

WAREHOUSE 38

RESIDENTIAL CONVERSION

38 HUBBARD STREET

PREPARED FOR

LAC GROUP, LLC OWNER

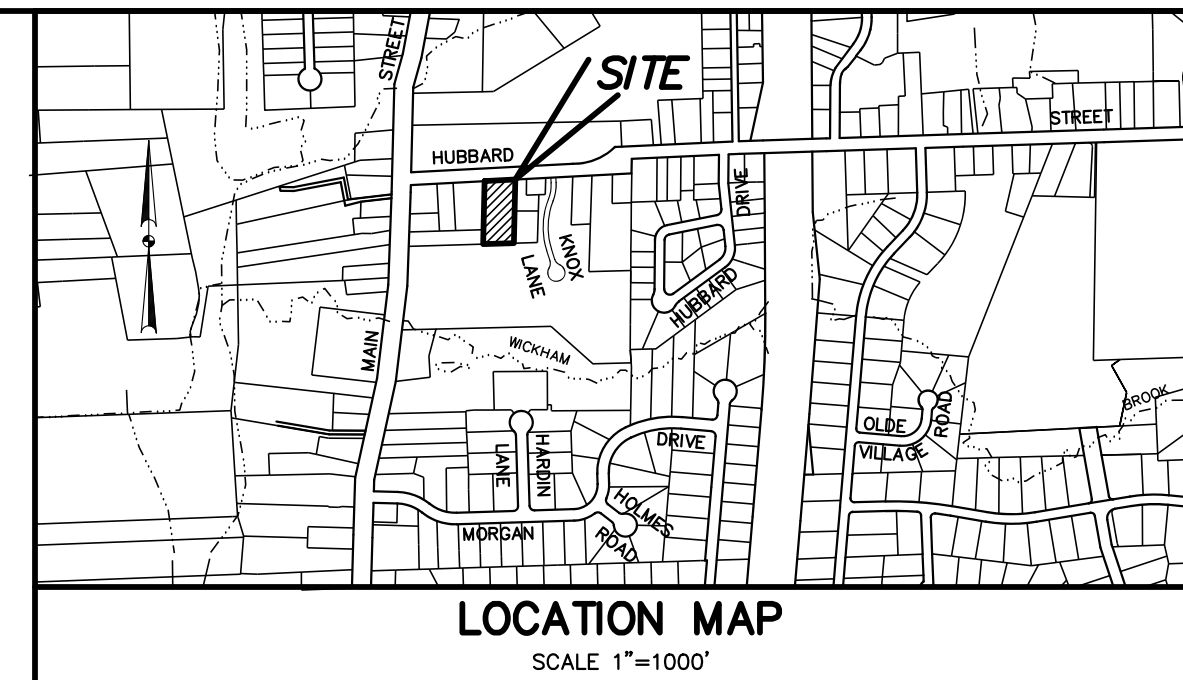
J S ADVISORS, LLC APPLICANT

GLASTONBURY, CONNECTICUT

PREPARED BY

DUTTON ASSOCIATES, LLC

67 EASTERN BOULEVARD
GLASTONBURY, CONNECTICUT 06033



PROPOSED ARZ ZONE (RES A EXISTING)

ITEM	REQUIRED/ALLOWED	EXISTING	PROPOSED
LOT AREA	N/A	52,690 S.F.	52,690 S.F.
LOT FRONTAGE	N/A	160.64 FT.	160.64 FT.
FRONT YARD	N/A	28.49 FT.	50.08 FT.
SIDE YARD	N/A	25.40 FT. / 8.12 FT.	56.08 FT. / 21.18 FT.
REAR YARD	N/A	73.65 FT.	89.39 FT.
BUILDING COVERAGE	N/A	19,595 S.F./37.2%	14,795/28.1%
F.A.R.	0.5***	0.91**	0.84**
# OF UNITS	N/A	N/A	30
IMPERVIOUS AREA	N/A	30,120 S.F. /57.2%	35,836 S.F. /68.0%
OPEN SPACE	N/A	22,570 S.F. /42.8%	16,854 S.F. /32.0%
PARKING	45 SPACES*	N/A	45 SPACES

* BASED ON 1.5 SPACES PER UNIT
 ** SEE CHART BELOW
 *** FIRST 5 ACRES: 0.5 OR F.A.R. OF EXISTING STRUCTURES, EXCESS OF 5 ACRES: 0.25 OR 15 DWELLING UNITS/ACRE WHICHEVER IS LESS

FLOOR AREA RATIO CALCULATION IN ACCORDANCE WITH §4.17(C)
 FAR = TOTAL BUILDING FLOOR AREA BETWEEN EXTERIOR WALLS/TOTAL AREA OF LOT
 THE TOTAL LOT AREA CALCULATION SHALL NOT INCLUDE THE AREA OF ANY OF THE FOLLOWING NATURAL FEATURES: INLAND WETLANDS AND/OR WATERCOURSES, SLOPES WITH AN INCLINE OF 25% OR GREATER OR 100-YEAR FLOOD HAZARD AREA (ZONE A/AE). THIS IS THE BUILDABLE AREA CALCULATION.

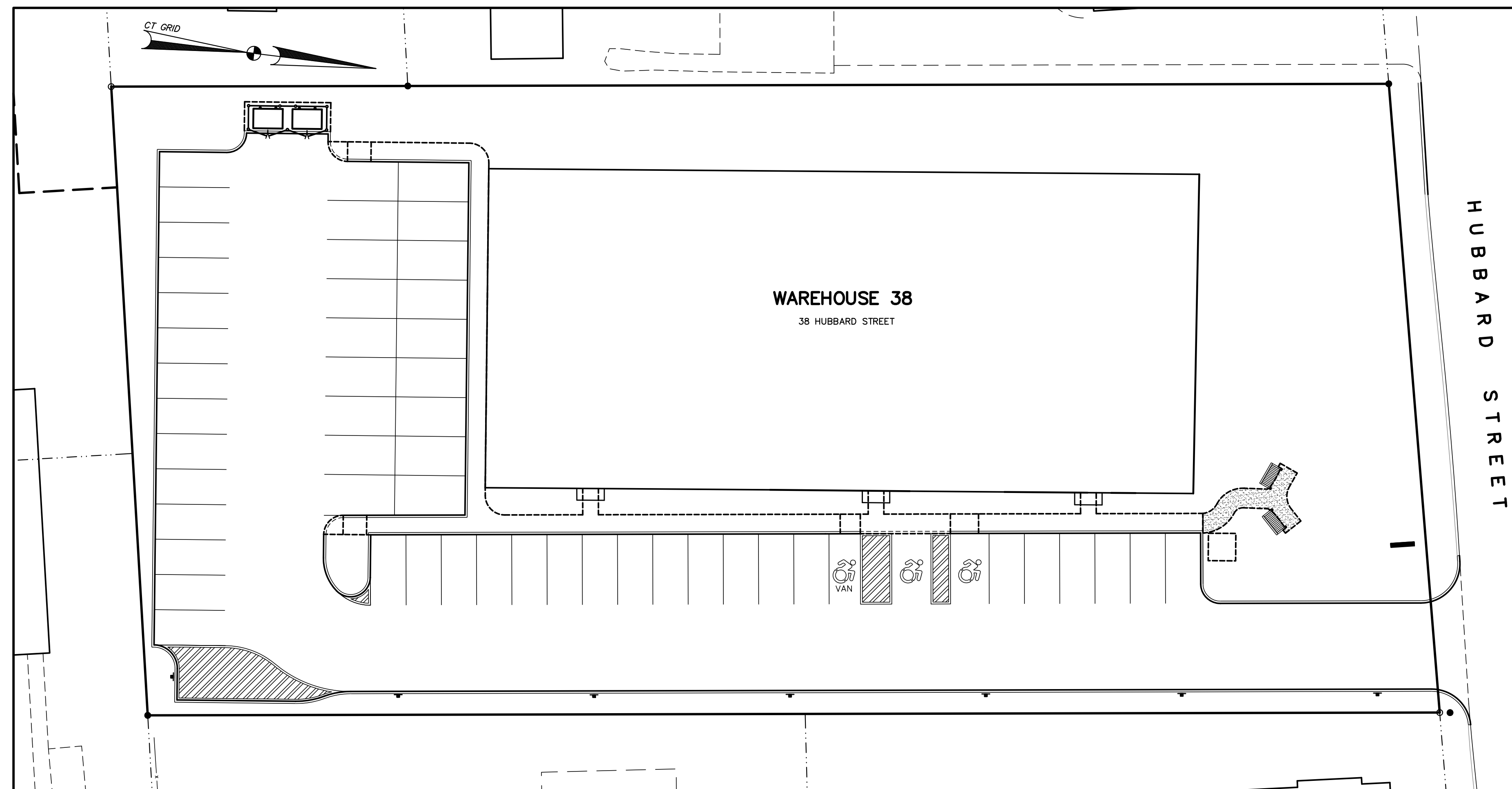
		EXISTING FLOOR AREA	TOTAL AREA OF THE LOT	PROPOSED FLOOR AREA	TOTAL AREA OF THE LOT (BUILDABLE AREA CALCULATION)
ACCESSORY STRUCTURE	REAR BUILDING	713 S.F.	52,690 S.F.	14,759 S.F.	52,690 S.F.
WAREHOUSE FIRST FLOOR	MAIN WAREHOUSE	14,759 S.F.			
WAREHOUSE SECOND FLOOR	WAREHOUSE GREENHOUSE	1,715 S.F.	52,690 S.F.	14,759 S.F.	52,690 S.F.
	MAIN WAREHOUSE	14,759 S.F.			
	SOUTH ADDITION	700 S.F.			
WAREHOUSE THIRD FLOOR	BOILER ROOM	655 S.F.	52,690 S.F.	14,759 S.F.	52,690 S.F.
	EAST ADDITION	57 S.F.			
	MAIN WAREHOUSE	14,759 S.F.			
TOTAL		48,117 S.F.		44,274 S.F.	52,690 S.F.
FAR		0.91		0.84	

TOWN OF GLASTONBURY MS-4 PERMIT INFORMATION

	TOTAL IMPERVIOUS AREA	DIRECTLY CONNECTED IMPERVIOUS AREA
PRE-DEVELOPMENT	0.6914 ACRES	0.0736 ACRES
POST-DEVELOPMENT	0.8455 ACRES	0.0448 ACRES
NET CHANGE	+0.1541 ACRES	0.0064 ACRES

LEGEND TO PLAN SHEETS

	EXISTING I.P. FND.		PROPOSED I.P. FND.
	EXISTING MON. FND.		PROPOSED MON. FND.
	IRON PIN		CONCRETE MONUMENT
	PROPERTY LINE		ABUTTING PROPERTY LINES
	EASEMENT LINE		GROUND CONTOURS
	SPOT ELEVATION		TREE LINE
	TREE/SHRUB		SIGN
	LIGHT POLE		BUILDINGS
	ROOF OVERHANG		STEPS/HATCHWAY
	CONC. PAVEMENT		CONCRETE PAVEMENT
	BIT. PAVEMENT		BITUMINOUS PAVEMENT
	BIT. CURB		BITUMINOUS CURB
	SINGLE WHITE LINE		FENCE
	PERVIOUS CONCRETE		WETLAND FLAG
	WETLAND LIMIT		BUFFER LIMIT
	WATERCOURSE		SOIL DELINEATION LINE
	SANITARY MANHOLE		DRAINAGE MANHOLE
	HYDRANT		STORM SEWERS
	FOUNDATION DRAIN		SANITARY SEWERS
	WATER MAINS		UNDERGROUND ELECTRIC
	OVERHEAD ELECTRIC		GAS LINES
	SEDIMENT BARRIER		CONSTRUCTION ENTRANCE
	SOIL STOCKPILE		TEST PIT



UNDERGROUND UTILITY NOTE:
 UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROLE TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO THE UNDERSIGNED. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG: 1-800-922-4455 OR 811.

INSPECTION NOTE:
 THE CONTRACTOR SHALL NOTIFY THE TOWN OF GLASTONBURY ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, SANITARY SEWER INSTALLATION, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, OR ANY EXCAVATION IN THE TOWN RIGHT-OF-WAY TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:00 AM - 4:30 PM MONDAY THROUGH FRIDAY AT (860)-552-7735.

TABLE OF CONTENTS

PLAN NUMBER	DESCRIPTION	SHEET NUMBER
A-21-050-IND	TITLE SHEET AND INDEX PLAN	1 OF 17
A-21-050-BND	PROPERTY BOUNDARY & EXISTING TOPOGRAPHIC SURVEY	2 OF 17
A-21-050-DEMO	DEMOLITION PLAN	3 OF 17
A-21-050-LAY	LAYOUT PLAN	4 OF 17
A-21-050-U	UTILITY PLAN	5 & 6 OF 17
A-21-050-GRD	GRADING PLAN	7 OF 17
A-21-050-E/S	EROSION & SEDIMENTATION CONTROL PLAN	8 OF 17
A-21-050-LTG	LANDSCAPE PLAN	9 OF 17
A-21-050-LTG-D	LIGHTING PLAN	10 OF 17
A-21-050-LTG-D	LIGHTING DETAILS	11 OF 17
A-21-050-D1, D2 & D3	DETAILS & NOTES	12, 13, 14 & 15 OF 17
A-21-050-APP-1 & APP-2	APPROVALS	16 & 17 OF 17

DUTTON ASSOCIATES, LLC
 LAND SURVEYORS AND CIVIL ENGINEERS
 67 EASTERN BOULEVARD
 GLASTONBURY, CONNECTICUT 06033
 TEL: 860-633-8401 FAX: 860-633-8951
 EMAIL: INFO@DUTTONASSOCIATESLLC.COM

JOHN R. MARTUCCI, P.E. #19494

JAMES W. DUTTON, L.S. #70074

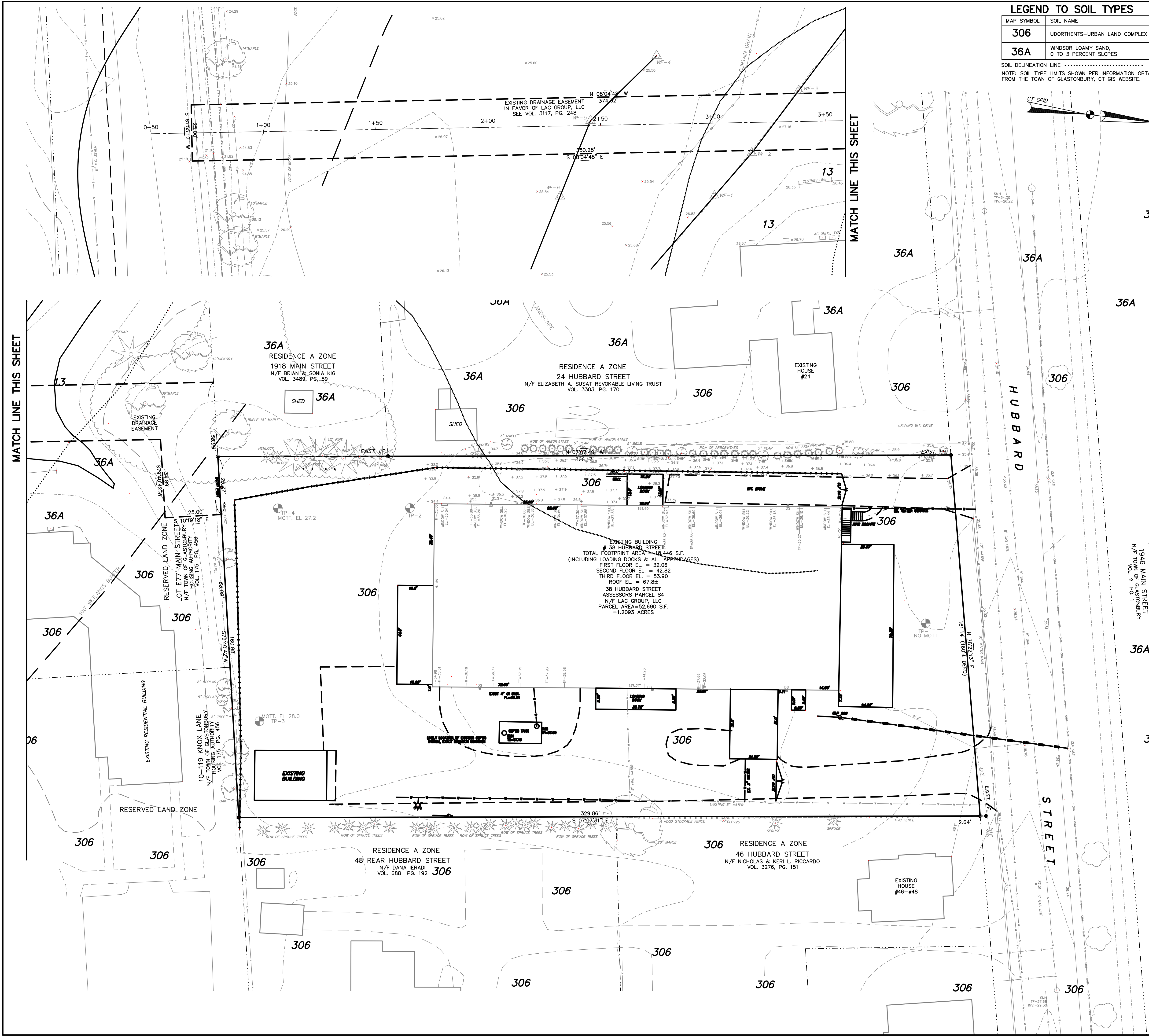
This document is an instrument of professional service, and shall not be used, in whole or in part, for any project other than for which it was created without the express written consent of DUTTON ASSOCIATES, LLC. Any unauthorized use, reuse, modification or conversion of this document shall be at the user's sole risk, without liability, to the preparer of this document, DUTTON ASSOCIATES, LLC. © 2013 DUTTON ASSOCIATES, LLC.

TITLE SHEET & INDEX PLAN
WAREHOUSE 38
 RESIDENTIAL CONVERSION - 38 HUBBARD STREET
 PREPARED FOR
LAC GROUP, LLC OWNER
J S ADVISORS, LLC APPLICANT
 GLASTONBURY, CONNECTICUT

REVISIONS:

08/25/2021 - STORM DRAINS
12/20/2021 - UPDATE
12/30/2021 - UPDATE
DATE: 08/04/2021
SCALE: 1" = 20'
SHEET 1 of 17
A-21-050-IND
FILE: 21050.DWG

TOWN PLAN & ZONING SUBMISSION 12-30-2021



LEGEND TO SOIL TYPES

MAP SYMBOL	SOIL NAME
306	UDORHTENTS-URBAN LAND COMPLEX
36A	WINDSOR LOAMY SAND, 0 TO 3 PERCENT SLOPES

SOIL DELINEATION LINE
 NOTE: SOIL TYPE LIMITS SHOWN PER INFORMATION OBTAINED FROM THE TOWN OF GLASTONBURY, CT GIS WEBSITE.

UNDERGROUND UTILITY NOTE:
 UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROLE TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO THE UNDERSIGNED. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG - 800-922-4459 OR 811.

INSPECTION NOTE:
 THE CONTRACTOR SHALL NOTIFY THE TOWN OF GLASTONBURY ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, SANITARY SEWER INSTALLATION, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, OR ANY EXCAVATION IN THE TOWN RIGHT-OF-WAY TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:00 AM - 4:30 PM MONDAY THROUGH FRIDAY AT (860)-652-7735.

LEGEND

- I.P. FND. IRON PIN
- MON. FND. CONCRETE MONUMENT
- PROPERTY LINE
- - - ABUTTING PROPERTY LINES
- - - EASEMENT LINE
- - - GROUND CONTOURS
- SPOT ELEVATION
- TREE LINE
- TREE/SHRUB
- SIGN
- LIGHT POLE
- BUILDINGS
- ROOF OVERHANG
- STEPS/HATCHWAY
- CONCRETE PAVEMENT
- BITUMINOUS PAVEMENT
- BITUMINOUS CURB
- PERVIOUS CONCRETE
- WETLANDS LIMIT
- BUFFER LIMIT
- WATERCOURSE
- STORM SEWERS
- FOUNDATION DRAIN
- SANITARY SEWERS
- WATER MAINS
- UNDERGROUND ELECTRIC
- OVERHEAD ELECTRIC
- GAS LINES
- TEST PIT

DUTTON ASSOCIATES, LLC
 LAND SURVEYORS AND CIVIL ENGINEERS
 67 EASTERN BOULEVARD
 GLASTONBURY, CONNECTICUT 06033
 TEL: 860-633-8401 FAX: 860-633-8951
 EMAIL: JMD@DUTTONASSOCIATESLLC.COM

JAMES W. DUTTON, L.S. #70074
 This document is an instrument of professional service, and shall not be used, in whole or in part, for any project other than for which it was created, without the express written consent of DUTTON ASSOCIATES, LLC. Any unauthorized use, reuse, modification or conversion of this document shall be at the user's sole risk, without liability or legal recourse to DUTTON ASSOCIATES, LLC. © 2013 - DUTTON ASSOCIATES, LLC

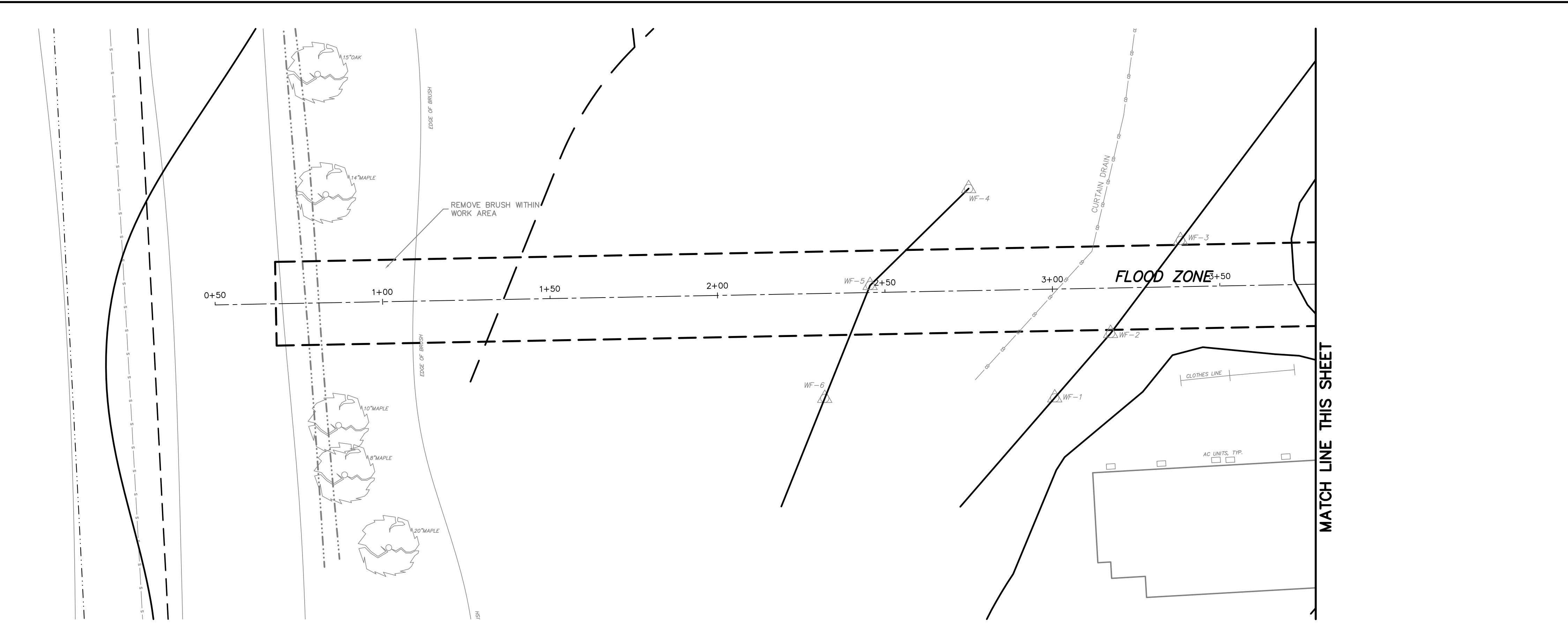
PROPERTY BOUNDARY SURVEY TOPOGRAPHIC SURVEY WAREHOUSE 38 RESIDENTIAL CONVERSION - 38 HUBBARD STREET LAC GROUP, LLC OWNER J S ADVISORS, LLC APPLICANT

REFERENCE IS MADE TO MAPS TITLED:
 "PROPERTY BOUNDARY SURVEY, EASEMENT PLAN, RESIDENTIAL CONVERSION, 38 HUBBARD STREET, PREPARED FOR LAC GROUP, LLC, GLASTONBURY, CONNECTICUT, PREPARED BY DUTTON ASSOCIATES, LLC, GLASTONBURY, CONN., SCALE: 1"=40', DATE: 2013, FILE NAME: A-08-034-ESMT."
 "PREPARED FOR GLASTONBURY HOUSING AUTHORITY, GLASTONBURY, CONN., PREPARED BY MEGSON & HYPPA, CIVIL ENGINEERS, GLASTONBURY, CONN., SCALE: 1"=40', DATE: 1-26-88, REVISED THROUGH: 9-16-70."
 "PREPARED FOR BERNARD A. DION, GLASTONBURY, CONN., PREPARED BY MEGSON & HYPPA, CIVIL ENGINEERS, GLASTONBURY, CONN., SCALE: 1"=40', DATE: 4-29-70, REVISED THROUGH: 10-29-70."
 "PROPERTY OF CHARLES F. AMES & BENJAMIN A. KNAPP, GLASTONBURY, CONN., PREPARED BY MOLLOY & MOZZOCHI, ENGINEERS, SCALE: 1"=40', DATED: MAY 15, 1950, REVISED: JULY 13, 1951."
 THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.
 THE TYPE OF SURVEY PERFORMED IS A LIMITED PROPERTY, BOUNDARY AND TOPOGRAPHIC SURVEY.
 THE BOUNDARY DETERMINATION CATEGORY IS DEPENDENT SURVEY.
 THIS SURVEY CONFORMS TO HORIZONTAL ACCURACY CLASS A-2.
 THIS SURVEY CONFORMS TO TOPOGRAPHIC ACCURACY CLASS T-2 & T-3 (SEE NOTE BELOW).
 THIS SURVEY CONFORMS TO VERTICAL ACCURACY CLASS V-2.
 THIS MAP WAS PREPARED FOR THE PURPOSE OF BOUNDARY DEFINITION AND SITE DESIGN.
 TOPOGRAPHIC INFORMATION WITHIN THE SITE AND EXISTING DRAINAGE EASEMENT FROM FIELD SURVEY, TOPOGRAPHIC INFORMATION OUTSIDE THE SITE FROM TOWN OF GLASTONBURY AERIAL PHOTOGRAMMETRY.
 UNDERGROUND UTILITY STRUCTURE FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING AND INFORMATION PROVIDED BY OTHERS. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES AND STRUCTURES MAY EXIST IN THE AREA, THE EXISTENCE OF WHICH IS UNKNOWN TO DUTTON ASSOCIATES, LLC. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION.
 BEARINGS REFER TO NAD 83/87 AND ARE BASED ON HORIZONTAL DATA PROVIDED BY THE TOWN OF GLASTONBURY.
 ELEVATIONS REFER TO NAVD 88 AND ARE BASED ON VERTICAL DATA PROVIDED BY THE TOWN OF GLASTONBURY.
 "TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON"
 THIS MAP IS NOT VALID UNLESS IT BEARS THE LIVE SIGNATURE AND SEAL OF THE UNDERSIGNED SURVEYOR.

REVISIONS:

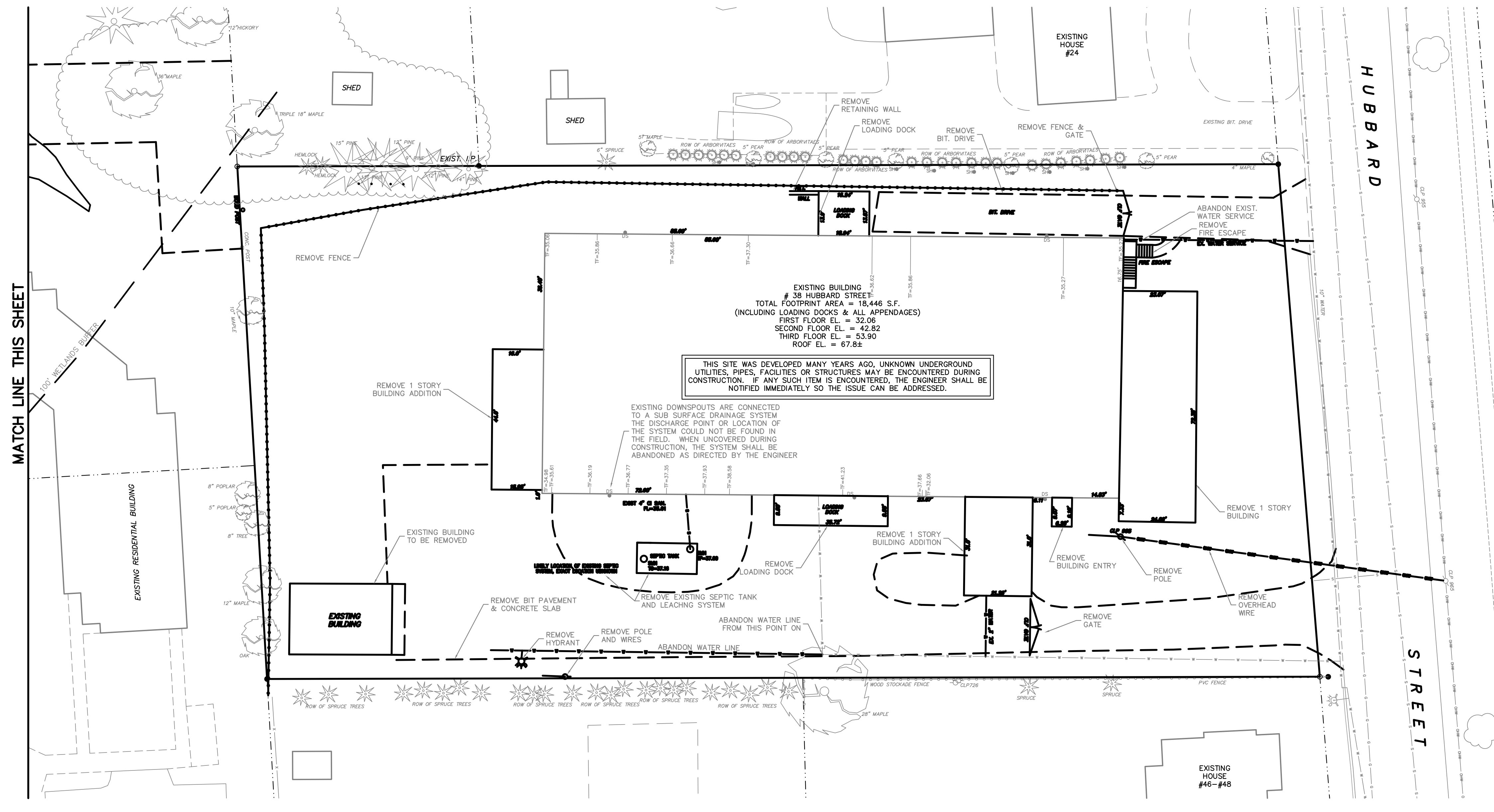
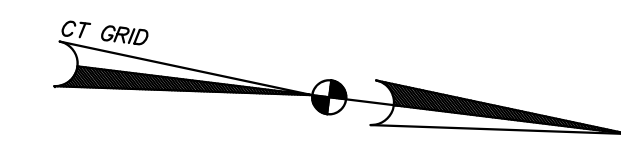
08/25/2021 - STORM DRAINS
12/20/2021 - UPDATE
12/30/2021 - UPDATE

DATE: 08/04/2021
 SCALE: 1" = 20'
 SHEET 2 of 17
A-21-050-BND
 FILE: 21050.DWG



UNDERGROUND UTILITY NOTE:
 UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROLE TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO THE UNDERSIGNED. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4459 OR 811.

INSPECTION NOTE:
 THE CONTRACTOR SHALL NOTIFY THE TOWN OF GLASTONBURY ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, SANITARY SEWER INSTALLATION, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, OR ANY EXCAVATION IN THE TOWN RIGHT-OF-WAY TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:00 AM - 4:30 PM MONDAY THROUGH FRIDAY AT (860)-652-7735.



DUTTON ASSOCIATES, LLC
 LAND SURVEYORS AND CIVIL ENGINEERS
 67 EASTERN BOULEVARD
 GLASTONBURY, CONNECTICUT 06033
 TEL: 860-633-8401 FAX: 860-633-8981
 EMAIL: JIM@DUTTONASSOCIATESLLC.COM

JOHN R. MARTUCCI, P.E. #19494

This document is an instrument of professional service, and shall not be used, in whole or in part, for any project other than for which it was created without the express written consent of DUTTON ASSOCIATES, LLC. Any unauthorized use, reuse, modification or conversion of this document shall be at the user's sole risk, without liability or legal recourse to DUTTON ASSOCIATES, LLC.
 © 2013 - DUTTON ASSOCIATES, LLC

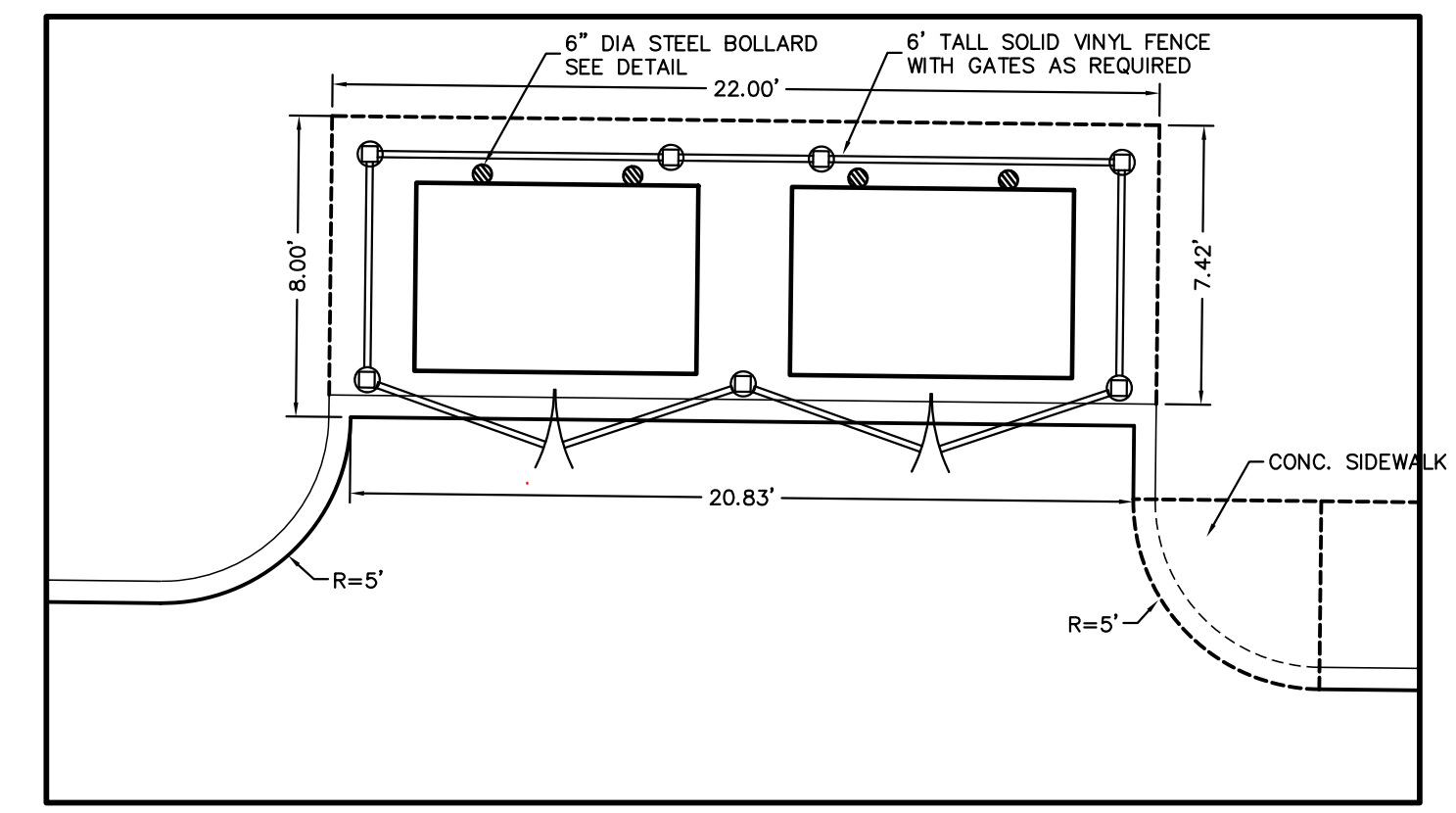
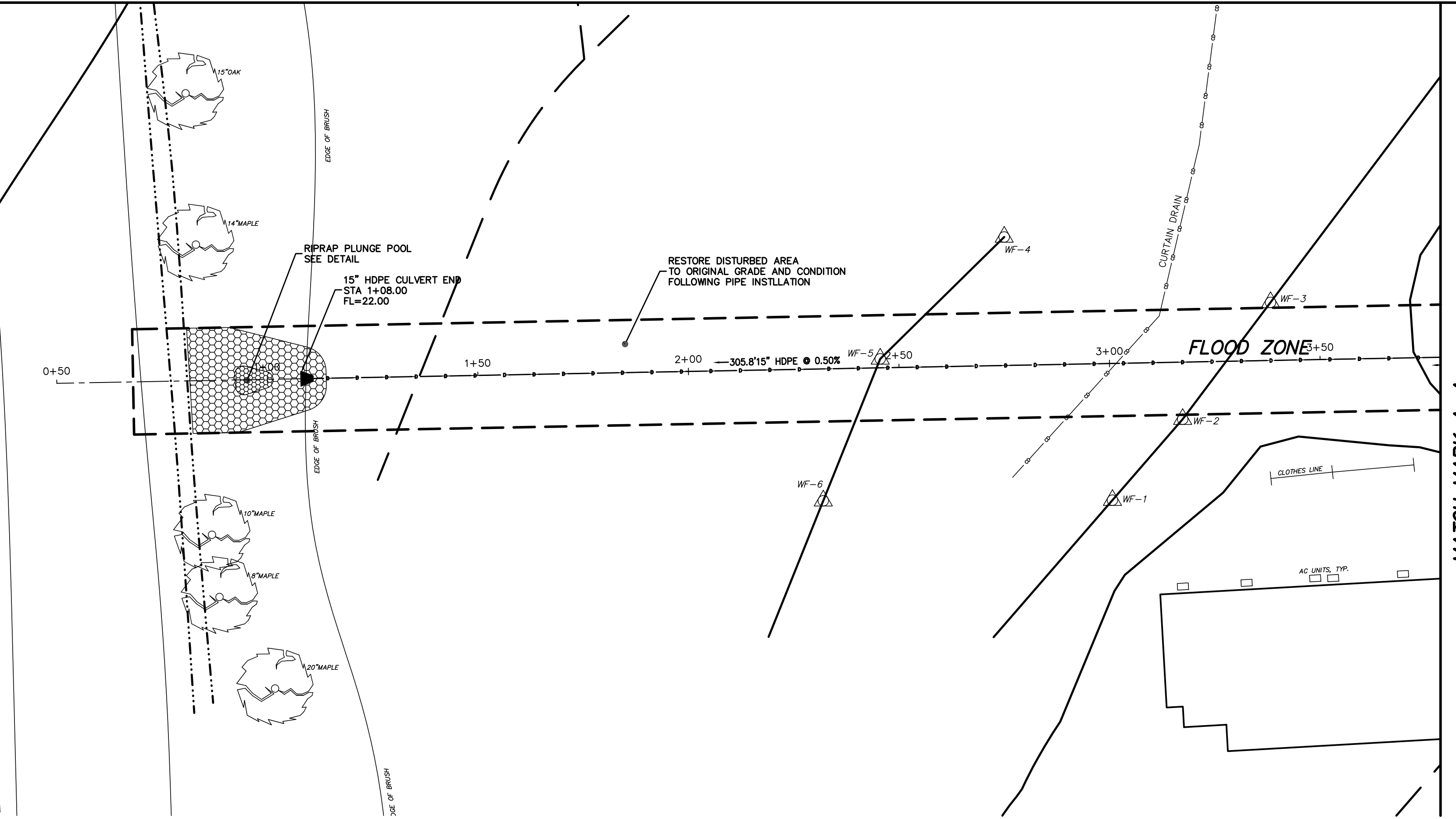
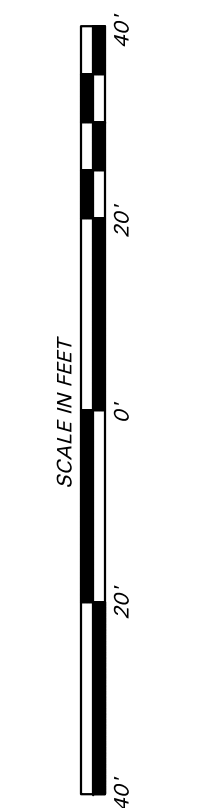
DEMOLITION PLAN
WAREHOUSE 38
 RESIDENTIAL CONVERSION - 38 HUBBARD STREET
 PREPARED FOR LAC GROUP, LLC OWNER
 J S ADVISORS, LLC APPLICANT
 GLASTONBURY, CONNECTICUT

REVISIONS:
 08/25/2021 - STORM DRAINS
 12/20/2021 - UPDATE
 12/30/2021 - UPDATE

DATE: 08/04/2021
 SCALE: 1" = 20'
 SHEET 3 of 17
A-21-050-DEMO
 FILE: 21050.DWG

UNDERGROUND UTILITY NOTE:
 UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON, HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROLE TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO THE UNDERSIGNED. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG: 1-800-927-4559 OR 811.

INSPECTION NOTE:
 THE CONTRACTOR SHALL NOTIFY THE TOWN OF GLASTONBURY ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, SANITARY SEWER INSTALLATION, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, OR ANY EXCAVATION IN THE TOWN RIGHT-OF-WAY TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:00 AM - 4:30 PM MONDAY THROUGH FRIDAY AT (860)-652-7735.



REFUSE AREA DIMENSIONS
 SCALE 1"=5'

DUTTON ASSOCIATES, LLC
 LAND SURVEYORS AND CIVIL ENGINEERS
 67 EASTERN BOULEVARD
 GLASTONBURY, CONNECTICUT 06033
 TEL: 860-633-8401 FAX: 860-633-8951
 EMAIL: JMD@DUTTONASSOCIATESLLC.COM

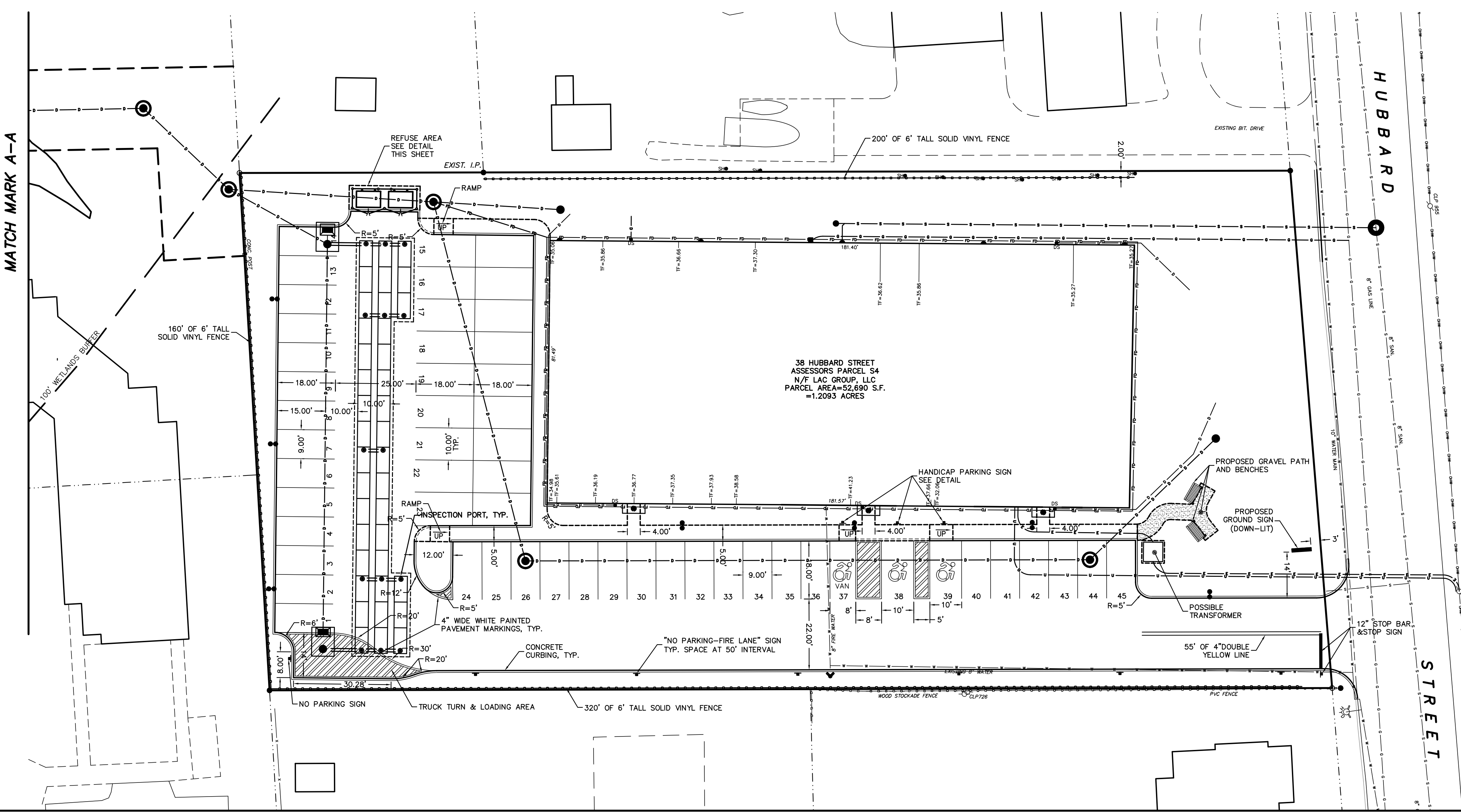
JOHN R. MARTUCCI, P.E. #19494

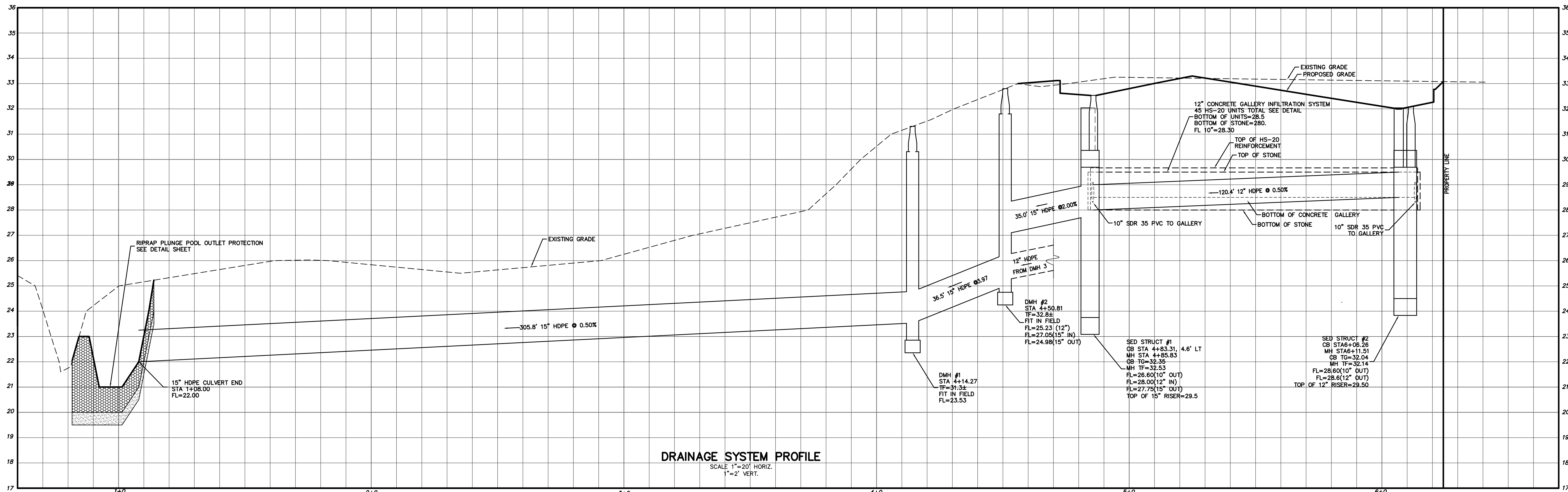
This document is an instrument of professional service, and shall not be used, in whole or in part, for any project other than for which it was created, without the express written consent of DUTTON ASSOCIATES, LLC. Any unauthorized use, reuse, modification or conversion of this document shall be at the user's sole risk, without liability or legal recourse to DUTTON ASSOCIATES, LLC. © 2013 DUTTON ASSOCIATES, LLC.

LAYOUT PLAN
WAREHOUSE 38
 RESIDENTIAL CONVERSION
 38 HUBBARD STREET
 LAC GROUP, LLC J.S. ADVISORS, LLC APPLICANT
 GLASTONBURY, CONNECTICUT

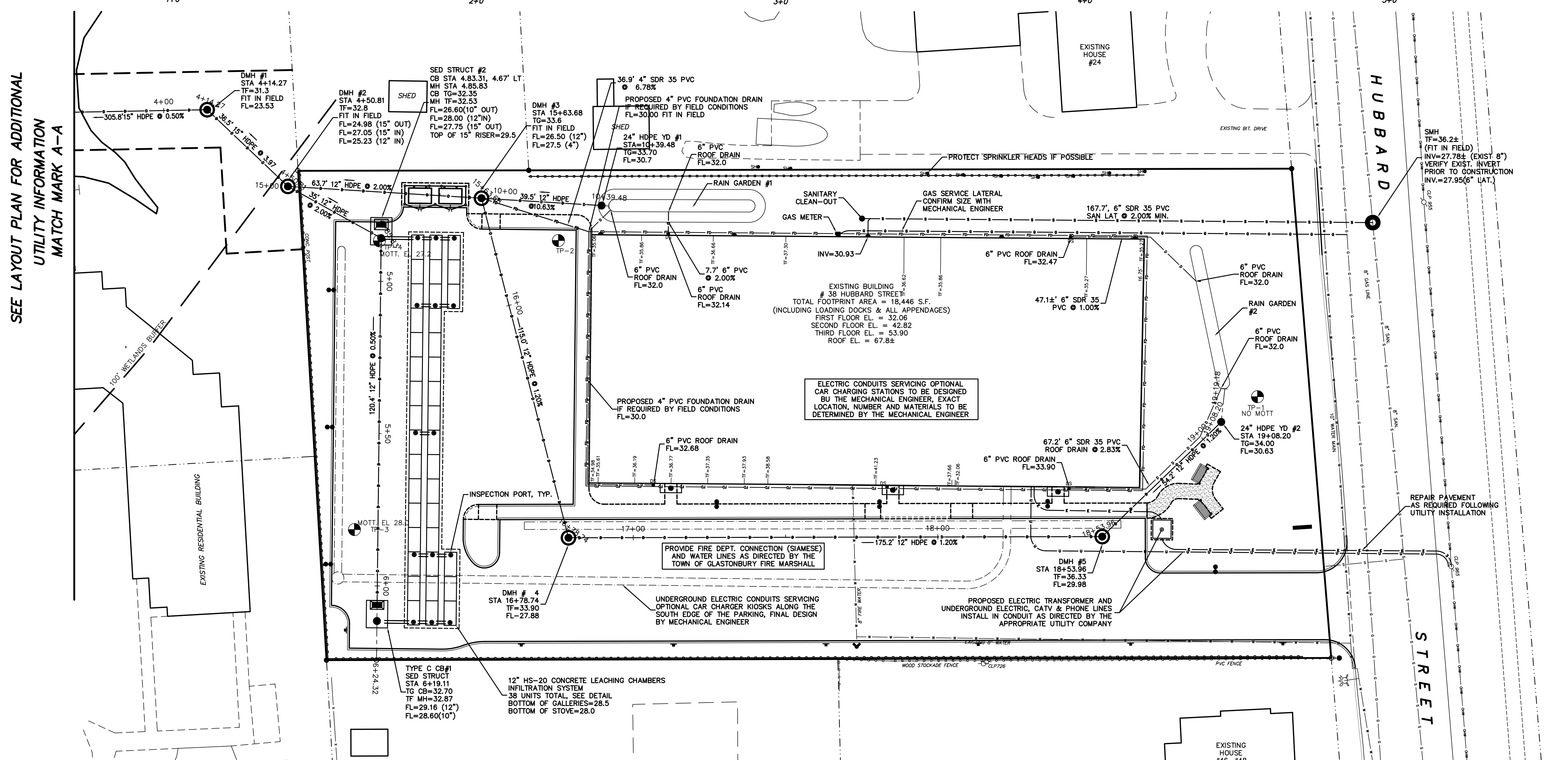
REVISIONS:
 08/25/2021 - STORM DRAINS
 12/20/2021 - UPDATE
 12/30/2021 - UPDATE

DATE: 08/04/2021
 SCALE: 1" = 20'
 SHEET 4 of 17
A-21-050-LAY
 FILE: 21050.DWG





DRAINAGE SYSTEM PROFILE
SCALE 1"=20' HORIZ.
1"=2' VERT.



STORM SEWER MAINTENANCE PLAN

PROPER MAINTENANCE OF THE STORM SEWER IS CRITICAL TO ITS FUNCTION AND LONG TERM SUCCESS.

THE PERVIOUS CONCRETE GUTTER SECTION USED AT THIS SITE IS A NEW TECHNOLOGY AND PROPER MAINTENANCE IS VERY CRITICAL. THE FOLLOWING MAINTENANCE REQUIREMENTS AND SCHEDULE SHALL BE REVIEWED IN DETAIL WITH THE COMPANY AND OR PEOPLE RESPONSIBLE FOR THE MAINTENANCE.

SPECIAL REQUIREMENTS – CULTEC SYSTEM
IN ADDITION TO ANY MANUFACTURERS MAINTENANCE REQUIREMENTS, THE FOLLOWING SHALL OCCUR:

AT A MINIMUM, THE CULTEC UNITS SHALL BE INSPECTED ONCE PER YEAR IN THE FALL. IF MORE THAN 3" OF SEDIMENT IS OBSERVED, THE SYSTEM SHALL BE FLUSHED AND CLEANED TO THE EXTENT POSSIBLE.

IF THE SYSTEM IS 50% OR MORE FULL OF SEDIMENT, THE SYSTEM SHALL BE REPLACED.

GENERAL SPRING MAINTENANCE

FOLLOWING THE LAST SPRING SNOWFALL, THE FOLLOWING MAINTENANCE TASKS SHALL BE CONDUCTED:

- 1) INSPECT ALL STORM SEWER INLETS AND RAIN THE GARDENS REMOVE ANY ACCUMULATED SEDIMENT. REMOVE LEAVES, STICKS AND DEBRIS, REMOVE AND / OR FRESHEN MULCH AS REQUIRED
- 2) INSPECT THE STORM SEWER OUTFALLS, REPAIR ANY EROSION ISSUES AS REQUIRED.
- 3) REMOVE ANY SEDIMENT AND DEBRIS FROM THE PAVED PARKING AREA.
- 5) CONDUCT GENERAL SITE CLEANUP, REMOVE ACCUMULATED DEBRIS.

FALL MAINTENANCE:

FOLLOWING LEAF DROP, APPROXIMATELY MID NOVEMBER, THE FOLLOWING TASKS SHALL BE CONDUCTED:

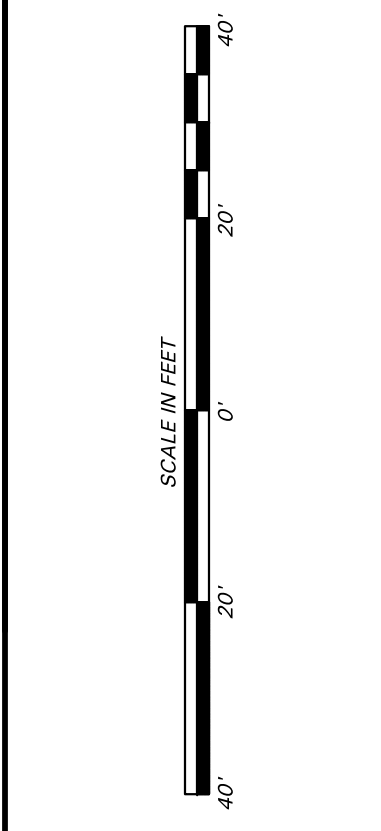
- 1) INSPECT ALL STORM SEWER INLETS AND RAIN THE GARDENS REMOVE ANY ACCUMULATED SEDIMENT. REMOVE LEAVES, STICKS AND DEBRIS, REMOVE AND / OR FRESHEN MULCH AS REQUIRED. INSURE INLET GRATES ARE CLEAR.
- 2) REMOVE ALL LEAVES AND OTHER DEBRIS FROM THE SITE.
- 3) REMOVE ANY SEDIMENT AND DEBRIS FROM THE PAVED PARKING AREA.
- 4) PREPARE THE PARKING AREA FOR SNOW REMOVAL (MARK EDGES, PREPARE LANDSCAPE PLANS IF REQUIRED, ETC.)

UNDERGROUND UTILITY NOTE:

UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROLE TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO THE UNDERSIGNED. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4559 OR 911.

INSPECTION NOTE:

THE CONTRACTOR SHALL NOTIFY THE TOWN OF GLASTONBURY ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, SANITARY SEWER INSTALLATION, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, OR ANY EXCAVATION IN THE TOWN RIGHT-OF-WAY TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:00 AM – 4:30 PM MONDAY THROUGH FRIDAY AT (860)-652-7735.



DUTTON ASSOCIATES, LLC
LAND SURVEYORS AND CIVIL ENGINEERS
67 EASTERN BOULEVARD
GLASTONBURY, CONNECTICUT 06033
TEL: 860-633-8401 FAX: 860-633-8951
EMAIL: INFO@DUTTONASSOCIATESLLC.COM

JOHN R. MARTUCCI, P.E. #19494

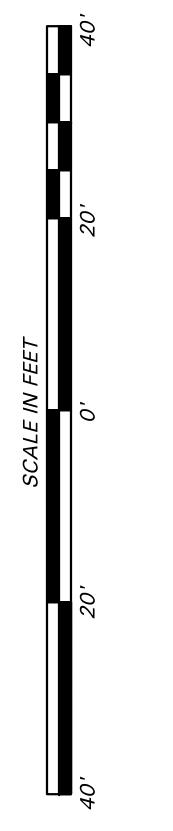
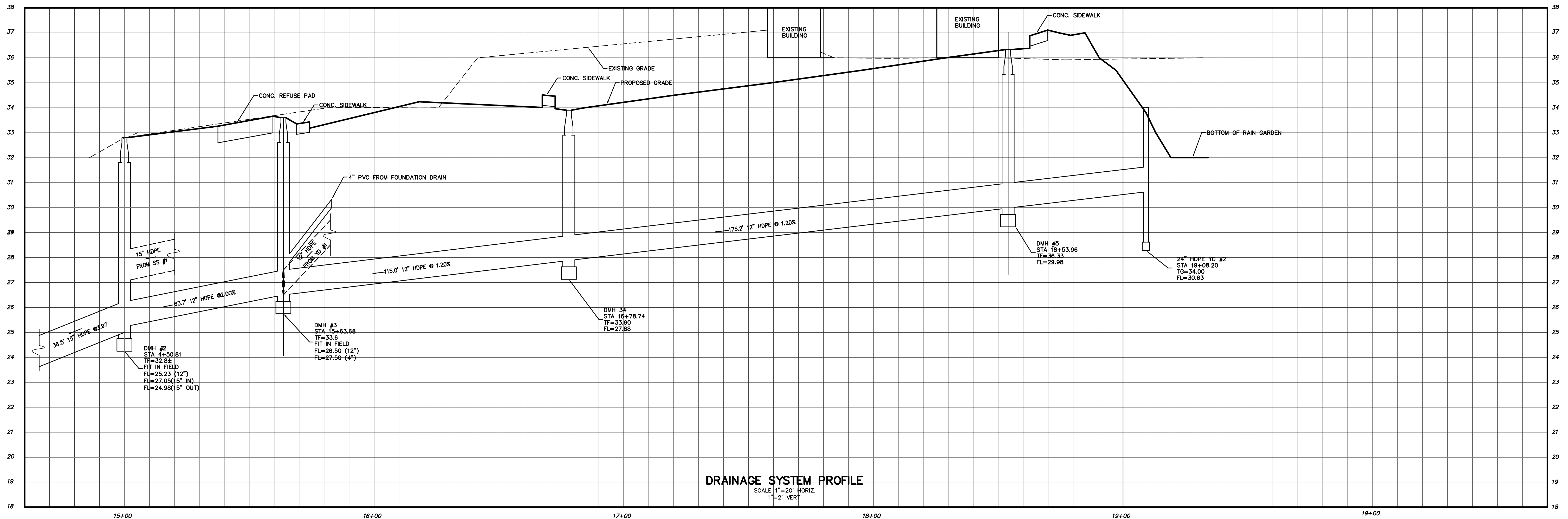
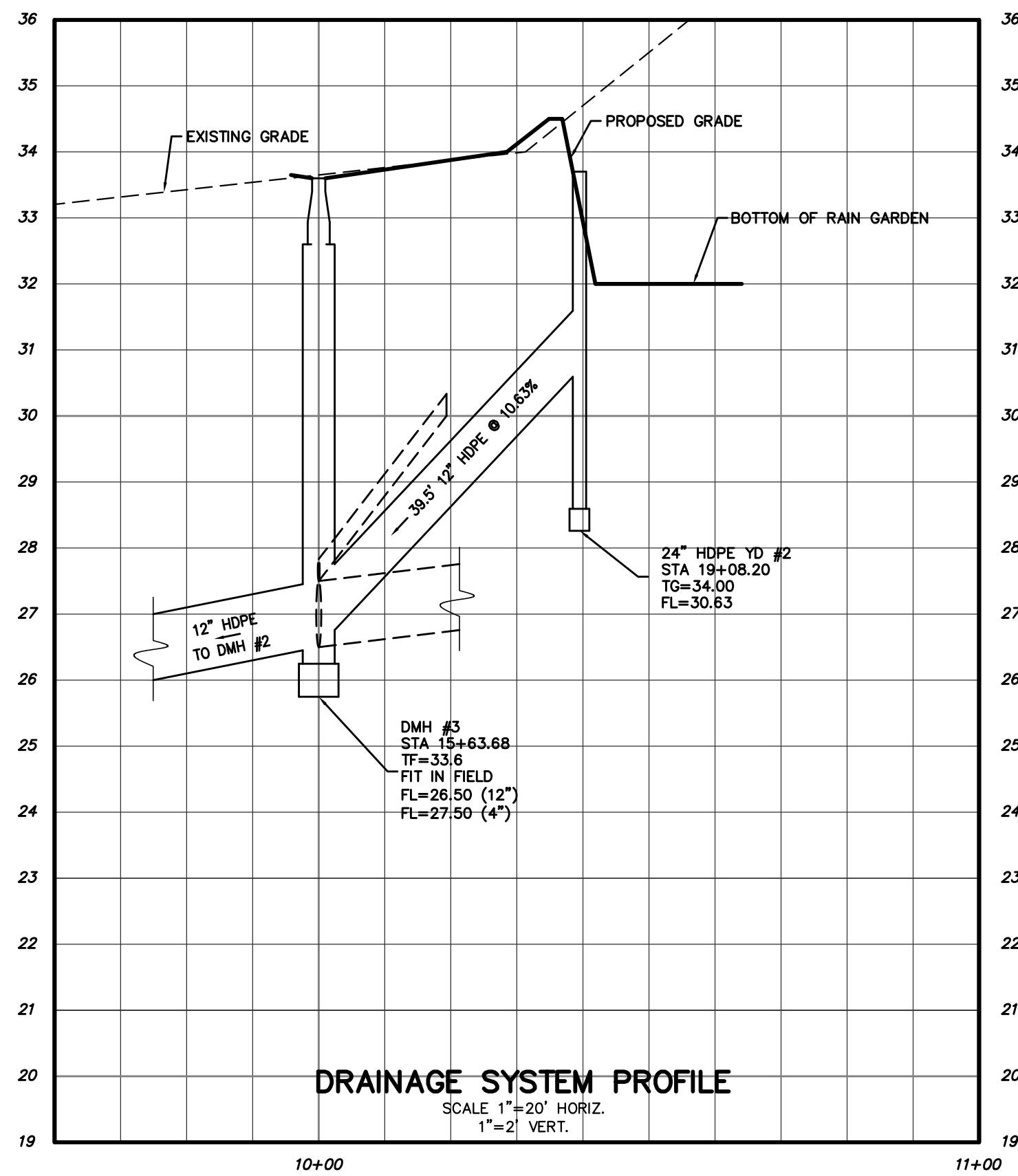
This document is an instrument of professional service, and shall not be used, in whole or in part, for any project other than for which it was created, without the express written consent of DUTTON ASSOCIATES, LLC. Any unauthorized use, reuse, modification or conversion of this document shall be at the user's sole risk, without liability or legal recourse to DUTTON ASSOCIATES, LLC. © 2013 - DUTTON ASSOCIATES, LLC

UTILITY PLAN
WAREHOUSE 38
RESIDENTIAL CONVERSION
38 HUBBARD STREET
LAC GROUP, J S ADVISORS, LLC APPLICANT
GLASTONBURY, CONNECTICUT

REVISIONS:

08/08/2021 - STORM DRAINS
12/20/2021 - UPDATE
12/30/2021 - UPDATE

DATE: 08/04/2021
SCALE: 1" = 20'
SHEET 5 of 17
A-21-050-U
FILE: 21050.DWG



DUTTON ASSOCIATES, LLC
LAND SURVEYORS AND CIVIL ENGINEERS
67 EASTERN BOULEVARD
GLASTONBURY, CONNECTICUT 06033
TEL: 860-633-8401 FAX: 860-633-8951
EMAIL: JMD@DUTTONASSOCIATESLLC.COM

JOHN R. MARTUCCI, P.E. #19494

This document is an instrument of professional service, and shall not be used, in whole or in part, for any project other than for which it was created, without the express written consent of DUTTON ASSOCIATES, LLC. Any unauthorized use, reuse, modification or conversion of this document shall be at the user's sole risk, without liability, to the engineer in DUTTON ASSOCIATES, LLC.
© 2013 - DUTTON ASSOCIATES, LLC

UTILITY PLAN
WAREHOUSE 38
RESIDENTIAL CONVERSION
38 HUBBARD STREET
LAC GROUP, J S ADVISORS, LLC APPLICANT
GLASTONBURY, CONNECTICUT

REVISIONS:

08/08/2021	- STORM DRAINS
12/20/2021	- UPDATE
12/30/2021	- UPDATE

DATE: 08/04/2021
SCALE: 1" = 20'

SHEET 6 of 17
A-21-050-U
FILE: 21050.DWG

UNDERGROUND UTILITY NOTE:
UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON, HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROLE TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO THE UNDERSIGNED. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455 OR 911.

INSPECTION NOTE:
THE CONTRACTOR SHALL NOTIFY THE TOWN OF GLASTONBURY ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, SANITARY SEWER INSTALLATION, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, OR ANY EXCAVATION IN THE TOWN RIGHT-OF-WAY TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:00 AM - 4:30 PM MONDAY THROUGH FRIDAY AT (860)-652-7735.

WORK ON THE STORM DRAIN SYSTEM SHALL BE CONFINED TO THE EASEMENT AS MUCH AS POSSIBLE OR AS AGREED WITH THE LAND OWNER.

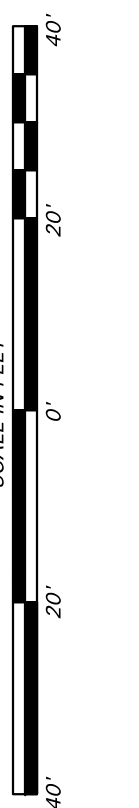
CONSTRUCTION SHALL BE SCHEDULED FOR A PREDICTED DRY WEATHER PERIOD. CONSTRUCTION SHALL BE CONDUCTED AS EFFICIENTLY AND NEATLY AS POSSIBLE TO REDUCE ENVIRONMENTAL DAMAGE.

THE DISTURBED AREA SHALL BE TOPSOILED, SEED, MULCHED AND WATERED UNTIL THE AREA GROUND COVER IS WELL ESTABLISHED.

TEMPORARY SAND BAG DAM DURING CONSTRUCTION. PUMP WATER AROUND SITE IF REQUIRED.

UNDERGROUND UTILITY NOTE:
 UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON, HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROLE TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO THE UNDERSIGNED. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG: 1-800-922-4559 OR 911.

INSPECTION NOTE:
 THE CONTRACTOR SHALL NOTIFY THE TOWN OF GLASTONBURY ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, SANITARY SEWER INSTALLATION, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, OR ANY EXCAVATION IN THE TOWN RIGHT-OF-WAY TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:00 AM - 4:30 PM MONDAY THROUGH FRIDAY AT (860)-652-7735.



DUTTON ASSOCIATES, LLC
 LAND SURVEYORS AND CIVIL ENGINEERS
 67 EASTERN BOULEVARD
 GLASTONBURY, CONNECTICUT 06033
 TEL: 860-633-8401 FAX: 860-633-8951
 EMAIL: INFO@DUTTONASSOCIATESLLC.COM

JOHN R. MARTUCCI, P.E. #19494

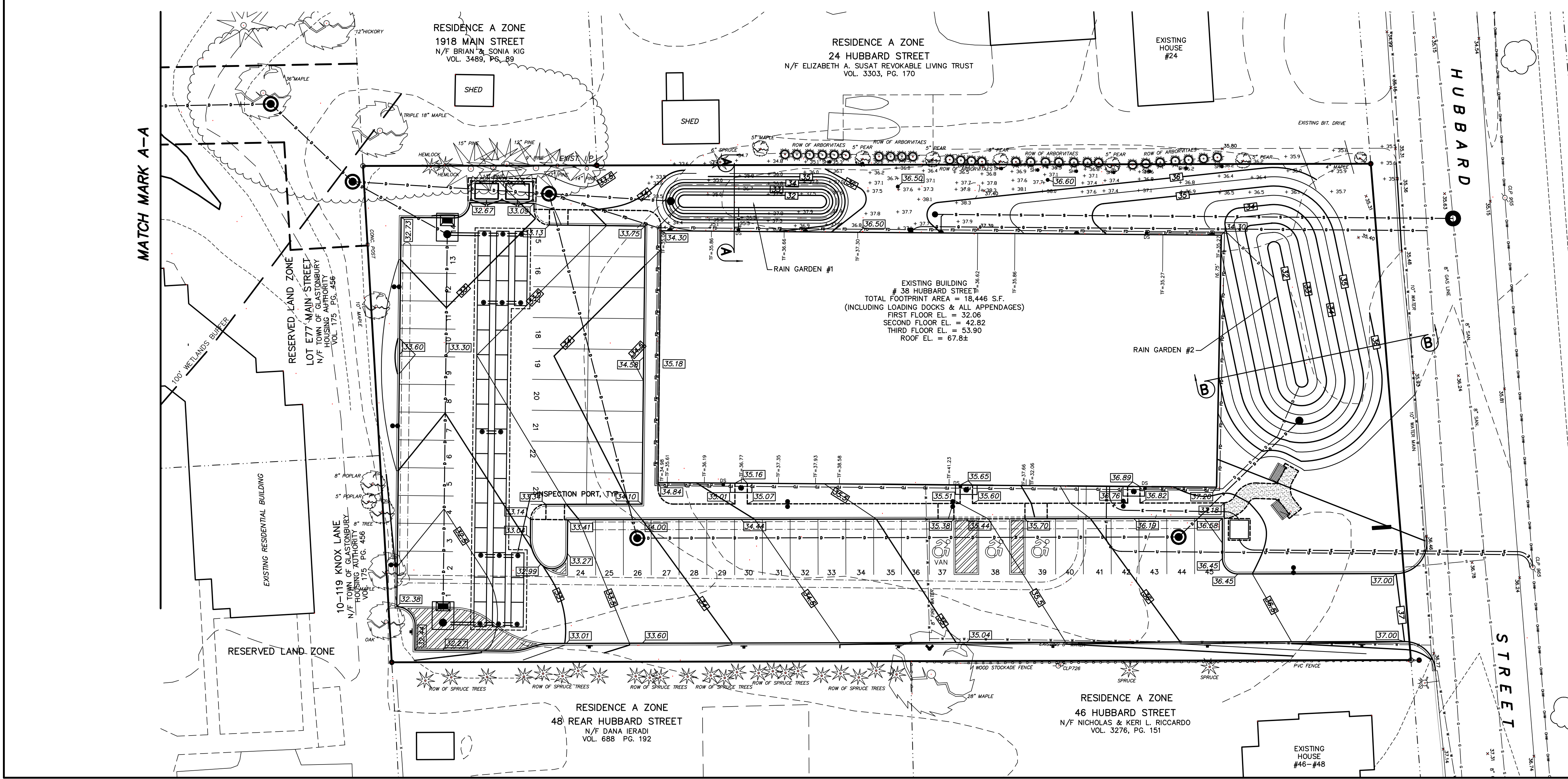
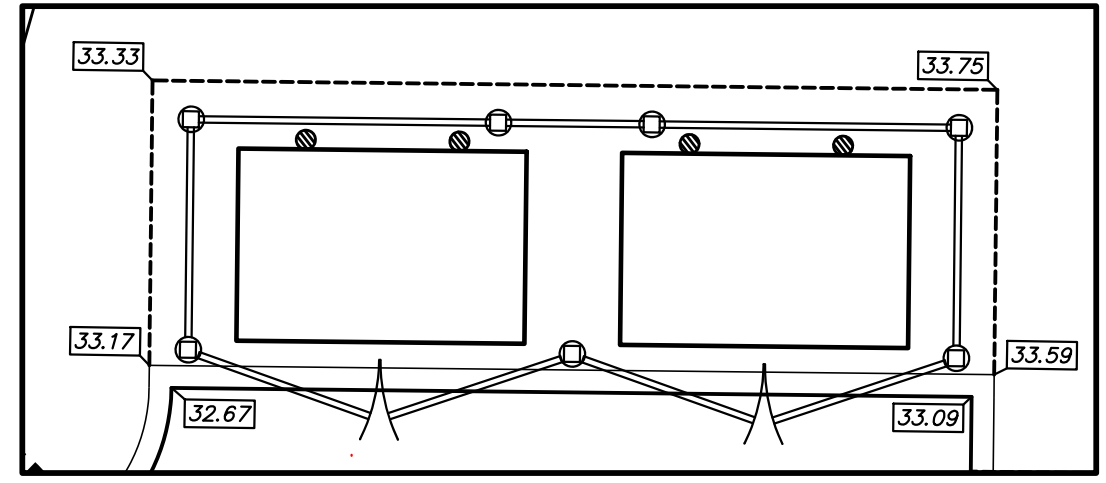
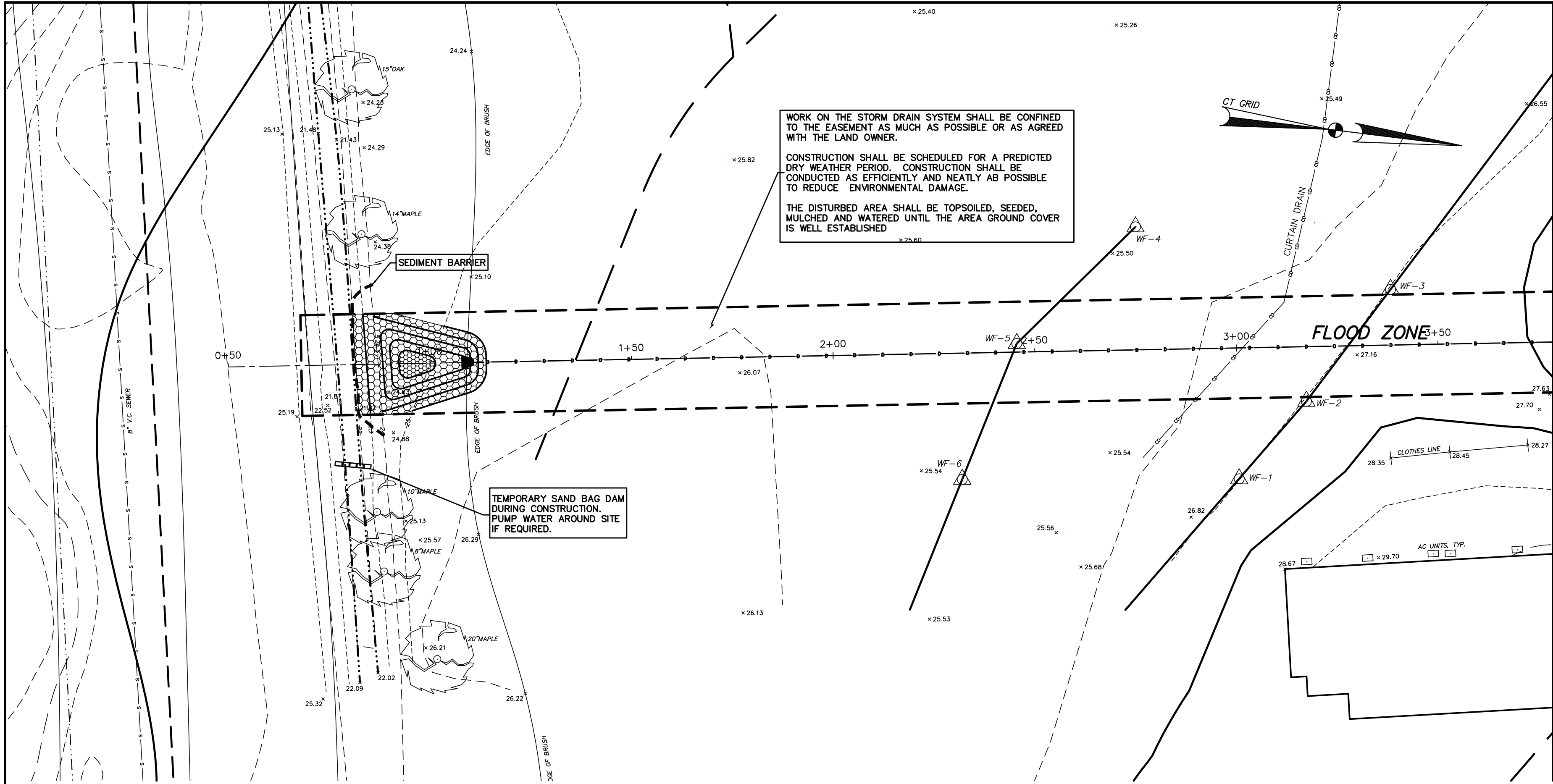
THIS DOCUMENT IS AN INSTRUMENT OF PROFESSIONAL SERVICE AND SHALL NOT BE USED IN WHOLE OR IN PART FOR ANY PURPOSE OTHER THAN THAT FOR WHICH IT WAS CREATED. WITHOUT THE EXPRESS WRITTEN CONSENT OF DUTTON ASSOCIATES, LLC, ANY UNAUTHORIZED USE, REUSE, MODIFICATION OR CONVERSION OF THIS DOCUMENT IS NOT ALLOWED AND IF SUCH OCCURS, THE OFFENDER PROSECUTED TO THE FULL EXTENT OF THE LAW.
 © 2021 - DUTTON ASSOCIATES, LLC

GRADING PLAN
WAREHOUSE #38
RESIDENTIAL CONVERSION
38 HUBBARD STREET
 PREPARED FOR
LAC GROUP, LLC J S ADVISORS, LLC APPLICANT
 GLASTONBURY, CONNECTICUT

REVISIONS:
 08/25/2021 - STORM DRAINS
 12/20/2021 - UPDATE
 12/30/2021 - UPDATE

DATE: 08/04/2021
 SCALE: 1" = 20'
 SHEET 7 of 17

A-21-050-GRD
 FILE: 21050.DWG



RESERVED LAND ZONE
 1946 MAIN STREET
 N/F TOWN OF GLASTONBURY
 VOL. 2 PG. 1

RESIDENCE A ZONE
 1918 MAIN STREET
 N/F BRIAN & SONIA KIG
 VOL. 3489, PG. 89

RESIDENCE A ZONE
 24 HUBBARD STREET
 N/F ELIZABETH A. SUSAT REVOKABLE LIVING TRUST
 VOL. 3303, PG. 170

EXISTING BUILDING
 # 38 HUBBARD STREET
 TOTAL FOOTPRINT AREA = 18,446 S.F.
 (INCLUDING LOADING DOCKS & ALL APPENDAGES)
 FIRST FLOOR EL. = 32.06
 SECOND FLOOR EL. = 42.82
 THIRD FLOOR EL. = 53.90
 ROOF EL. = 67.8±

RESIDENCE A ZONE
 48 REAR HUBBARD STREET
 N/F DANA IERADI
 VOL. 688 PG. 192

RESIDENCE A ZONE
 46 HUBBARD STREET
 N/F NICHOLAS & KERI L. RICCARDO
 VOL. 3276, PG. 151

EXISTING HOUSE #46-#48

WORK ON THE STORM DRAIN SYSTEM SHALL BE CONFINED TO THE EASEMENT AS MUCH AS POSSIBLE OR AS AGREED WITH THE LAND OWNER.

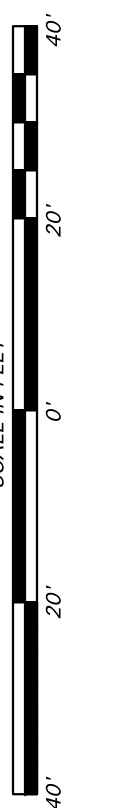
CONSTRUCTION SHALL BE SCHEDULED FOR A PREDICTED DRY WEATHER PERIOD. CONSTRUCTION SHALL BE CONDUCTED AS EFFICIENTLY AND NEATLY AS POSSIBLE TO REDUCE ENVIRONMENTAL DAMAGE.

THE DISTURBED AREA SHALL BE TOPSOILED, SEEDED, MULCHED AND WATERED UNTIL THE AREA GROUND COVER IS WELL ESTABLISHED.

TEMPORARY SAND BAG DAM DURING CONSTRUCTION. PUMP WATER AROUND SITE IF REQUIRED.

UNDERGROUND UTILITY NOTE:
 UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROLE TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO THE UNDERSIGNED. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4459 OR 911.

INSPECTION NOTE:
 THE CONTRACTOR SHALL NOTIFY THE TOWN OF GLASTONBURY ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, SANITARY SEWER INSTALLATION, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, OR ANY EXCAVATION IN THE TOWN RIGHT-OF-WAY TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:00 AM - 4:30 PM MONDAY THROUGH FRIDAY AT (860)-652-7735.



DUTTON ASSOCIATES, LLC
 LAND SURVEYORS AND CIVIL ENGINEERS
 67 EASTERN BOULEVARD
 GLASTONBURY, CONNECTICUT 06033
 TEL: 860-633-9401 FAX: 860-633-8951
 EMAIL: INFO@DUTTONASSOCIATESLLC.COM

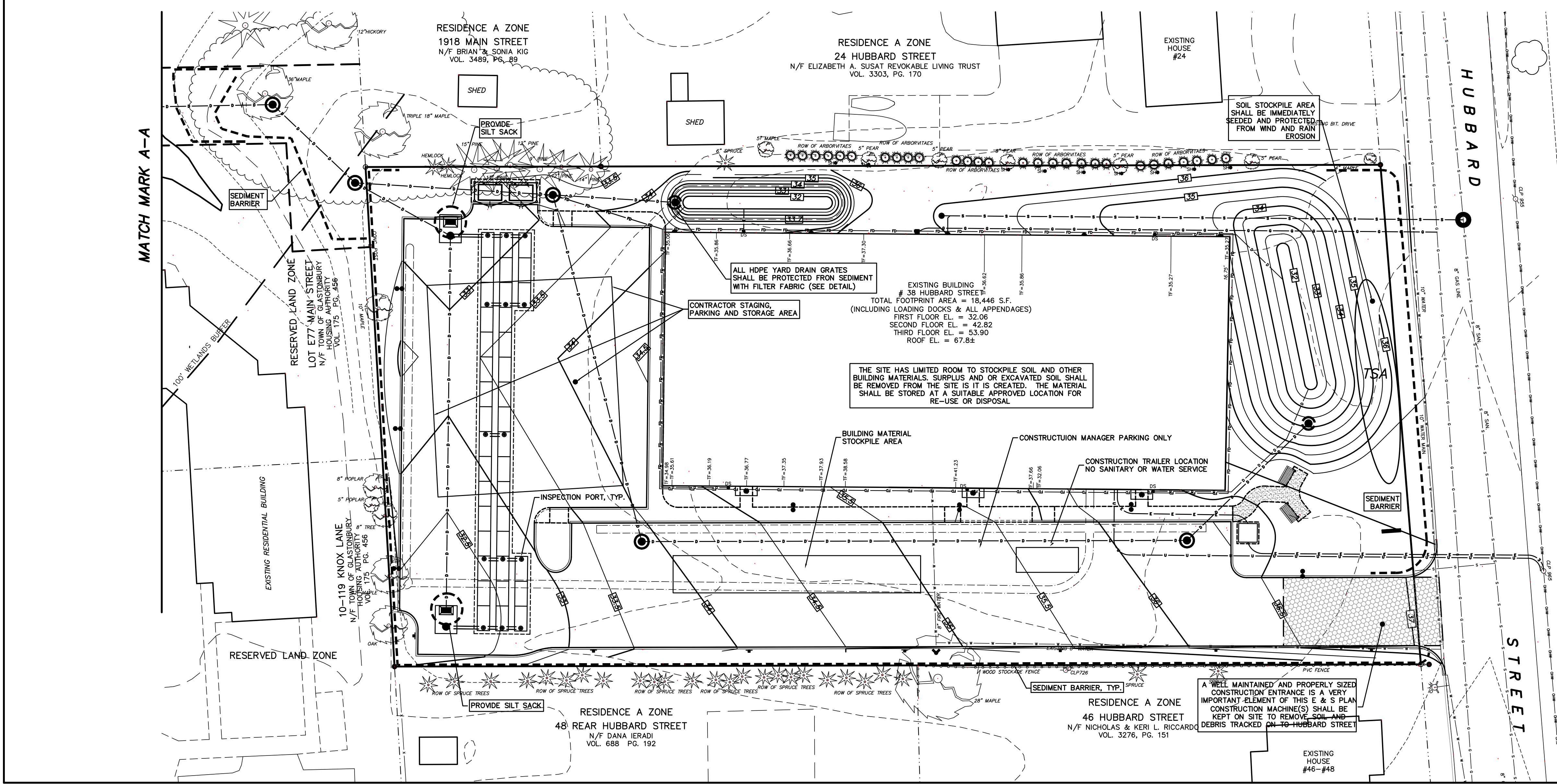
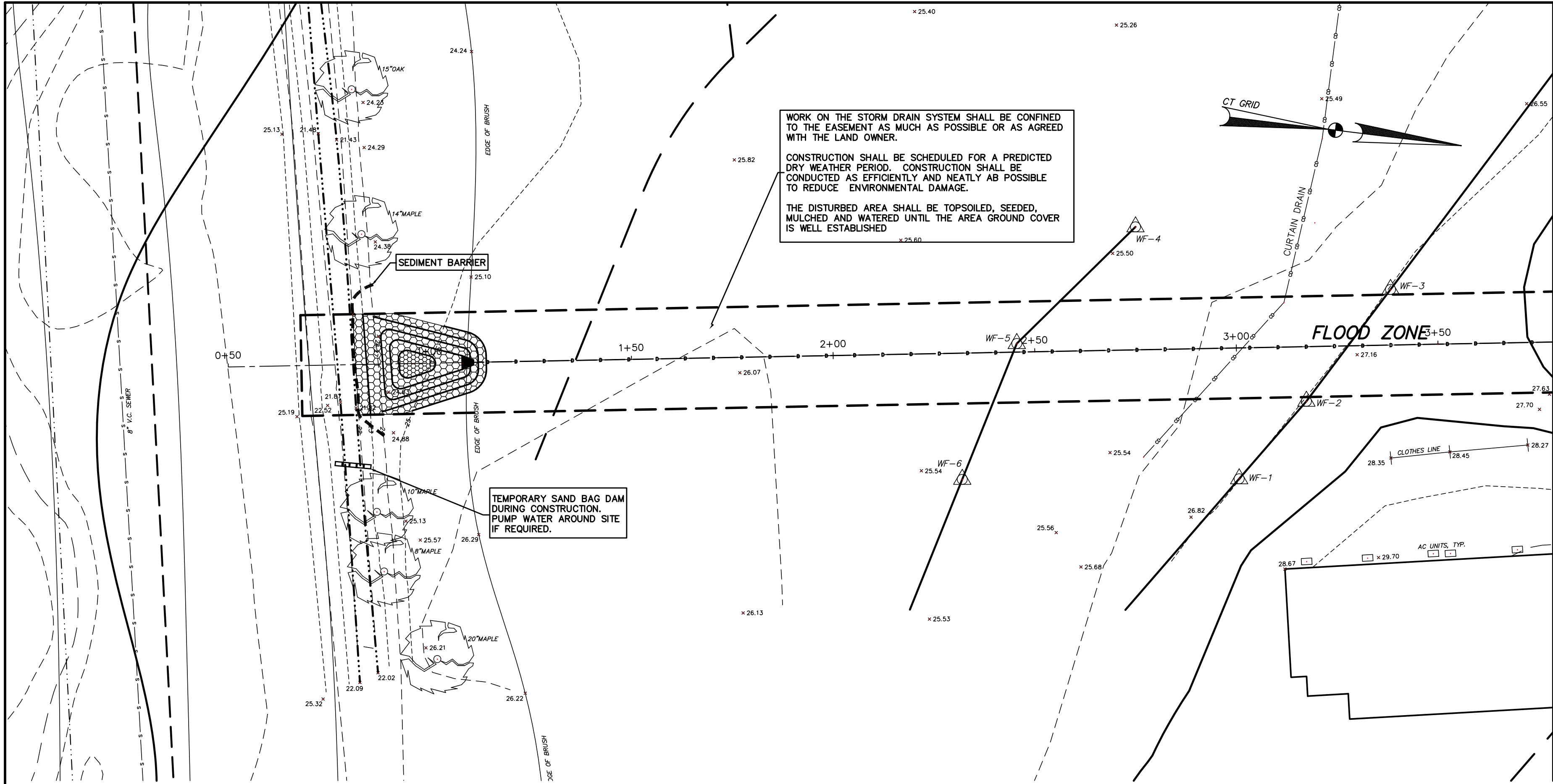
JOHN R. MARTUCCI, P.E. #19494

THIS DOCUMENT IS AN INSTRUMENT OF PROFESSIONAL SERVICE AND SHALL NOT BE USED IN WHOLE OR IN PART FOR ANY PURPOSE OTHER THAN THAT FOR WHICH IT WAS CREATED. WITHOUT THE EXPRESS WRITTEN CONSENT OF DUTTON ASSOCIATES, LLC, ANY UNAUTHORIZED USE, REUSE, MODIFICATION OR CONVERSION OF THIS DOCUMENT IS NOT ALLOWED AND IF SUCH OCCURS, THE OFFENDER PROSECUTED TO THE FULL EXTENT OF THE LAW.
 © 2021 - DUTTON ASSOCIATES, LLC

EROSION & SEDIMENT CONTROL PLAN
WAREHOUSE 38
RESIDENTIAL CONVERSION
 PREPARED FOR
LAC GROUP, LLC J S ADVISORS, LLC APPLICANT
 GASTONBURY, CONNECTICUT

REVISIONS:
 08/25/2021 - STORM DRAINS
 12/20/2021 - UPDATE
 12/30/2021 - UPDATE

DATE: 08/04/2021
 SCALE: 1" = 20'
 SHEET 8 of 17
A-21-050-E/S
 FILE: 21050.DWG



RESERVED LAND ZONE
 1946 MAIN STREET
 N/F TOWN OF GLASTONBURY
 VOL. 2 P.C. 1

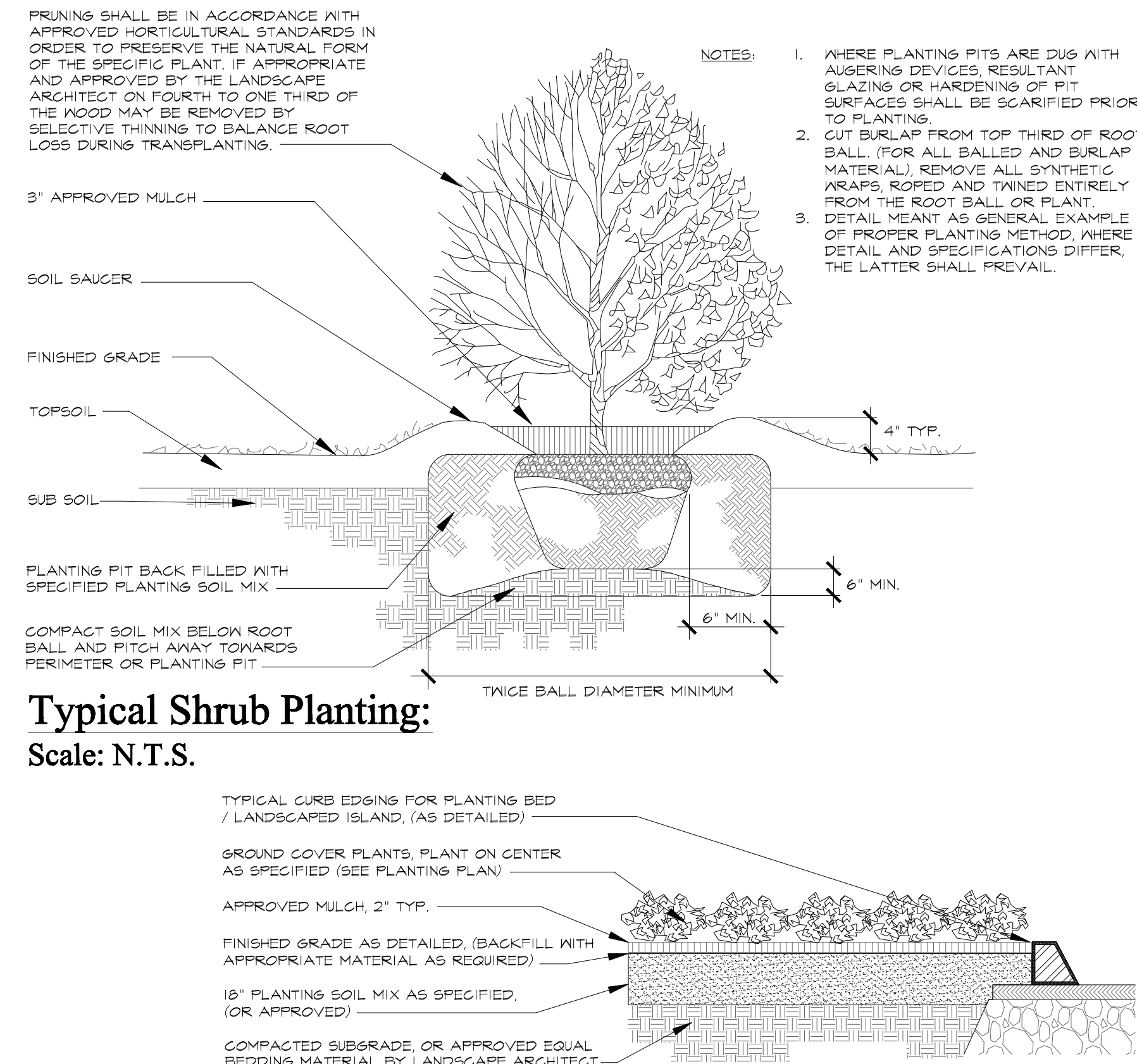
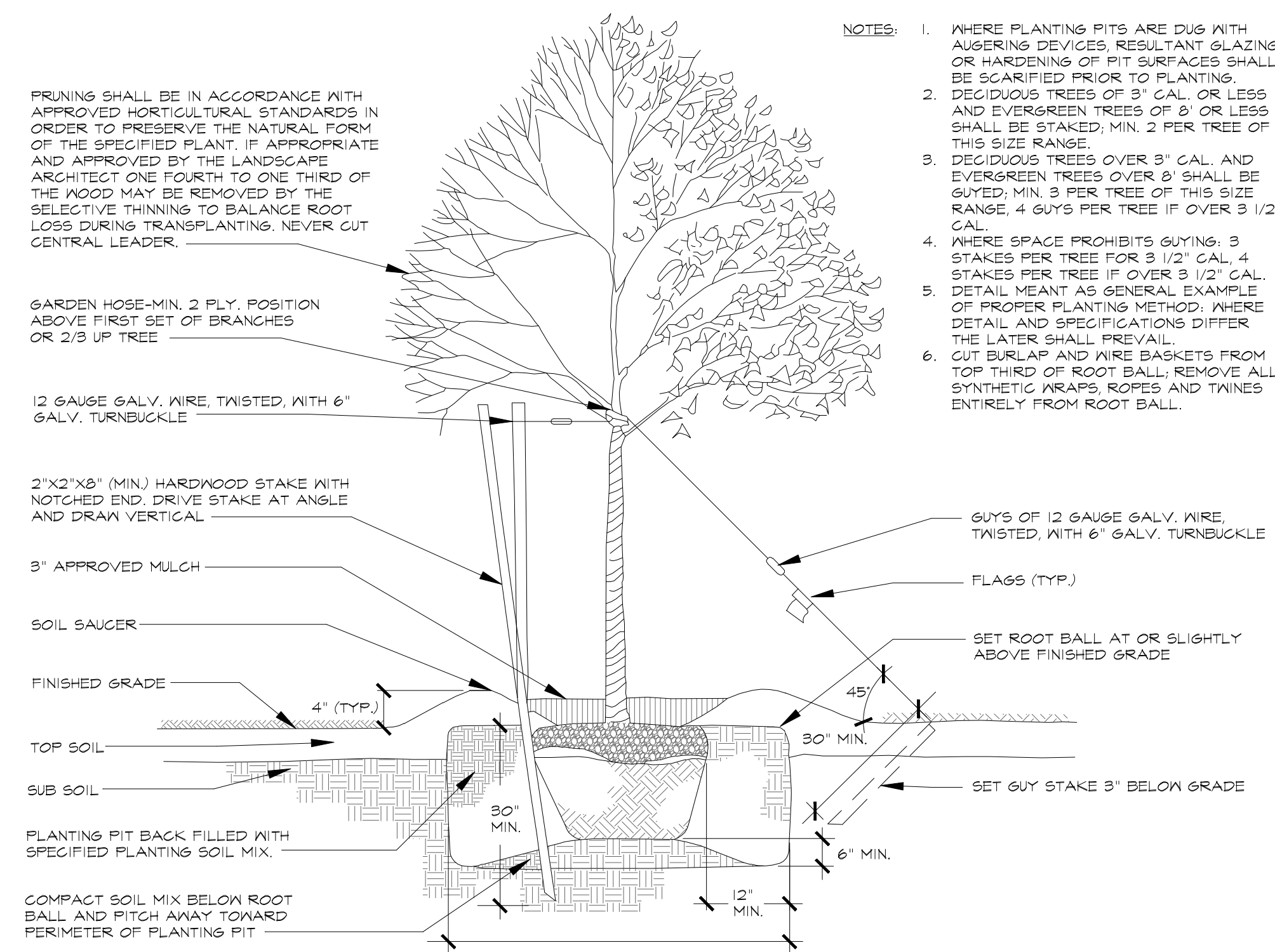
FILE: 21050.DWG

Site Plant List

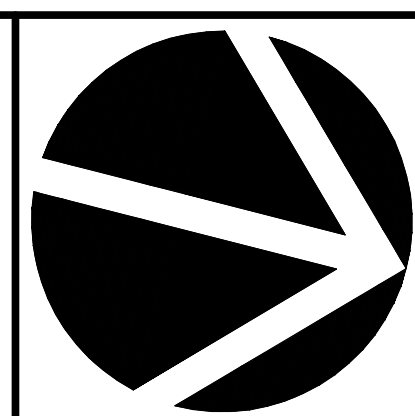
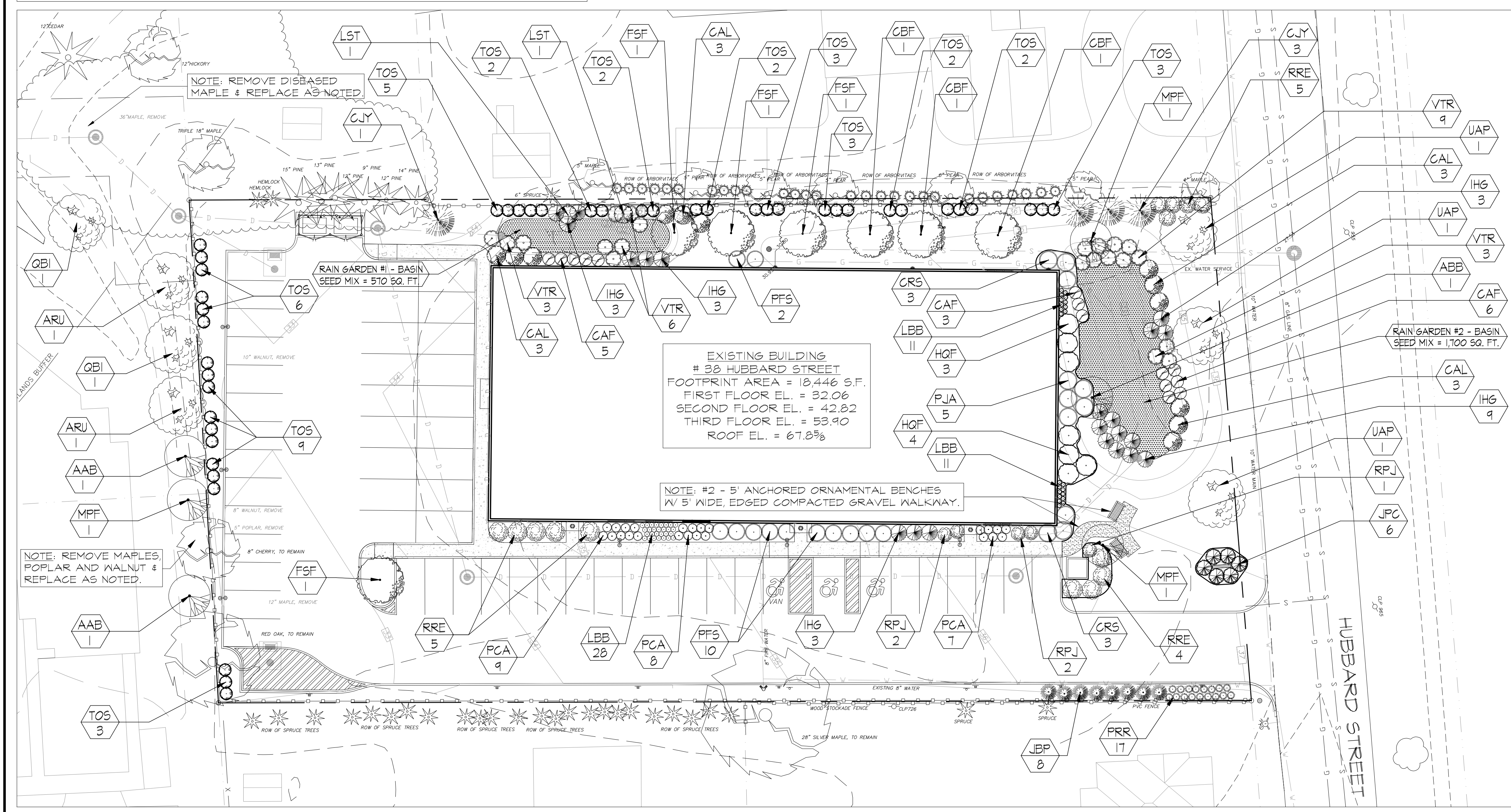
Key	Quantity	Botanical Name	Common Name	Size	Comments
Trees:					
Aru	# 2	Acer rubrum 'Red Sunset'	Red Sunset Maple	2" - 2-1/2" Cal.	B & B
Aab	# 3	Amelanchier x. 'Autumn Brilliance'	Autumn Brilliance Shadblow	2" - 2-1/2" Cal.	B & B
Cbf	# 3	Carpinus betulus 'Fastigiata'	Upright European Hornbeam	2" - 2-1/2" Cal.	B & B
Cjy	# 4	Cryptomeria japonica 'Yoshino'	Yoshino Japanese Cedar	5' - 6' Ht., 12' O.C.	B & B
Fsf	# 4	Fagus s. fastigiata 'Purpurea'	Dawyk Purple Eur. Beech	2" - 2-1/2" Cal.	B & B
Lst	# 2	Liquidambar sty. 'Slender Silhouette'	Slender Silhouette Sweetgum	2" - 2-1/2" Cal.	B & B
Mpf	# 3	Malus 'Prairifire'	Prairifire Crabapple	2" - 2-1/2" Cal.	B & B
Qbi	# 2	Quercus bicolor	Swamp White Oak	2" - 2-1/2" Cal.	B & B
Tos	# 43	Thuja occidentalis 'Smaragd'	Emerald Green Arborvitae	5' - 6' Ht., 4' O.C.	B & B
Uap	# 3	Ulmus americana 'Princeton'	Princeton American Elm	3" - 3-1/2" Cal.	B & B
Shrubs:					
Cal	# 12	Clethra alnifolia	Summersweet	6 Gal., 5' O.C.	Container
Crs	# 6	Clethra alnifolia 'Ruby Spice'	Ruby Spice Summersweet	6 Gal., 4' O.C.	Container
Caf	# 14	Cornus sericea 'Artic Fire'	Arctic Fire Dogwood	3 Gal., 4' O.C.	Container
Hqf	# 7	Hydrangea pan. 'Quick Fire'	Quick Fire Hardy Hydrangea	6 Gal., 6' O.C.	Container
Ihg	# 18	Itea virginica 'Henry's Garnet'	Henry's Garnet Sweetspire	3 Gal., 5' O.C.	Container
Jbp	# 8	Juniperus conferta 'Blue Pacific'	Blue Pacific Juniper	2 Gal., 5' O.C.	Container
Jpc	# 6	Juniperus chin. 'Pfitz. Compacta'	Compact Pfitzer Juniper	3 Gal., 5' O.C.	Container
Pja	# 5	Pieris japonica	Japanese Pieris	6 Gal., 5.5' O.C.	Container
Pca	# 24	Pieris japonica 'Cavatine'	Cavatine Pieris	3 Gal., 3' O.C.	Container
Pfs	# 12	Pieris japonica 'Flaming Silver'	Flaming Silver Pieris	6 Gal., 5.5' O.C.	Container
Rre	# 14	Rhodod. c. 'Roseum Elegans'	Roseum Elegans Rhodo.	6 Gal., 5' O.C.	Container
Rpj	# 5	Rhododendron x 'PJM Elite'	Elite PJM Rhodo.	6 Gal., 4.5' O.C.	Container
Vtr	# 21	Viburnum trilobum 'Compactum'	Compact Cranberrybush	3 Gal., 5' O.C.	Container
Ornamental Grasses / Ground Cover / Perennials:					
Lbb	# 50	Liriope muscari 'Big Blue'	Big Blue Lily Turf	1 Gal., 18" O.C.	Container
Prr	# 17	Panicum virgatum 'Ruby Ribbons'	Ruby Ribbons Switch Grass	3 Gal., 2.5' O.C.	Container

Rain Garden Basin Areas Seed Mix:

Basin Area; Seeding Rate; 35 Lbs. / Acre.; shall be "New England Erosion Control / Restoration Mix For Detention Basins and Moist Sites", as manufactured by New England Wetland Plants, Inc.; 820 Main Street, Amherst, MA 01002; Telephone: (413) 548 - 8000 or approved equal. Apply per manufacturer's specifications.



NOTE: ALL PLANTING BEDS TO BE MULCHED WITH SHREDDED HEMLOCK BARK MULCH TO A MAXIMUM DEPTH OF 3", OR APPROVED EQUAL. NO RED MULCH ALLOWED.



Warehouse #38
38 HUBBARD STREET, GLASTONBURY CONNECTICUT
Proposed Site Improvements
LANDSCAPE PLAN

J S ADVISORS, LLC.
90 MILES DRIVE; #413
WALLINGFORD, CT 06492

Scale: 1" = 20'
0' 10' 20' 30' 40' 60'
Date: 22 July 2021
Revisions: 27 Aug. 2021; 20 Oct. 2021; 10 Dec. 2021

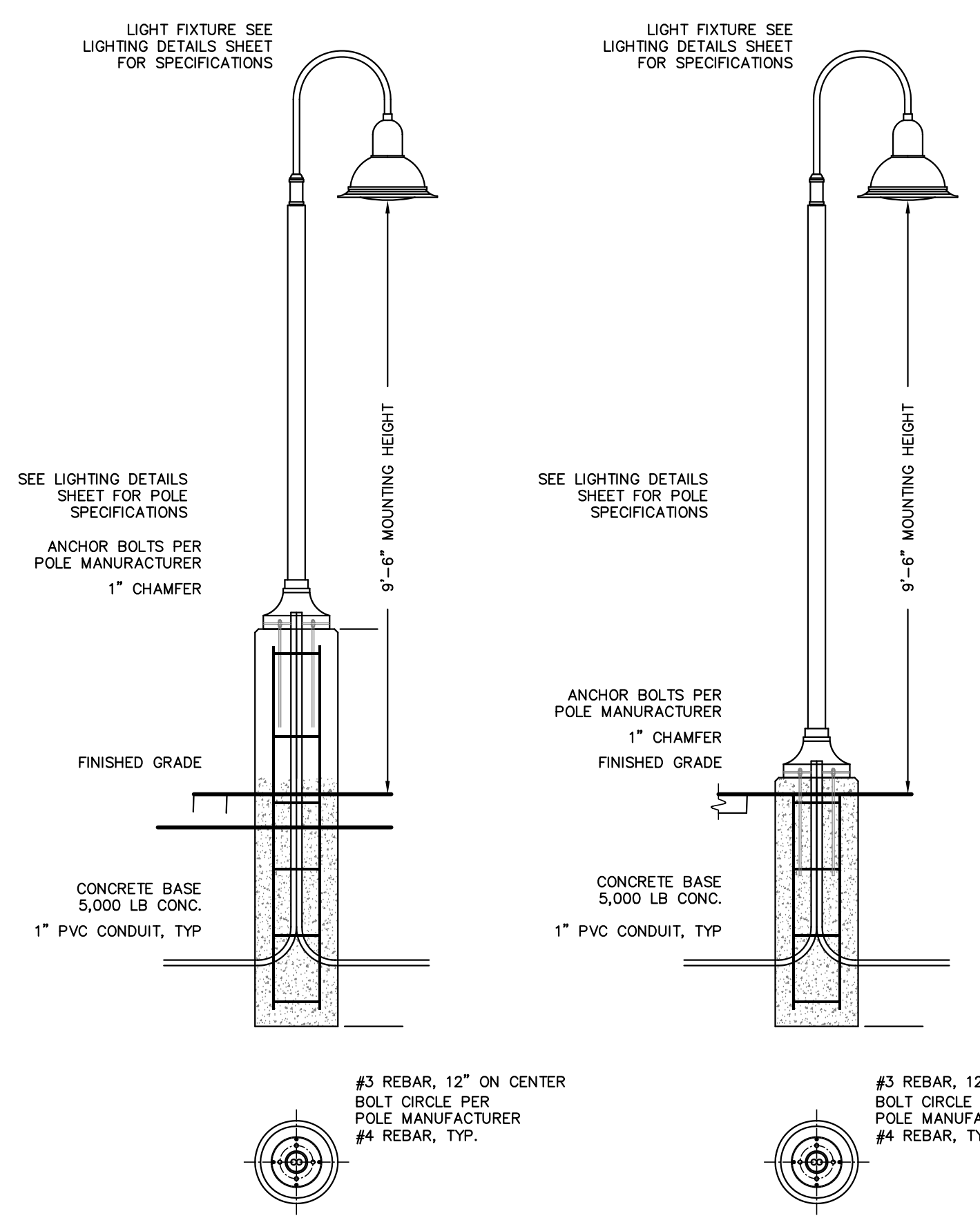
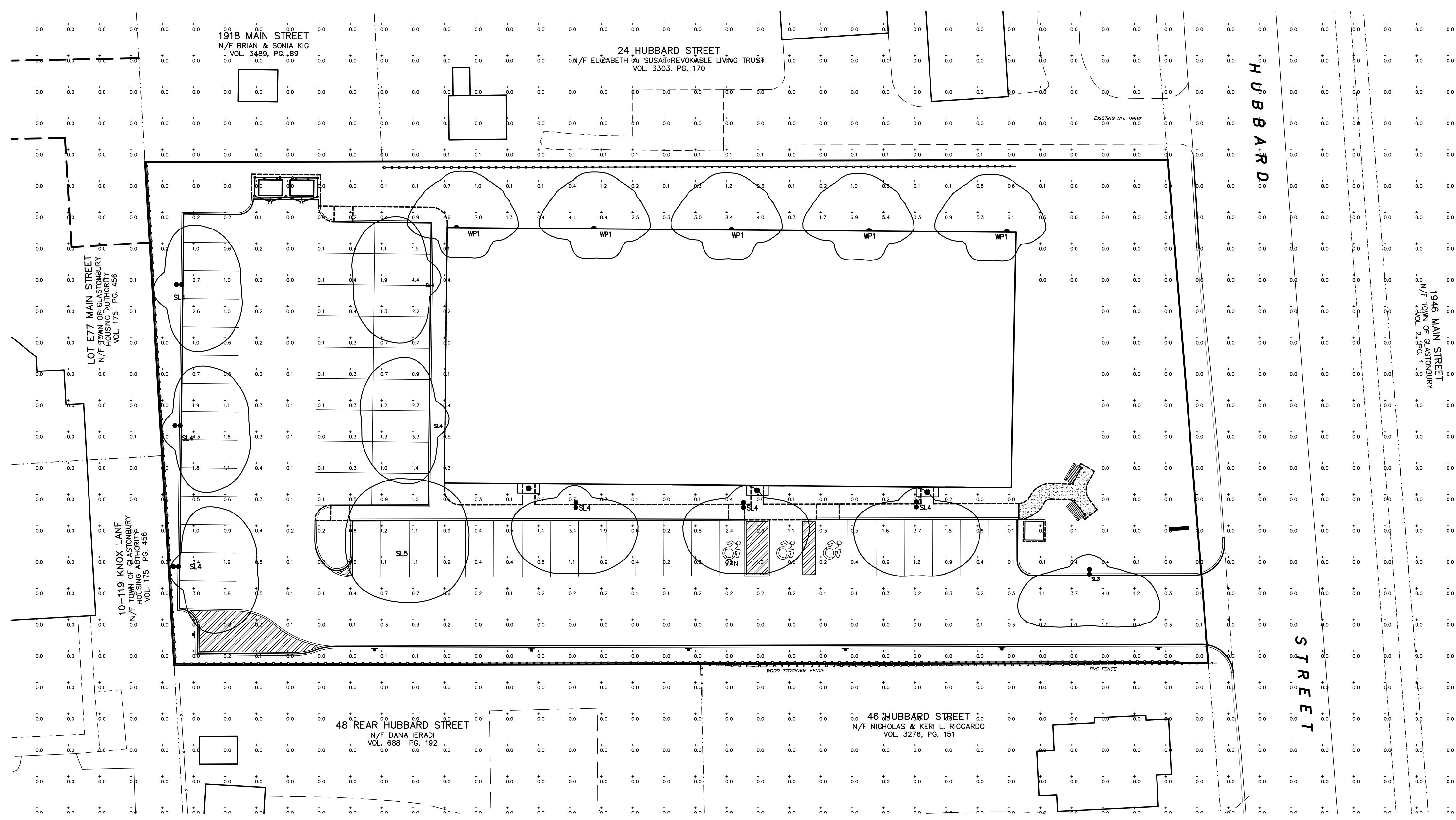
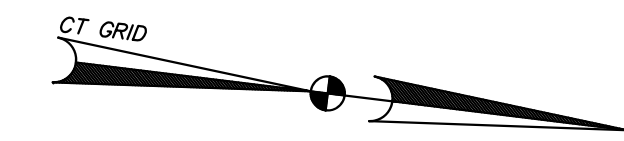
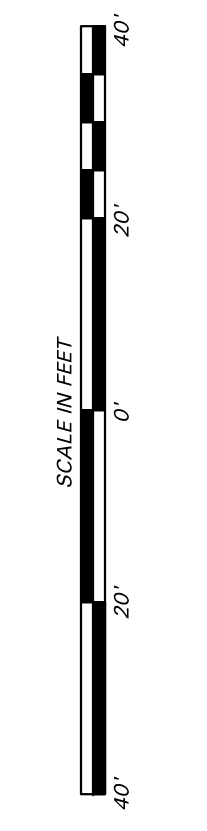


Prepared By:
Robert C. Schechinger, Jr. ASLA
772 Farmington Avenue
Farmington, CT 06032
Telephone: (860) 478 - 7839
Email: Biff.Design@sbglobal.net
Website: BiffLandDesign.com

Sheet No.
L.1

UNDERGROUND UTILITY NOTE:
 UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROLE TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO THE UNDERSIGNED. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4559 OR 911.

INSPECTION NOTE:
 THE CONTRACTOR SHALL NOTIFY THE TOWN OF GLASTONBURY ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, SANITARY SEWER INSTALLATION, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, OR ANY EXCAVATION IN THE TOWN RIGHT-OF-WAY TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:00 AM - 4:30 PM MONDAY THROUGH FRIDAY AT (860)-652-7735.



LIGHT POLE AND BASE
 NOT TO SCALE

JOB NAME: 38 HUBBARD ST
 APEX LIGHTING SOLUTIONS
 WORKPLANE/CALC PLANE: AT FINISH GRADE
 MOUNTING HEIGHT: SEE LUMINAIRE SCHEDULE
 APPS: LED
 SALES: RT

Luminaire Schedule							
Qty	Label	Arrangement	Lumens	Input Watts	LLF	BUG Rating	Description
1	SL3	SINGLE	1796	28.66	0.850	B0-U0-G0	LUMEC DOS-24W16LED3K-LE3F-HS-DBA-1A-SM3D-9.5-COLTX / OPTICAL CENTER @ 9FT
8	SL4	SINGLE	1791	28.66	0.850	B0-U0-G0	LUMEC DOS-24W16LED3K-LE4F-HS-DBA-1A-SM3D-9.5-COLTX / OPTICAL CENTER @ 9FT
1	SL5	SINGLE	2042	28.6	0.850	B2-U0-G0	LUMEC DOS-24W16LED3K-LE5F-DBA-1A-SM3D-9.5-COLTX / OPTICAL CENTER @ 9FT
5	WP1	SINGLE	4806	43.7813	0.425	N.A.	WESTGATE WPX-21W-MCTP / WALL MOUNTED @ 8FT AFG TO BOF

Calculation Summary						
Label	Grid Height	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	0	0.11	8.4	0.0	N.A.	N.A.
PARKING LOT		0.69	4.3	0.0	N.A.	N.A.

DUTTON ASSOCIATES, LLC
 LAND SURVEYORS AND CIVIL ENGINEERS
 67 EASTERN BOULEVARD
 GLASTONBURY, CONNECTICUT 06033
 TEL: 860-633-8401 FAX: 860-633-8851
 EMAIL: INFO@DUTTONASSOCIATESLLC.COM

JOHN R. MARTUCCI, P.E. #19494

This document is an instrument of professional service, and shall not be used, in whole or in part, for any project other than for which it was created without the express written consent of DUTTON ASSOCIATES, LLC. Any unauthorized use, reuse, modification or conversion of this document shall be at the user's sole risk, without liability, or legal recourse to DUTTON ASSOCIATES, LLC. © 2013 DUTTON ASSOCIATES, LLC.

LIGHTING PLAN
WAREHOUSE 38
RESIDENTIAL CONVERSION
38 HUBBARD STREET
 LAC GROUP, LLC J. S. ADVISORS, LLC APPLICANT
 GLASTONBURY, CONNECTICUT

REVISIONS:
 08/25/2021 - STORM DRAINS
 12/20/2021 - UPDATE
 12/30/2021 - UPDATE

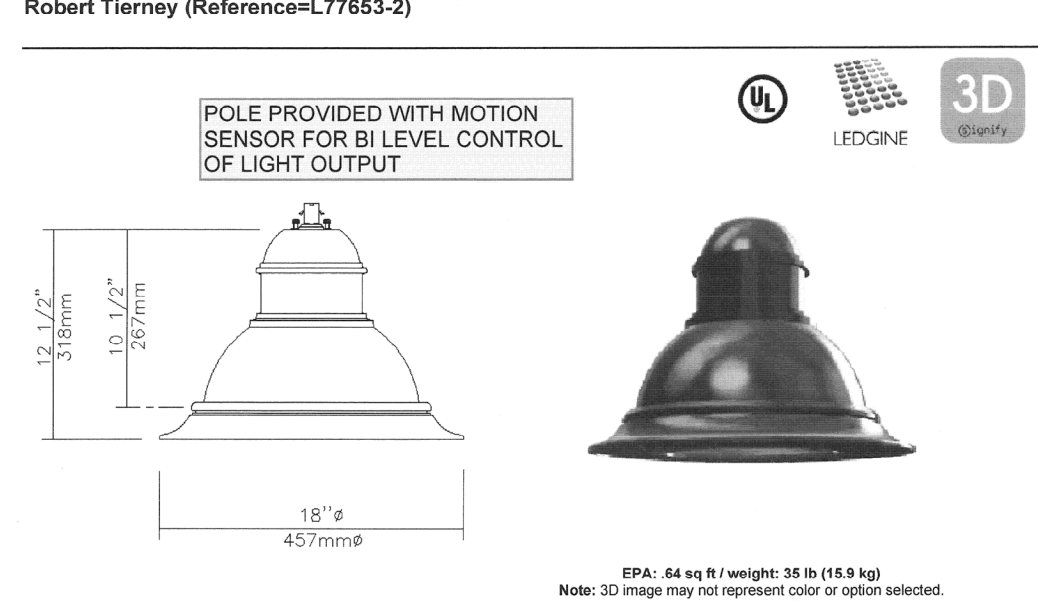
DATE: 08/04/2021
 SCALE: 1" = 20'
 SHEET 10 of 17
A-21-050-LTG
 FILE: 21050.DWG

LIGHTING DESIGN BY:

APEX
 LIGHTING SOLUTIONS
 THE POINT WHERE ALL ASCENDING LINES CONVERGE

446 SMITH STREET
 MIDDLETOWN, CT 06457
 TELEPHONE 860.632.8766
 FACSIMILE 860.632.8236
 www.apexlgt.com

Robert Tierney (Reference=L77653-2) TYPE SL3



Qty	1	Luminaire	DOS-24W16LED3K-LE3F-VOLT-HS-COLT-X
-----	---	-----------	------------------------------------

Description of Components:
Housing: In a round shape, this housing is made of die cast A380 aluminum, c/w a watertight grommet, mechanically assembled to the bracket with four bolts 5/16-18 UNC. This suspension system permits for a full rotation of the luminaire in 90 degree increments.
Access-Mechanism: A die cast A380 aluminum technical ring with latch, hinge and a cast-in decorative skirt. The mechanism shall offer tool-free access to the inside of the luminaire. An embedded memory-retentive gasket shall ensure weatherproofing.
Light Engine: LEDgine composed of 5 main components: Heat Sink / Lens / LED Module / Optical System / Driver. Electrical components are RoHS compliant.
Heat Sink: Made of cast aluminum optimizing the LEDs efficiency and life. Product does not use any cooling device with moving parts (only passive cooling device).
Lens: Made of soda-lime tempered flat glass lens, mechanically assembled and sealed onto the lower part of the heat sink.
Lamp: (Not included), Light-emitting diodes (LED). Lumen output available through ies file 16 LED package, ED 17 bulb, medium base.
LED Module: Composed of 16 high-performance white LEDs. Color temperature as per ANSINEMA bin Warm White, 3000 Kelvin nominal (3045K +/- 175K or 2870K to 3220K), CRI 70 Min. 75 Typical.
Optical System: (LE3F), IES type III (asymmetrical). Composed of high-performance optical grade PMMA acrylic refractor.

Robert Tierney (Reference=L77653-4) TYPE SL4



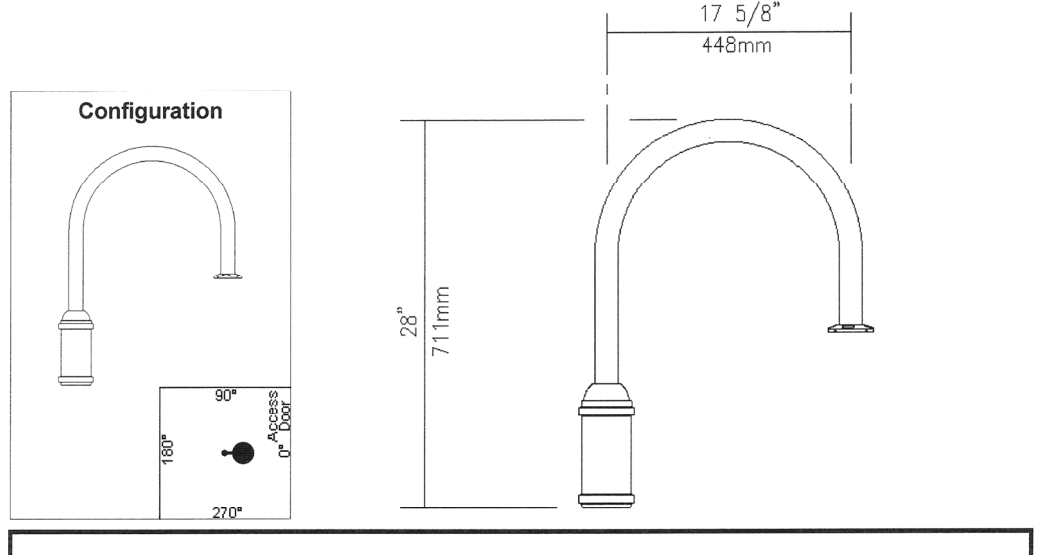
Qty	1	Luminaire	DOS-24W16LED3K-LE4F-VOLT-HS-COLT-X
-----	---	-----------	------------------------------------

Description of Components:
Housing: In a round shape, this housing is made of die cast A380 aluminum, c/w a watertight grommet, mechanically assembled to the bracket with four bolts 5/16-18 UNC. This suspension system permits for a full rotation of the luminaire in 90 degree increments.
Access-Mechanism: A die cast A380 aluminum technical ring with latch, hinge and a cast-in decorative skirt. The mechanism shall offer tool-free access to the inside of the luminaire. An embedded memory-retentive gasket shall ensure weatherproofing.
Light Engine: LEDgine composed of 5 main components: Heat Sink / Lens / LED Module / Optical System / Driver. Electrical components are RoHS compliant.
Heat Sink: Made of cast aluminum optimizing the LEDs efficiency and life. Product does not use any cooling device with moving parts (only passive cooling device).
Lens: Made of soda-lime tempered flat glass lens, mechanically assembled and sealed onto the lower part of the heat sink.
Lamp: (Not included), Light-emitting diodes (LED). Lumen output available through ies file 16 LED package, ED 17 bulb, medium base.
LED Module: Composed of 16 high-performance white LEDs. Color temperature as per ANSINEMA bin Warm White, 3000 Kelvin nominal (3045K +/- 175K or 2870K to 3220K), CRI 70 Min. 75 Typical.
Optical System: (LE4F), IES type IV (asymmetrical). Composed of high-performance optical grade PMMA acrylic refractor.

Robert Tierney (Reference=L77653-2)

lenses to achieve desired distribution optimized to get maximum spacing, target lumens and a superior lighting uniformity. Optical system is rated IP68. Performance shall be tested per LM-63, LM-79 and TM-15 (IESNA) certifying its photometric performance. Street side indicated. Complete with a (HS) House side shield, 0% uplight and U0 per IESNA TM-15.
Driver: High power factor of 90% minimum. Electronic driver, operating range 50/60 Hz. Auto-adjusting universal voltage input from 120 to 277 VAC rated for both application line to line or line to neutral, Class 1, THD of 20% max. Maximum ambient operating temperature from -40F(-40C) to 130F(50C) degrees.
Surge Protector: Surge protector tested in accordance with ANSI/IEEE C82.45 per ANSIEEE C82.41.2 Scenarios I Category C High Exposure 10kV(10kA) waveforms for Line-Ground, Line-Neutral and Neutral-Ground, and in accordance with U.S. DOE (Department of Energy) MSSLC (Municipal Solid-State Street Lighting Consortium) model specification for LED roadway luminaires electrical immunity requirements for High Test Level 10kV / 10kA.

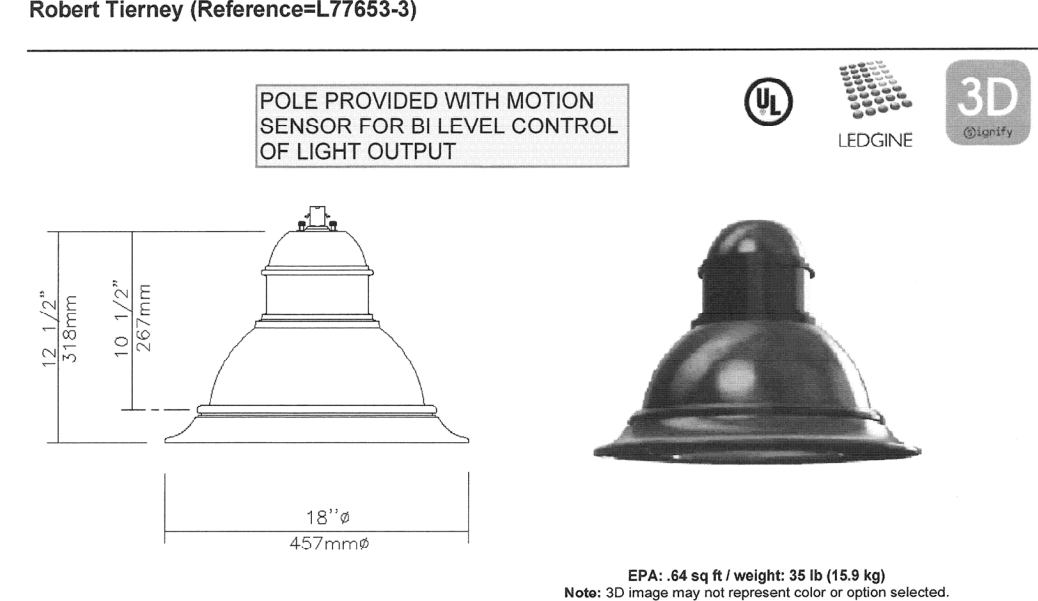
Robert Tierney (Reference=L77653-2)



Qty	1	Bracket	DBA-1A-R3-COLT-X
-----	---	---------	------------------

Description of Components:
Arm: Shall be made from bent aluminum tubing 6061-T6, 1.58" (41mm) outside diameter, welded.
Adaptor: Made of cast 356 aluminum. Slip-fits on a 3" (76mm) outside diameter x 6" (152mm) long tenon. Mechanically fastened by two sets of three set screws.
Bracket Properties (Weight and EPA): 3 lbs (1.4 kg), 53 ft²

Robert Tierney (Reference=L77653-3) TYPE SL5



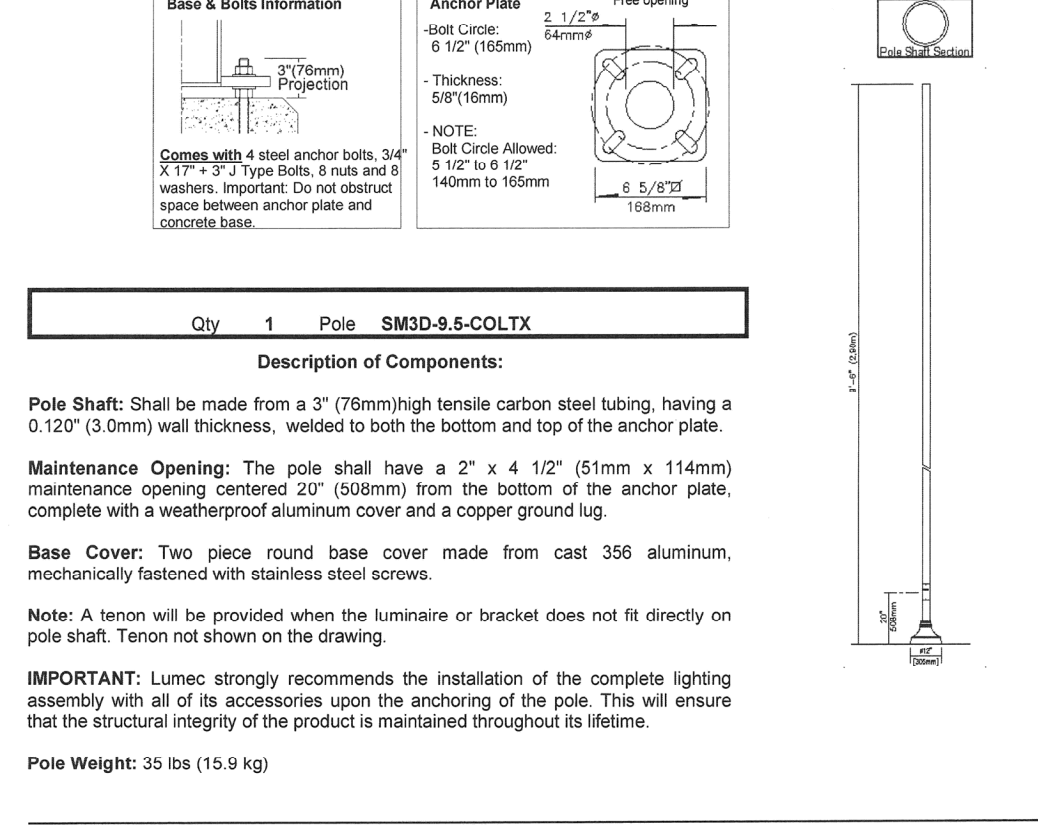
Qty	1	Luminaire	DOS-24W16LED3K-LE5F-VOLT-COLT-X
-----	---	-----------	---------------------------------

Description of Components:
Housing: In a round shape, this housing is made of die cast A380 aluminum, c/w a watertight grommet, mechanically assembled to the bracket with four bolts 5/16-18 UNC. This suspension system permits for a full rotation of the luminaire in 90 degree increments.
Access-Mechanism: A die cast A380 aluminum technical ring with latch, hinge and a cast-in decorative skirt. The mechanism shall offer tool-free access to the inside of the luminaire. An embedded memory-retentive gasket shall ensure weatherproofing.
Light Engine: LEDgine composed of 5 main components: Heat Sink / Lens / LED Module / Optical System / Driver. Electrical components are RoHS compliant.
Heat Sink: Made of cast aluminum optimizing the LEDs efficiency and life. Product does not use any cooling device with moving parts (only passive cooling device).
Lens: Made of soda-lime tempered flat glass lens, mechanically assembled and sealed onto the lower part of the heat sink.
Lamp: (Not included), Light-emitting diodes (LED). Lumen output available through ies file 16 LED package, ED 17 bulb, medium base.
LED Module: Composed of 16 high-performance white LEDs. Color temperature as per ANSINEMA bin Warm White, 3000 Kelvin nominal (3045K +/- 175K or 2870K to 3220K), CRI 70 Min. 75 Typical.
Optical System: (LE5F), IES type V (symmetrical). Composed of high-performance optical grade PMMA acrylic refractor.

SPECIFICATIONS

07:14:2021 Page 1 / 5

Robert Tierney (Reference=L77653-2)



Qty	1	Pole	SM3D-S-COLT-X
-----	---	------	---------------

Description of Components:
Pole Shaft: Shall be made from a 3" (76mm) high tensile carbon steel tubing, having a 0.120" (3.0mm) wall thickness, welded to both the bottom and top of the anchor plate.
Maintenance Opening: The pole shall have a 2" x 4 1/2" (51mm x 114mm) maintenance opening centered 20" (508mm) from the bottom of the anchor plate, complete with a weatherproof aluminum cover and a copper ground lug.
Base Cover: Two piece round base cover made from cast 356 aluminum, mechanically fastened with stainless steel screws.
Note: A tenon will be provided within the luminaire or bracket does not fit directly on pole shaft. Tenon not shown on the drawing.
IMPORTANT: Lumex strongly recommends the installation of the complete lighting assembly with all of its accessories upon the anchoring of the pole. This will ensure that the structural integrity of the product is maintained throughout its lifetime.
Pole Weight: 35 lbs (15.9 kg)

Robert Tierney (Reference=L77653-2)

Wiring: Gauge (#14) TEW/AWM 1015 or 1230 wires, 6" (152mm) minimum exceeding the bracket.
Hardware: All exposed screws shall be complete with Ceramic primer-seal basecoat to reduce seizing of the parts and offers a high resistance to corrosion. All seals and sealing devices are made and/or lined with EPDM and/or silicone and/or rubber.
Anchor Bolts: Anchor bolts made of ASTM F1554 grade 55 steel with a minimum yield strength of 55,000 psi. Nuts made of ASTM F1554-09 grade A steel or better. The thread adjustment is ANSI class 2B regardless of the diameter of the bolts. Washers made of ASTM grade F-844 steel or better. All galvanized parts are hot-dip galvanized with minimum requirement the ACNOR G-164 standard.
Finish: Textured color to be advised (Product Standard Color only): _____ (COLTX) and in accordance with the AAMA 5023 standard. Application of powder powder coat paint (4 mils/100 microns) with a 1 mil/24 microns of tolerance. The Thermosetting resins provides a discoloration resistant finish in accordance with the ASTM D2244 standard, as well as luster retention in keeping with the ASTM D523 standard and humidity proof in accordance with the ASTM D2247 standard. The surface treatment achieves a minimum of 2000 hours for salt spray resistant finish in accordance with testing performed and per ASTM B117 standard.
Note: IMPORTANT: All missing details must be clearly specified on the return of these approval drawings. Thank you for your cooperation.
COLOR: _____ / VOLTAGE: _____
Pole Information: (R3) Bracket to be mounted on top of a 3" (76mm) outside diameter round pole or tenon.
LED products manufacturing standard: The electronic components sensitive to electrostatic discharge (ESD) such as light emitting diodes (LEDs) are assembled in compliance with IEC61340-5-1 and ANSI/ESD S20.20 standards so as to eliminate ESD events that could decrease the useful life of the product.
Quality Control: The manufacturer must provide a written confirmation of its ISO 9001:2008 and ISO 14001:2004 International Quality Standards Certification.
Certification: The manufacturer will have to supply a copy of approval products certificate, CSA or UL.
Mechanical resistance: This design information is intended as a general guideline only. The customer is solely responsible for proper selection of pole, luminaire, accessories and foundation under the given site conditions and intended usage. The addition of any other item to the pole may dramatically impact the wind load on that pole. It is strongly recommended that a qualified professional be consulted to analyze the loads given the user's specific needs to ensure proper selection of the pole, luminaire, accessories, and foundation. Lumex assumes no responsibility for such complete analysis or product selection. Failure to insure proper site analysis, pole selection, loads and installation can result in pole failure, leading to serious injury or property damage.

Web site information details: / CSA Certification / CSA Pole Certification

WPX SERIES Outdoor Lighting WESTGATE THE FUTURE IS HERE... AND IT'S QUITE BRIGHT

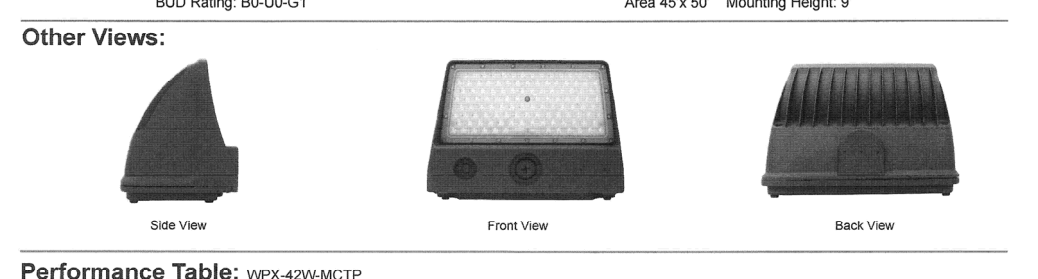
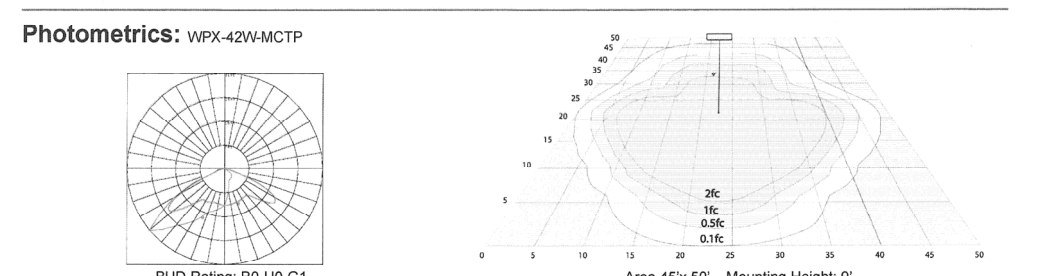


Customer Name:	
Project Name:	
Note:	

LED Wall Pack Light series can be widely used as Exterior or Interior LED lighting for Hotels, Garages, Commercial Buildings, Public areas, Schools and Hospitals, etc.
Features:
 • High Light Transmittance, Anti-UV and Fire Resistant PC Lens
 • 7-Year Warranty
 • Die-Cast Aluminum With Powder Coat Finish (Dark Bronze)
 • Multi CCT and Power (Switches are inside fixture)
Electrical:
 • Voltage: 120-277VAC 50/60Hz
 • Wattage: 11W 21W 32W 42W
 • Power Factor: >0.95
 • Efficacy: 135 LPW
Mechanical:
 • Die-Cast Aluminum With Powder Coat Finish (Dark Bronze)
 • High Light Transmittance, Anti-UV and Fire Resistant Shelterproof PC Lens
 • Operating Temperature: -4F to 104F
 • IP 65
 • Wet Location
 • 7-Year Warranty
 • Full Cutoff, Dark Sky Compliant
Applications:
 • LED Wall Pack Light series can be widely used as Exterior or Interior LED lighting for Hotels, Garages, Commercial Buildings, Public areas, Schools and Hospitals, etc.

Other Models:

80W 1000LM | WPX-80W-MCTP



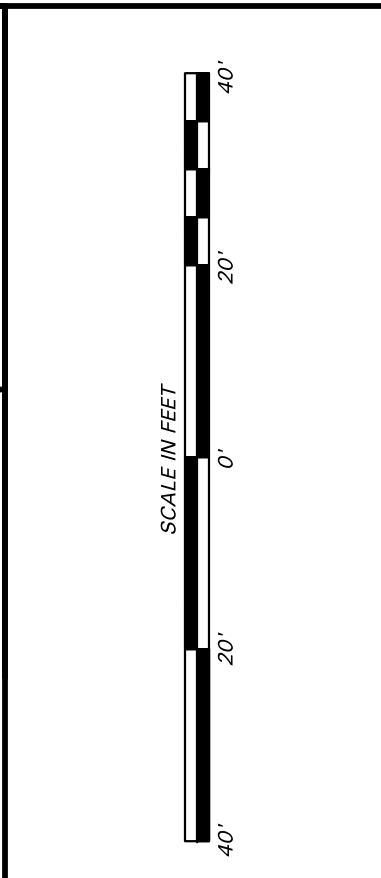
MODEL NO.	Wattage	Voltage	Lumens	Color Temp.	BUS Rating	LPW
WPX W-MCTP OPT-EM-36LV-S	11W	120-277V	1485LM	3000K	80-U0-G1	155
	21W		2835LM	4000K		
	32W		4320LM	5000K		
	42W		5670LM			

Sample Ordering:
 Model Wattage, Color Temp.
 WPX = 42W = MCTP

Factory-Installed Options:
 OPT-EM-09VMT OPT-EM-36LV-S OPT-EM-09VMT OPT-EM-36LV-S OPT-EM-09VMT OPT-EM-36LV-S

Example:
 1. WPX-42W-MCTP (80W WPX-80W-MCTP FEATURE 120-277V)
 2. WPX-42W-MCTP (80W WPX-80W-MCTP FEATURE 120-277V)
 OPT-EM-09VMT (INTERNAL EMERGENCY BACKUP BATTERY)

UNDERGROUND UTILITY NOTE:
 UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON, HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROLE TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO THE UNDERSIGNED. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG - 800-922-4555 OR 811.
INSPECTION NOTE:
 THE CONTRACTOR SHALL NOTIFY THE TOWN OF GLASTONBURY ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, SANITARY SEWER INSTALLATION, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, OR ANY EXCAVATION IN THE TOWN RIGHT-OF-WAY TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:00 AM - 4:30 PM MONDAY THROUGH FRIDAY AT (860)-652-7735.



DUTTON ASSOCIATES, LLC
 LAND SURVEYORS AND CIVIL ENGINEERS
 67 EASTERN BOULEVARD
 GLASTONBURY, CONNECTICUT 06033
 TEL: 860-633-9401 FAX: 860-633-8951
 EMAIL: INFO@DUTTONASSOCIATESLLC.COM

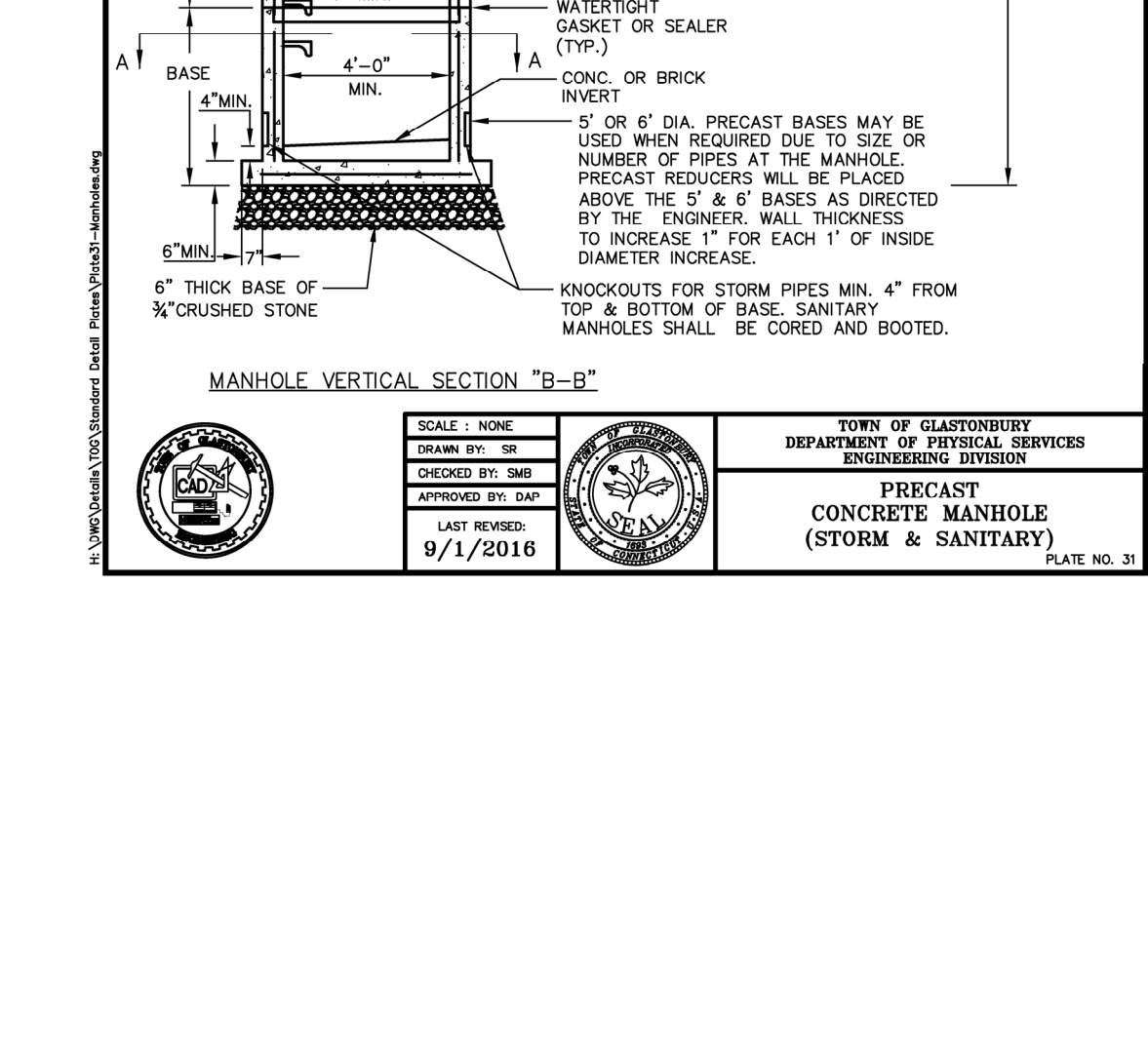
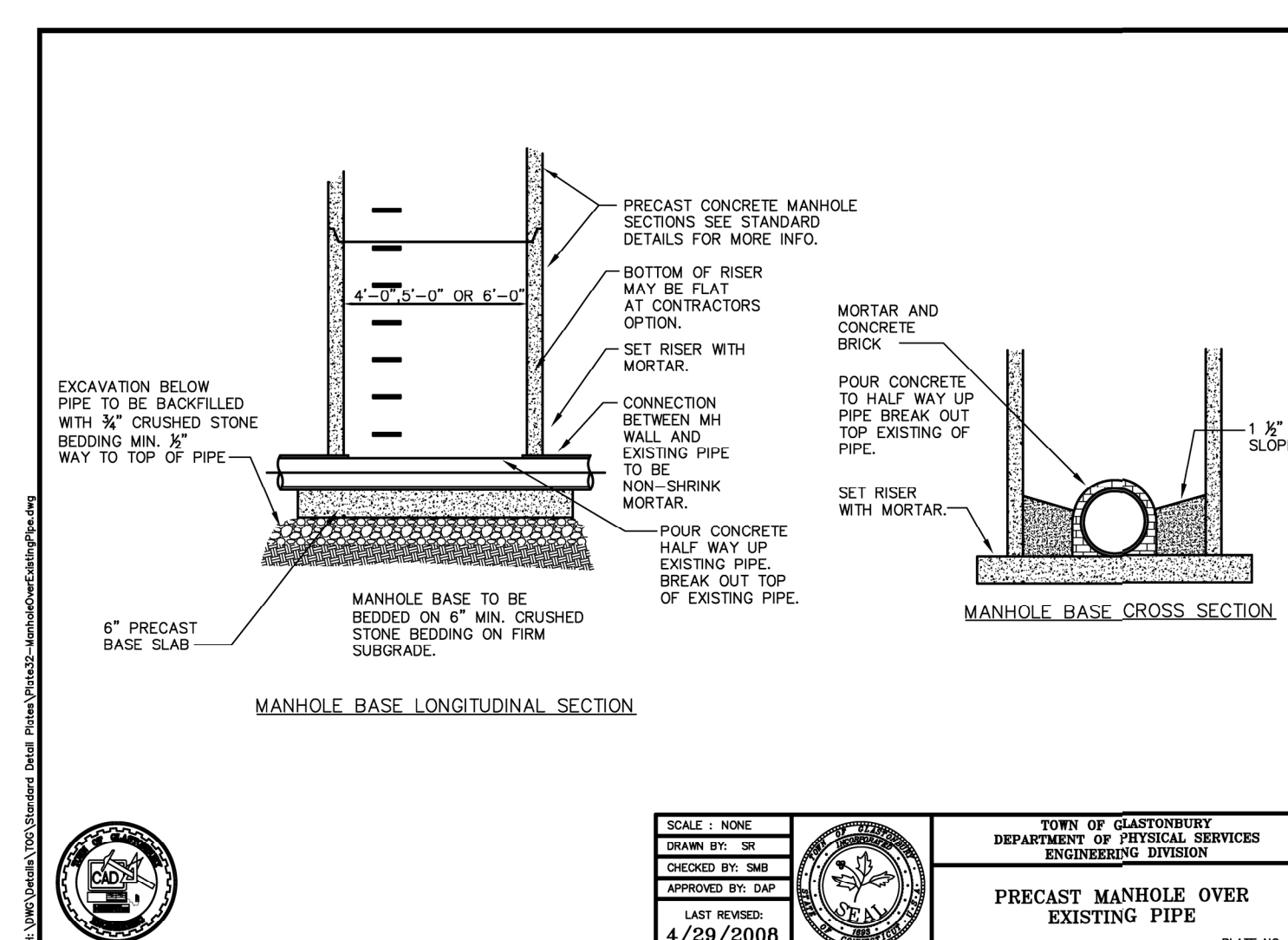
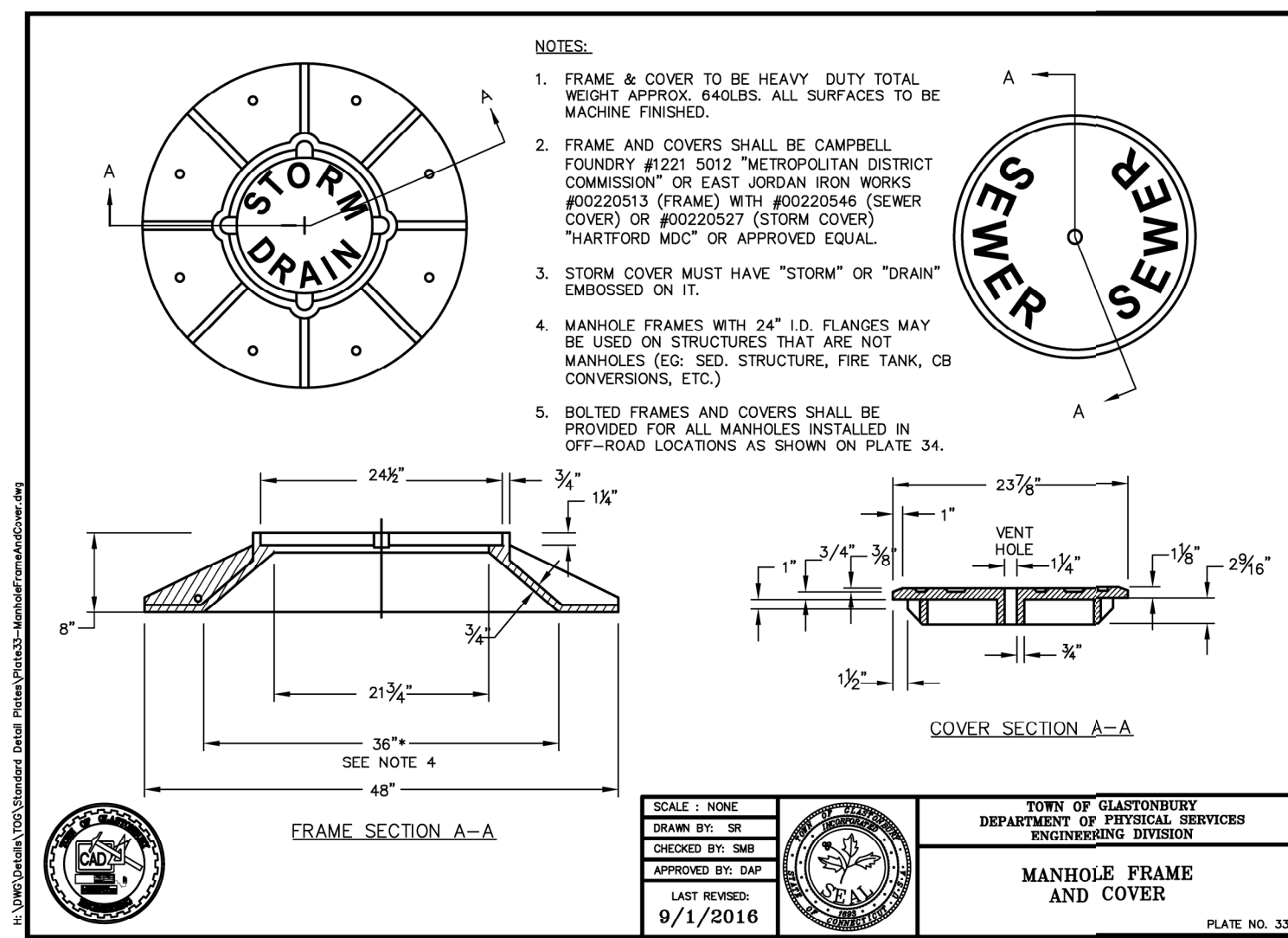
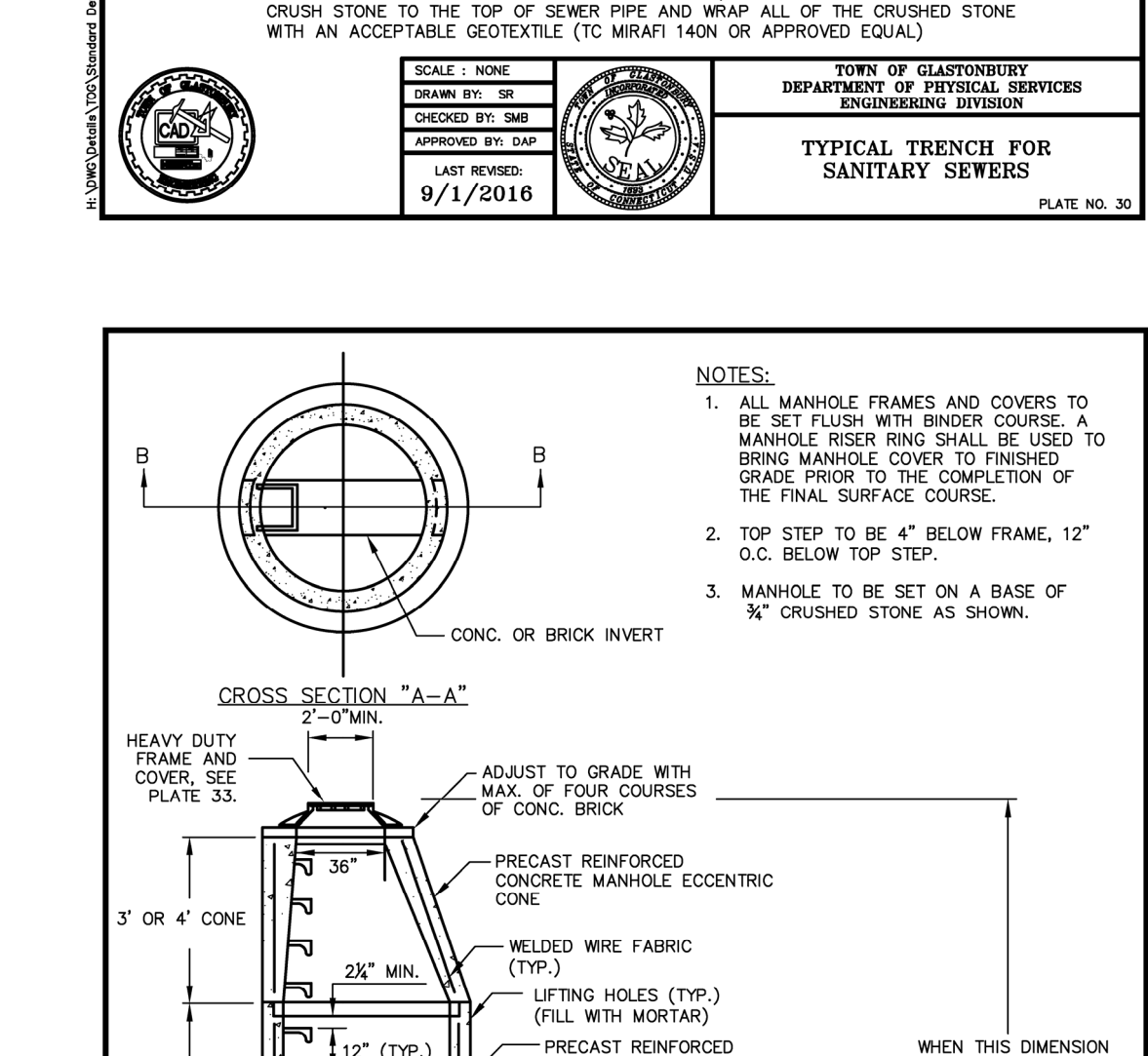
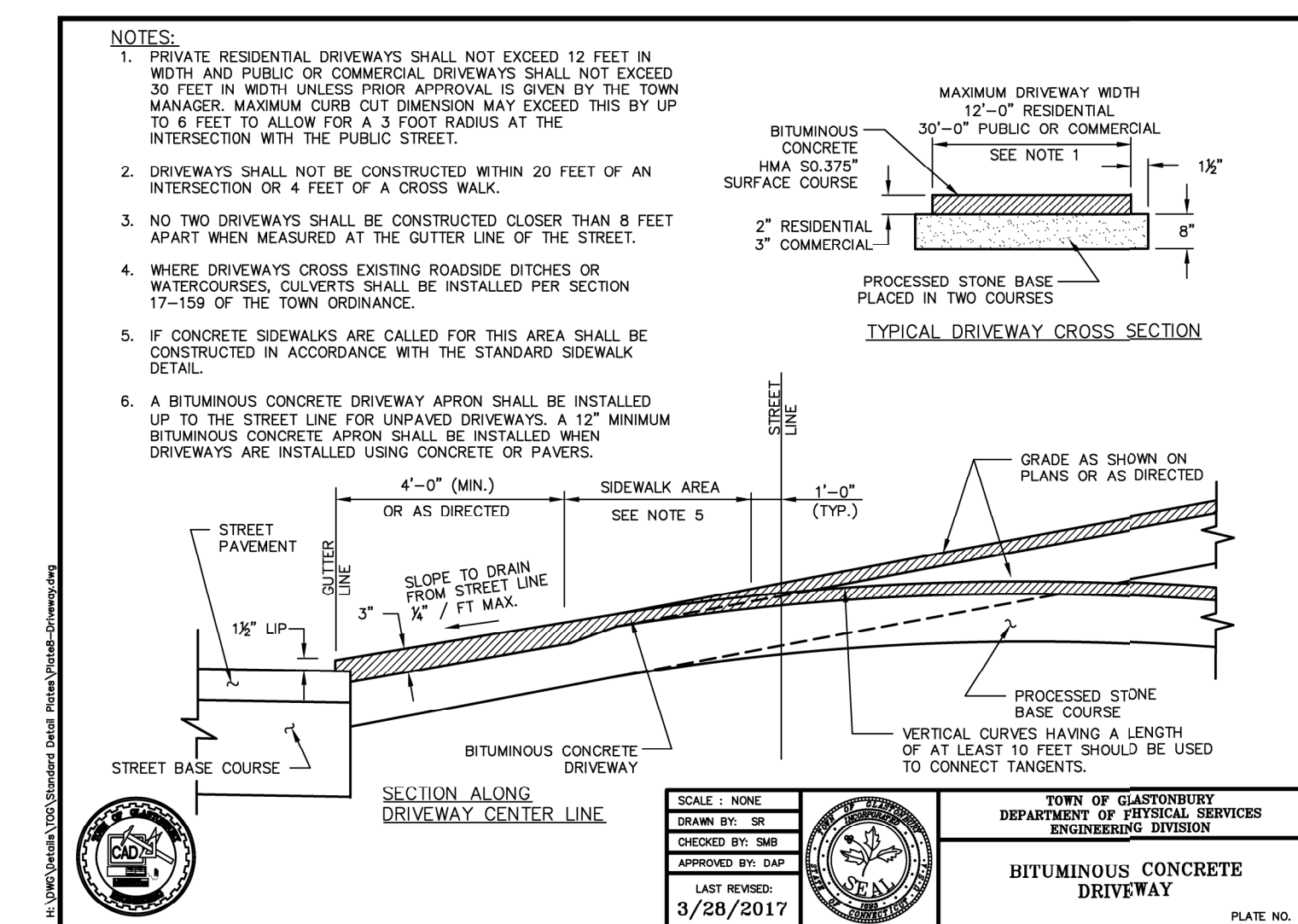
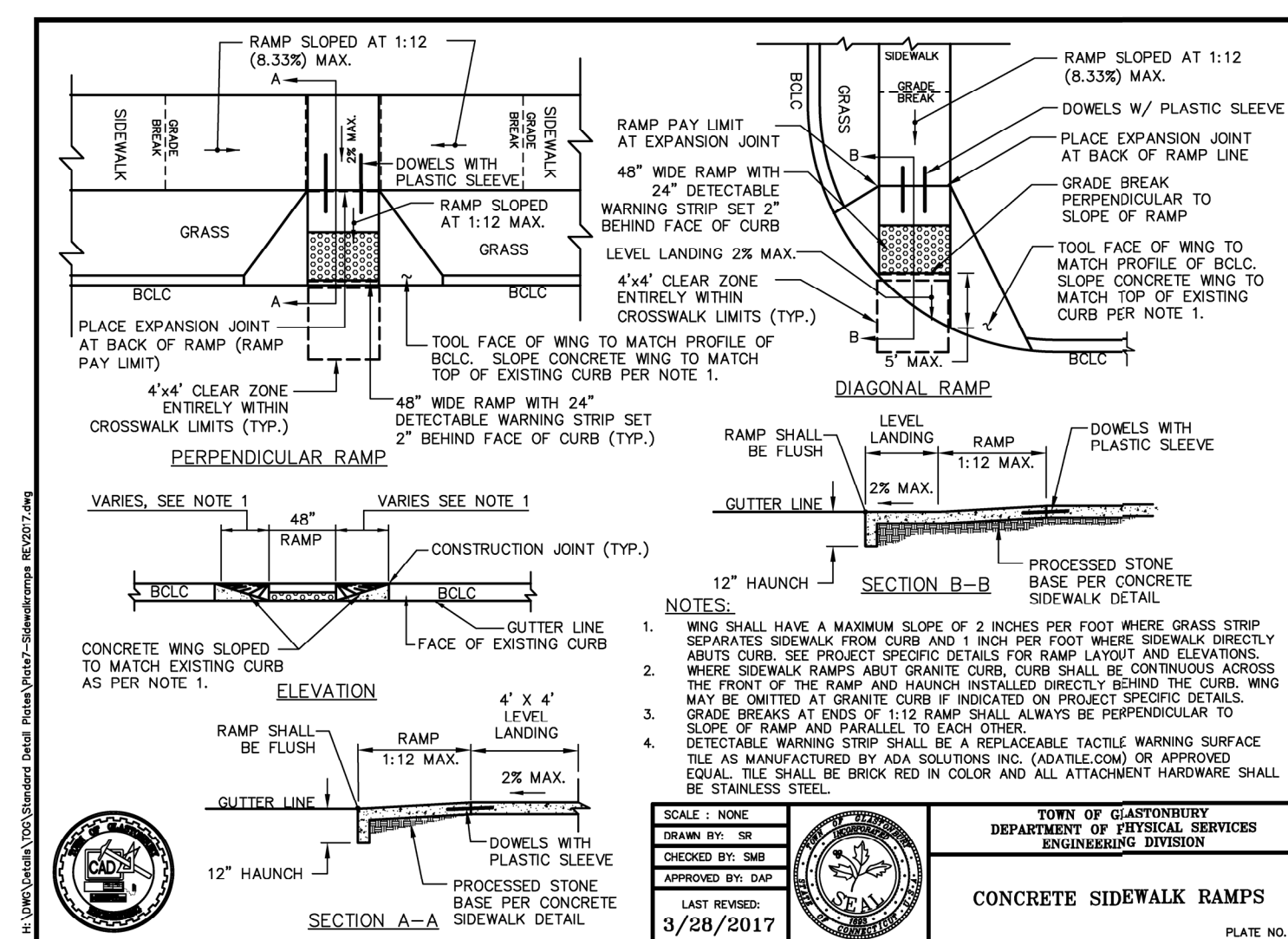
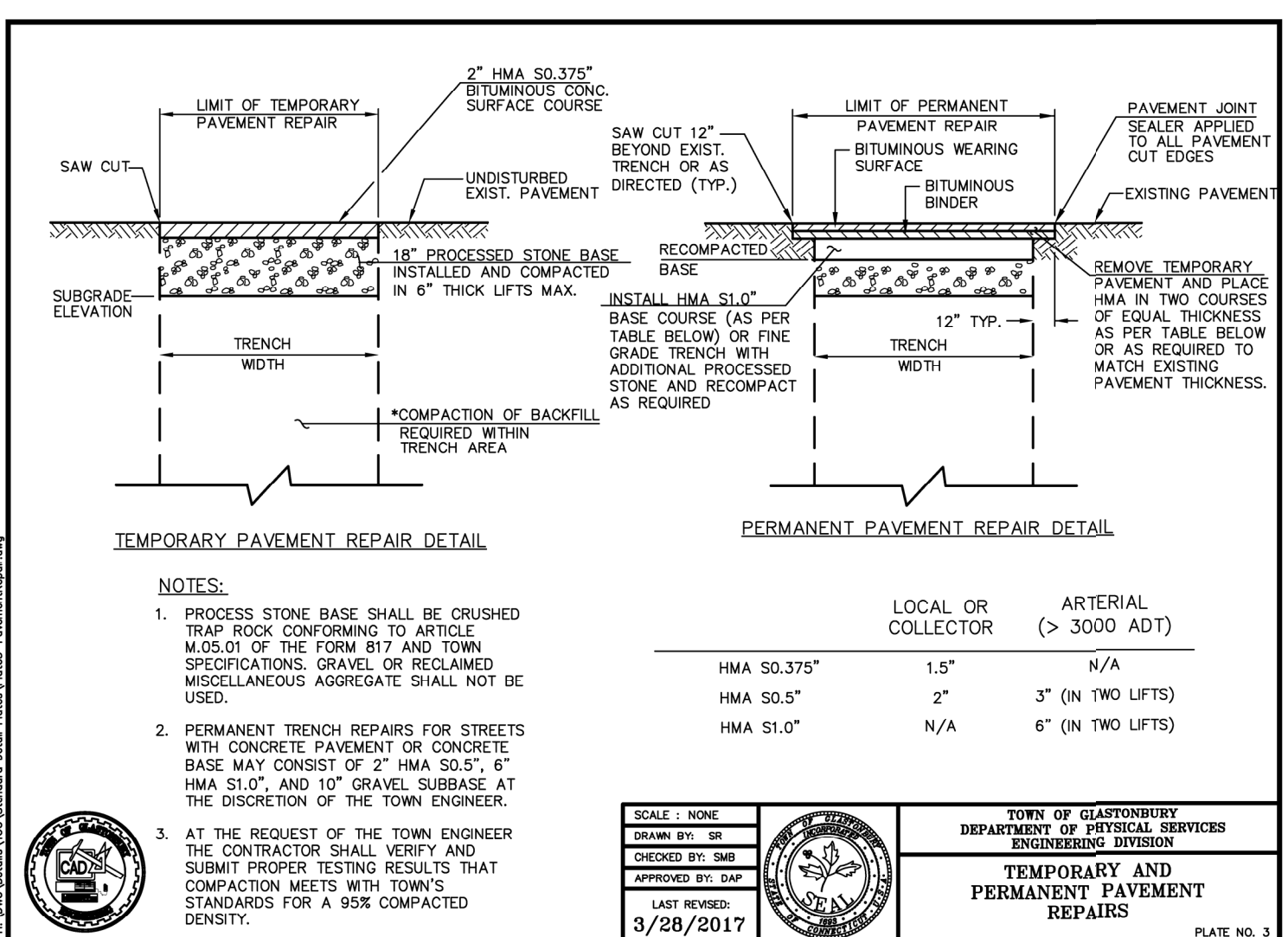
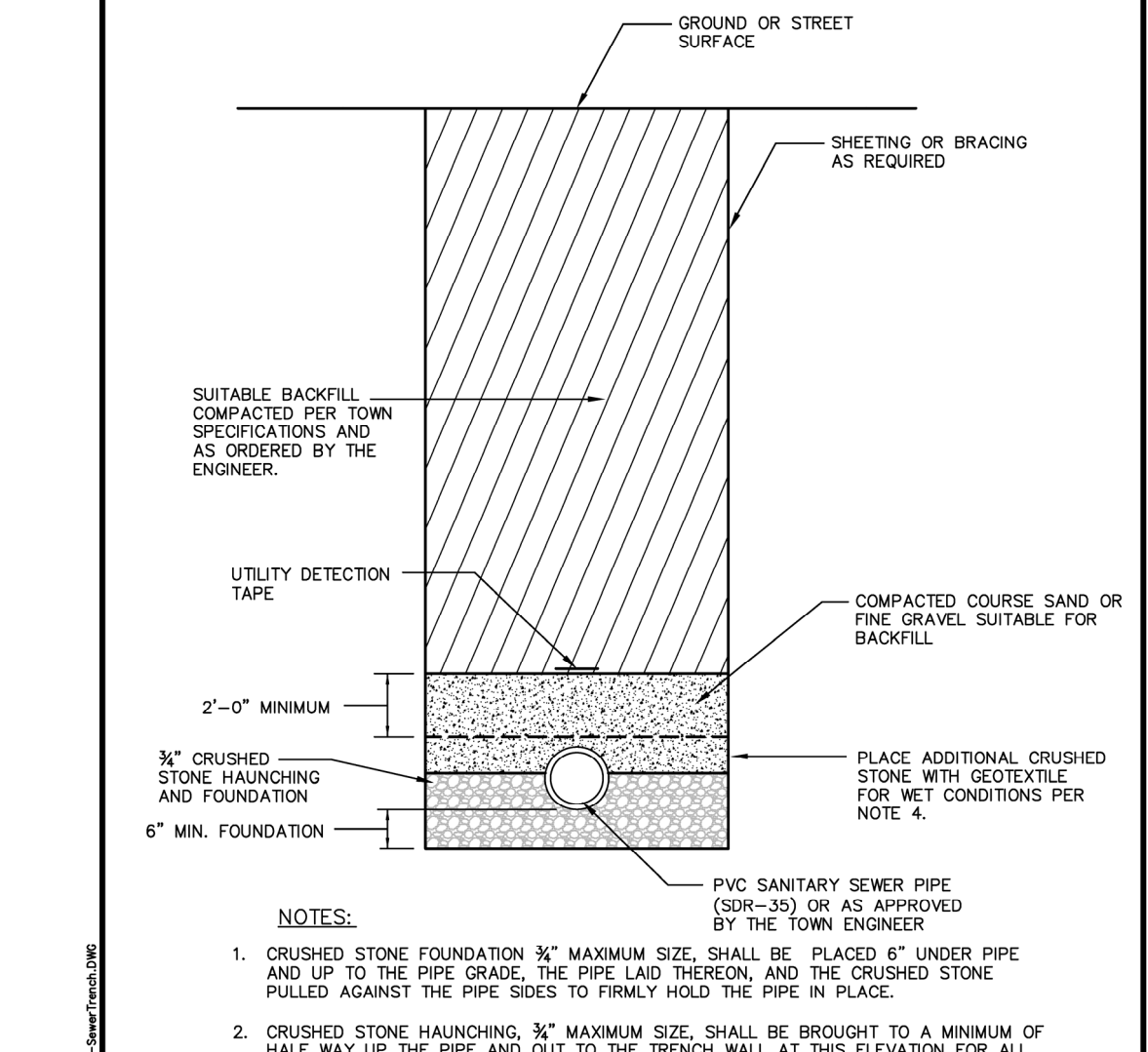
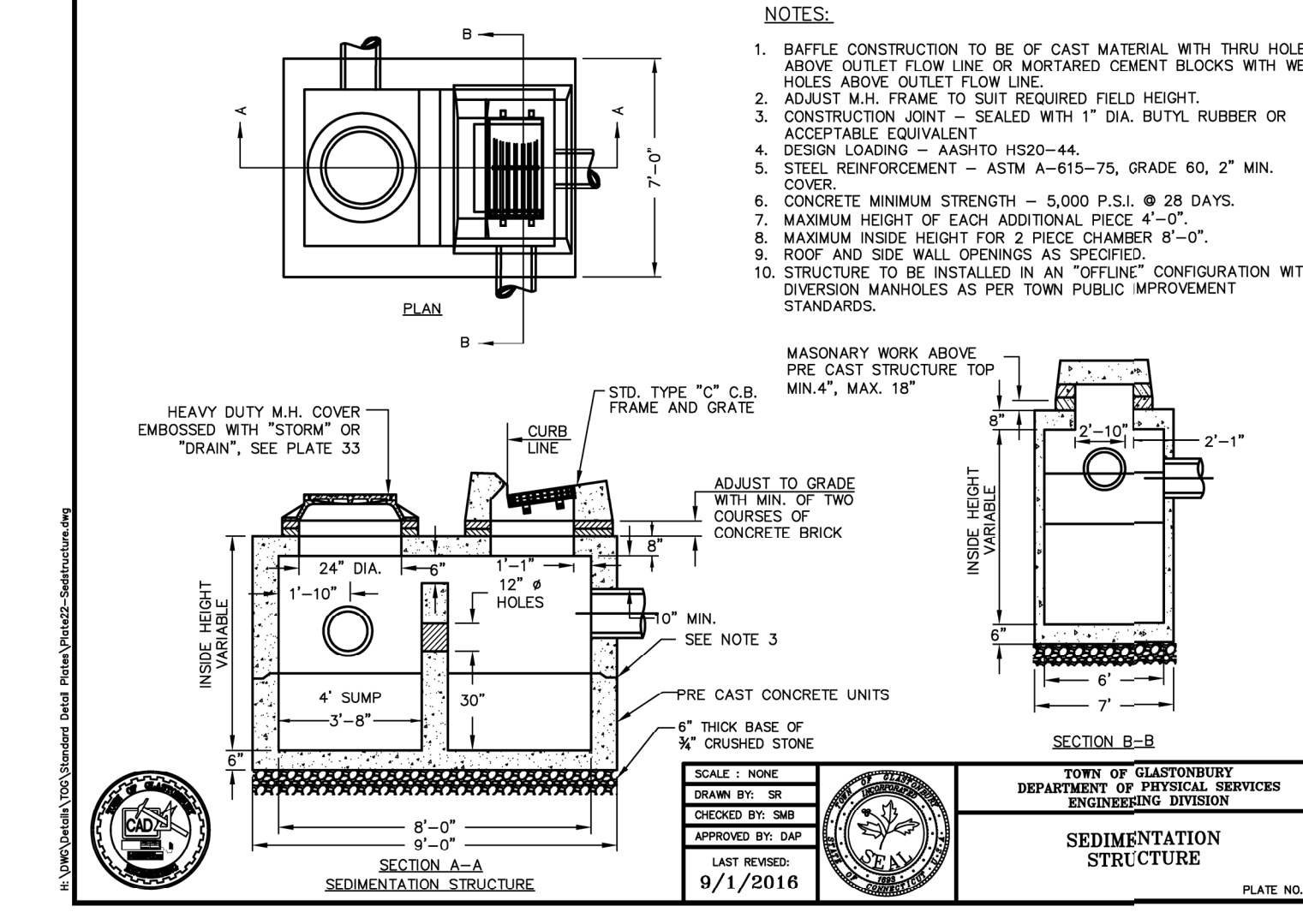
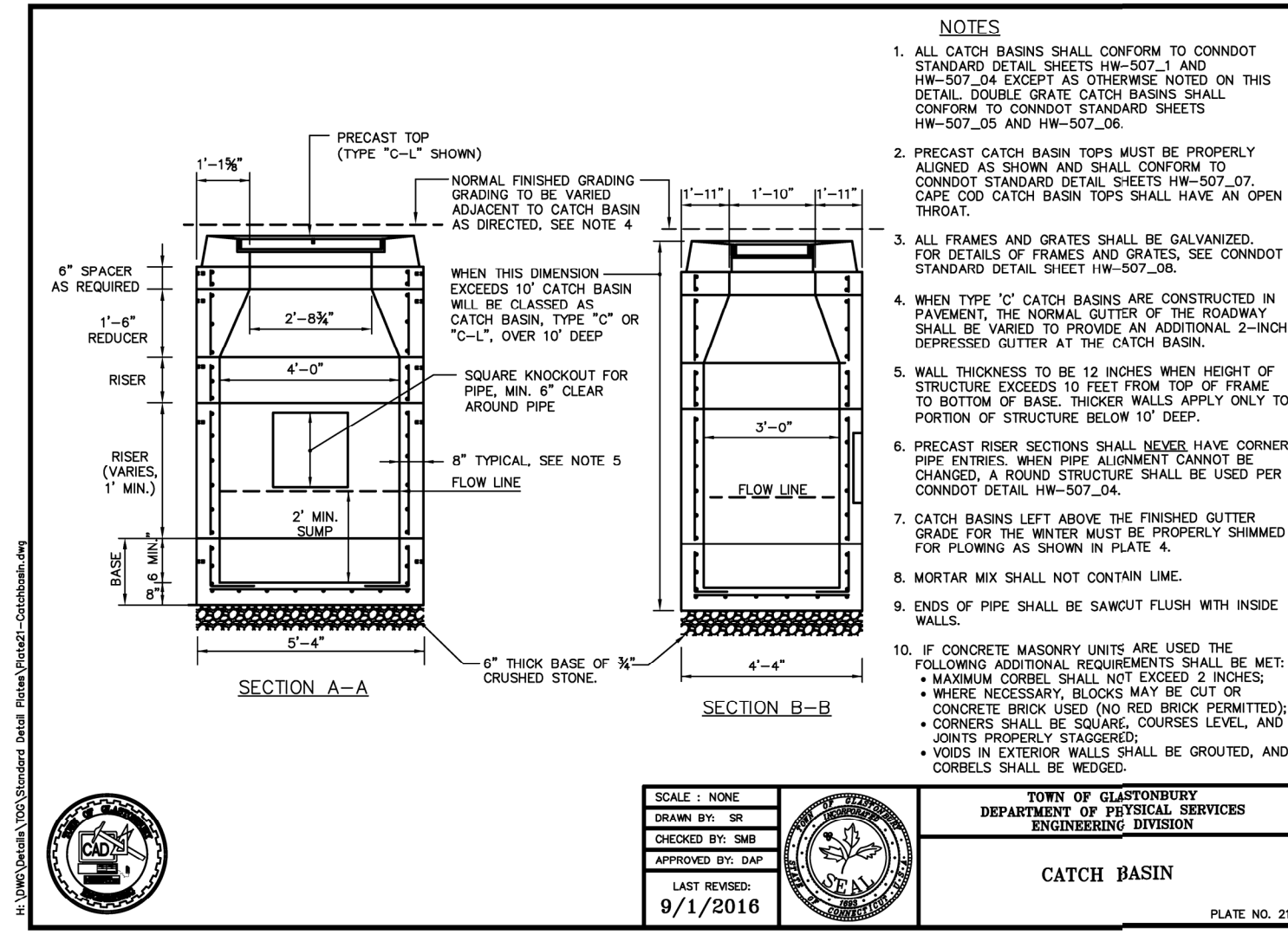
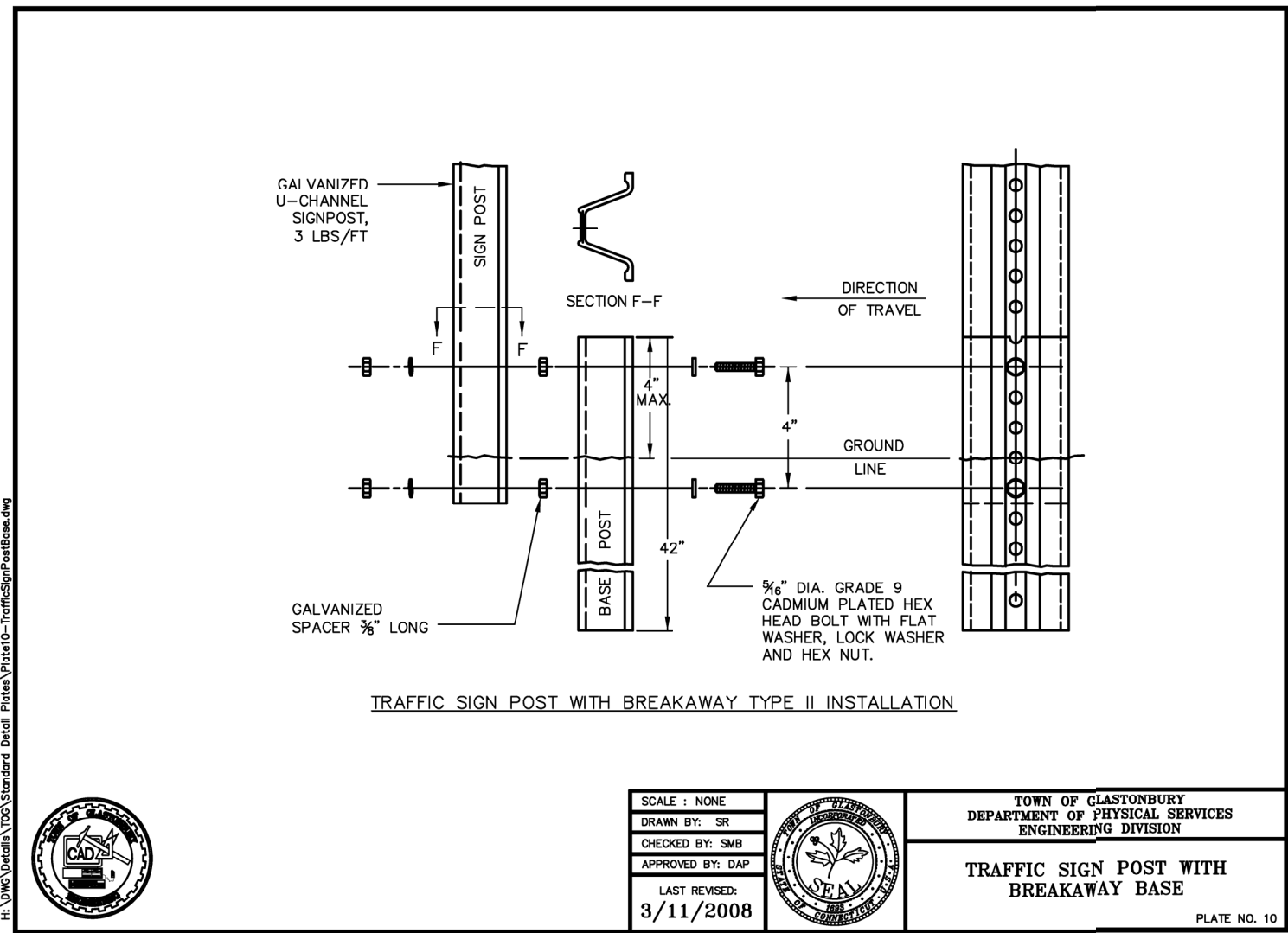
JOHN R. MARTUCCI, P.E. #19494

This document is an instrument of professional service, and shall not be used, in whole or in part, for any project other than for which it was created, without the express written consent of DUTTON ASSOCIATES, LLC. Any unauthorized use, reuse, modification or conversion of this document shall be at the user's sole risk, without liability or legal recourse to DUTTON ASSOCIATES, LLC. © 2013 - DUTTON ASSOCIATES, LLC.

LAC GROUP, LLC J.S. ADVISORS, APPLICANT
 38 HUBBARD STREET
 RESIDENTIAL CONVERSION
 LIGHTING DETAILS WAREHOUSE 38

LIGHTING DESIGN BY:
APEX LIGHTING SOLUTIONS
 THE POINT WHERE ALL ASCENDING LINES CONVERGE
 446 SMITH STREET
 MIDDLETOWN, CT 06457
 TELEPHONE 860.632.8766
 FACSIMILE 860.632.8236
 www.apexlgt.com

REVISIONS:
08/25/2021 - STORM DRAINS
12/20/2021 - UPDATE
12/30/2021 - UPDATE
DATE: 08/04/2021
SCALE: AS SHOWN
SHEET 11 of 17
A-21-050-LTG-D
FILE: 21050.DWG



DUTTON ASSOCIATES, LLC
 LAND SURVEYORS AND CIVIL ENGINEERS
 67 EASTERN BOULEVARD
 GLASTONBURY, CONNECTICUT 06033
 TEL: 860-633-8401 FAX: 860-633-8981
 EMAIL: INFO@DUTTONASSOCIATESLLC.COM

JOHN R. MARTUCCI, P.E. #19494

This document is an instrument of professional service, and shall not be used, in whole or in part, for any project other than for which it was created without the express written consent of DUTTON ASSOCIATES, LLC. Any unauthorized use, reuse, modification or conversion of this document shall be at the user's sole risk, without liability or legal recourse to DUTTON ASSOCIATES, LLC. © 2013 - DUTTON ASSOCIATES, LLC.

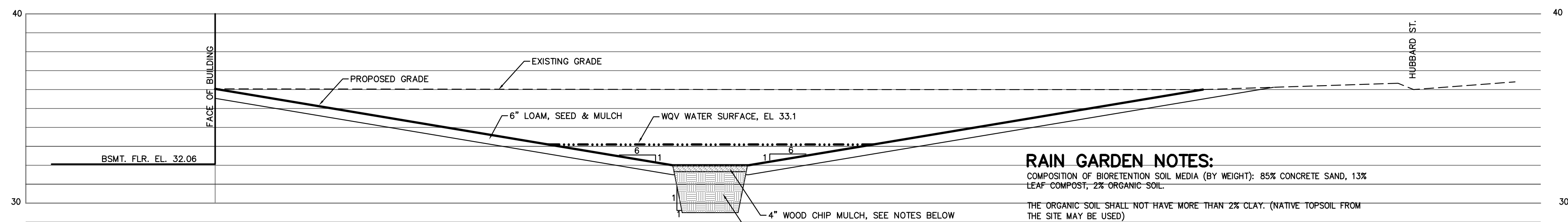
GENERAL NOTES AND DETAILS
WAREHOUSE 38
RESIDENTIAL CONVERSION
38 HUBBARD STREET
 PREPARED BY:
LAC GROUP, LLC J S ADVISORS, LLC APPLICANT
 GLASTONBURY, CONNECTICUT

UNDERGROUND UTILITY NOTE:
 UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROLE TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO THE UNDERSIGNED. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG - 800-922-4859 OR 911.

INSPECTION NOTE:
 THE CONTRACTOR SHALL NOTIFY THE TOWN OF GLASTONBURY ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, SANITARY SEWER INSTALLATION, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, OR ANY EXCAVATION IN THE TOWN RIGHT-OF-WAY TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:00 AM - 4:30 PM MONDAY THROUGH FRIDAY AT (860)-652-7735.

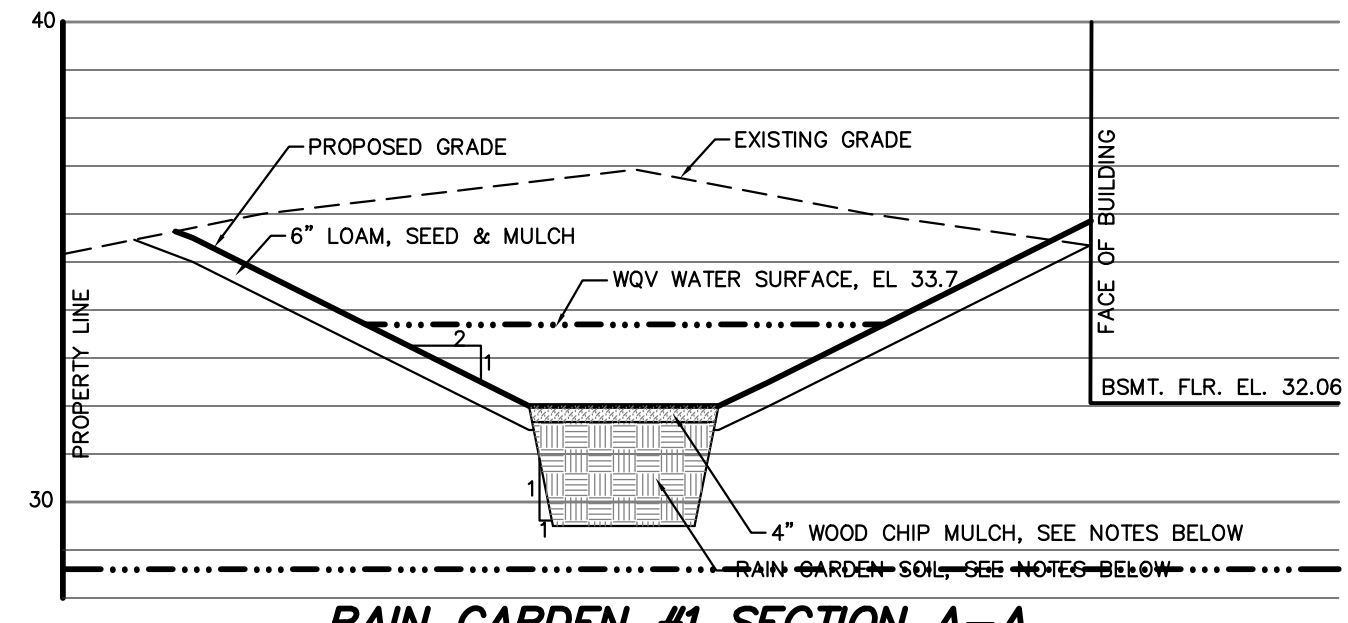
REVISIONS:
 08/25/2021 - STORM DRAINS
 12/20/2021 - UPDATE
 12/30/2021 - UPDATE

DATE: 08/04/2021
 SCALE: AS SHOWN
 SHEET 13 OF 17
A-21-050-D2
 FILE: 21050.DWG



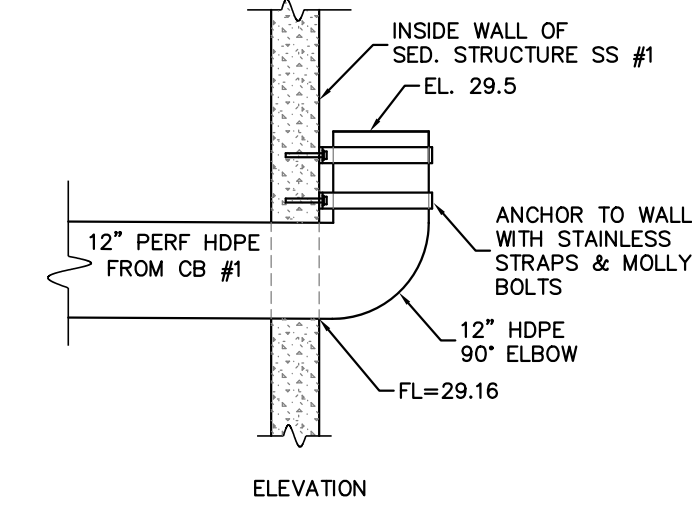
RAIN GARDEN NOTES:
 COMPOSITION OF BIORETENTION SOIL MEDIA (BY WEIGHT): 85% CONCRETE SAND, 13% LEAF-COMPOST, 2% ORGANIC SOIL.
 THE ORGANIC SOIL SHALL NOT HAVE MORE THAN 2% CLAY. (NATIVE TOPSOIL FROM THE SITE MAY BE USED)
 MULCH WITHIN THE RAIN GARDEN AREA SHALL BE PLACED AT A UNIFORM THICKNESS OF 4" AND SHALL BE WELL AGED (6 TO 12 MONTHS) SHREDDED HARDWOOD MULCH. PINE MULCH AND WOOD CHIPS ARE NOT ACCEPTABLE MATERIALS AS THEY WILL FLOAT DURING STORM EVENTS AND CAUSE FAILURE OF THE OUTLET STRUCTURE AND UNDERDRAIN SYSTEMS.
 REFER TO THE LANDSCAPE PLAN FOR PLANTINGS WITHIN THE RAIN GARDEN.

RAIN GARDEN #2 SECTION B-B
 SCALE 1"=4"

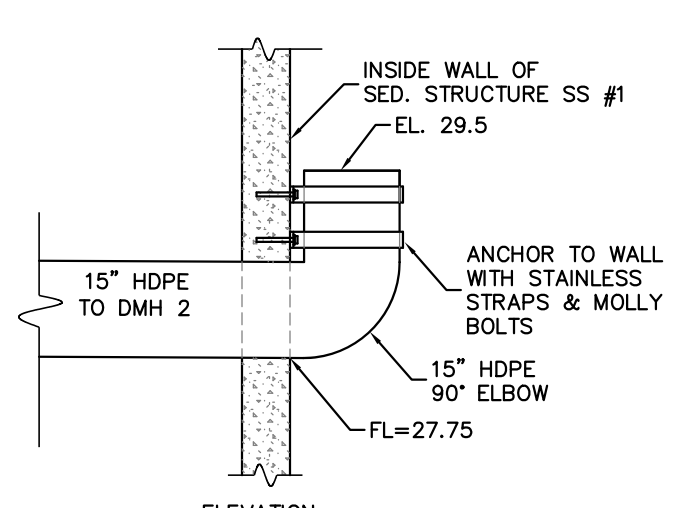


RAIN GARDEN #1 SECTION A-A
 SCALE 1"=4"

RAIN GARDEN SECTIONS
 NOT TO SCALE



12" HDPE OUTLET SS #2
 NOT TO SCALE



15" HDPE OUTLET SS #1
 NOT TO SCALE

12" LOW PROFILE HS-20 LEACHING GALLEY
 GALLEY DESIGN SPECIFICATIONS CONFORMS TO LATEST ASTM DESIGNATION C913

NOTES:

- PIPE INLET AND OUTLET LOCATIONS HAVE POLYLOK II PIPE SEALS, TYPICAL. CUSTOM KNOCKOUTS CAN BE CAST ON REQUEST.
- REINFORCING STEEL DEFORMED BARS CONFORM TO LATEST ASTM SPECIFICATION A615.
- CONCRETE COMPRESSIVE STRENGTH- 4000 PSI AT 28 DAYS.
- METHOD OF MANUFACTURE: WET CAST.
- SECTION IS MONOLITHIC.
- THE GALLEY IS DESIGNED FOR HS-20 LOADING w/1/8" OF SOIL COVER.

WEIGHT CHART

PRODUCT	APPROX. WEIGHT
12" GALLEY	2450 LBS.

LEACHING DATA

FLOW LINE (INCHES)	LEACHING (GALLONS/FT ² /MIN)	LEACHING (GALLONS)	INSIDE CAPACITY (GALLONS)
6	6.9	47.2	140

TOP VIEW
 (ROOF SLAB THICKNESS IS 5")

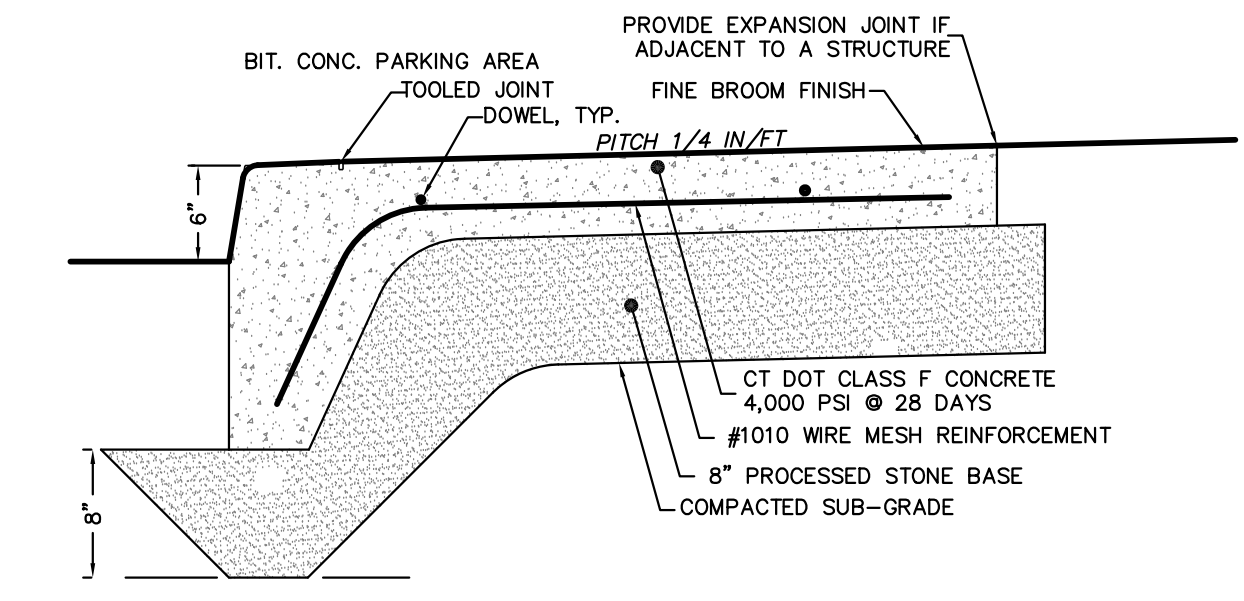
SIDE VIEW
 (WALL THICKNESS IS 3")
 (ROOF THICKNESS IS 5 1/2"; 7 1/2" @ BEAMS)

END VIEW (END SECTION)
 (WALL THICKNESS IS 3")
 (ROOF THICKNESS IS 5 1/2"; 7 1/2" @ BEAMS)

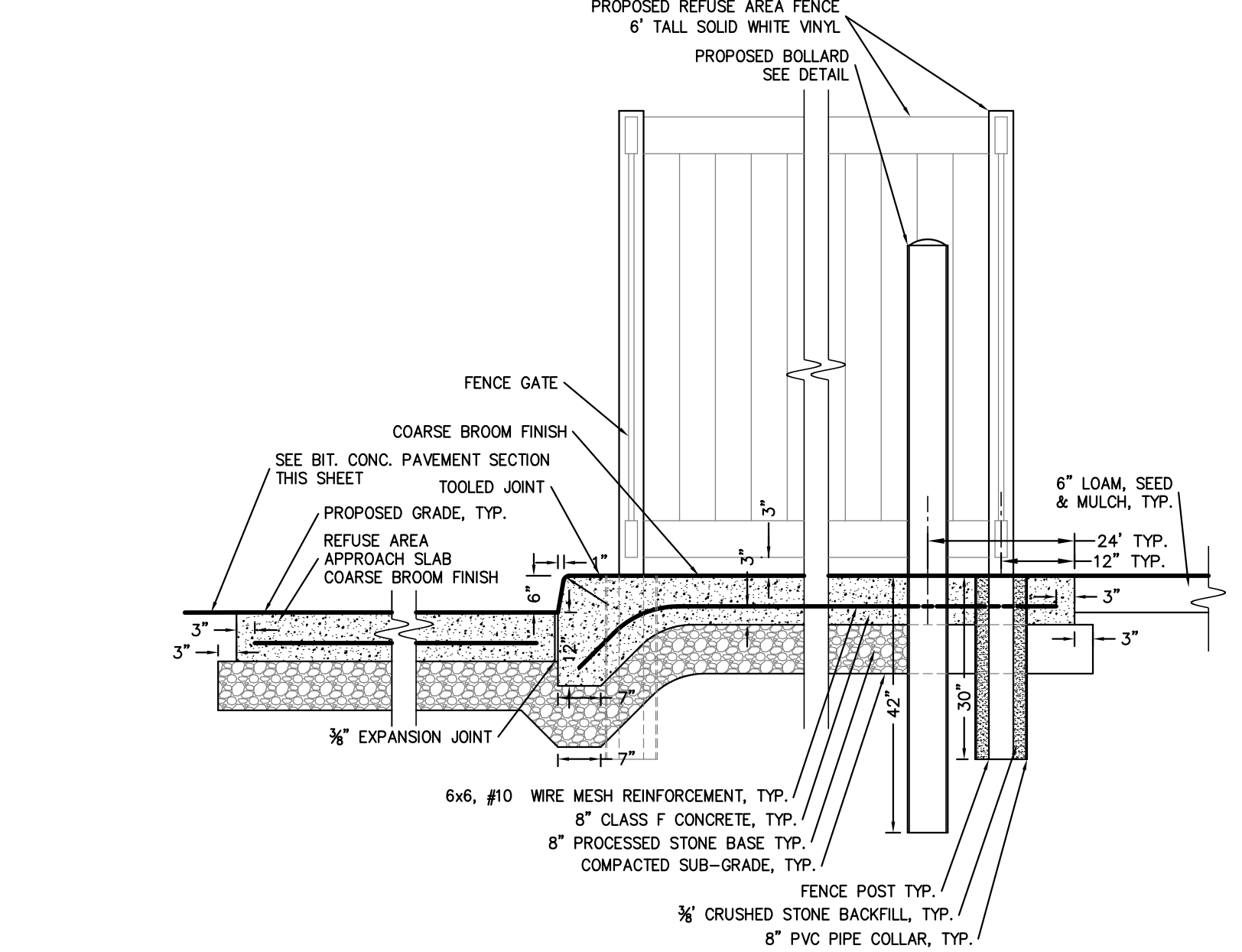
END VIEW (CENTER SECTION)
 (WALL THICKNESS IS 3")
 (ROOF THICKNESS IS 5 1/2"; 7 1/2" @ BEAMS)

UNITED CONCRETE PRODUCTS INC.
 173 CHURCH STREET TEL. 800 234-3119 FAX. (203) 265-4941
 YALESVILLE, CT 06492 (203) 269-3119

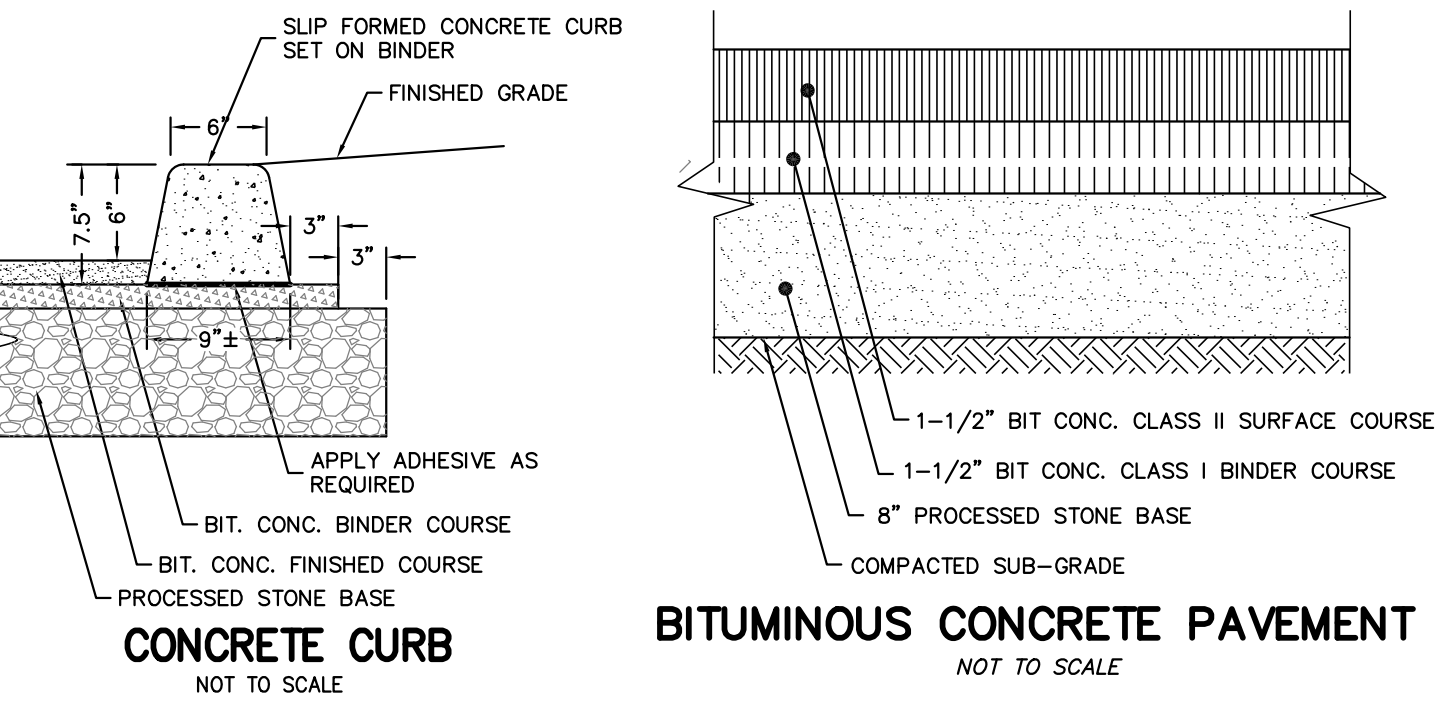
DUTTON ASSOCIATES, LLC
 LAND SURVEYORS AND CIVIL ENGINEERS
 67 EASTERN BOULEVARD
 GLASTONBURY, CONNECTICUT 06033
 TEL: 860-633-8401 FAX: 860-633-8951
 EMAIL: INFO@DUTTONASSOCIATESLLC.COM



CONCRETE WALK WITH INTEGRAL CURB
 NOT TO SCALE

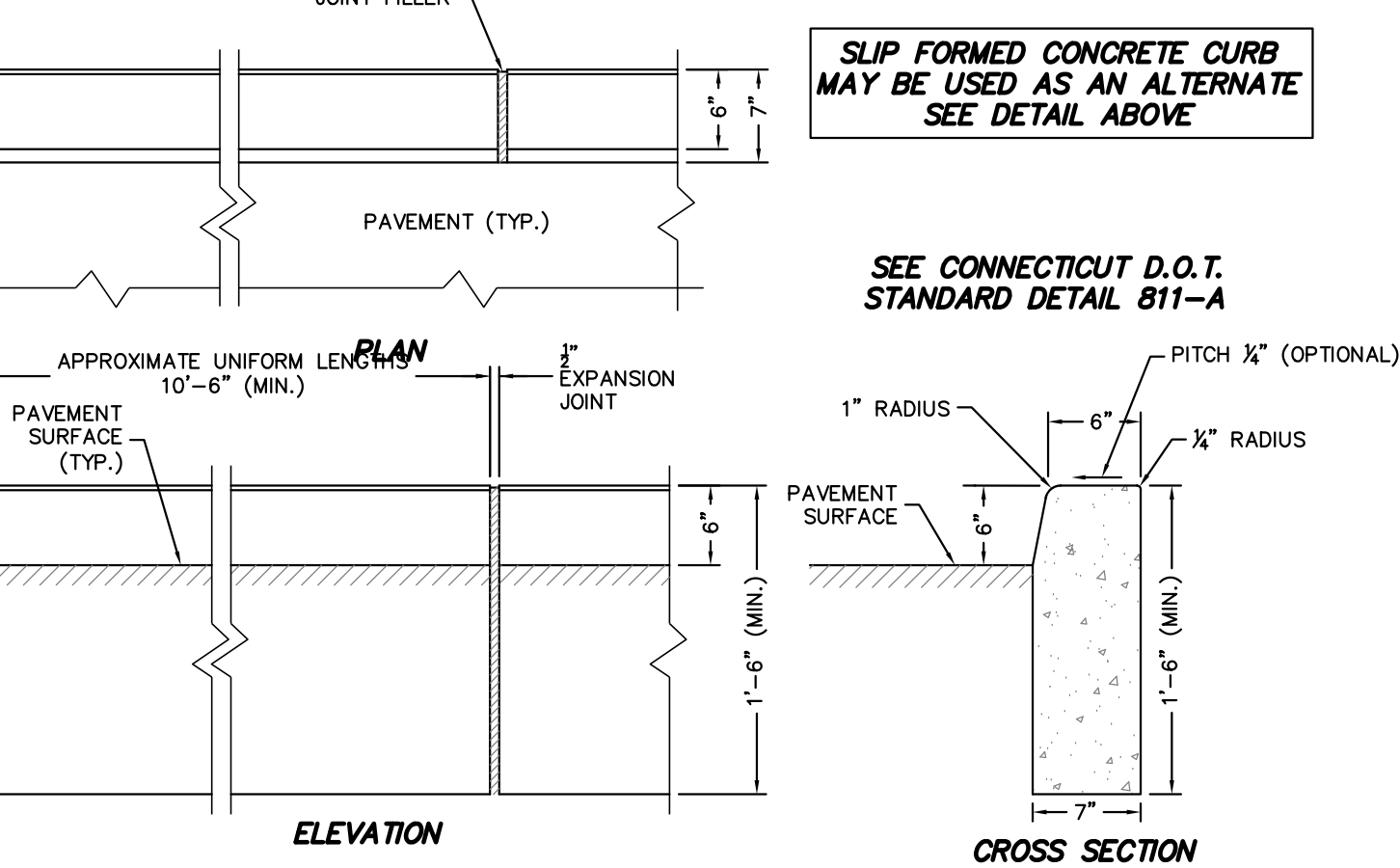


SECTION REFUSE AREA & APPROACH SLAB
 NOT TO SCALE

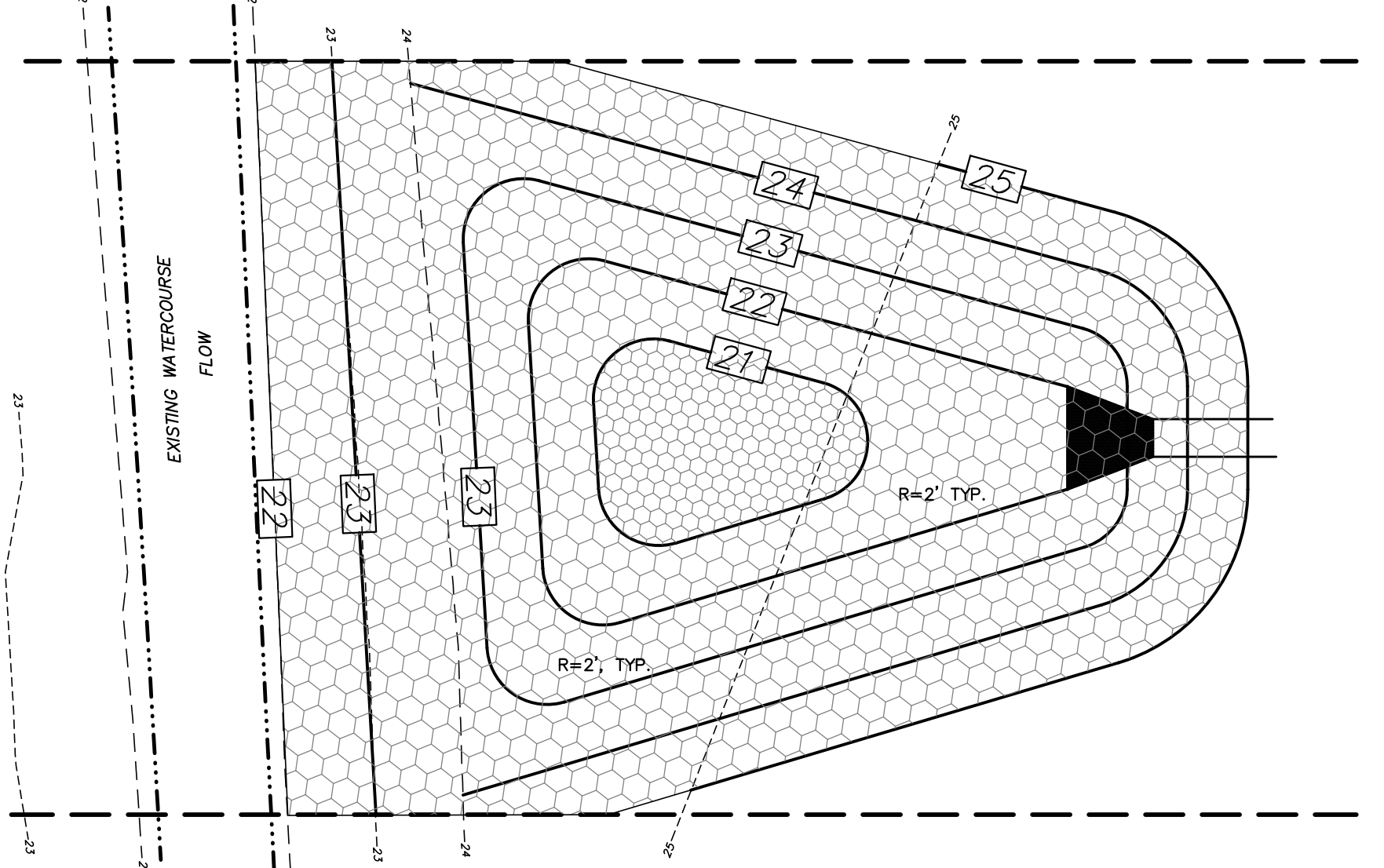


CONCRETE CURB
 NOT TO SCALE

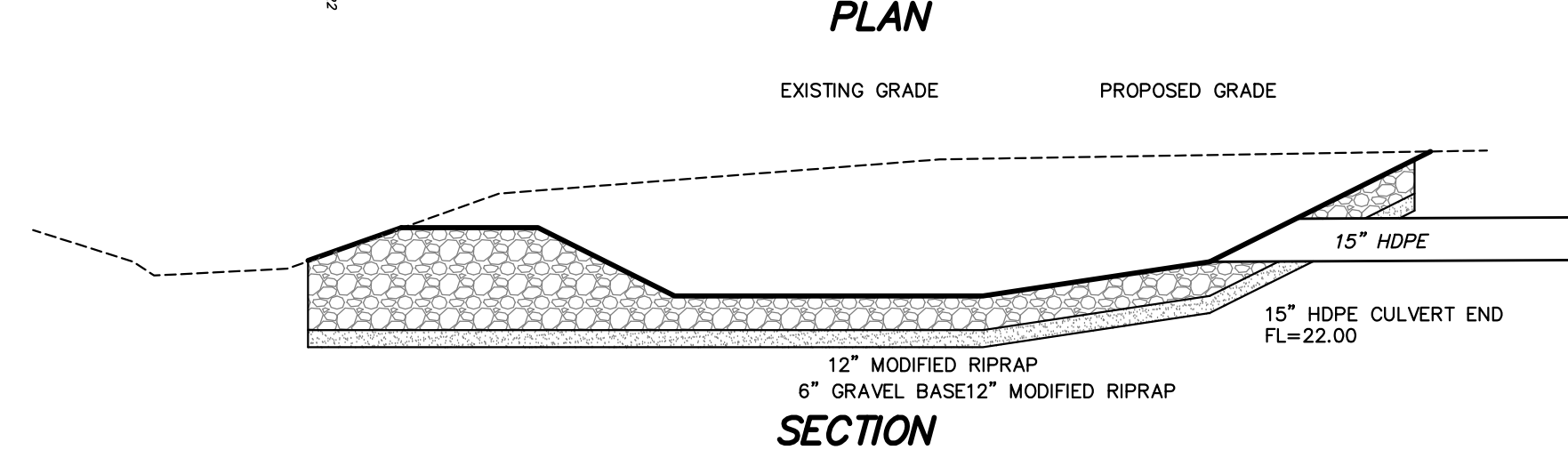
BITUMINOUS CONCRETE PAVEMENT
 NOT TO SCALE



CONCRETE CURB
 NOT TO SCALE



PLAN



SECTION

RIPRAP PLUNGE POOL OUTLET PROTECTION
 SCALE 1"=5"

STORM SEWER MAINTENANCE PLAN

PROPER MAINTENANCE OF THE STORM SEWER IS CRITICAL TO ITS FUNCTION AND LONG TERM SUCCESS. AT A MINIMUM, THE PROPERTY OWNERS ASSOCIATION SHALL CONDUCT THE FOLLOWING MAINTENANCE ITEMS

SPECIAL REQUIREMENTS - INFILTRATION SYSTEM

AT A MINIMUM, THE CONCRETE LEACHING CHAMBERS SHALL BE INSPECTED ONCE PER YEAR IN THE FALL. IF MORE THAN 3" OF SEDIMENT IS OBSERVED, THE SYSTEM SHALL BE FLUSHED AND CLEANED TO THE EXTENT POSSIBLE.

IF THE SYSTEM IS 50% OR MORE FULL OF SEDIMENT, THE SYSTEM SHALL BE REPLACED.

GENERAL SPRING MAINTENANCE

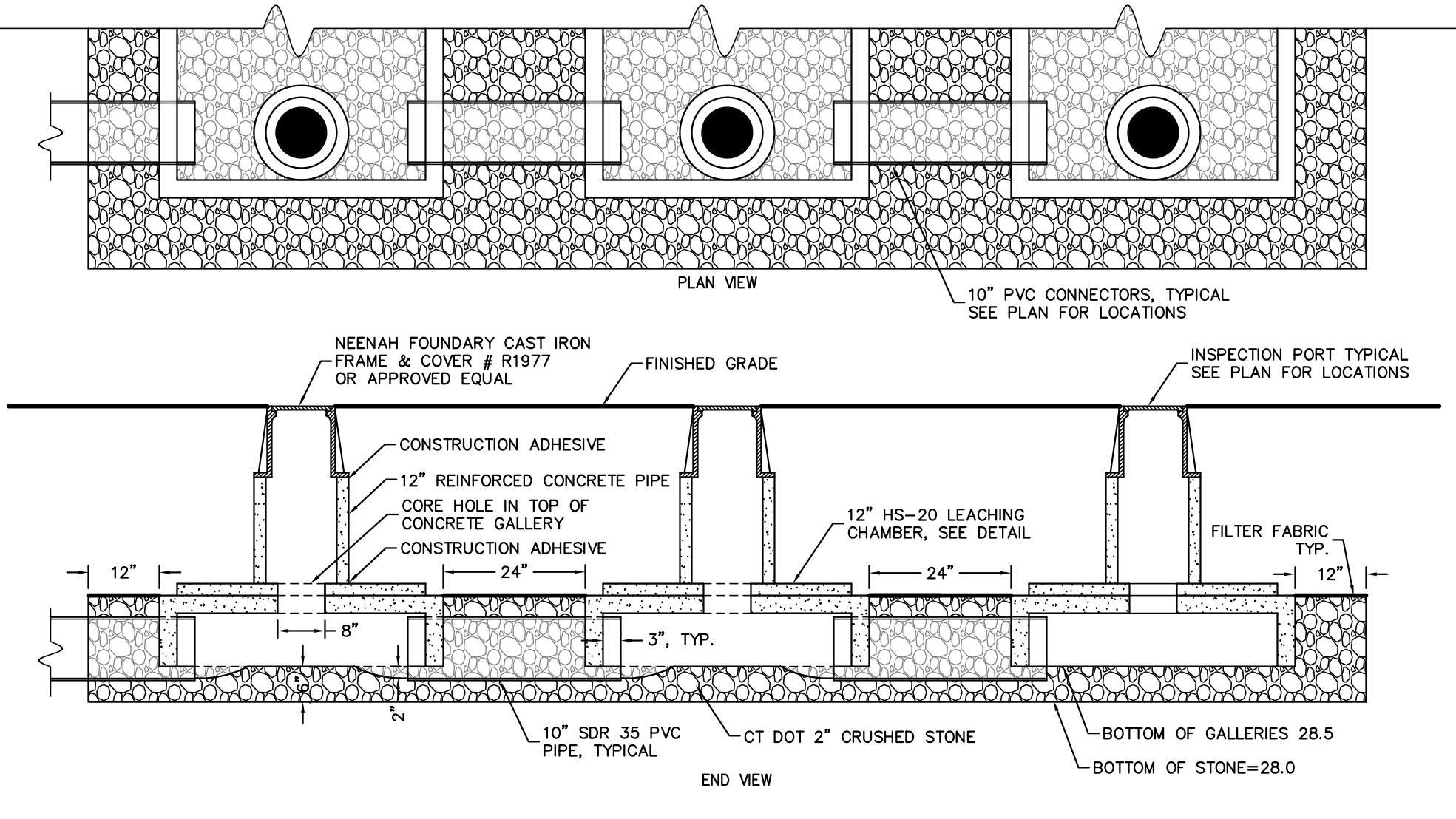
FOLLOWING THE LAST SPRING SNOWFALL, THE FOLLOWING MAINTENANCE TASKS SHALL BE CONDUCTED:

- INSPECT ALL STORM SEWER INLETS AND RAIN THE GARDENS REMOVE ANY ACCLIMATED SEDIMENT, REMOVE LEAVES, STICKS AND DEBRIS, REMOVE AND / OR FRESHEN MULCH AS REQUIRED
- INSPECT THE STORM SEWER OUTFALLS, REPAIR ANY EROSION ISSUES AS REQUIRED.
- REMOVE ANY SEDIMENT AND DEBRIS FROM THE PAVED PARKING AREA.
- CONDUCT GENERAL SITE CLEANUP, REMOVE ACCUMULATED DEBRIS.

FALL MAINTENANCE:

FOLLOWING LEAF DROP, APPROXIMATELY MID NOVEMBER, THE FOLLOWING TASKS SHALL BE CONDUCTED:

- INSPECT ALL STORM SEWER INLETS AND RAIN THE GARDENS REMOVE ANY ACCLIMATED SEDIMENT, REMOVE LEAVES, STICKS AND DEBRIS, REMOVE AND / OR FRESHEN MULCH AS REQUIRED. INSURE INLET GRATES ARE CLEAR.
- REMOVE ALL LEAVES AND OTHER DEBRIS FROM THE SITE.
- REMOVE ANY SEDIMENT AND DEBRIS FROM THE PAVED PARKING AREA.
- PREPARE THE PARKING AREA FOR SNOW REMOVAL (MARK EDGES, PREPARE LANDSCAPE PLANS IF REQUIRED, ETC.)



CONCRETE GLLERY INFILTRATION SYSTEM
 NOT TO SCALE

STORM SEWER MAINTENANCE PLAN

PROPER MAINTENANCE OF THE STORM SEWER IS CRITICAL TO ITS FUNCTION AND LONG TERM SUCCESS. AT A MINIMUM, THE PROPERTY OWNERS ASSOCIATION SHALL CONDUCT THE FOLLOWING MAINTENANCE ITEMS

SPECIAL REQUIREMENTS - INFILTRATION SYSTEM

AT A MINIMUM, THE CONCRETE LEACHING CHAMBERS SHALL BE INSPECTED ONCE PER YEAR IN THE FALL. IF MORE THAN 3" OF SEDIMENT IS OBSERVED, THE SYSTEM SHALL BE FLUSHED AND CLEANED TO THE EXTENT POSSIBLE.

IF THE SYSTEM IS 50% OR MORE FULL OF SEDIMENT, THE SYSTEM SHALL BE REPLACED.

GENERAL SPRING MAINTENANCE

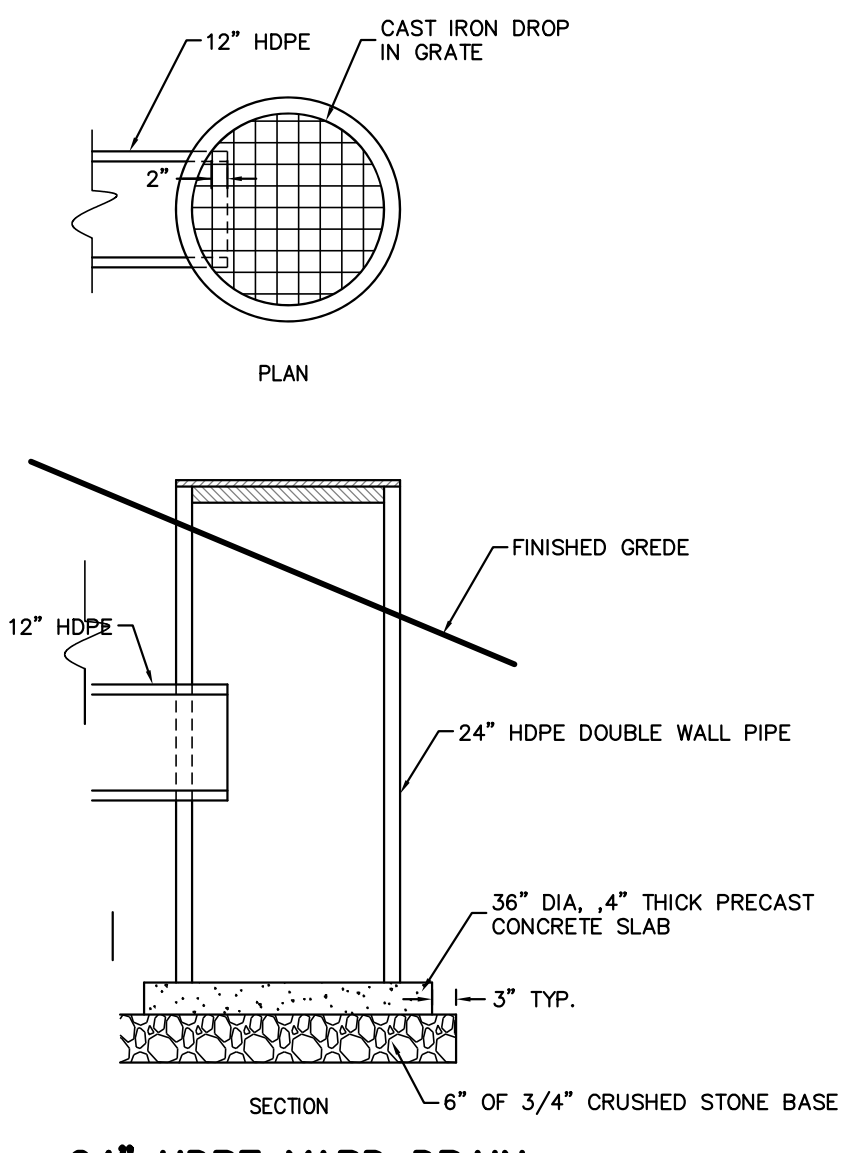
FOLLOWING THE LAST SPRING SNOWFALL, THE FOLLOWING MAINTENANCE TASKS SHALL BE CONDUCTED:

- INSPECT ALL STORM SEWER INLETS AND RAIN THE GARDENS REMOVE ANY ACCLIMATED SEDIMENT, REMOVE LEAVES, STICKS AND DEBRIS, REMOVE AND / OR FRESHEN MULCH AS REQUIRED
- INSPECT THE STORM SEWER OUTFALLS, REPAIR ANY EROSION ISSUES AS REQUIRED.
- REMOVE ANY SEDIMENT AND DEBRIS FROM THE PAVED PARKING AREA.
- CONDUCT GENERAL SITE CLEANUP, REMOVE ACCUMULATED DEBRIS.

FALL MAINTENANCE:

FOLLOWING LEAF DROP, APPROXIMATELY MID NOVEMBER, THE FOLLOWING TASKS SHALL BE CONDUCTED:

- INSPECT ALL STORM SEWER INLETS AND RAIN THE GARDENS REMOVE ANY ACCLIMATED SEDIMENT, REMOVE LEAVES, STICKS AND DEBRIS, REMOVE AND / OR FRESHEN MULCH AS REQUIRED. INSURE INLET GRATES ARE CLEAR.
- REMOVE ALL LEAVES AND OTHER DEBRIS FROM THE SITE.
- REMOVE ANY SEDIMENT AND DEBRIS FROM THE PAVED PARKING AREA.
- PREPARE THE PARKING AREA FOR SNOW REMOVAL (MARK EDGES, PREPARE LANDSCAPE PLANS IF REQUIRED, ETC.)

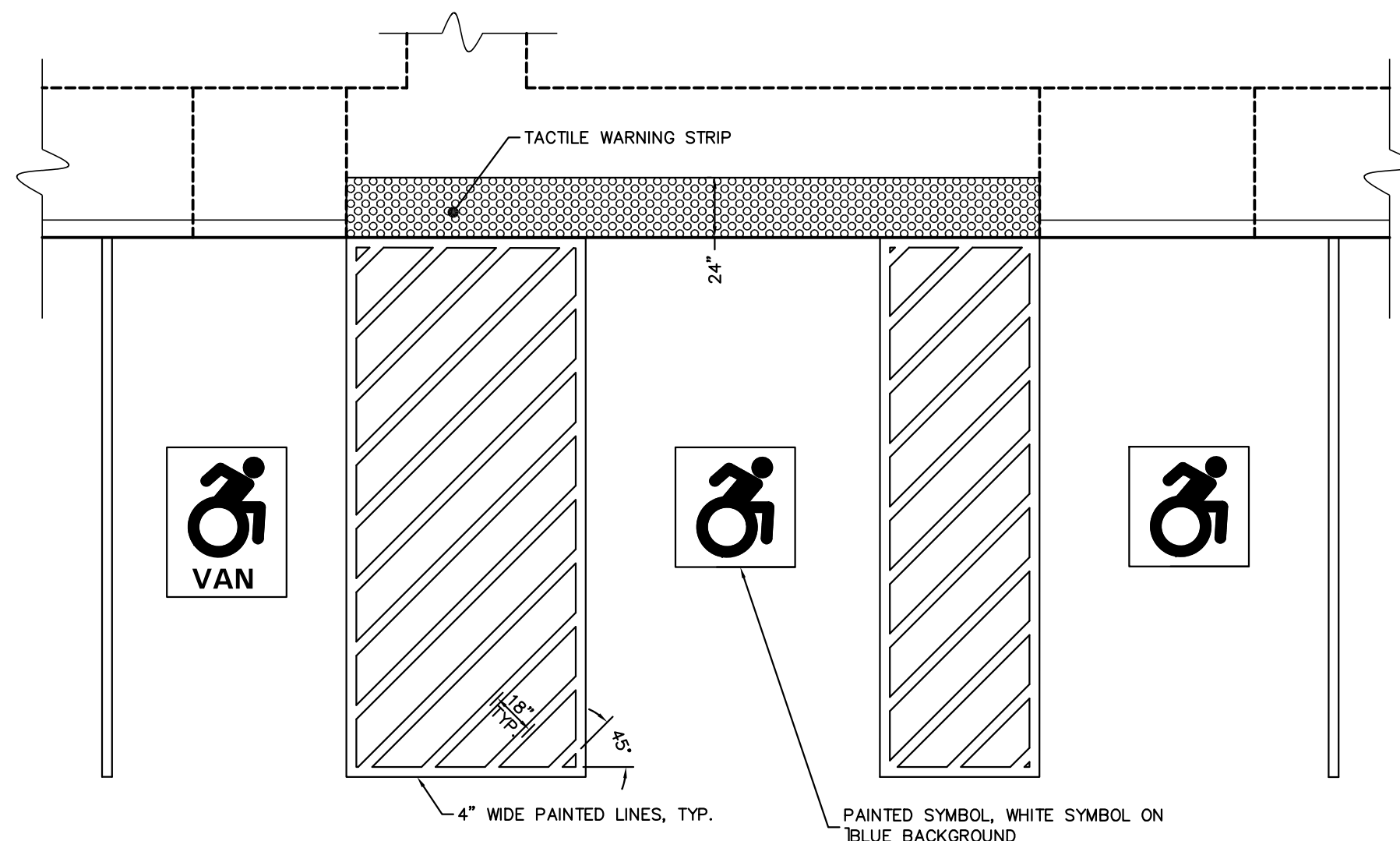


24" HDPE YARD DRAIN
 NOT TO SCALE

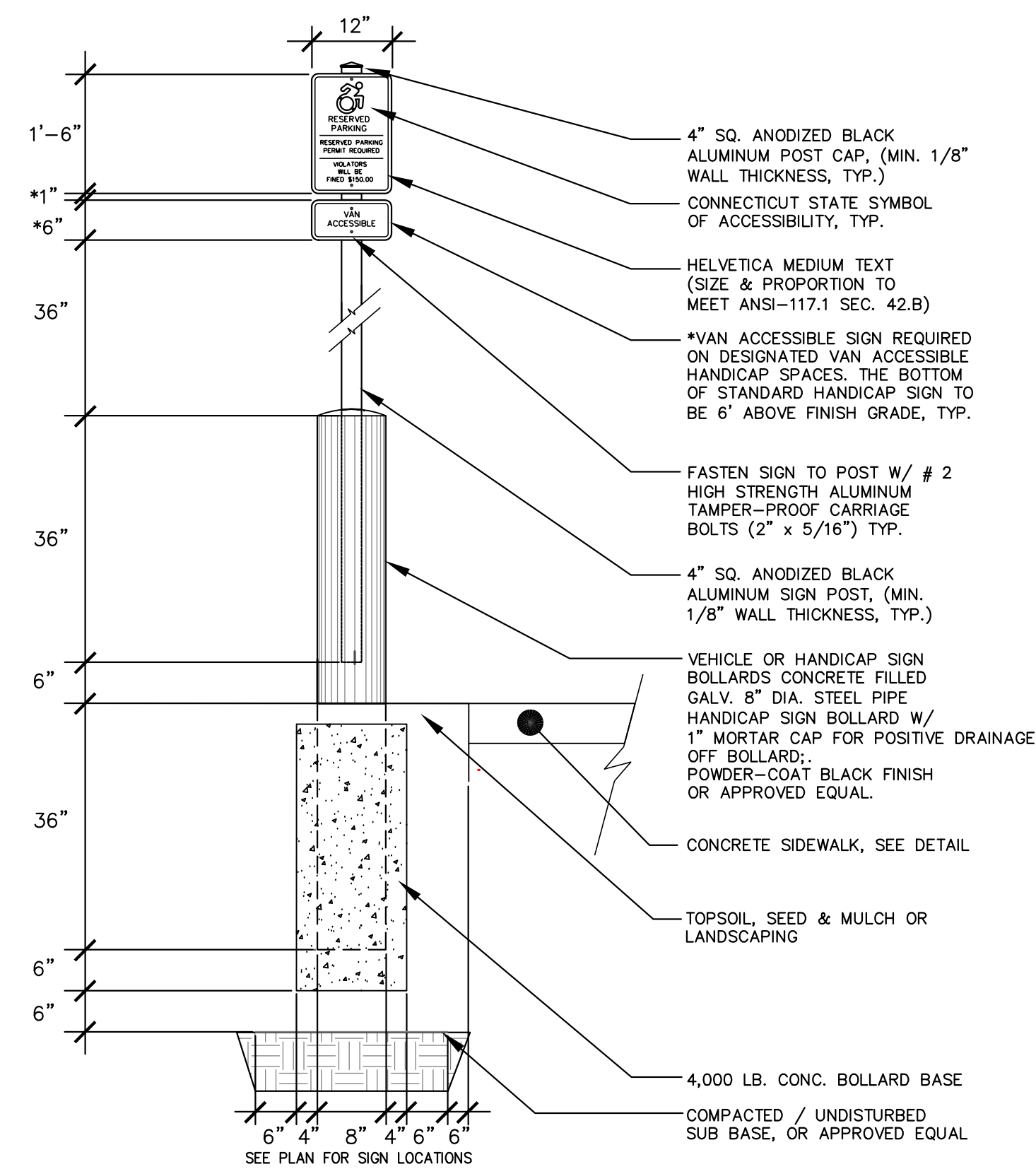
GENERAL NOTES AND DETAILS
WAREHOUSE 38
 RESIDENTIAL CONVERSION
 38 HUBBARD STREET
 PREPARED BY:
LAC GROUP, LLC J S ADVISORS, LLC APPLICANT
 GLASTONBURY, CONNECTICUT

REVISIONS:

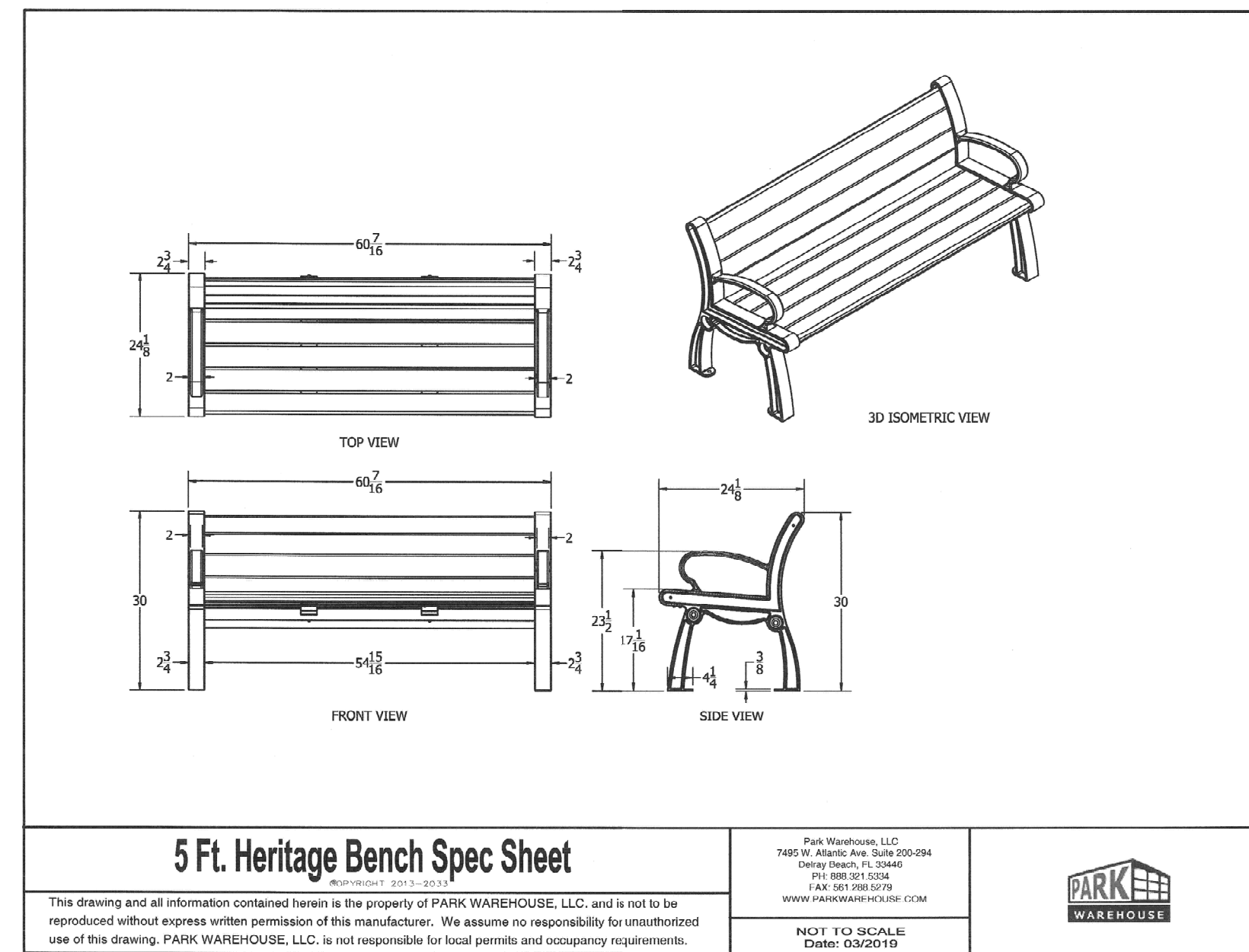
08/25/2021 - STORM DRAINS
12/20/2021 - UPDATE
12/30/2021 - UPDATE
DATE: 08/04/2021
SCALE: 1" = 20'
SHEET 14 of 17
A-21-050-D3
FILE: 21050.DWG



ACCESSIBLE PARKING SPACE LAYOUTS
NOT TO SCALE

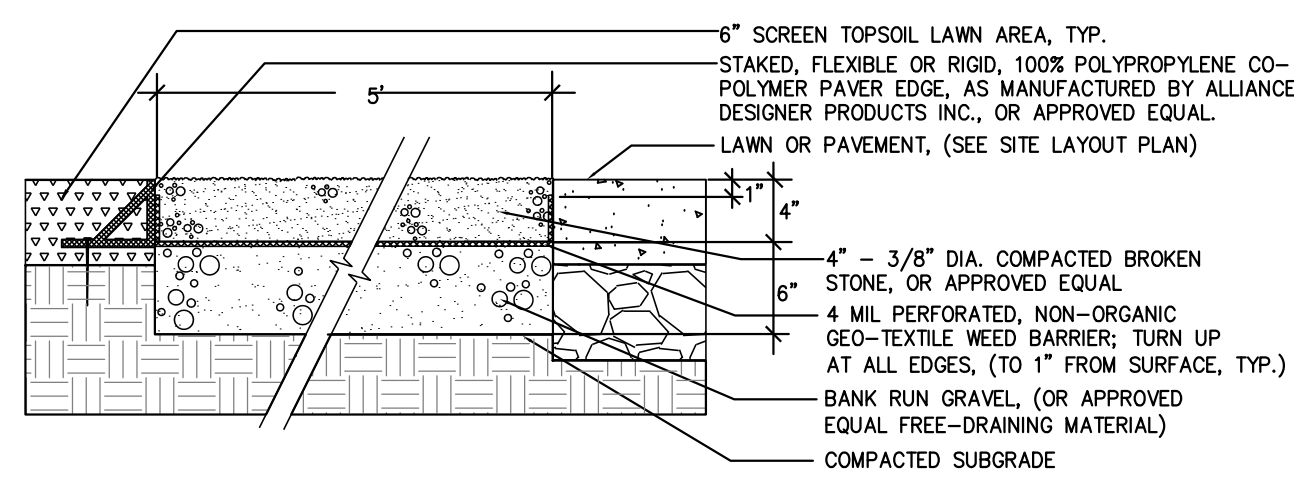


ACCESSIBLE PARKING SPACE SIGN
NOT TO SCALE

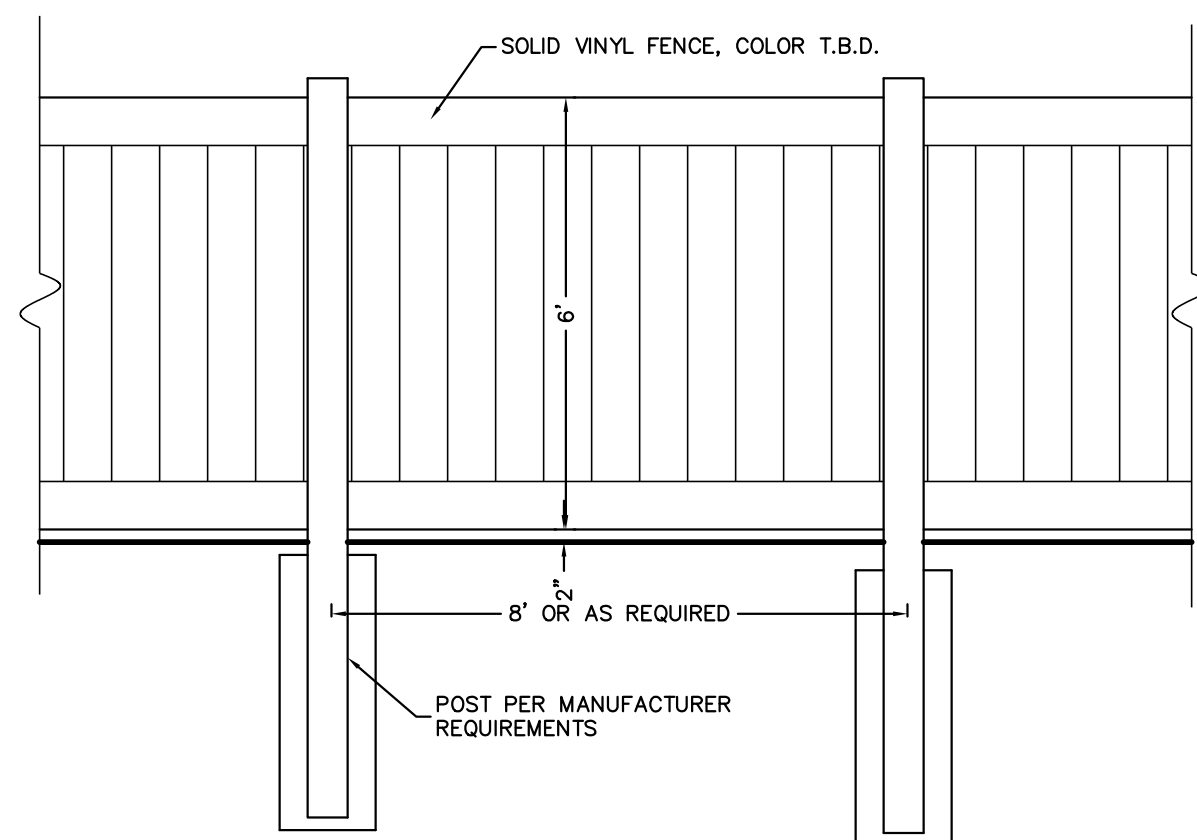


5 Ft. Heritage Bench Spec Sheet

BENCH DETAIL
NOT TO SCALE



TYPICAL EDGED GRAVEL PATHWAY
NOT TO SCALE



VINYL FENCE
NOT TO SCALE

DUTTON ASSOCIATES, LLC
LAND SURVEYORS AND CIVIL ENGINEERS
67 EASTERN BOULEVARD
GLASTONBURY, CONNECTICUT 06033
TEL: 860-633-8401 FAX: 860-633-8951
EMAIL: JMD@DUTTONASSOCIATESLLC.COM

JOHN R. MARTUCCI, P.E. #19494

This document is an instrument of professional service, and shall not be used, in whole or in part, for any project other than for which it was created, without the express written consent of DUTTON ASSOCIATES, LLC. Any unauthorized use, reuse, modification or conversion of this document shall be at the user's sole risk, without liability or legal exposure to DUTTON ASSOCIATES, LLC. © 2013 - DUTTON ASSOCIATES, LLC.

GENERAL NOTES AND DETAILS
WAREHOUSE 38
RESIDENTIAL CONVERSION
38 HUBBARD STREET
LAC GROUP, LLC J.S. ADVISORS, LLC APPLICANT
GLASTONBURY, CONNECTICUT

REVISIONS:
08/25/2021 - STORM DRAINS
12/20/2021 - UPDATE
12/30/2021 - UPDATE

DATE: 08/04/2021
SCALE: 1" = 20'
SHEET 15 of 17
A-21-050-D4
FILE: 21050.DWG

UNDERGROUND UTILITY NOTE:
 UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON, HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROLE TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO THE UNDERSIGNED. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-927-4455 OR 811.

INSPECTION NOTE:
 THE CONTRACTOR SHALL NOTIFY THE TOWN OF GLASTONBURY ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, SANITARY SEWER INSTALLATION, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, OR ANY EXCAVATION IN THE TOWN RIGHT-OF-WAY TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:00 AM - 4:30 PM MONDAY THROUGH FRIDAY AT (860)-652-7735.



DUTTON ASSOCIATES, LLC
 LAND SURVEYORS AND CIVIL ENGINEERS
 67 EASTERN BOULEVARD
 GLASTONBURY, CONNECTICUT 06033
 TEL: 860-633-9401 FAX: 860-633-8981
 EMAIL: JIM@DUTTONASSOCIATESLLC.COM

JOHN R. MARTUCCI, P.E. #19494

This document is an instrument of professional service, and shall not be used, in whole or in part, for any project other than for which it was created without the express written consent of DUTTON ASSOCIATES, LLC. Any unauthorized use, reuse, modification or conversion of this document shall be at the user's sole risk, without liability or legal recourse to DUTTON ASSOCIATES, LLC.
 © 2013 - DUTTON ASSOCIATES, LLC

CURRENT APPROVALS
WAREHOUSE 38
RESIDENTIAL CONVERSION
38 HUBBARD STREET
LAC GROUP, LLC J S ADVISORS, LLC APPLICANT
 GLASTONBURY, CONNECTICUT

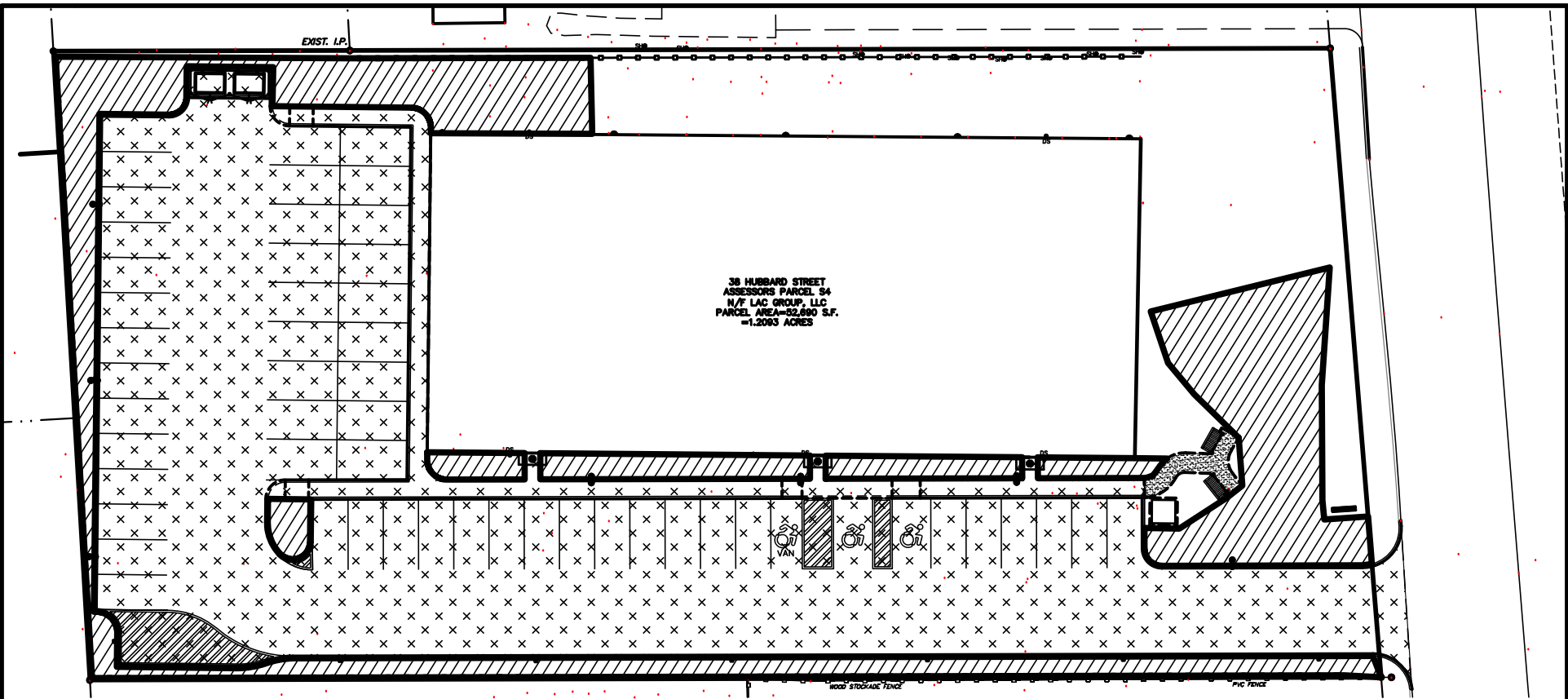
REVISIONS:
 08/25/2021 - STORM DRAINS
 12/20/2021 - UPDATE
 12/30/2021 - UPDATE

DATE: 08/04/2021
 SCALE: NO SCALE

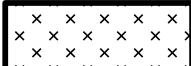
SHEET 17 of 17


A-21-050-APP-2

FILE: 21050.DWG



38 HUBBARD STREET
 ASSESSOR'S PARCEL 54
 N/E LAC GROUP, LLC
 PARCEL AREA=82,800 S.F.
 ≈1.2083 ACRES

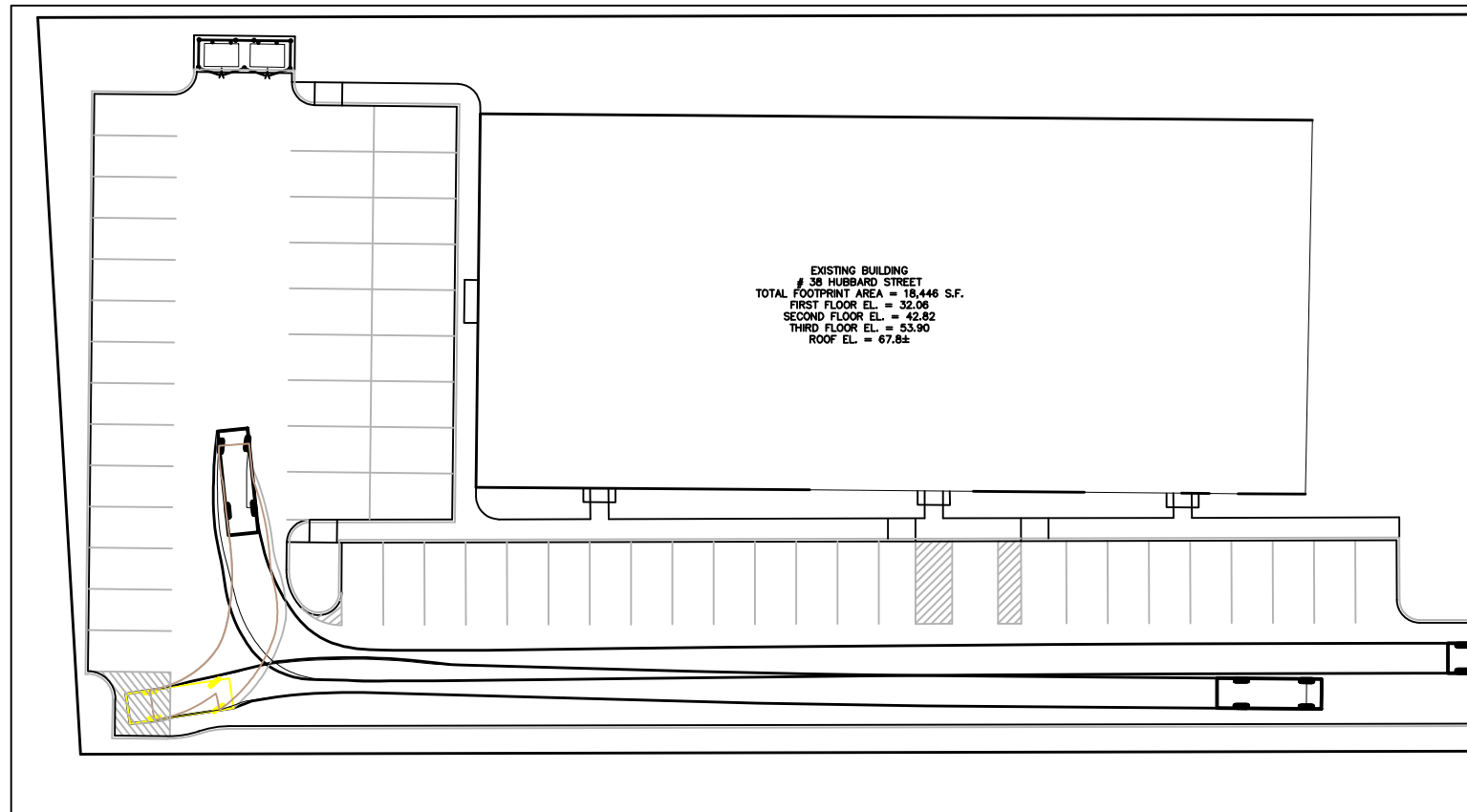
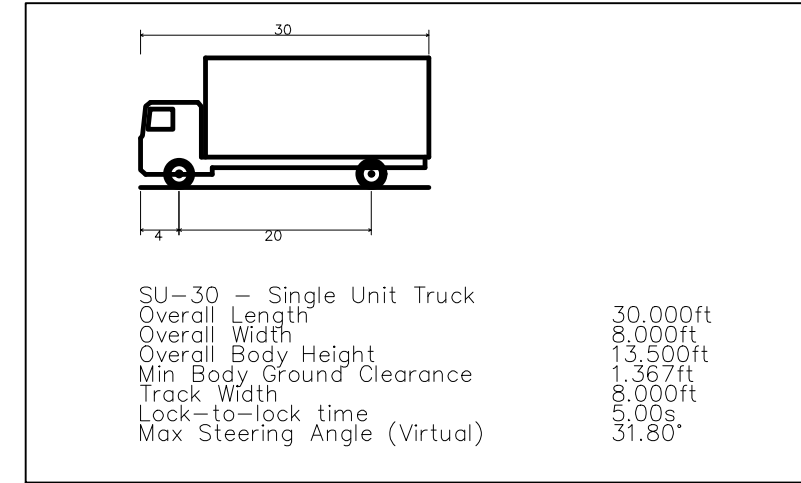
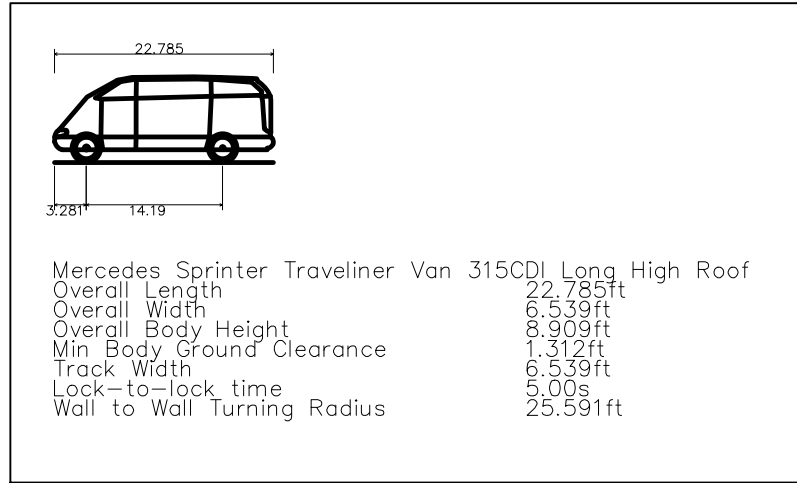
 SNOW REMOVAL AREA
 (21,800 SQ. FT)

 SNOW STORAGE AREA
 (7,908 SQ. FT)

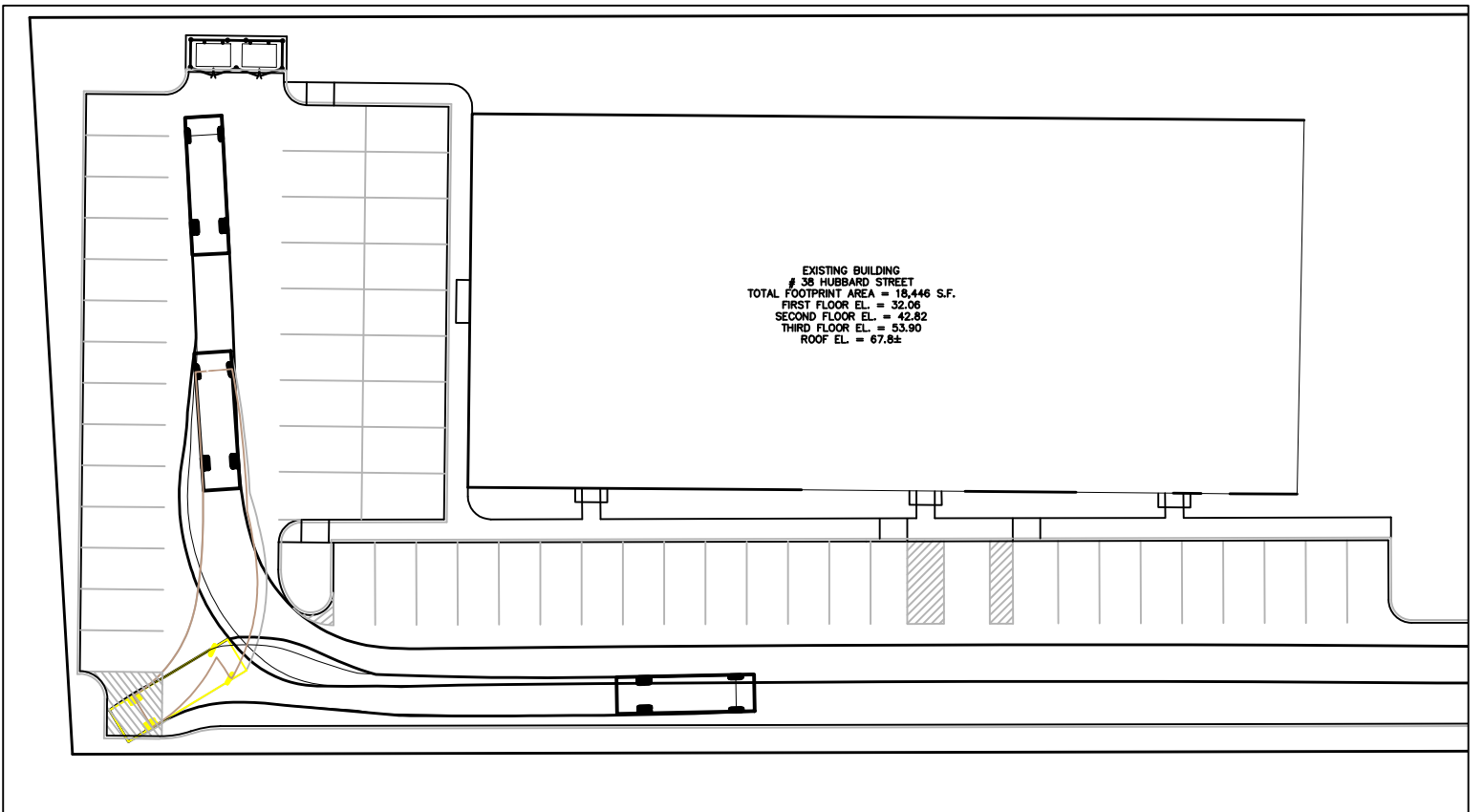
NOTE: 50% COMPACTION FACTOR
 APPLIED TO THE "IN PLACE" VOLUME
 TO COMPUTE THE STORAGE DEPTH

SNOWFALL DEPTH (INCHES)	"IN PLACE" VOLUME CUBIC FEET	"COMPACTED" VOLUME CUBIC FEET	STORAGE DEPTH (INCHES/FEET)	
1	1,817	909	1.3	0.11
2	3,633	1,817	2.8	0.23
3	5,450	2,725	4.1	0.34
4	7,267	3,634	5.5	0.46
5	9,083	4,542	6.8	0.57
6	10,900	5,450	8.3	0.69
7	12,716	6,358	9.6	0.80
8	14,533	7,267	11.0	0.92
9	16,350	8,175	12.4	1.03
10	18,167	9,084	13.8	1.15
11	19,983	9,992	15.1	1.26
12	21,800	10,900	16.6	1.38
16	29,067	14,543	22.1	1.84
20	36,333	18,167	27.6	2.30
24	43,600	21,880	33.2	2.77

SNOW STORAGE PLAN
WAREHOUSE 38
RESIDENTIAL CONVERSION
38 HUBBARD STREET
 PREPARED FOR
LAC GROUP AND
J S ADVISORS, LLC APPLICANT
 GLASTONBURY, CONNECTICUT
 NOT TO SCALE 12-230-2021
 DUTTON ASSOCIATES, LLC
 67 EASTERN BOULEVARD
 GLASTONBURY, CT 06033
 860-633-9401

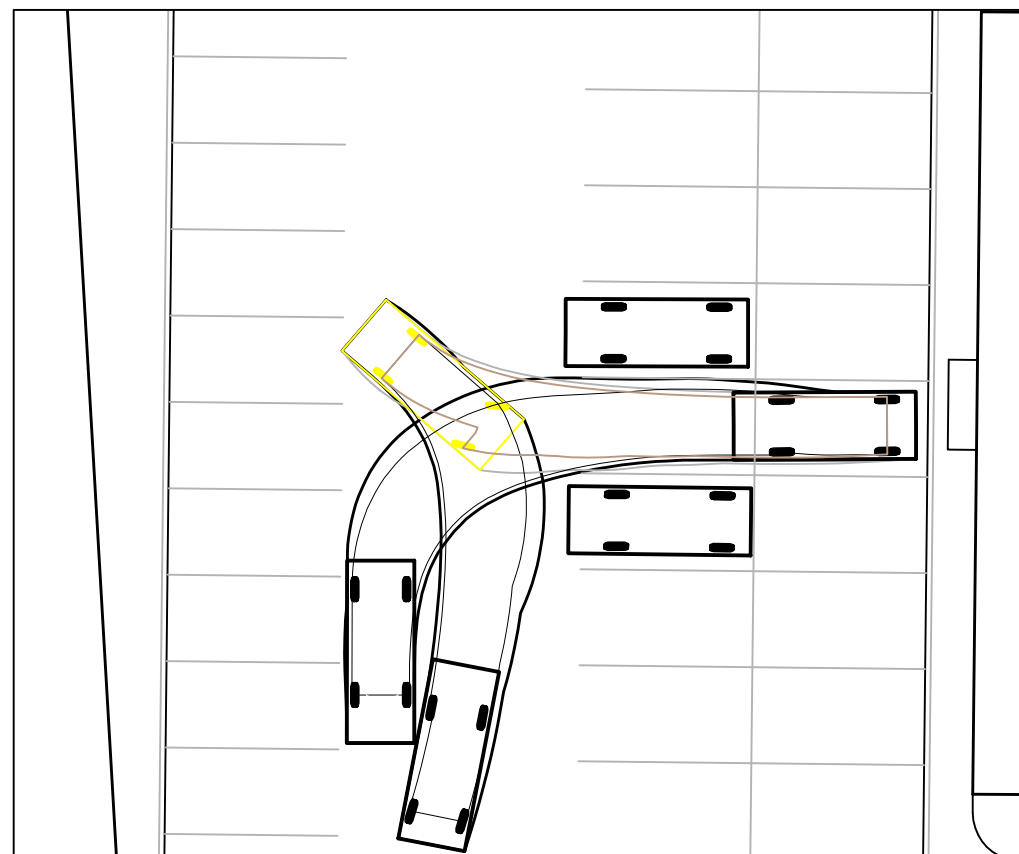
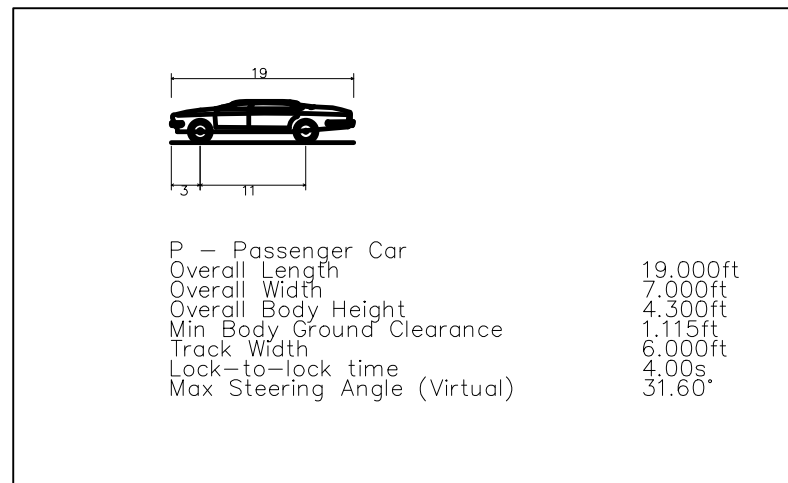


Amazon Van
1"=40'

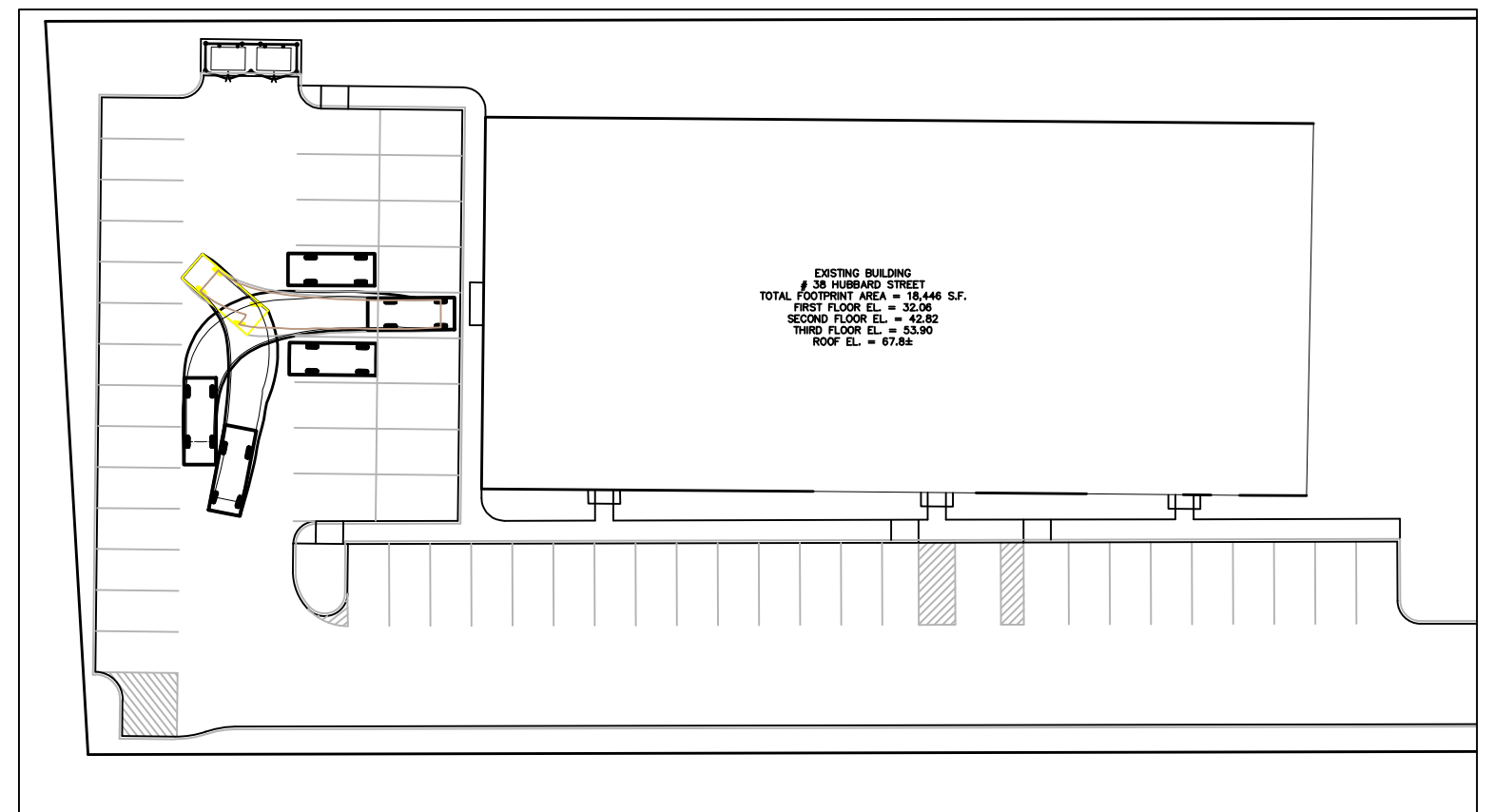


Large FedEx Truck and Trash Truck
1"=40'





Passenger Car
1" = 20'



Passenger Car
1" = 40'

