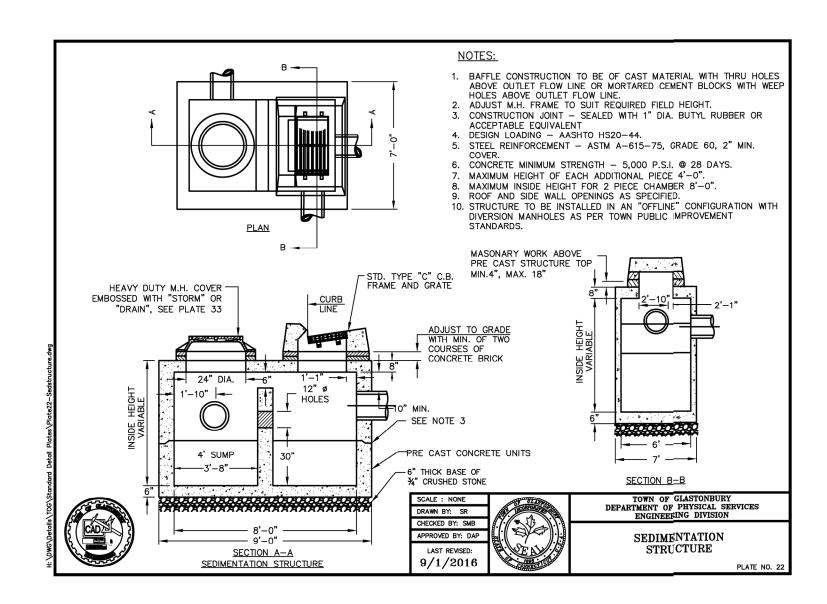


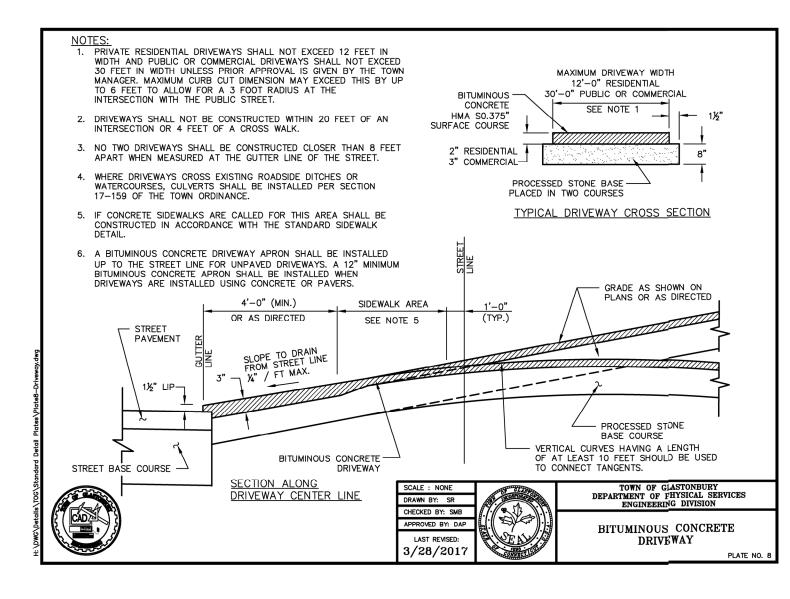


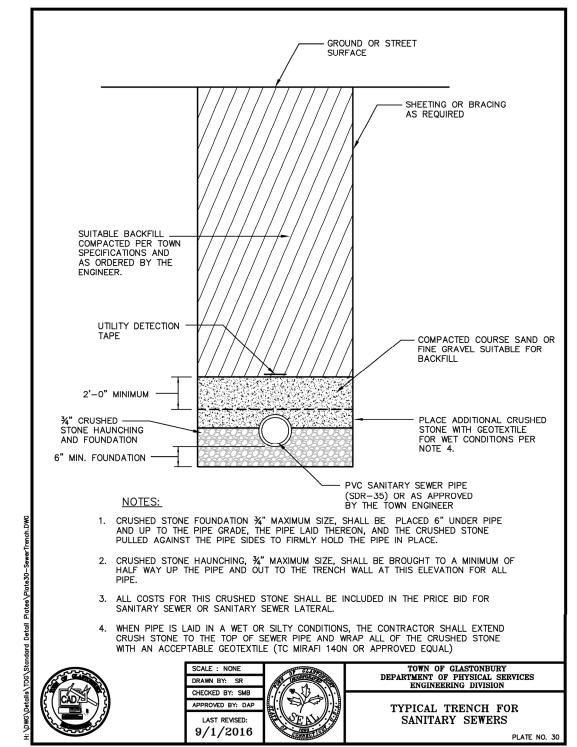


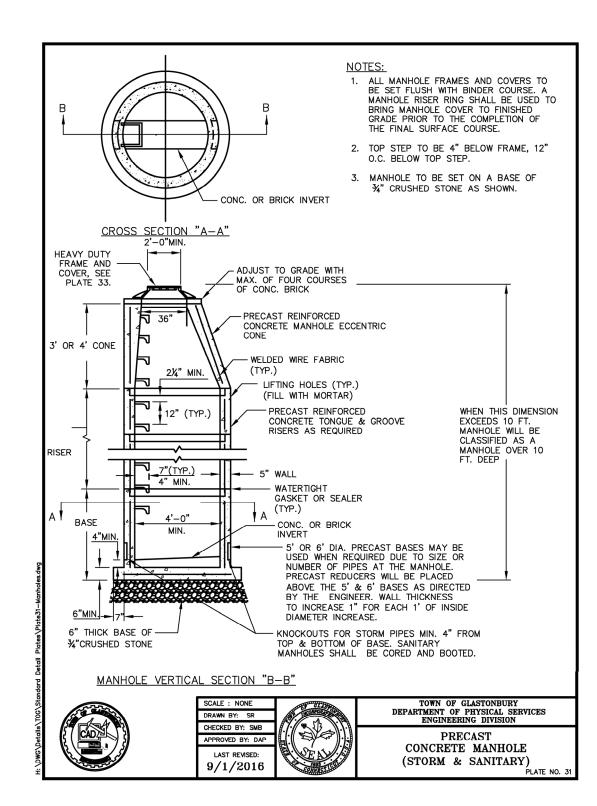












REVISIONS: 08/25/2021 - STORM DRAINS UNDERGROUND UTILITY NOTE: UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROLE TESTIMONY AND FROM OTHER SOURCES.

BEFORE YOU DIG 1-800-922-4455 OR 811.
INSPECTION NOTE: THE CONTRACTOR SHALL NOTIFY THE TOWN OF GLASTONBURY ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, SANITARY SEWER INSTALLATION, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, OR ANY EXCAVATION IN THE TOWN RIGHT-OF-WAY TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:00 AM - 4:30 PM MONDAY THROUGH FRIDAY AT (860)-652-7735

THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO THE UNDERSIGNED. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD

12/20/2021 - UPDATE 12/30/2021 - UPDATE DATE: 08/04/2021

OUP

DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL SCALE: AS SHOWN SHEET 13 of 17 A-21-050-D2 FILE: 21050.DWG

SSO

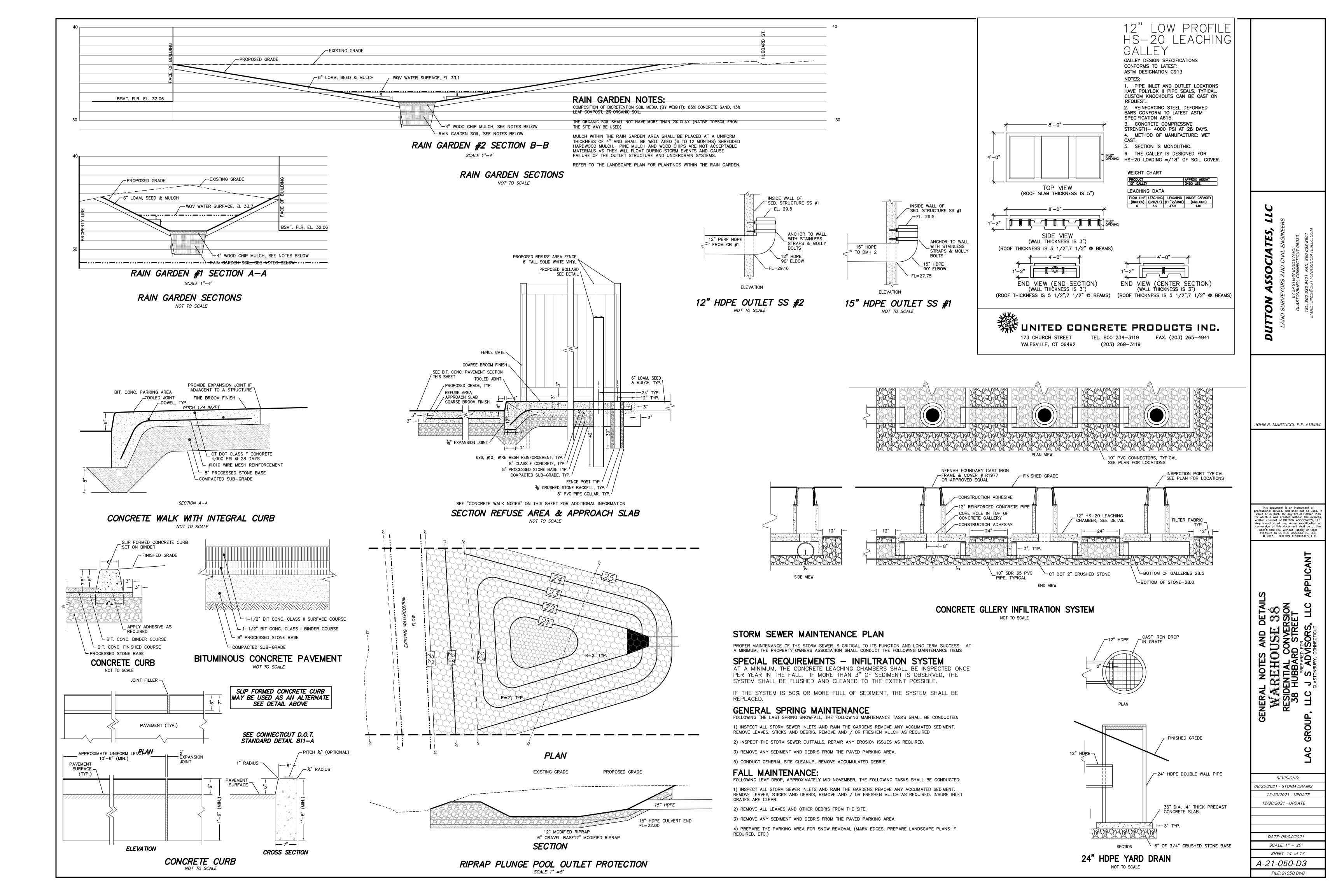
0

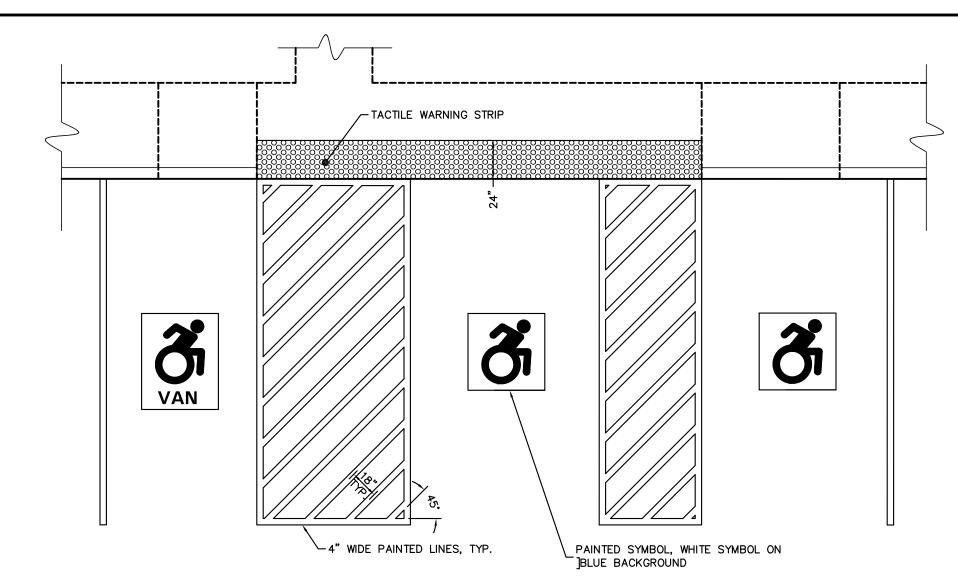
JOHN R. MARTUCCI, P.E. #19494

This document is an instrument of professional service, and shall not be used, whole or in part, for any project other than for which it was created without the express written consent of DUTTON ASSOCIATES, LLC

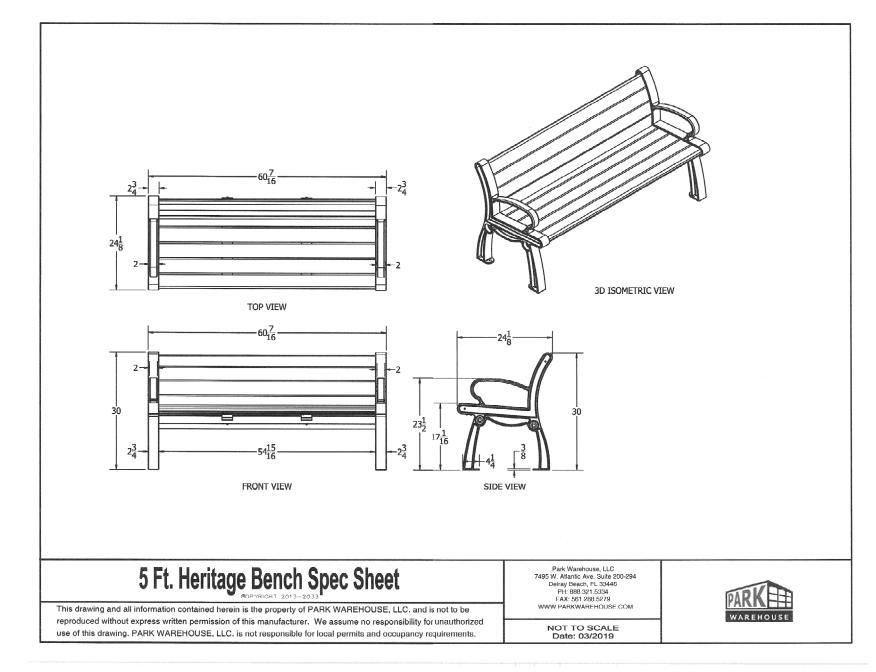
Any unauthorized use, reuse, modification or conversion of this document shall be at the user's sole risk without liability or legal exposure to DUTTON ASSOCIATES, LLC.

© 2013 - DUTTON ASSOCIATES, LLC.

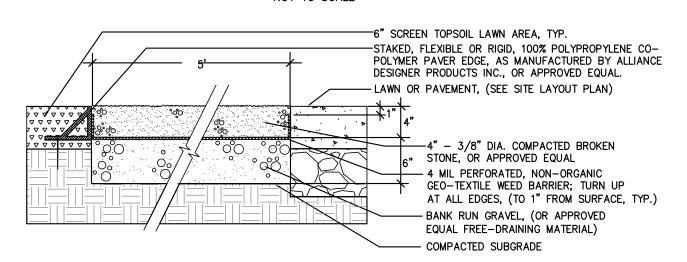




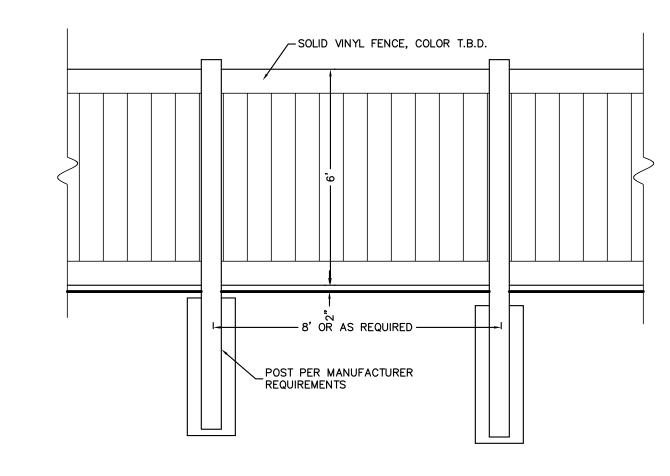
ACCESSIBLE PARKING SPACE LAYOUTS



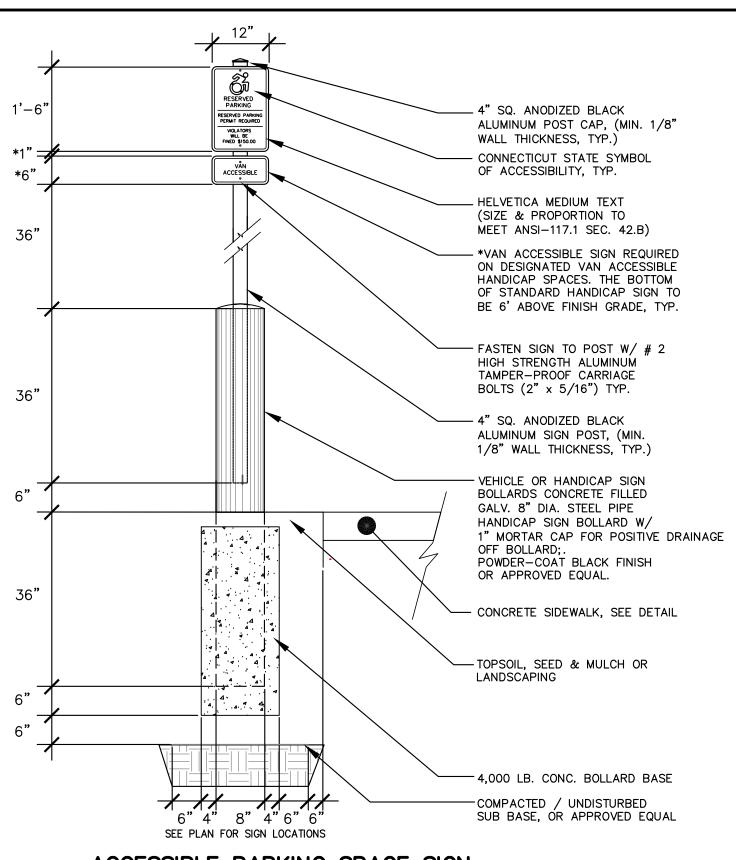
BENCH DETAIL NOT TO SCALE



TYPICAL EDGED GRAVEL PATHWAY NOT TO SCALE



VNYL FENCE
NOT TO SCALE



ACCESSIBLE PARKING SPACE SIGN NOT TO SCALE

DUTTON ASSOCIATES, LLC
LAND SURVEYORS AND CIVIL ENGINEERS

67 EASTE GLASTONBURY, TEL: 860-633-94 EMAIL: JIMD@DUT

JOHN R. MARTUCCI, P.E. #19494

This document is an instrument of professional service, and shall not be used, in whole or in port, for any project other than for which it was created without the express, written consent of DUTTON ASSOCIATES, LLC. Any unauthorized use, reuse, modification or conversion of this document shall be at the user's sole risk without liability or legal exposure to DUTTON ASSOCIATES, LLC.

R在HOUS在38 INTIAL CONVERSION HUBBARD STREET J S ADVISORS, LLC APPLICANT

REVISIONS:

08/25/2021 - STORM DRAINS

12/20/2021 - UPDATE

12/30/2021 - UPDATE

GROUP,

DATE: 08/04/2021

SCALE: 1" = 20' SHEET 15 of 17

A-21-050-D4
FILE: 21050.DWG

July 2, 2014

Mr. Dominick Calciano L.A.C. Group, LLC 58 Cotswold Close Glastonbury, Connecticut 06033

Re: Zone Change Application – 38 Hubbard Street

Dear Mr. Calciano:

Following a public hearing on June 24, 2014 the Glastonbury Town Council (Zoning Authority) approved your application for a Change of Zone from Residence A Zone to Adaptive Redevelopment Zone – 1.2073 acre parcel known as 38 Hubbard Street and a Site Development Plan for residential reuse of the existing structure on the premises in accordance with the terms of the attached resolution which was filed with the Town Clerk on June 27, 2014.

In accordance with Section 4.17.3 of the Building-Zone Regulations, certified mylar plans of the Site Development Plan shall be filed in the Office of the Town Clerk no later than December 22, 2014. Please forward a paper copy of the Site Development Plan to the Office of Community Development for review prior to printing the record mylars. Finally, strict compliance with conditions of approval and all other Town protocols is required and expected for this project. Please clearly convey Town expectations and requirements to all those who will be involved in the project. Failure to comply with Conditions of Approval is subject to financial penalties pursuant to Article VIII of the Glastonbury Town Code.

Should you have any questions, please contact the Office of Community Development directly at (860) 652-7510. Best wishes for a successful project.



RJJ/KEL/gfm

cc: Peter R. Carey, Building Official Kenith E. Leslie, Community Development Director John Rook, AICP, Planner Attorney Peter Alter Attorney Meghan Alter Dutton Associates

INSTR \$ 2014004875 RECD 06/27/2014 11:57:33 AM JOYCE P. MASCENA TOWN CLERK GLASTONBURY CT

Glastonbury Town Council (Zoning Authority) Resolution - ARZ Rezoning - 38 Hubbard Street

BE IT RESOLVED, that the Glastonbury Town Council (Zoning Authority) hereby approves a Change of Zone from Residence A Zone to Adaptive Redevelopment Zone - 1.2073 acre parcel known as 38 Hubbard Street and a Site Development Plan for residential reuse of the existing structure on the premises together with associated parking and other site improvements in accordance with the following plans:

June 24, 2014

"TITLE SHEET & INDEX PLAN WAREHOUSE 38 ON THE GREEN RESIDENTIAL CONVERSION 38 HUBBARD STREET PREPARED FOR LAC GROUP, LLC GLASTONBURY, CONNECTICUT DUTTON ASSOCIATES, LLC LAND SURVEYORS AND CIVIL ENGINEERS 67 EASTERN BOULEVARD GLASTONBURY, CONNECTICUT 06033 TEL: 860-633-9401 FAX: 860-633-8851 EMAIL: JIMD@DUTTONASSOCIATESLLC.COM DATE: 10/14/2013 SCALE: 1" = 20' SHEET 1 OF 14 A-08-034-IND FILE: 08034.DWG 11/5/2013 – COMMENTS 12/19/2013 – PATIOS

"LAYOUT PLAN WAREHOUSE 38 ON THE GREEN RESIDENTIAL CONVERSION 38 HUBBARD STREET PREPARED FOR LAC GROUP, LLC GLASTONBURY, CONNECTICUT DUTTON ASSOCIATES, LLC LAND SURVEYORS AND CIVIL ENGINEERS 67 EASTERN BOULEVARD GLASTONBURY, CONNECTICUT 06033 TEL: 860-633-9401 FAX: 860-633-8851 EMAIL: <u>JIMD@DUTTONASSOCIATESLLC.COM</u> DATE: 10/14/2013 SCALE: 1" = 20' SHEET 4 OF 14 A-08-034-LAY FILE: 08034.DWG 11/5/2013 - COMMENTS 12/19/2013 - PATIOS 02/21/2014 - TPZ SUBMISSION 05/15/2014 COUNCIL SUBMISSION"

"UTILITY PLAN WAREHOUSE 38 ON THE GREEN RESIDENTIAL CONVERSION 38 HUBBARD STREET PREPARED FOR LAC GROUP, LLC GLASTONBURY, CONNECTICUT DUTTON ASSOCIATES, LLC LAND SURVEYORS AND CIVIL ENGINEERS 67 EASTERN BOULEVARD GLASTONBURY, CONNECTICUT 06033 TEL: 860-633-9401 FAX: 860-633-8851 EMAIL: JIMD@DUTTONASSOCIATESLLC.COM DATE: 10/14/2013 SCALE: 1" = 20' SHEET 5 OF 14 A-08-034-LAY FILE: 08034.DWG 11/5/2013 - COMMENTS 12/19/2013 - PATIOS 02/21/2014 - TPZ SUBMISSION 05/15/2014 COUNCIL SUBMISSION"

"GRADING, EROSION & SEDIMENT CONTROL PLAN WAREHOUSE 38 ON THE GREEN RESIDENTIAL CONVERSION 38 HUBBARD STREET PREPARED FOR LACGROUP, LLC GLASTONBURY, CONNECTICUT DUTTON ASSOCIATES, LLC LAND SURVEYORS AND CIVIL ENGINEERS 67 EASTERN BOULEVARD GLASTONBURY, CONNECTICUT 06033 TEL: 860-633-9401 FAX: 860-633-8851 EMAIL: JIMD@DUTTONASSOCIATESLLC.COM DATE: 10/14/2013 SCALE: 1" = 20' SHEET 6 OF 14 A-08-034-LAY FILE: 08034.DWG 11/5/2013 – COMMENTS 12/19/2013 – PATIOS 02/21/2014 - TPZ SUBMISSION 05/15/2014 COUNCIL SUBMISSION"

"WAREHOUSE 38 ON THE GREEN HUBBARD STREET GLASTONBURY, CT J. ALEXOPOULOS LAND. ARCH. SEPT. 30, 2013 REV. OCT. 28, 2013 REV. NOV. 5, 2013 REV. JAN. 5, 2014 REV. FEB. 25, 2014"

"LIGHTING PLAN WAREHOUSE 38 ON THE GREEN RESIDENTIAL CONVERSION 38 HUBBARD STREET PREPARED FOR LAC GROUP, LLC GLASTONBURY, CONNECTICUT DUTTON ASSOCIATES, LLC LAND SURVEYORS AND CIVIL ENGINEERS 67 EASTERN BOULEVARD GLASTONBURY, CONNECTICUT 06033 TEL: 860-633-9401 FAX: 860-633-8851 EMAIL: JIMD@DUTTONASSOCIATESLLC.COM DATE: 10/14/2013 SCALE: 1" = 20' SHEET 8 OF 14 A-08-034-LTG FILE: 08034.DWG 11/5/2013 - COMMENTS 12/19/2013 -PATIOS 02/21/2014 – TPZ SUBMISSION 05/15/2014 COUNCIL SUBMISSION"

"LIGHTING DETAILS WAREHOUSE 38 ON THE GREEN RESIDENTIAL CONVERSION 38 HUBBARD STREET PREPARED FOR LAC GROUP, LLC GLASTONBURY, CONNECTICUT DUTTON ASSOCIATES, LLC LAND SURVEYORS AND CIVIL ENGINEERS 67 EASTERN BOULEVARD GLASTONBURY, CONNECTICUT 06033 TEL: 860-633-9401 FAX: 860-633-8851 EMAIL: JIMD@DUTTONASSOCIATESLLC.COM DATE: 10/14/2013 SCALE: AS SHOWN SHEET 9 OF 14 A-08-034-LTG-D FILE: 08034.DWG 11/5/2013 – COMMENTS 12/19/2013 - PATIOS 02/21/2014 - TPZ SUBMISSION 05/15/2014 COUNCIL SUBMISSION "

"GENERAL NOTES AND DETAILS WAREHOUSE 38 ON THE GREEN RESIDENTIAL CONVERSION 38 HUBBARD STREET PREPARED FOR LAC GROUP, LLC GLASTONBURY, CONNECTICUT DUTTON ASSOCIATES, LLC LAND SURVEYORS AND CIVIL ENGINEERS 67 EASTERN BOULEVARD GLASTONBURY, CONNECTICUT 06033 TEL: 860-633-9401 FAX: 860-633-8851 EMAIL: JIMD@DUTTONASSOCIATESLLC.COM DATE: 10/14/2013 SCALE: AS SHOWN SHEET 10 OF 14 A-13-025-D1 FILE: 13025.DWG 11/5/2013 – COMMENTS 12/19/2013 – PATIOS 02/21/2014 – TPZ SUBMISSION 05/15/2014 COUNCIL SUBMISSION"

"GENERAL NOTES AND DETAILS WAREHOUSE 38 ON THE GREEN RESIDENTIAL CONVERSION 38 HUBBARD STREET PREPARED FOR LAC GROUP, LLC GLASTONBURY, CONNECTICUT DUTTON ASSOCIATES, LLC LAND SURVEYORS AND CIVIL ENGINEERS 67 EASTERN BOULEVARD GLASTONBURY, CONNECTICUT 06033 TEL: 860-633-9401 FAX: 860-633-8851 EMAIL: JIMD@DUTTONASSOCIATESLLC.COM DATE: 10/14/2013 SCALE: AS SHOWN SHEET 11 OF 14 A-08-034-D2 FILE: 08034.DWG 11/5/2013 - COMMENTS 12/19/2013 - PATIOS 02/21/2014 - TPZ SUBMISSION 5/15/2014 COUNCIL SUBMISSION "

"GENERAL NOTES AND DETAILS WAREHOUSE 38 ON THE GREEN RESIDENTIAL CONVERSION 38 HUBBARD STREET PREPARED FOR LAC GROUP, LLC GLASTONBURY, CONNECTICUT DUTTON ASSOCIATES, LLC LAND SURVEYORS AND CIVIL ENGINEERS 67 EASTERN BOULEVARD GLASTONBURY, CONNECTICUT 06033 TEL: 860-633-9401 FAX: 860-633-8851 EMAIL: <u>JIMD@DUTTONASSOCIATESLLC.COM</u> DATE: 10/14/2013 SCALE: 1" = 20' SHEET 12 OF 14 A-08-034-D3 FILE: 08034.DWG 11/5/2013 - COMMENTS 12/19/2013 - PATIOS 02/21/2014 - TPZ SUBMISSION 05/15/2014

COUNCIL SUBMISSION"

"APPROVALS WAREHOUSE 38 ON THE GREEN RESIDENTIAL CONVERSION 38 HUBBARD STREET PREPARED FOR LAC GROUP, LLC GLASTONBURY, CONNECTICUT DUTTON ASSOCIATES, LLC LAND SURVEYORS AND CIVIL ENGINEERS 67 EASTERN BOULEVARD GLASTONBURY, CONNECTICUT 06033 TEL: 860-633-9401 FAX: 860-633-8851 EMAIL: JIMD@DUTTONASSOCIATESLLC.COM DATE: 10/14/2013 SCALE: NO SCALE SHEET 14 OF 14 A-08-034-APP FILE: 08034.DWG 11/5/2013 - COMMENTS 12/19/2013 - PATIOS 02/21/2014 - TPZ SUBMISSION 05/15/2014 COUNCIL SUBMISSION"

"EAST SIDE ELEVATION SCALE: 1/8" – 1"-0" WAREHOUSE 38 ON THE GREEN GLASTONBURY, CT CALCIANO BUILDERS GLASTONBURY, CT BARTON PARTNERS ARCHITECTS PLANNERS, INC. 700 E. MAIN STREET, 3RD FLOOR NORRISTOWN, PA 19401-4122 P 610.930.2800 F 610.930.2808 1 OF 4 PROJECT NUMBER: 13010 DATE:

"WEST ELEVATION SCALE: 1/8" – 1"-0" WAREHOUSE 38 ON THE GREEN GLASTONBURY, CT CALCIANO BUILDERS GLASTONBURY, CT BARTON PARTNERS ARCHITECTS PLANNERS, INC. 700 E. MAIN STREET, 3RD FLOOR NORRISTOWN, PA 19401-4122 P 610.930.2800 F 610.930.2808 2 OF 4 PROJECT NUMBER: 13010 DATE:

"NORTH ELEVATION SCALE: 1/8" - 1"-0" WAREHOUSE 38 ON THE GREEN GLASTONBURY, CT CALCIANO BUILDERS GLASTONBURY, CT BARTON PARTNERS ARCHITECTS PLANNERS, INC. 700 E. MAIN STREET, 3RD FLOOR NORRISTOWN, PA 19401-4122 P 610.930.2800 F 610.930.2808 3 OF 4 PROJECT NUMBER: 13010 DATE:

"SOUTH ELEVATION SCALE: 1/8" – 1"-0" WAREHOUSE 38 ON THE GREEN GLASTONBURY, CT CALCIANO BUILDERS GLASTONBURY, CT BARTON PARTNERS ARCHITECTS PLANNERS, INC. 700 E. MAIN STREET, 3RD FLOOR NORRISTOWN. PA 19401-4122 P 610.930.2800 F 610.930.2808 4 OF 4 PROJECT NUMBER: 13010 DATE:

and in compliance with the following conditions:

- 1. Nine ground-level dwelling units shall be deleted for a total of 31 dwelling units on the upper two floors in accordance with plans submitted. The existing flat roof shall be retained. There shall be no dwelling units on the ground level.
- 2. HVAC units (low profile) shall be installed on the flat rooftop and screened appropriately.
- 3. The parking layout shall be modified as follows:
- a.) Five spaces in front of the building shall be deleted. b.) Ten tandem spaces (20 total spaces) shall be maintained along the southerly property line
- commencing on the westerly side of the parcel. c.) The remaining four tandem spaces (8 total spaces) shall be converted to 2 spaces and open area extending to the southeast corner of the parcel.
- There shall be a total of 50 parking spaces for the project.
- 4. The carport structure shall be deleted.
- 5. The existing basement window openings shall remain.
- 6. The vacated basement area may be used only for common tenant purposes
- 7. Compliance with the resolution as recommended by the Conservation Commission during its
- meeting of December 19, 2013. 8. Compliance with standards contained in a report from the Fire Marshal, File #14-024, plans
- reviewed 3-13-14. 9. A sanitary sewer manhole shall be installed along the proposed sanitary sewer lateral serving the
- 10. Fence and dumpster enclosure details shall be indicated on final plans for filing.
- 11. Metal waste containers shall be provided at the site to facilitate the collection of refuse material generated from construction activities. Such material shall not be buried or burned at the site.
- 12. Installation of soil erosion and sedimentation control and stabilization measures shall be the Permittee's responsibility. Once installed these measures shall then be inspected by the Environmental Planner prior to land disturbance activities. Afterwards it then shall be the Permittee's responsibility to inspect these control measures during, and immediately following, substantial storm events and maintain and/or replace the control measures, when needed, on a regular basis until the site is vegetatively stabilized. The Environmental Planner is hereby authorized to require additional soil erosion and sediment controls and stabilization measures to address situations that arise on the site.
- 13. Prior to the issuance of a Certificate of Occupancy, certification from a professional engineer shall be required confirming that the stormwater management system was constructed in conformance with the approved design.
- 14. Prior to the issuance of a Certificate of Occupancy, certification from a landscape architect shall be required confirming that landscape plants were installed in accordance with the approved
- 15. Compliance with the agreements listed in the March 14, 2014 memorandum of understanding between L.A.C. Group, LLC and Jonathan and Elizabeth Susat. This document shall be depicted on final plans for filing.
- 16. The effective date of this zone change action shall be July 14, 2014.
- and in accordance with the following findings:
- 1. Project development details as modified by this approval, including a reduced number of dwelling units and reduced on-site parking, conform to the purpose, intent and development standards of the Adaptive Redevelopment Zone regulations, including Floor Area Ratio, parking and the preservation and enhancement of interior and exterior architectural and historic building
- 2. The adaptive reuse of the existing structure is consistent with policies contained in the 2007-2017 Plan of Conservation and Development including the provision of increased and innovative housing opportunities within the Town Center and with immediate access to public
- 3. The Legal Traffic Authority (Chief of Police) and the Town Engineer have concluded that traffic generated by the development can be safely accommodated by existing roadways and
- 4. The residential reuse of this building will fully eliminate the non-conforming industrial uses on

Acting Council Clerk



Town of Glastonbury 2155 MAIN STREET • P.O. BOX 6523 • GLASTONBURY, CONNECTICUT 06033-6523

TOWN PLAN AND ZONING COMMISSION SECTION 4.11 FLOOD ZONE SPECIAL PERMIT

1906 MAIN STREET

APPLICANT /OWNER: L.A.C. GROUP LLC 58 COTSWOLD CLOSE GLASTONBURY, CT 06033

MOVED, that the Town Plan and Zoning Commission approve the application of L.A.C. Group, LLC for a Section 4.11 Special Permit concerning a drainage outfall structure located on property at 1906 Main Street, in accordance with plans on file in the Office of Community Development, and in compliance with the following condition:

1. Prior to the issuance of a Certificate of Occupancy at 38 Hubbard Street, certification from a professional engineer shall be required confirming no loss of flood storage

APPROVED: TOWN PLAN AND ZONING COMMISSION

APRIL 1, 2014

Antin SHARON H. PURTILL, CHAIRMAN



Town of Glastonbury

2155 MAIN STREET • P.O. BOX 6523 • GLASTONBURY, CONNECTICUT 06033-6523



April 29, 2014 Len Calciano L.A.C. Group, LLC

58 Cotswold Close Glastonbury, Connecticut 06033

Re: 1906 Main Street - part of the 38 Hubbard Street project

At its meeting of April 1, 2014, the Town Plan and Zoning Commission approved your application for a Section 4.11 Flood Zone Special Permit, in accordance with the attached Special Permit Motion.

• In accordance with Connecticut General Statutes, the Special Permit Motion must be recorded on the Glastonbury Land Records in the Town Clerk's Office. The Special Permit is not effective until it is filed; therefore, a building permit may not be issued nor any use activity begun until this filing has been completed.

Please be advised that this Special Permit authorizes new construction/site or building modifications or operation of a new use only in accordance with specified plans and any conditions of approval. Accordingly, no modifications to specified plans or conditions shall be made unless authorization has been received from the Town Plan and Zoning Commission or their authorized agents within the Community Development Department.

If substantial construction has not begun on a building or structure, or use established on a lot within one (1) year from the date of approval, the special permit shall become null and void. The Town Plan and Zoning Commission, upon request of the applicant, may extend for an additional one (1) year the period for beginning substantial construction or establishment of a use.

Please contact the Office of Community Development if you have any questions.

TOWN PLAN AND ZONING COMMISSION

cc: Peter R. Carey, Building Official Attorney Meghan Alter

APPROVED MOTION FOR A WETLANDS PERMIT

MOVED, that the Inland Wetlands and Watercourses Agency grants an inland wetlands and watercourses permit to Dominic and Leonardo Calciano and LAC Group, LLC for the construction and maintenance of a stormwater drainage pipe and outfall within wetlands and their regulated upland review area, and adjacent to a manmade intermittent watercourse with respect to the proposed Warehouse 38 On The Green Adaptive Redevelopment Zone project at 38 Hubbard Street, in accordance with plans on file in the Office of Community Development, and in compliance with the following conditions:

- 1. The drainage report submitted by the Permittee should be signed and sealed by a Connecticut Licensed Professional Engineer.
- 2. Healthy mature trees shall be preserved and saved when possible. Said trees shall be protected with the use of high visibility construction fence during construction or otherwise protected as required by staff.
- 3. Installation of soil erosion and sedimentation control and stabilization measures shall be the Permittee's responsibility. Once installed these measures shall then be inspected by the Environmental Planner prior to land disturbance activities. Afterwards it then shall be the Permittee's responsibility to inspect these control measures during, and immediately following, substantial storm events and maintain and/or replace the control measures, when needed, on a regular basis until the site is vegetatively stabilized. Hay bales shall be replaced every 60 days. The Environmental Planner is hereby authorized to require additional soil erosion and sediment controls and stabilization measures to address situations that arise on the site.
- 4. Prior to the issuance of a Certificate of Occupancy, certification from a professional engineer shall be required confirming that the stormwater management system was constructed in conformance with the approved design.
- 5. Underground fuel storage tanks shall be prohibited to reduce the potential of contamination to wetlands, watercourses, and groundwater resources.
- 6. The Permittee shall be fully responsible for damages caused by all activities undertaken pursuant to this permit that may have a detrimental effect on wetlands and/or watercourses, and all such activities that cause erosion and sedimentation problems.



Town of Glastonbury 2155 MAIN STREET • P.O. BOX 6523 • GLASTONBURY, CONNECTICUT 06033-6523

January 7, 2014

CONSERVATION COMMISSION AND INLAND

WETLANDS & WATERCOURSES AGENCY

Dominick and Leonardo Calciano LAC Group, LLC 58 Cotswold Close Glastonbury, Connecticut 06033

Re: Application of Dominick and Leonardo Calciano, LAC Group, LLC for an inland wetlands and watercourses permit - Warehouse 38 On The Green, a proposed residential conversion project involving 40 apartments - 38 Hubbard Street - Residential A Zone (requiring change to Adaptive Redevelopment Zone) and Flood Zone -Attorneys Peter and Meghan Alter - Dutton Associates, LLC, C.E.

Dear Messrs. Calciano:

At its Regular Meeting of December 19, 2013, the Conservation Commission/Inland Wetlands & Watercourses Agency approved an Inland Wetlands and Watercourses Permit, in accordance with the plans and conditions cited in the attached

Please read the conditions of approval carefully and comply with them. Some of the conditions may require interacting with the Environmental Planner (e.g. inspection of soil erosion and sediment control); it will be your responsibility to schedule such interactions. Any questions you may have about the stated conditions can be directed to the Office of Community Development at (860) 652-7511.

This Permit:

requires that the approved regulated activities be completed within one (1) year from commencement of said activities; is valid for five (5) years and thus expires on December 19, 2018; and may not be transferred unless authorized by the Inland Wetlands & Watercourses Agency

This Permit may be revoked if you exceed the conditions or limitations of this Permit or have secured this Permit through Once again should you have any questions, please do not hesitate to contact this office.

cc: Attorneys Peter and Meghan Alter



Town of Glastonbury

2155 MAIN STREET • P.O. BOX 6523 • GLASTONBURY, CONNECTICUT 06033-6523

February 18, 2014

Mr. James W. Dutton, L.S Dutton Associates, LLC 67 Eastern Boulevard Glastonbury, CT 06033

Re: 38 Hubbard Street Dear Mr. Dutton:

This is to advise you that, at its meeting on February 12, 2014, the Water Pollution Control Authority unanimously approved the Sanitary Sewer Impact Report for the above-referenced

Engineering Subcommittee met on February 11, 2014 and, because of this increase in intensity of use of the sewer system, it was recommended by the Subcommittee that an additional fee be levied within the sewer assessment at the time of construction The fee would be based on the estimated installation cost of equipment (i.e. holding tanks, pumps, and timers) to control the excess flows, which would be timed to discharge during off

Please note that, as part of this approval, it was indicated that the applicant's estimated sanitary

sewer use would be more than twice what was allotted by the Town's Master Sewer Plan. The

peak hours. Excess flow is defined as the anticipated daily flow from the proposed development above that which was provided for this parcel in the Town's Master Sewer Plan. That estimated cost would then be converted to a per unit cost within the proposed assessme

If you have any questions, please contact me at (860) 652-7742.

RWS/ce

cc: Kenith E. Leslie, Community Development Director

2021/2022 APPROVALS



Town of Glastonbury

2155 MAIN STREET • P.O. BOX 6523 • GLASTONBURY, CONNECTICUT 06033-6523

Dutton Associates, LLC 67 Eastern Boulevard

Re: 38 Hubbard Street - Proposed Residential Condominium Development

Dear Mr. Dutton:

Please note that, as part of this approval, it was indicated that the applicant's estimated sanitary sewer use would be in excess of 150% what was allotted by the Town's Master Sewer Plan calculations. Because of this increase in intensity of use of the sewer system, it was requested by the applicant that the excess flow fee to be levied be incorporated within the sewer assessment rather than installation of the on-site sewage pump station outlined below.

The fee will be based upon the submitted Engineer's estimate of \$16,200.00 which incorporated the installation cost of equipment (i.e. holding tanks, pumps, and timers) to control the excess flows, which would be timed to discharge during off-peak hours. Excess flow is defined as the anticipated daily flow from the proposed development above that which was provided for this parcel in the Town's Master Sewer Plan.

If you have any questions, please call me at (860) 652-7742

34 Malle Gregory J. Mahoney Senior Engineering Technician

Cc: Rebecca Augur, Director of Planning & Land Use Services



2155 MAIN STREET · P.O. BOX 6523 · GLASTONBURY, CONNECTICUT 06033-6523

CONSERVATION COMMISSION AND INLAND

Jonathan Sullivan J S Advisors LLC 90 Miles Drive - 413

Re: Application of JS Advisors, LLC (c/o Jonathan Sullivan, Member) for an inland wetlands and watercourses permit concerning Warehouse 38, a proposed residential conversion project involving 31 apartments - 38 Hubbard Street - Residential A Zone (requiring change to Adaptive Redevelopment Zone) and Flood Zone

At its Regular Meeting of September 16, 2021, the Conservation Commission/Inland Wetlands & Watercourses Agency approved an Inland Wetlands and Watercourses Permit, in accordance with the plans and conditions cited in the attached

Please read the conditions of approval carefully and comply with them. Some of the conditions may require interacting with the Environmental Planner (e.g. inspection of soil erosion and sediment control); it will be your responsibility to schedule such interactions. Any questions you may have about the stated conditions can be directed to the Office of Community Development at (860) 652-7511.

requires that the approved regulated activities be completed within one (1) year from commencement of said activities; is valid for five (5) years and thus expires on September 21, 2026; and may not be transferred unless authorized by the Inland Wetlands & Watercourses Agency

This Permit may be revoked if you exceed the conditions or limitations of this Permit or have secured this Permit through

cc: Alter & Pearson, LLC



July 19, 2021 Mr. James W. Dutton, L.S.

Glastonbury, CT. 06033

This is to advise you that at its meeting on July 14, 2021, the Water Pollution Control Authority unanimously approved the revised sanitary sewer impact report for the above-referenced



September 23, 2021

WETLANDS & WATERCOURSES AGENCY

Wallingford, Connecticut 06492

inaccurate information.

Once again should you have any questions, please do not hesitate to contact this office.

Environmental Planner

Dutton Associates, LLC, C.E. Robert Schechinger, Jr., LA

JR:gfm

UNDERGROUND UTILITY NOTE: UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROLE TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO THE UNDERSIGNED. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL

BEFORE YOU DIG 1-800-922-4455 OR 811.
INSPECTION NOTE: THE CONTRACTOR SHALL NOTIFY THE TOWN OF GLASTONBURY ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, SANITARY SEWER INSTALLATION, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, OR ANY EXCAVATION IN THE TOWN RIGHT-OF-WAY TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:00 AM - 4:30 PM

MONDAY THROUGH FRIDAY AT (860)-652-7735

APPROVED WETLANDS PERMIT MOTION

MOVED, that the Inland Wetlands and Watercourses Agency grants an inland wetlands and watercourses permit to JS Advisors, LLC for the construction and maintenance of a stormwater drainage pipe and outfall within wetlands and their regulated upland review area, and adjacent to a manmade intermittent watercourse with respect to the proposed Warehouse 38 redevelopment project at 38 Hubbard Street, in accordance with plans on file in the Office of Community Development, and in compliance with the following conditions:

- 1. Adherence to the Town Engineer's memorandum dated August 26, 2021.
- 2. Healthy mature trees shall be preserved and saved when possible. Said trees shall be protected with the use of high visibility construction fence during construction or otherwise protected as required by staff.
- 3. Installation of soil erosion and sedimentation control and stabilization measures shall be the Permittee's responsibility. Once installed these measures shall then be inspected by the Environmental Planner prior to land disturbance activities. Afterwards it then shall be the Permittee's responsibility to inspect these control measures during, and immediately following, substantial storm events and maintain and/or replace the control measures, when needed, on a regular basis until the site is vegetatively stabilized. Hay bales shall be replaced every 60 days. The Environmental Planner is hereby authorized to require additional soil erosion and sediment controls and stabilization measures to address situations that arise on the site.
- 4. Prior to the issuance of a Certificate of Occupancy, certification from a professional engineer shall be required confirming that the stormwater management system was constructed in conformance with the approved design.
- 5. Underground fuel storage tanks shall be prohibited to reduce the potential of contamination to wetlands, watercourses, and groundwater resources.
- 6. The Permittee shall be fully responsible for damages caused by all activities undertaken pursuant to this permit that may have a detrimental effect on wetlands and/or watercourses, and all such activities that cause erosion and sedimentation problems.

Re: Transmittal of an environmental impact statement to the Town Plan & Zoning Commission and

Town Council - Warehouse 38, a proposed residential conversion project involving 31

MEMORANDUM

To: Town Plan & Zoning Commission & Town Council

From: Tom Mocko, Environmental Planner

Date: September 23, 2021

apartments - 38 Hubbard Street - Residential A Zone (requiring change to Adaptive Redevelopment Zone) and Flood Zone During its Regular Meeting of September 16, 2021, the Conservation Commission transmitted to the Town Plan and Zoning Commission and Town Council an environmental impact statement for the

proposed Warehouse 38. The following motion was approved by the Commission:

MOVED, that the Conservation Commission transmits an environmental impact statement of the proposed Warehouse 38 project located at 38 Hubbard Street to the Town Council and Town Plan and Zoning Commission; the Commission's statement is as stated within the previously submitted Environmental Impact Report for Warehouse 38 On The Green, 38 Hubbard Street, Glastonbury, Connecticut, prepared for LAC Group, LLC submitted by John P. Ianni, Professional Soil Scientist, of Highland Soils, LLC, dated October 31, 2013. Furthermore the Commission is in agreement with said report and its conclusions that this project should not result in any significant adverse impact upon the natural resources and environment

TM:gfm

Daniel A. Pennington, Town Engineer/Manager of Physical Services Peter R. Carey, Building Official Alter & Pearson, LLC

Dutton Associates, LLC, C.E. Robert Schechinger, Jr., LA

MEMORANDUM

To: Town Plan & Zoning Commission & Town Council

From: Tom Mocko, Environmental Planner /

Date: September 23, 2021 Re: Special Recommendations regarding Warehouse 38, a proposed residential conversion project involving 31 apartments - 38 Hubbard Street - Residential A Zone (requiring change to Adaptive Redevelopment Zone)

During its Regular Meeting of September 16, 2021, the Conservation Commission transmitted to the Town Plan and Zoning Commission and Town Council special recommendations for the proposed Warehouse 38. The following motion was approved by the Commission:

MOVED, that the Conservation Commission recommends the following to the Town Plan & Zoning Commission and the Town Council concerning the proposed Warehouse 38 residential redevelopment project: 1. In order to mitigate temperature increases from the project's pavement and retain the

value of mature shade trees with respect to climate change, all reasonable efforts shall be

taken to: preserve and maintain the existing quality vegetation along the south side of the

project (both on and off site); and supplement the existing vegetation to remain along the

south side with newly planted shade trees and flowering shrubs to provide similar,

enhanced heat-sink mitigation. 2. The soils' Remedial Action Plan prepared by Chester Environmental Associates, Inc., dated December 12, 2013 and addressed to Mr. Dominick Calciano shall be fully carried

TM:gfm

Daniel A. Pennington, Town Engineer/Manager of Physical Services Peter R. Carey, Building Official Alter & Pearson, LLC Dutton Associates, LLC, C.E. Robert Schechinger, Jr., LA

out prior to the issuance of any Certificate of Occupancy.

1 TES, CIA SSO

JOHN R. MARTUCCI, P.E. #19494

This document is an instrument of professional service, and shall not be used, i whole or in part, for any project other than for which it was created without the express written consent of DUTTON ASSOCIATES, LLC Any unauthorized use, reuse, modification of conversion of this document shall be at the user's sole risk without liability or legal exposure to DUTTON ASSOCIATES, LLC.

© 2013 — DUTTON ASSOCIATES, LLC.

APPROVALS

REHOUSE 38

DENTIAL CONVERSION
HUBBARD STREET
PREPARED FOR
J S ADVISORS, LLC
GLASTONBURY, CONNECTION

REVISIONS: 08/08/2021 - STORM DRAINS

> DATE: 08/04/2021 SHEET 16 of 17

A-21-050-APP-1

FILE: 21050.DWG

12/20/2021 - UPDATE 12/30/2021 - UPDATE

SCALE: NO SCALE

UNDERGROUND UTILITY NOTE:

UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROLE TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO THE UNDERSIGNED. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455 OR 811.

INSPECTION NOTE:

THE CONTRACTOR SHALL NOTIFY THE TOWN OF GLASTONBURY ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, SANITARY SEWER INSTALLATION, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, OR ANY EXCAVATION IN THE TOWN RIGHT-OF-WAY TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:00 AM - 4:30 PM MONDAY THROUGH FRIDAY AT (860)-652-7735 Y ASSOCIATES, FYORS AND CIVIL ENGINEER DUTTON SCALE: NO SCALE FILE: 21050.DWG

JOHN R. MARTUCCI, P.E. #19494

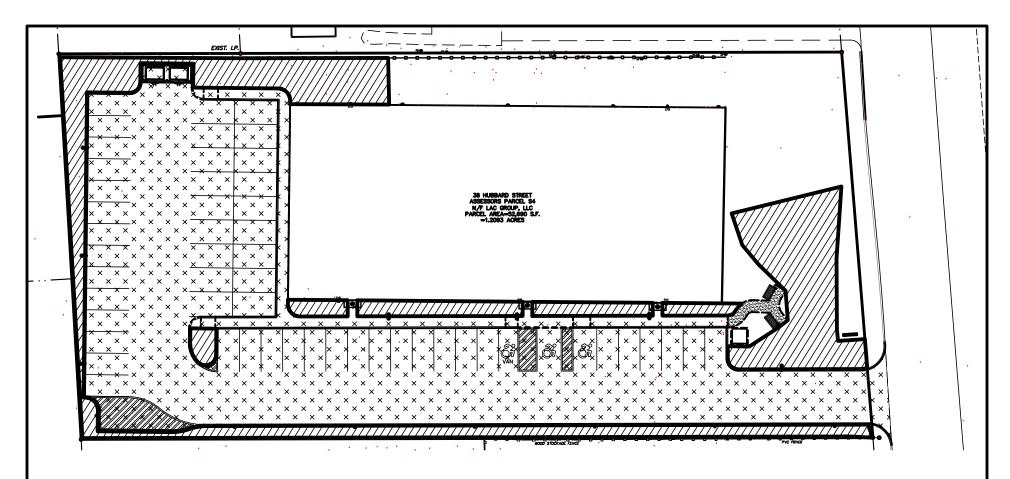
This document is an instrument of professional service, and shall not be used, in whole or in part, for any project other than for which it was created without the express, written consent of DUTTON ASSOCIATES, LLC. Any unauthorized use, reuse, modification or conversion of this document shall be at the user's sole risk without liability or legal exposure to DUTTON ASSOCIATES, LLC. © 2013 – DUTTON ASSOCIATES, LLC.

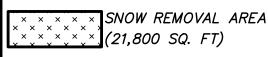
REVISIONS:

08/25/2021 - STORM DRAINS 12/20/2021 - UPDATE 12/30/2021 - UPDATE

DATE: 08/04/2021

SHEET 17 of 17 A-21-050-APP-2





SNOW STORAGE AREA (7,908 SQ. FT)

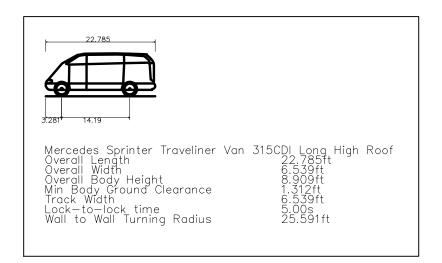
NOTE: 50% COMPACTION FACTOR APPLIED TO THE "IN PLACE" VOLUME TO COMPUTE THE STORAGE DEPTH

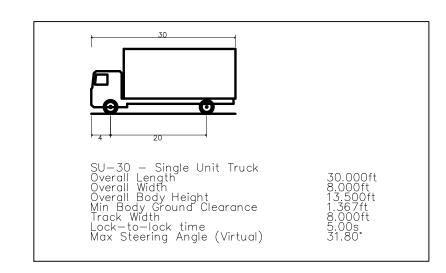
SNOWFALL DEPTH (INCHES) "IN PLACE" VOLUME (INCHES) "COMPACTED" VOLUME (INCHES)/FEET (
(INCHES) CUBIC FEET CUBIC FEET (INCHES/FEET) 1 1,817 909 1.3 0.11 2 3,633 1,817 2.8 0.23 3 5,450 2,725 4.1 0.34 4 7,267 3,634 5.5 0.46 5 9,083 4,542 6.8 0.57 6 10,900 5,450 8.3 0.69 7 12,716 6,358 9.6 0.80 8 14,533 7,267 11.0 0.92 9 16,350 8,175 12.4 1.03 10 18,167 9,084 13.8 1.15 11 19,983 9,992 15.1 1.26 12 21,800 10,900 16.6 1.38 16 29,067 14,543 22.1 1.84 20 36,333 18,167 27.6 2.30	SNOWFALL	"IN PLACE"	"COMPACTED"	STORAGE	
1 1,817 909 1.3 0.11 2 3,633 1,817 2.8 0.23 3 5,450 2,725 4.1 0.34 4 7,267 3,634 5.5 0.46 5 9,083 4,542 6.8 0.57 6 10,900 5,450 8.3 0.69 7 12,716 6,358 9.6 0.80 8 14,533 7,267 11.0 0.92 9 16,350 8,175 12.4 1.03 10 18,167 9,084 13.8 1.15 11 19,983 9,992 15.1 1.26 12 21,800 10,900 16.6 1.38 16 29,067 14,543 22.1 1.84 20 36,333 18,167 27.6 2.30	DEPTH	VOLUME	VOLUME	DE	PTH
2 3,633 1,817 2.8 0.23 3 5,450 2,725 4.1 0.34 4 7,267 3,634 5.5 0.46 5 9,083 4,542 6.8 0.57 6 10,900 5,450 8.3 0.69 7 12,716 6,358 9.6 0.80 8 14,533 7,267 11.0 0.92 9 16,350 8,175 12.4 1.03 10 18,167 9,084 13.8 1.15 11 19,983 9,992 15.1 1.26 12 21,800 10,900 16.6 1.38 16 29,067 14,543 22.1 1.84 20 36,333 18,167 27.6 2.30	(INCHES)	CUBIC FEET	CUBIC FEET	(INCHE	S/FEET)
3 5,450 2,725 4.1 0.34 4 7,267 3,634 5.5 0.46 5 9,083 4,542 6.8 0.57 6 10,900 5,450 8.3 0.69 7 12,716 6,358 9.6 0.80 8 14,533 7,267 11.0 0.92 9 16,350 8,175 12.4 1.03 10 18,167 9,084 13.8 1.15 11 19,983 9,992 15.1 1.26 12 21,800 10,900 16.6 1.38 16 29,067 14,543 22.1 1.84 20 36,333 18,167 27.6 2.30	1	1,817	909	1.3	0.11
4 7,267 3,634 5.5 0.46 5 9,083 4,542 6.8 0.57 6 10,900 5,450 8.3 0.69 7 12,716 6,358 9.6 0.80 8 14,533 7,267 11.0 0.92 9 16,350 8,175 12.4 1.03 10 18,167 9,084 13.8 1.15 11 19,983 9,992 15.1 1.26 12 21,800 10,900 16.6 1.38 16 29,067 14,543 22.1 1.84 20 36,333 18,167 27.6 2.30	2	3,633	1,817	2.8	0.23
5 9,083 4,542 6.8 0.57 6 10,900 5,450 8.3 0.69 7 12,716 6,358 9.6 0.80 8 14,533 7,267 11.0 0.92 9 16,350 8,175 12.4 1.03 10 18,167 9,084 13.8 1.15 11 19,983 9,992 15.1 1.26 12 21,800 10,900 16.6 1.38 16 29,067 14,543 22.1 1.84 20 36,333 18,167 27.6 2.30	3	<i>5,450</i>	2,725	4.1	0.34
6 10,900 5,450 8.3 0.69 7 12,716 6,358 9.6 0.80 8 14,533 7,267 11.0 0.92 9 16,350 8,175 12.4 1.03 10 18,167 9,084 13.8 1.15 11 19,983 9,992 15.1 1.26 12 21,800 10,900 16.6 1.38 16 29,067 14,543 22.1 1.84 20 36,333 18,167 27.6 2.30	4	7,267	3,634	5.5	0.46
7 12,716 6,358 9.6 0.80 8 14,533 7,267 11.0 0.92 9 16,350 8,175 12.4 1.03 10 18,167 9,084 13.8 1.15 11 19,983 9,992 15.1 1.26 12 21,800 10,900 16.6 1.38 16 29,067 14,543 22.1 1.84 20 36,333 18,167 27.6 2.30	5	9,083	4,542	6.8	0.57
8 14,533 7,267 11.0 0.92 9 16,350 8,175 12.4 1.03 10 18,167 9,084 13.8 1.15 11 19,983 9,992 15.1 1.26 12 21,800 10,900 16.6 1.38 16 29,067 14,543 22.1 1.84 20 36,333 18,167 27.6 2.30	6	10,900	5,450	8.3	0.69
9 16,350 8,175 12.4 1.03 10 18,167 9,084 13.8 1.15 11 19,983 9,992 15.1 1.26 12 21,800 10,900 16.6 1.38 16 29,067 14,543 22.1 1.84 20 36,333 18,167 27.6 2.30	7	12,716	6,358	9.6	0.80
10 18,167 9,084 13.8 1.15 11 19,983 9,992 15.1 1.26 12 21,800 10,900 16.6 1.38 16 29,067 14,543 22.1 1.84 20 36,333 18,167 27.6 2.30	8	14,533	7,267	11.0	0.92
11 19,983 9,992 15.1 1.26 12 21,800 10,900 16.6 1.38 16 29,067 14,543 22.1 1.84 20 36,333 18,167 27.6 2.30	9	<i>16,350</i>	<i>8,175</i>	12.4	1.03
12 21,800 10,900 16.6 1.38 16 29,067 14,543 22.1 1.84 20 36,333 18,167 27.6 2.30	10	18,167	9,084	13.8	1.15
16 29,067 14,543 22.1 1.84 20 36,333 18,167 27.6 2.30	11	19,983	9,992	15.1	1.26
20 36,333 18,167 27.6 2.30	12	21,800	10,900	16.6	1.38
·	16	29,067	14,543	22.1	1.84
24 43,600 21,880 33.2 2.77	20	36,333	18,167	27.6	2.30
	24	43,600	21,880	33.2	2.77

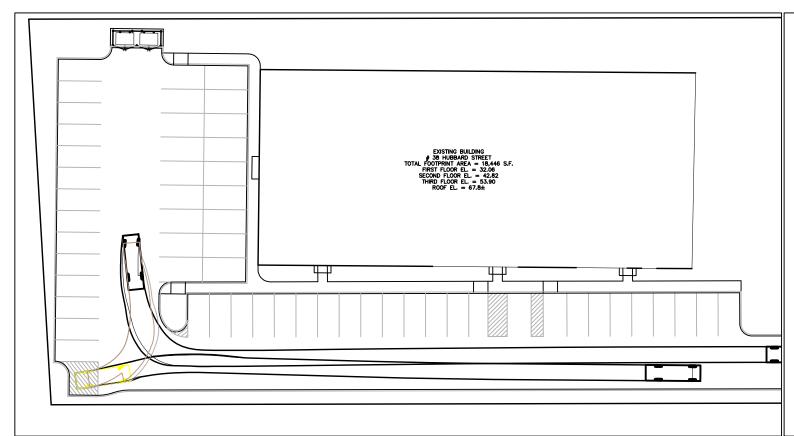
SNOW STORAGE PLAN WAREHOUSE 38 RESIDENTIAL CONVERSION 38 HUBBARD STREET

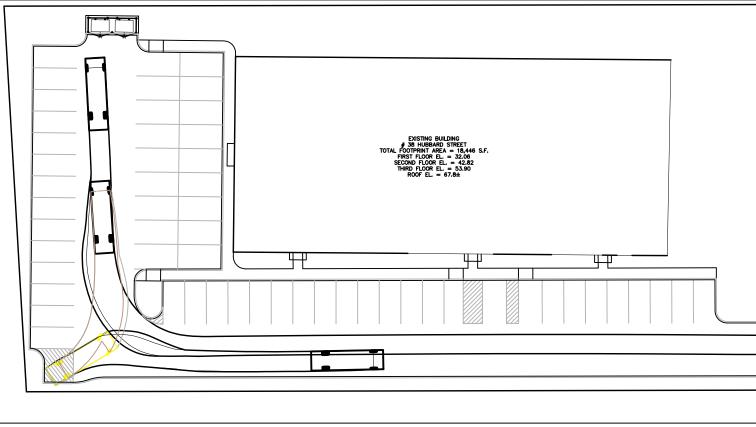
LAC GROUP AND
J S ADVISORS, LLC APPLICANT

GLASTONBURY, CONNECTICUT
NOT TO SCALE 12-230-2021
DUTTON ASSOCIATES, LLC
67 EASTERN BOULEVARD
GLASTONBURY, CT 06033
860-633-9401







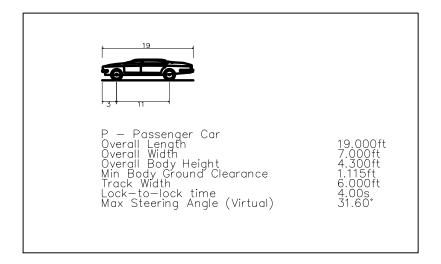


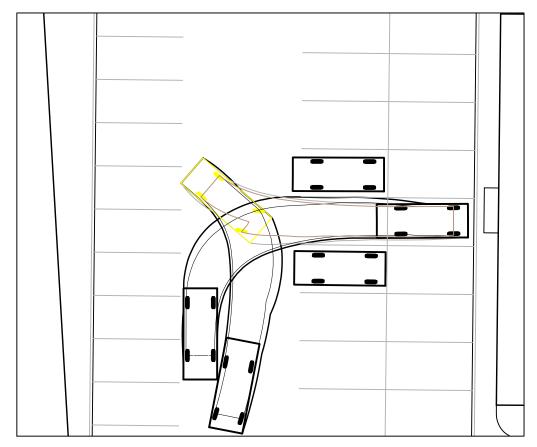
Amazon Van 1"=40'

Large FedEx Truck and Trash Truck 1"=40'

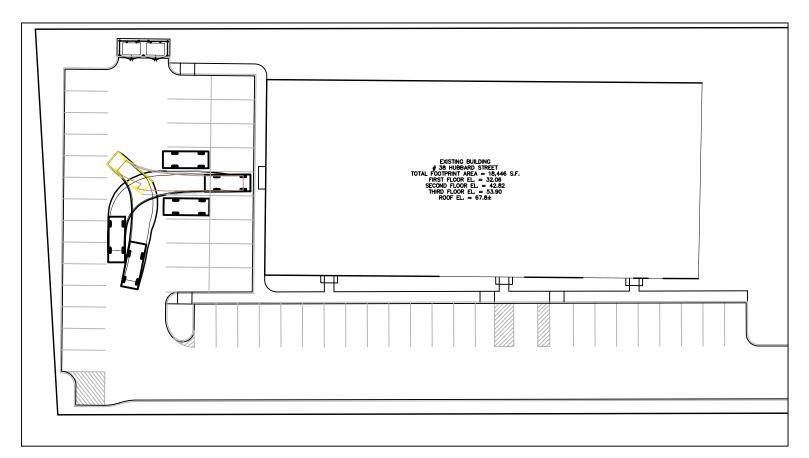


Turning Movements **Proposed Conditions** Proposed Warehouse 38 38 Hubbard Street, Glastonbury, CT





Passenger Car 1"=20'



Passenger Car 1"=40'



Turning Movements
Proposed Conditions Proposed Warehouse 38 38 Hubbard Street, Glastonbury, CT