

# WAREHOUSE 38

RESIDENTIAL CONVERSION  
38 HUBBARD STREET

PREPARED FOR

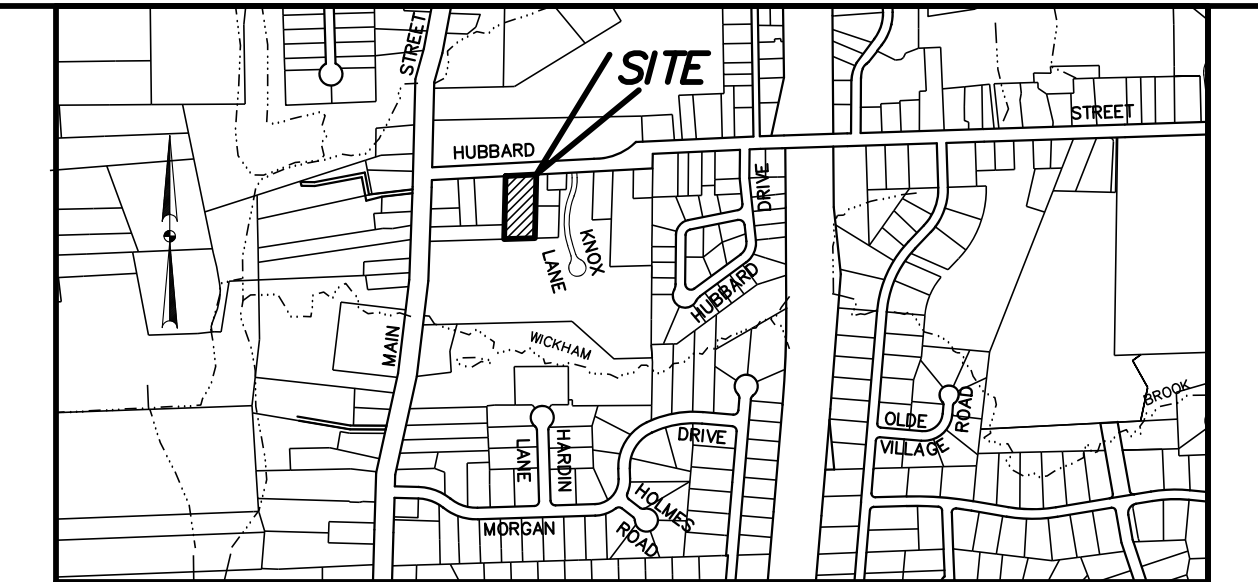
LAC GROUP, LLC OWNER  
JS ADVISORS, LLC APPLICANT

GLASTONBURY, CONNECTICUT

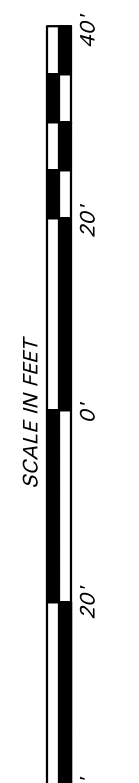
PREPARED BY

DUTTON ASSOCIATES, LLC

67 EASTERN BOULEVARD  
GLASTONBURY, CONNECTICUT 06033



LOCATION MAP  
SCALE 1"=1000'



### PROPOSED ARZ ZONE (RES A EXISTING)

ITEM	REQUIRED/ALLOWED	EXISTING	PROPOSED
LOT AREA	N/A	52,690 S.F.	52,690 S.F.
LOT FRONTAGE	N/A	160.64 FT.	160.64 FT.
FRONT YARD	N/A	28.49 FT.	50.08 FT.
SIDE YARD	N/A	25.40 FT. / 8.12 FT.	56.08 FT. / 21.18 FT.
REAR YARD	N/A	73.65 FT.	89.39 FT.
BUILDING COVERAGE	N/A	19,595 S.F./37.2%	14,795/28.1%*
F.A.R.	0.5 (OR AS EXISTING)	0.91	0.84
# OF UNITS	N/A	N/A	31
IMPERVIOUS AREA	N/A	30,120 S.F. /57.2%	35,836 S.F. /68.0%
OPEN SPACE	N/A	22,570 S.F. /42.8%	16,854 S.F. /32.0%
PARKING	47 SPACES*	N/A	50 SPACES

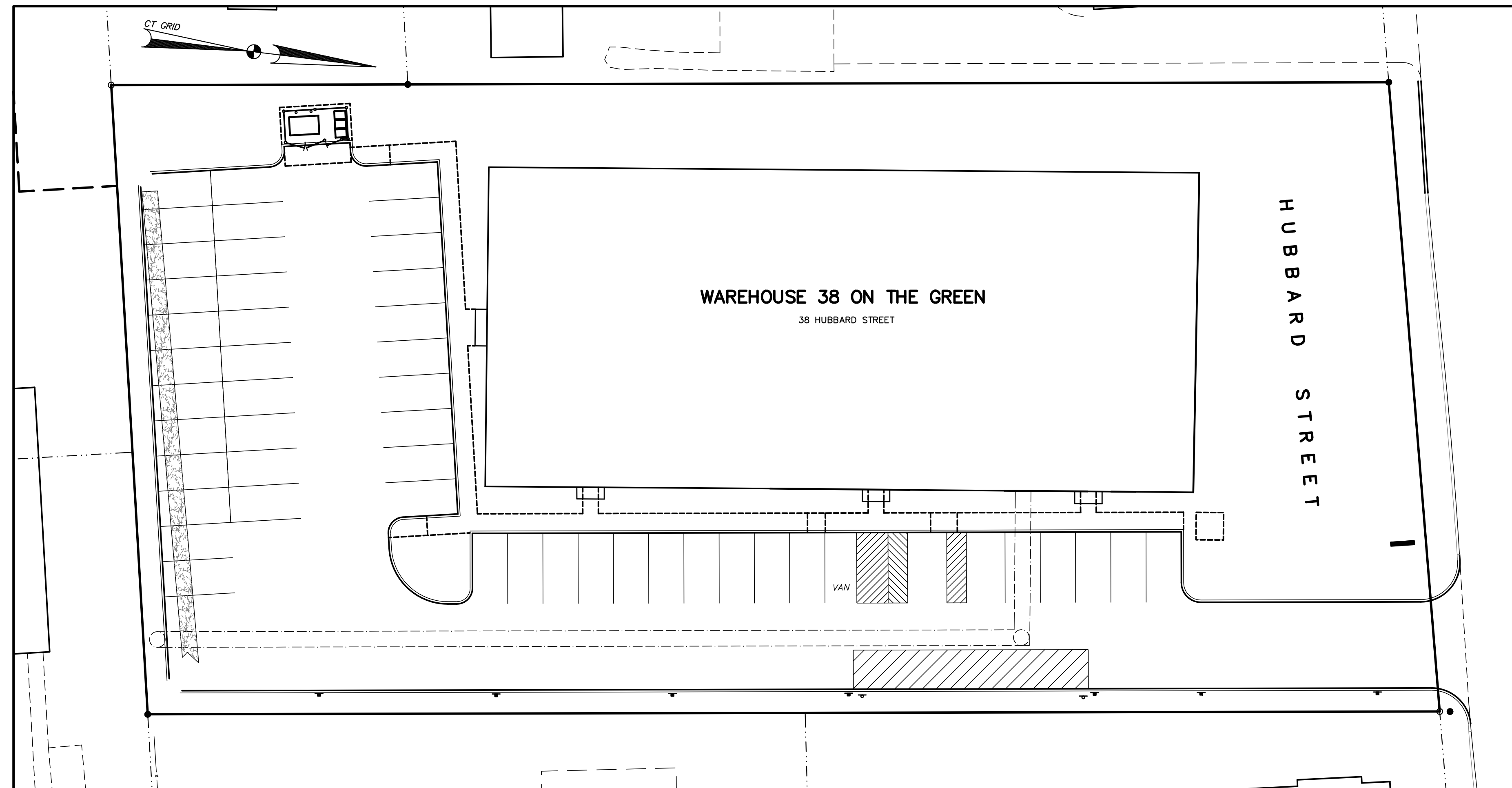
\*\* BASED ON 1.5 SPACES PER UNIT  
FAR =  $\frac{14,795 \times 3}{52,691} = 0.84$

### TOWN OF GLASTONBURY MS-4 PERMIT INFORMATION

	TOTAL IMPERVIOUS AREA	DIRECTLY CONNECTED IMPERVIOUS AREA
PRE-DEVELOPMENT	0.6914 ACRES	0.0736 ACRES
POST-DEVELOPMENT	0.8233 ACRES	0.0448 ACRES
NET CHANGE	+0.1319 ACRES	0.0064 ACRES

### LEGEND TO PLAN SHEETS

EXISTING	PROPOSED
● I.P. FND.	○ I.P. FND.
■ MON. FND.	□ MON. FND.
— IRON PIN	— CONCRETE MONUMENT
— PROPERTY LINE	— ABUTTING PROPERTY LINES
— EASEMENT LINE	— GROUND CONTOURS
— SPOT ELEVATION	— TREE LINE
— TREE/SHRUB	— SIGN
— LIGHT POLE	— BUILDINGS
— ROOF OVERHANG	— STEPS/HATCHWAY
— CONC. PAVEMENT	— BIT. PAVEMENT
— BIT. CURB	— FENCE
— PERVIOUS CONCRETE	— WETLAND FLAG
— WETLANDS LIMIT	— BUFFER LIMIT
— WATERCOURSE	— SOIL DELINEATION LINE
— SANITARY MANHOLE	— DRAINAGE MANHOLE
— HYDRANT	— STORM SEWERS
— FOUNDATION DRAIN	— SANITARY SEWERS
— WATER MAINS	— UNDERGROUND ELECTRIC
— OVERHEAD ELECTRIC	— GAS LINES
— SEDIMENT BARRIER	— CONSTRUCTION ENTRANCE
— SOIL STOCKPILE	— TEST PIT



DUTTON ASSOCIATES, LLC  
LAND SURVEYORS AND CIVIL ENGINEERS

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JOHN R. MARTUCCI, P.E. #19494

JAMES W. DUTTON, L.S. #70074

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TITLE SHEET & INDEX PLAN  
WAREHOUSE 38  
RESIDENTIAL CONVERSION - 38 HUBBARD STREET  
PREPARED FOR  
LAC GROUP, LLC OWNER  
JS ADVISORS, LLC APPLICANT  
GLASTONBURY, CONNECTICUT

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**UNDERGROUND UTILITY NOTE:**  
UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROLE TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO THE UNDERSIGNED. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455 OR 811.

**INSPECTION NOTE:**  
THE CONTRACTOR SHALL NOTIFY THE TOWN OF GLASTONBURY ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, SANITARY SEWER INSTALLATION, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, OR ANY EXCAVATION IN THE TOWN RIGHT-OF-WAY TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:00 AM - 4:30 PM MONDAY THROUGH FRIDAY AT (860)-652-7735.

IWWCC INFORMAL SUBMISSION 08/25/2021

REVISIONS:  
08/25/2021 - STORM DRAINS

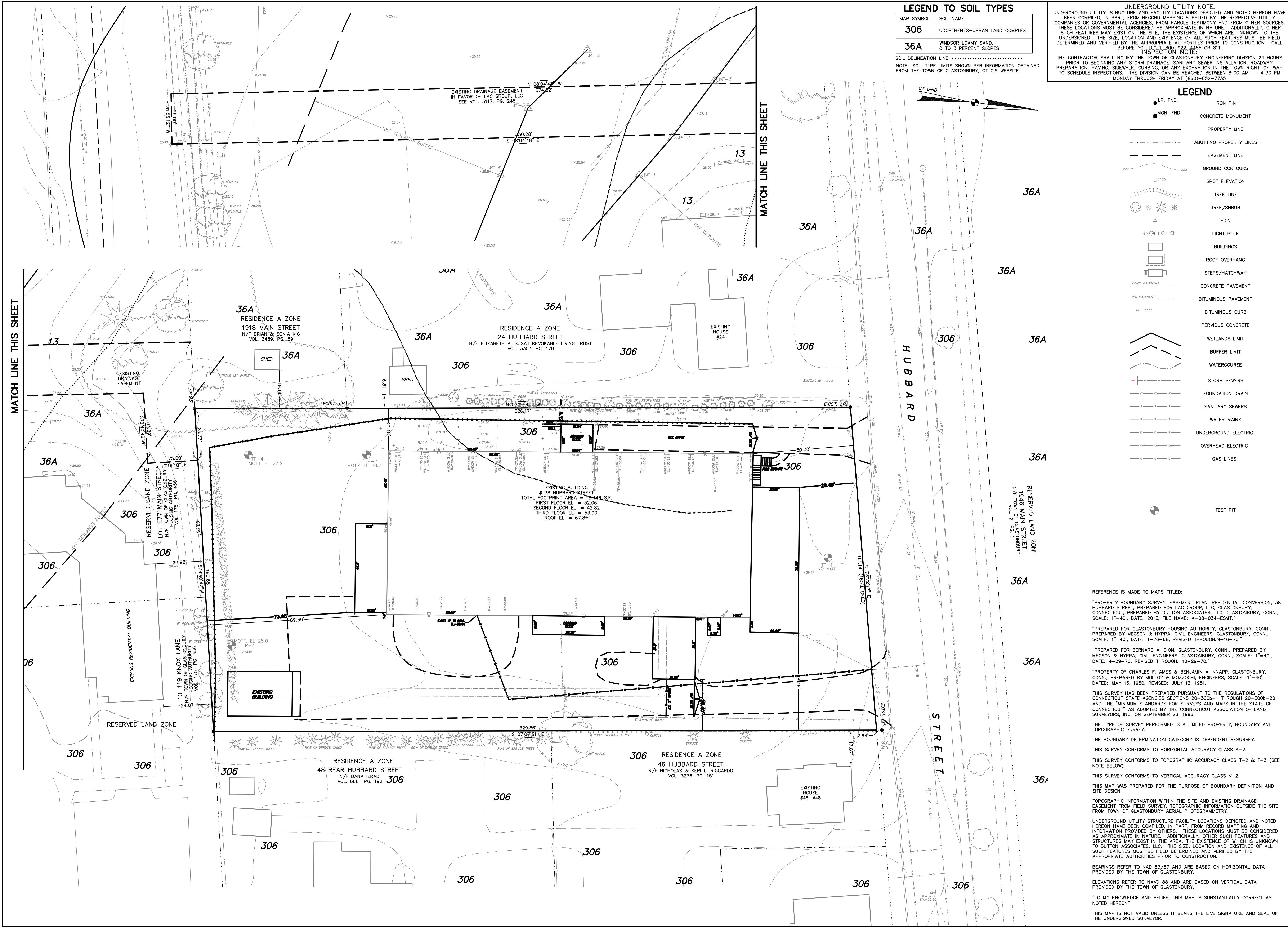
DATE: 08/04/2021

SCALE: 1" = 20'

SHEET 1 of 16

A-21-050-IND

FILE: 21050.DWG



**LEGEND TO SOIL TYPES**

MAP SYMBOL	SOIL NAME
306	UDORHTENTS-URBAN LAND COMPLEX
36A	WINDSOR LOAMY SAND, 0 TO 3 PERCENT SLOPES

SOIL DELINEATION LINE .....  
 NOTE: SOIL TYPE LIMITS SHOWN PER INFORMATION OBTAINED FROM THE TOWN OF GLASTONBURY, CT GIS WEBSITE.

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**LEGEND**

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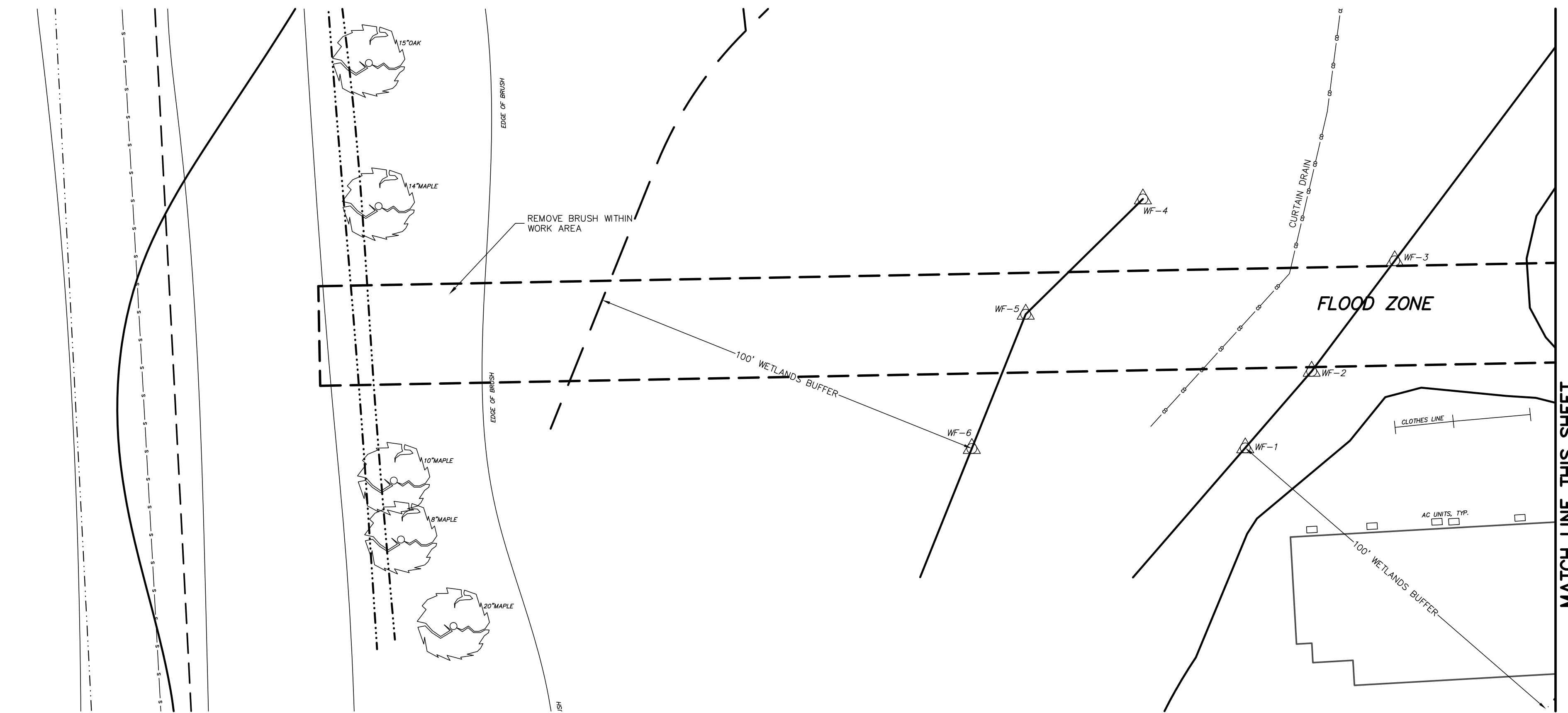
**DUTTON ASSOCIATES, LLC**  
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**PROPERTY BOUNDARY SURVEY TOPOGRAPHIC SURVEY WAREHOUSE 38 RESIDENTIAL CONVERSION - 38 HUBBARD STREET LAC GROUP, LLC OWNER JS ADVISORS, LLC APPLICANT**

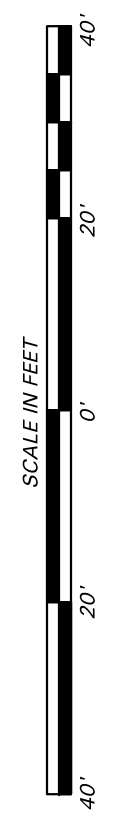
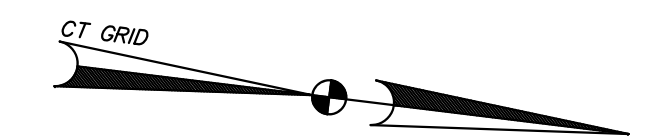
REFERENCE IS MADE TO MAPS TITLED:  
 "PROPERTY BOUNDARY SURVEY, EASEMENT PLAN, RESIDENTIAL CONVERSION, 38 HUBBARD STREET, PREPARED FOR LAC GROUP, LLC, GLASTONBURY, CONNECTICUT, PREPARED BY DUTTON ASSOCIATES, LLC, GLASTONBURY, CONN., SCALE: 1"=40', DATE: 2013, FILE NAME: A-08-034-ESMT."  
 "PREPARED FOR GLASTONBURY HOUSING AUTHORITY, GLASTONBURY, CONN., PREPARED BY MEGSON & HYPPA, CIVIL ENGINEERS, GLASTONBURY, CONN., SCALE: 1"=40', DATE: 1-26-88, REVISED THROUGH: 9-16-70."  
 "PREPARED FOR BERNARD A. DION, GLASTONBURY, CONN., PREPARED BY MEGSON & HYPPA, CIVIL ENGINEERS, GLASTONBURY, CONN., SCALE: 1"=40', DATE: 4-29-70, REVISED THROUGH: 10-29-70."  
 "PROPERTY OF CHARLES F. AMES & BENJAMIN A. KNAPP, GLASTONBURY, CONN., PREPARED BY MOLLOY & MOZZOCHI, ENGINEERS, SCALE: 1"=40', DATED: MAY 15, 1950, REVISED: JULY 13, 1951."  
 THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.  
 THE TYPE OF SURVEY PERFORMED IS A LIMITED PROPERTY, BOUNDARY AND TOPOGRAPHIC SURVEY.  
 THE BOUNDARY DETERMINATION CATEGORY IS DEPENDENT SURVEY.  
 THIS SURVEY CONFORMS TO HORIZONTAL ACCURACY CLASS A-2.  
 THIS SURVEY CONFORMS TO TOPOGRAPHIC ACCURACY CLASS T-2 & T-3 (SEE NOTE BELOW).  
 THIS SURVEY CONFORMS TO VERTICAL ACCURACY CLASS V-2.  
 THIS MAP WAS PREPARED FOR THE PURPOSE OF BOUNDARY DEFINITION AND SITE DESIGN.  
 TOPOGRAPHIC INFORMATION WITHIN THE SITE AND EXISTING DRAINAGE EASEMENT FROM FIELD SURVEY, TOPOGRAPHIC INFORMATION OUTSIDE THE SITE FROM TOWN OF GLASTONBURY AERIAL PHOTOGRAMMETRY.  
 UNDERGROUND UTILITY STRUCTURE FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING AND INFORMATION PROVIDED BY OTHERS. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES AND STRUCTURES MAY EXIST IN THE AREA, THE EXISTENCE OF WHICH IS UNKNOWN TO DUTTON ASSOCIATES, LLC. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION.  
 BEARINGS REFER TO NAD 83/87 AND ARE BASED ON HORIZONTAL DATA PROVIDED BY THE TOWN OF GLASTONBURY.  
 ELEVATIONS REFER TO NAVD 88 AND ARE BASED ON VERTICAL DATA PROVIDED BY THE TOWN OF GLASTONBURY.  
 "TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON"  
 THIS MAP IS NOT VALID UNLESS IT BEARS THE LIVE SIGNATURE AND SEAL OF THE UNDERSIGNED SURVEYOR.

REVISIONS:  
 08/25/2021 - STORM DRAINS  
 DATE: 08/04/2021  
 SCALE: 1" = 20'  
 SHEET 2 of 15  
**A-21-050-BND**  
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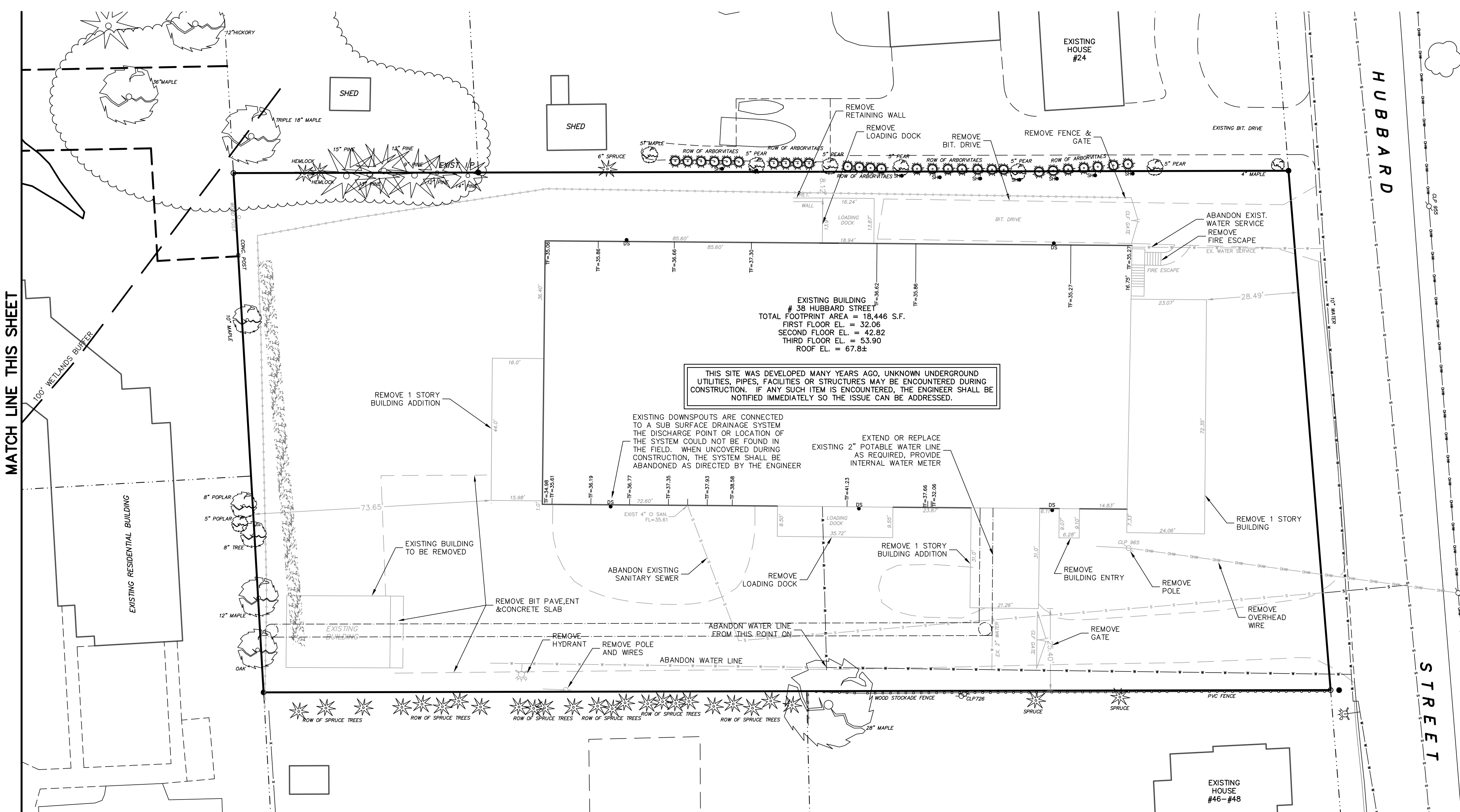


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 LAND SURVEYORS AND CIVIL ENGINEERS  
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JOHN R. MARTUCCI, P.E. #19494

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**DEMOLITION PLAN**  
**WAREHOUSE #38**  
 PREPARED FOR: **LAC GROUP, LLC OWNER**  
**RESIDENTIAL CONVERSION - 38 HUBBARD STREET**  
 JS ADVISORS, LLC APPLICANT  
 GLASTONBURY, CONNECTICUT

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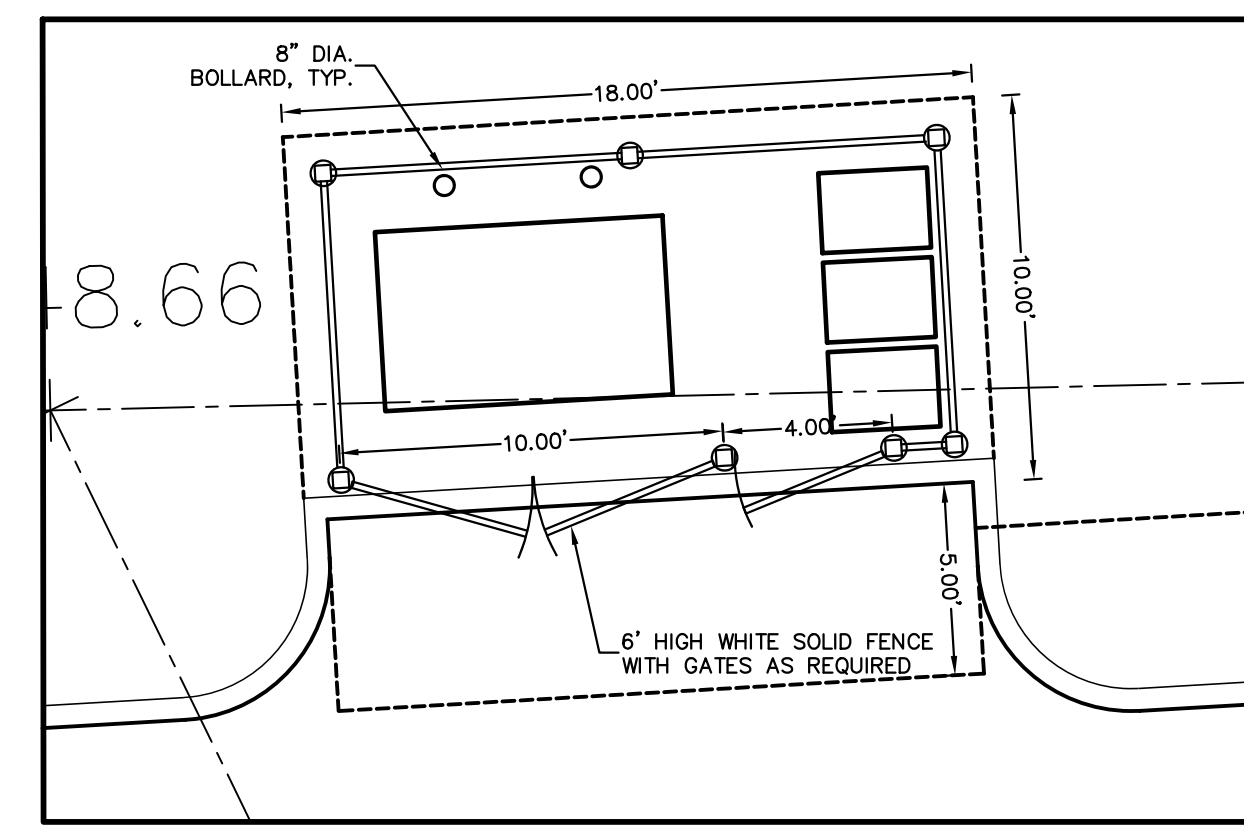
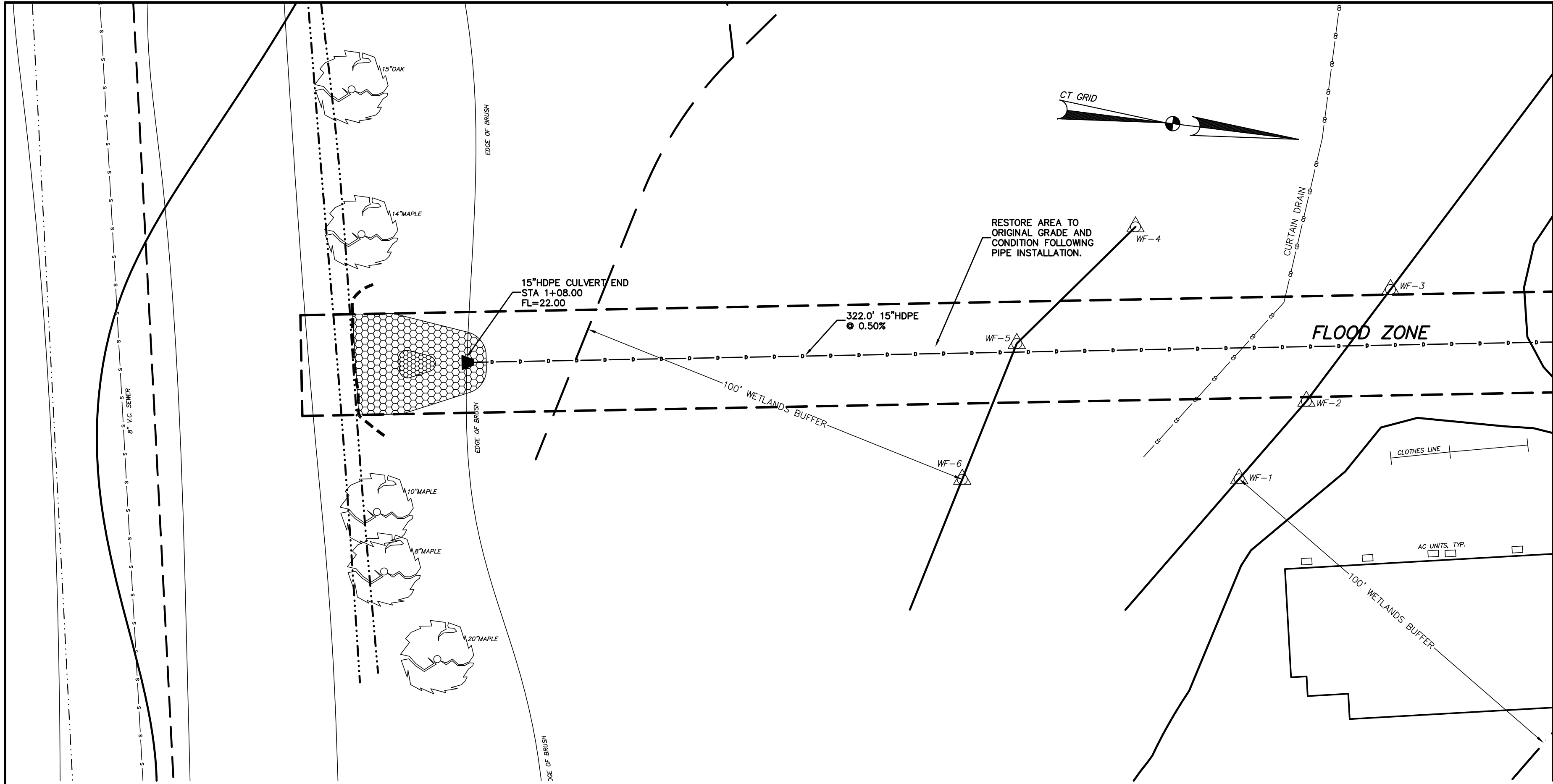
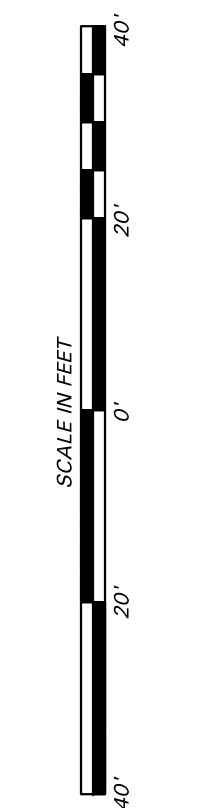
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 SCALE: 1" = 20'

SHEET 3 of 18  
**A-21-050-DEMO**

FILE: 21050.DWG

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**REFUSE AREA DIMENSIONS**  
 SCALE 1"=5'

**MATCH MARK A-A**  
 SEE UTILITY PLAN

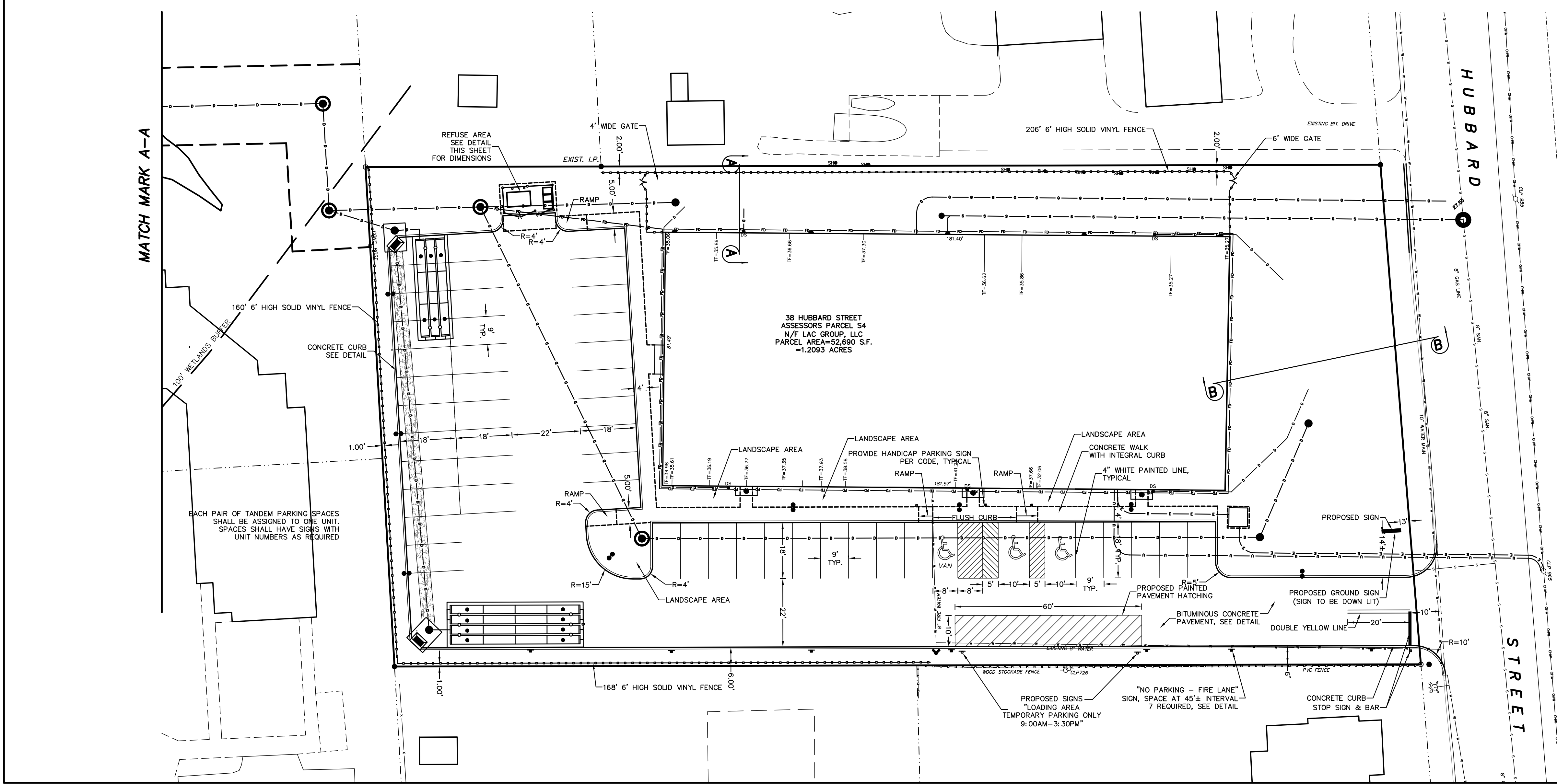
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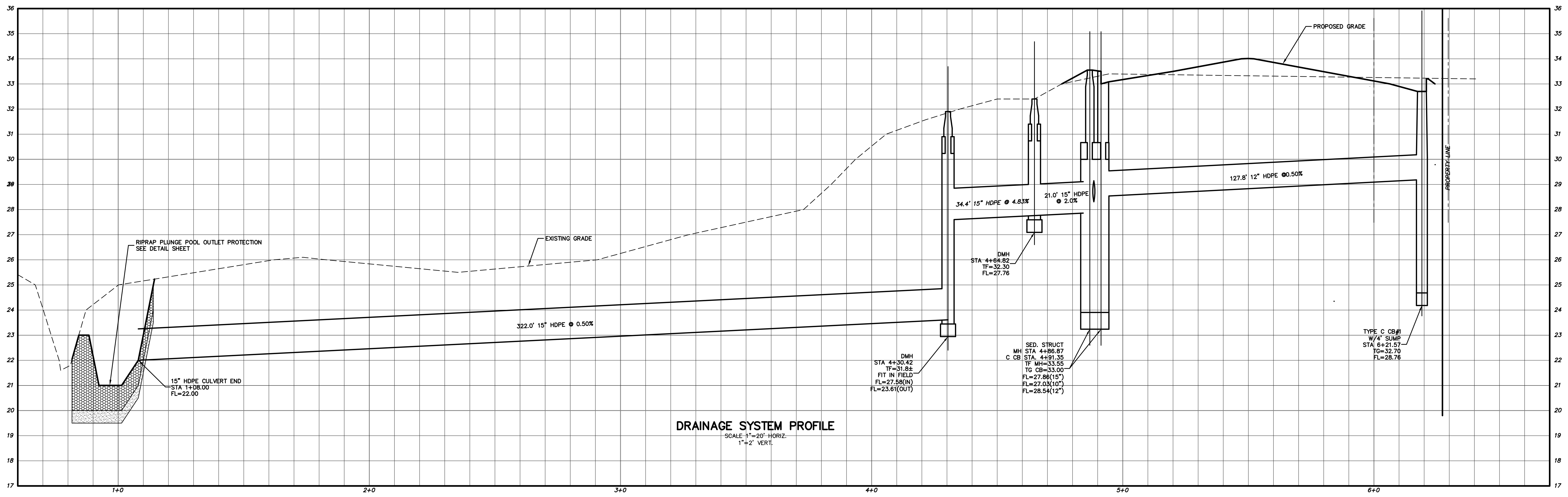
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**LAYOUT PLAN**  
**WAREHOUSE 38**  
**RESIDENTIAL CONVERSION**  
**38 HUBBARD STREET**  
**LAC GROUP, LLC JS ADVISORS, LLC APPLICANT**  
 GLASTONBURY, CONNECTICUT

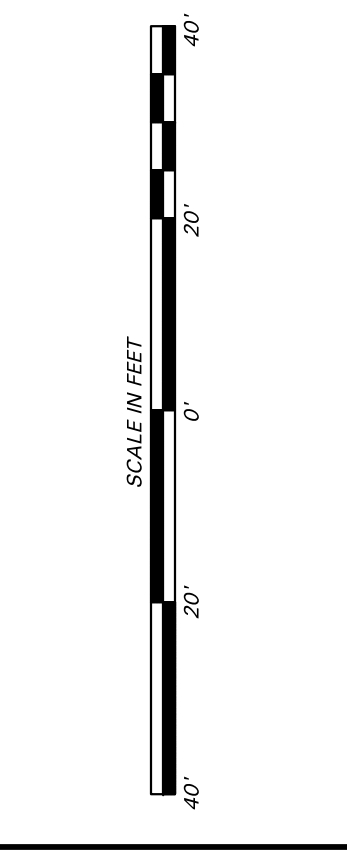
REVISIONS:  
 08/25/2021 - STORM DRAINS

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 SCALE: 1" = 20'  
 SHEET 4 of 18  
**A-21-050-LAY**  
 FILE: 21050.DWG



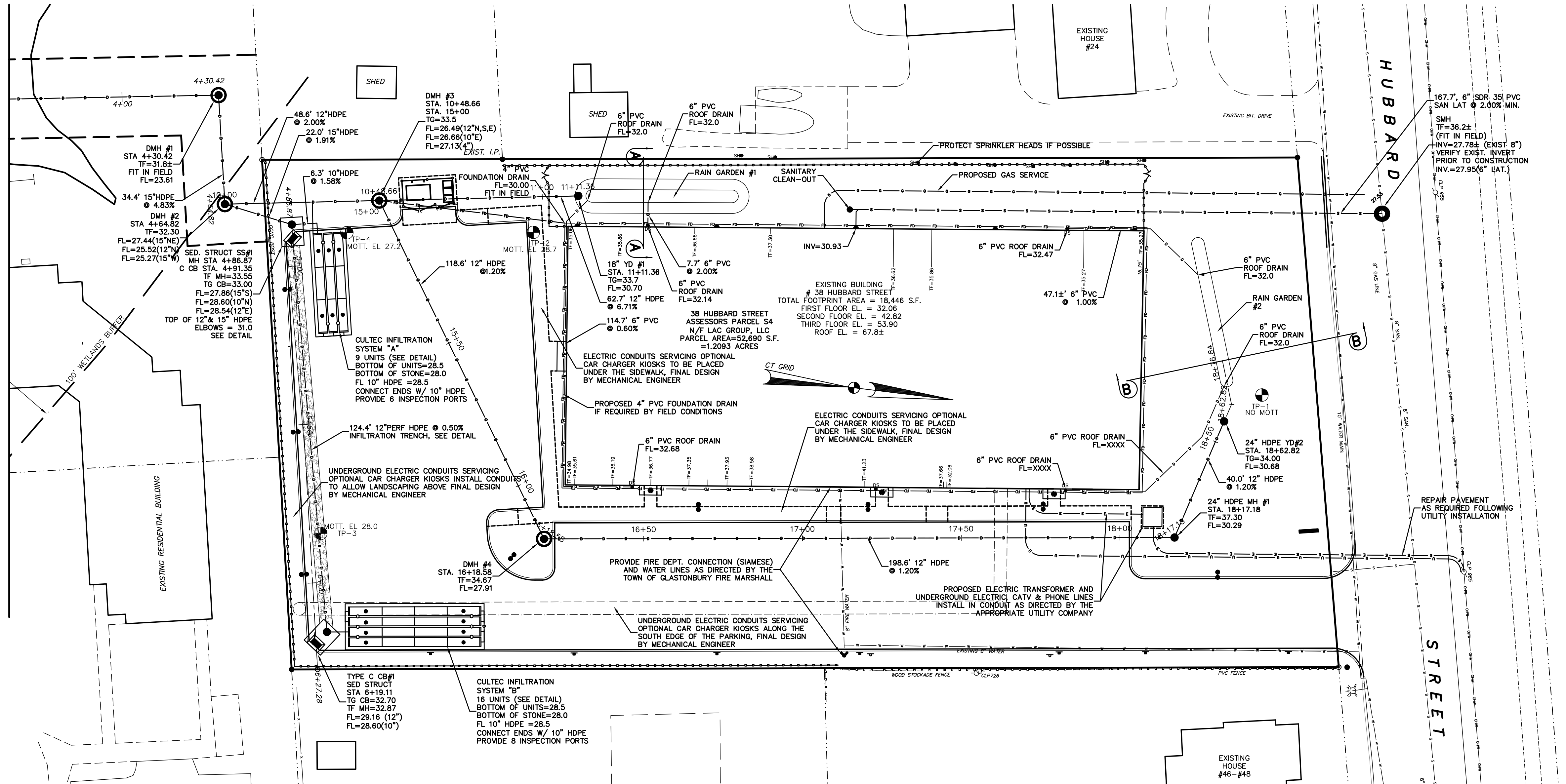


**DRAINAGE SYSTEM PROFILE**  
SCALE: 1"=20' HORIZ.  
1"=2' VERT.



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SEE LAYOUT PLAN FOR ADDITIONAL  
UTILITY INFORMATION  
MATCH MARK A-A



**STORM SEWER MAINTENANCE PLAN**

PROPER MAINTENANCE OF THE STORM SEWER IS CRITICAL TO ITS FUNCTION AND LONG TERM SUCCESS.

THE PERVIOUS CONCRETE GUTTER SECTION USED AT THIS SITE IS A NEW TECHNOLOGY AND PROPER MAINTENANCE IS VERY CRITICAL. THE FOLLOWING MAINTENANCE REQUIREMENTS AND SCHEDULE SHALL BE REVIEWED IN DETAIL WITH THE COMPANY AND OR PEOPLE RESPONSIBLE FOR THE MAINTENANCE.

**SPECIAL REQUIREMENTS - CULTEC SYSTEM**  
IN ADDITION TO ANY MANUFACTURERS MAINTENANCE REQUIREMENTS, THE FOLLOWING SHALL OCCUR:

AT A MINIMUM, THE CULTEC UNITS SHALL BE INSPECTED ONCE PER YEAR IN THE FALL. IF MORE THAN 3" OF SEDIMENT IS OBSERVED, THE SYSTEM SHALL BE FLUSHED AND CLEANED TO THE EXTENT POSSIBLE.

IF THE SYSTEM IS 50% OR MORE FULL OF SEDIMENT, THE SYSTEM SHALL BE REPLACED.

**GENERAL SPRING MAINTENANCE**

FOLLOWING THE LAST SPRING SNOWFALL, THE FOLLOWING MAINTENANCE TASKS SHALL BE CONDUCTED:

- 1) INSPECT ALL STORM SEWER INLETS AND RAIN THE GARDENS REMOVE ANY ACCLIMATED SEDIMENT. REMOVE LEAVES, STICKS AND DEBRIS, REMOVE AND / OR FRESHEN MULCH AS REQUIRED
- 2) INSPECT THE STORM SEWER OUTFALLS, REPAIR ANY EROSION ISSUES AS REQUIRED.
- 3) REMOVE ANY SEDIMENT AND DEBRIS FROM THE PAVED PARKING AREA.
- 5) CONDUCT GENERAL SITE CLEANUP, REMOVE ACCUMULATED DEBRIS.

**FALL MAINTENANCE:**

FOLLOWING LEAF DROP, APPROXIMATELY MID NOVEMBER, THE FOLLOWING TASKS SHALL BE CONDUCTED:

- 1) INSPECT ALL STORM SEWER INLETS AND RAIN THE GARDENS REMOVE ANY ACCLIMATED SEDIMENT. REMOVE LEAVES, STICKS AND DEBRIS, REMOVE AND / OR FRESHEN MULCH AS REQUIRED. INSURE INLET GRATES ARE CLEAR.
- 2) REMOVE ALL LEAVES AND OTHER DEBRIS FROM THE SITE.
- 3) REMOVE ANY SEDIMENT AND DEBRIS FROM THE PAVED PARKING AREA.
- 4) PREPARE THE PARKING AREA FOR SNOW REMOVAL (MARK EDGES, PREPARE LANDSCAPE PLANS IF REQUIRED, ETC.)

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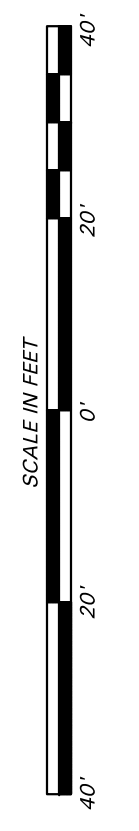
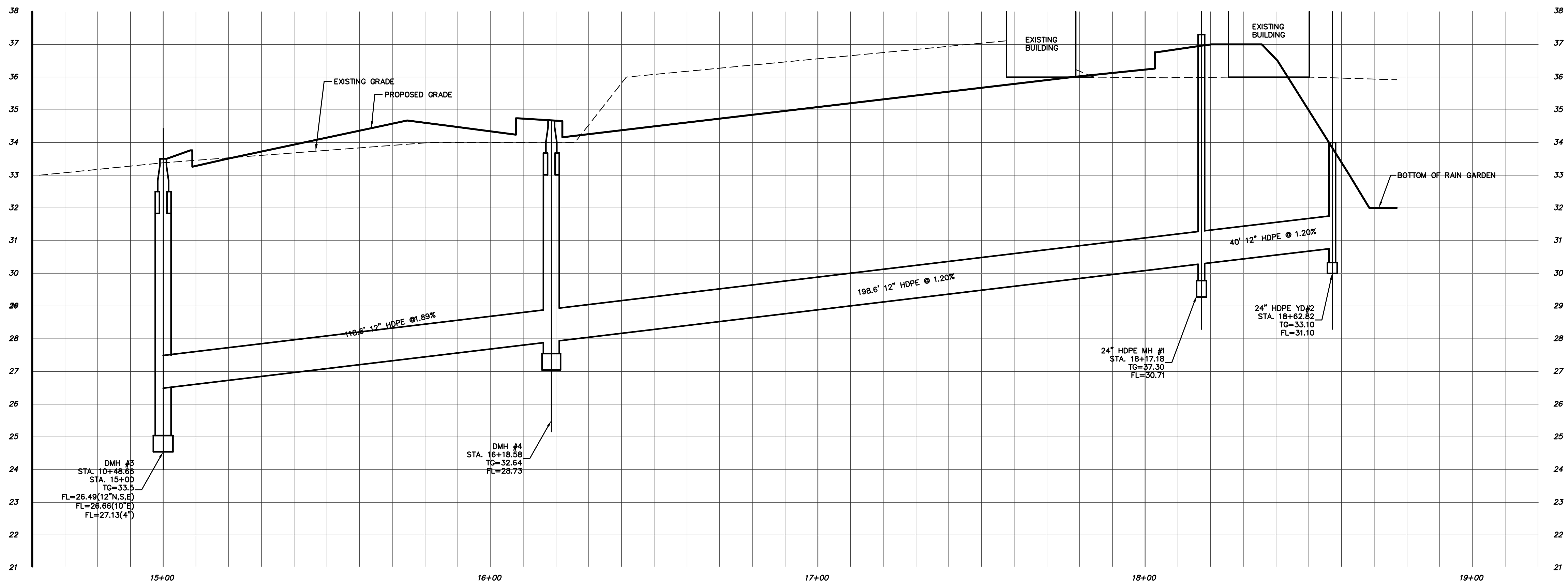
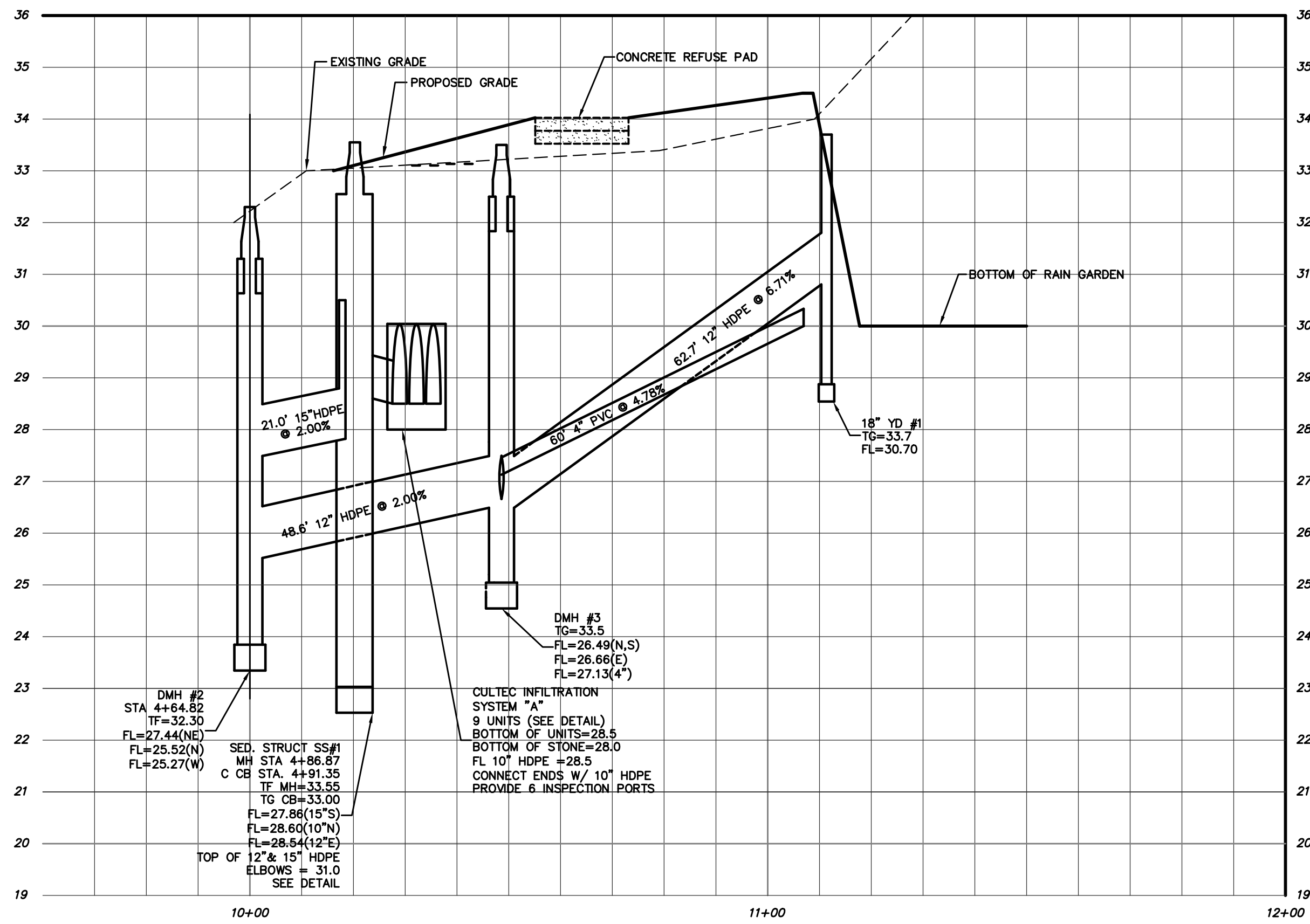
JOHN R. MARTUCCI, P.E. #19494

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**UTILITY PLAN**  
**WAREHOUSE 38**  
**RESIDENTIAL CONVERSION**  
**38 HUBBARD STREET**  
LAC GROUP, JS ADVISORS, LLC APPLICANT  
GLASTONBURY, CONNECTICUT

REVISIONS:  
08/08/2021 - STORM DRAINS

DATE: 08/04/2021  
SCALE: 1" = 20'  
SHEET 5 of 16  
**A-21-050-U**  
FILE: 21050.DWG



**DUTTON ASSOCIATES, LLC**  
 LAND SURVEYORS AND CIVIL ENGINEERS  
 67 EASTERN BOULEVARD  
 GLASTONBURY, CONNECTICUT 06033  
 TEL: 860-633-8401 FAX: 860-633-8951  
 EMAIL: INFO@DUTTONASSOCIATESLLC.COM

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**38 HUBBARD STREET**  
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REVISIONS:  
 08/08/2021 - STORM DRAINS

**UNDERGROUND UTILITY NOTE:**  
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DATE: 08/04/2021  
 SCALE: 1" = 20'  
 SHEET 6 of 16  
**A-21-050-U**  
 FILE: 21050.DWG

WORK ON THE STORM DRAIN SYSTEM SHALL BE CONFINED TO THE EASEMENT AS MUCH AS POSSIBLE OR AS AGREED WITH THE LAND OWNER.

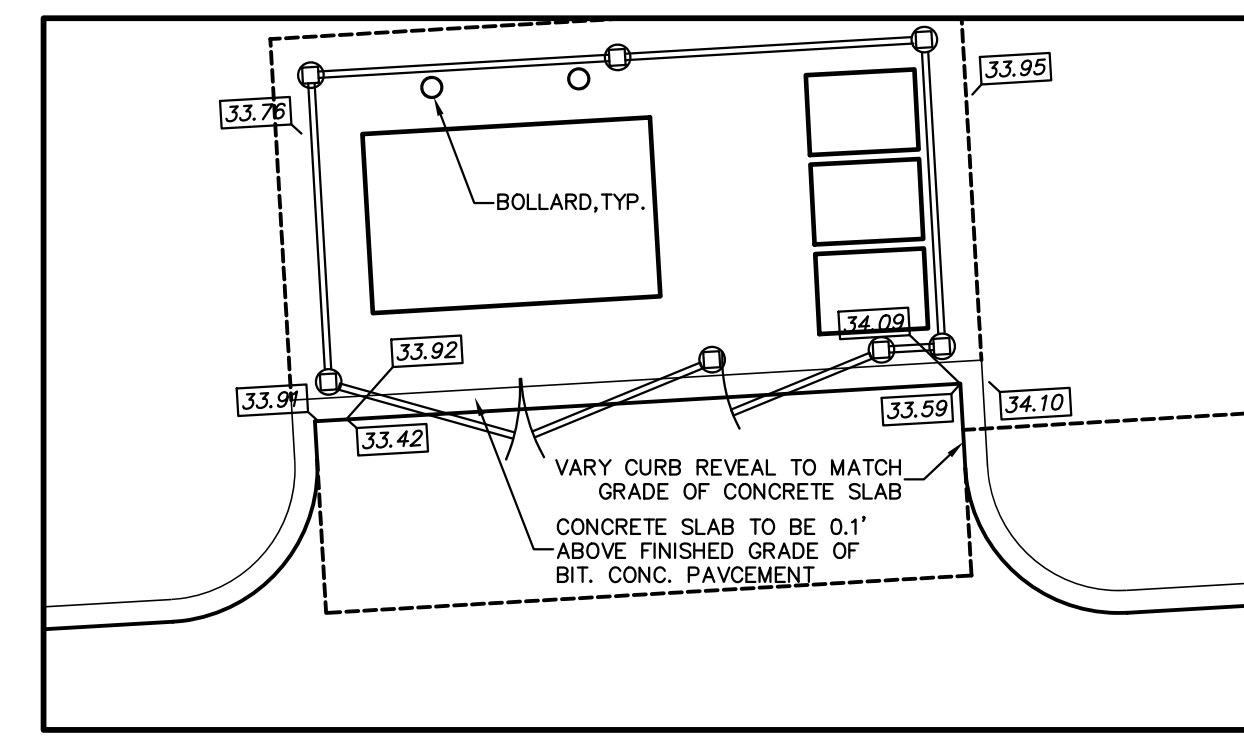
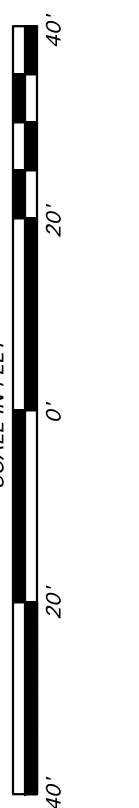
CONSTRUCTION SHALL BE SCHEDULED FOR A PREDICTED DRY WEATHER PERIOD. CONSTRUCTION SHALL BE CONDUCTED AS EFFICIENTLY AND NEATLY AS POSSIBLE TO REDUCE ENVIRONMENTAL DAMAGE.

THE DISTURBED AREA SHALL BE TOPSOILED, SEED, MULCHED AND WATERED UNTIL THE AREA HAS VAGARIOUS AND WELL ESTABLISHED

TEMPORARY SAND BAG DAM DURING CONSTRUCTION. PUMP WATER AROUND SITE IF REQUIRED.

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JOHN R. MARTUCCI, P.E. #19494

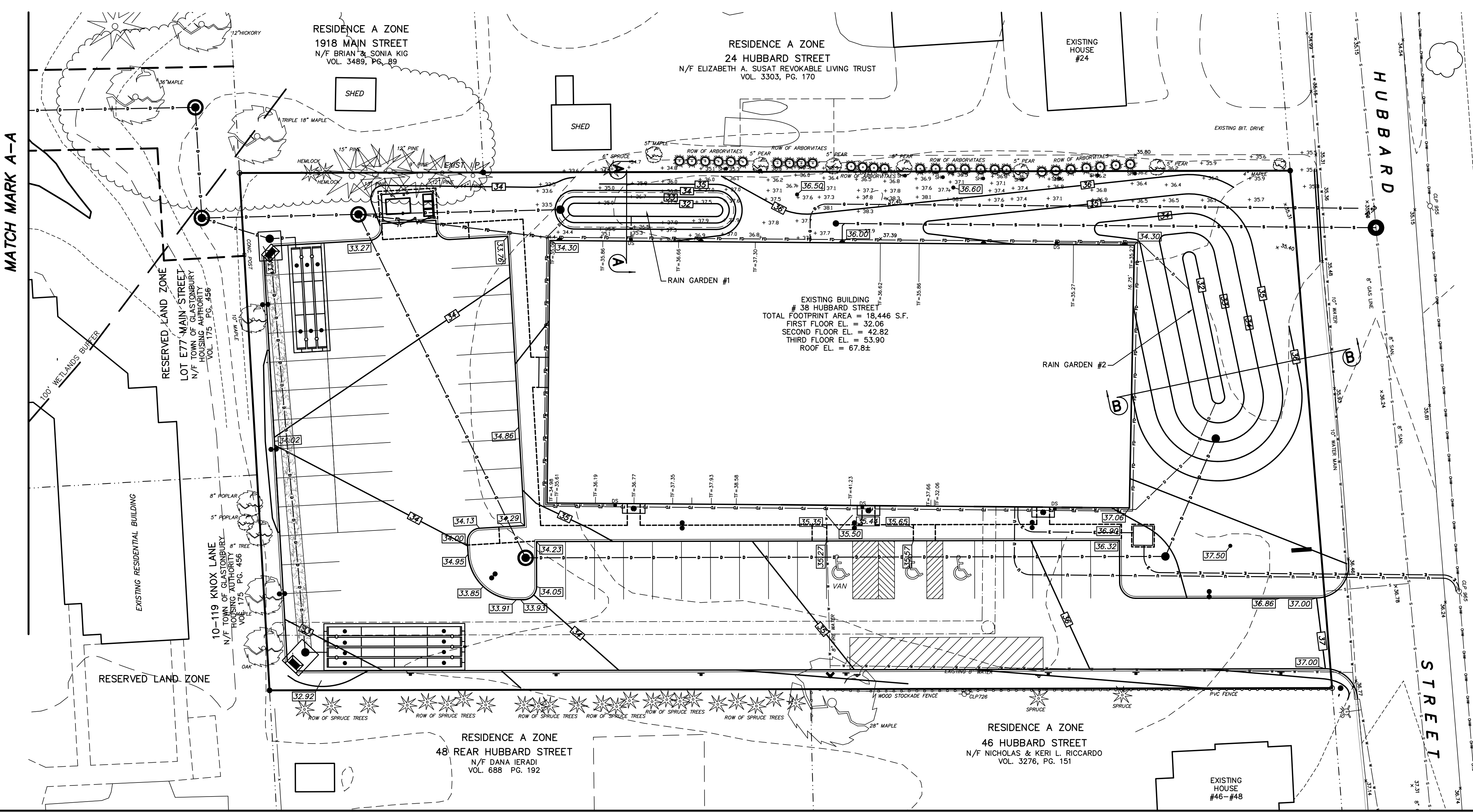
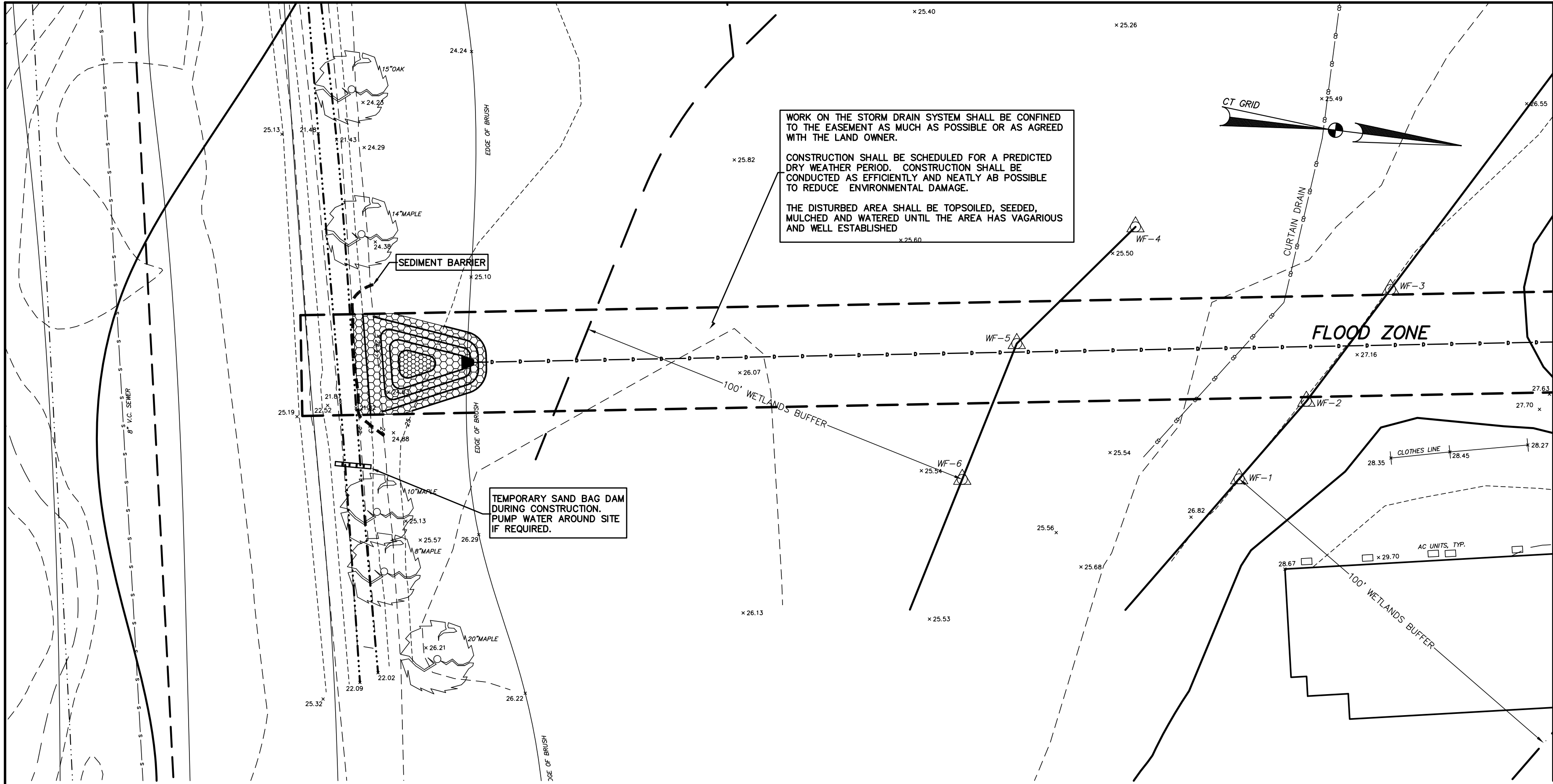
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**GRADING PLAN**  
**WAREHOUSE 38**  
**RESIDENTIAL CONVERSION**  
 38 HUBBARD STREET  
 PREPARED FOR  
**LAC GROUP, LLC JS ADVISORS, LLC APPLICANT**  
 GLASTONBURY, CONNECTICUT

REVISIONS:  
 08/25/2021 - STORM DRAINS

DATE: 08/04/2021  
 SCALE: 1" = 20'  
 SHEET 7 of 18  
**A-21-050-GRD**  
 FILE: 21050.DWG



RESERVED LAND ZONE  
 1046 MAIN STREET  
 N/F TOWN OF GLASTONBURY  
 VOL. 2 PG. 1

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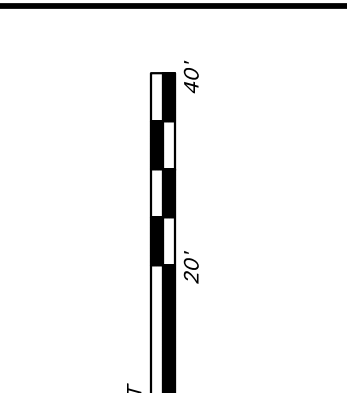
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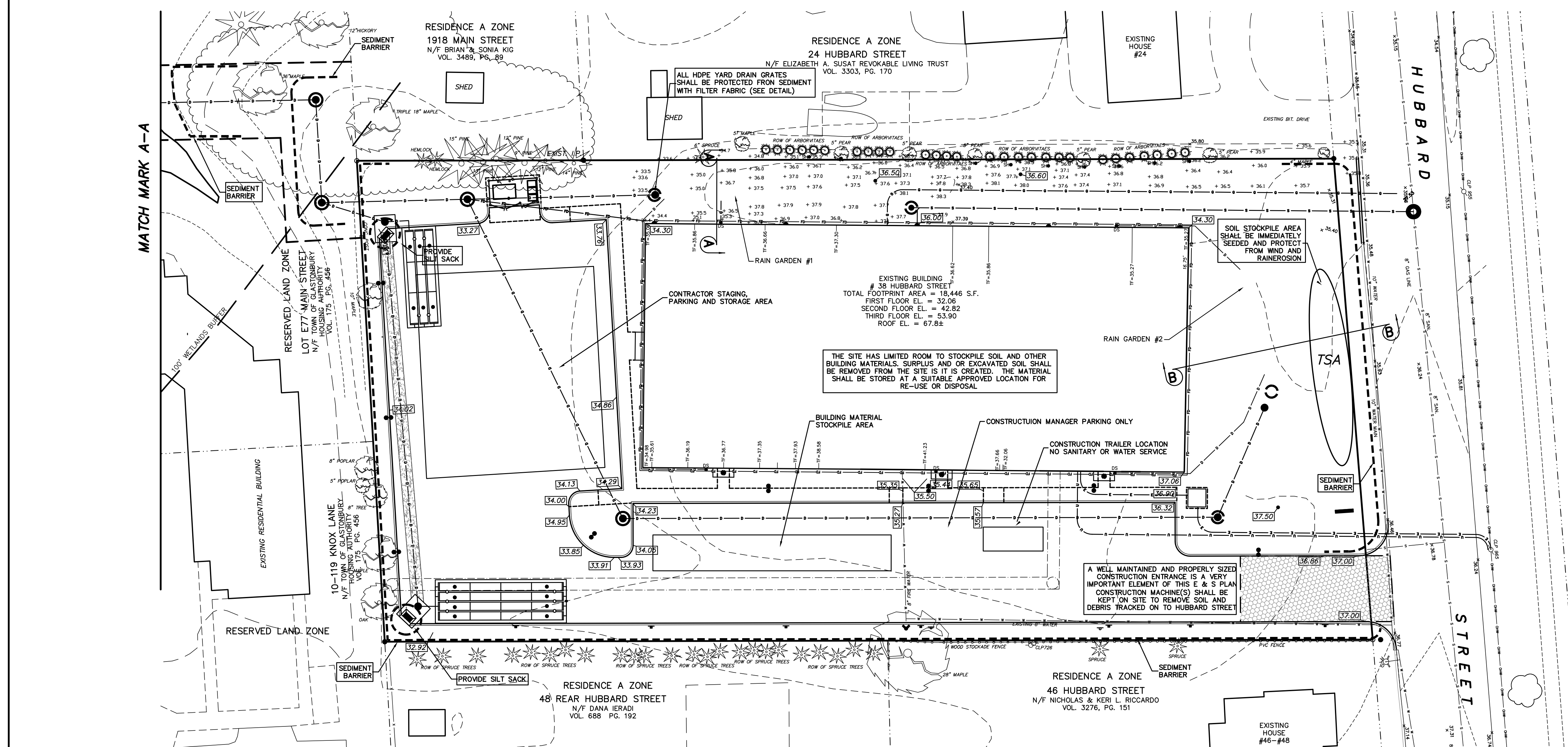
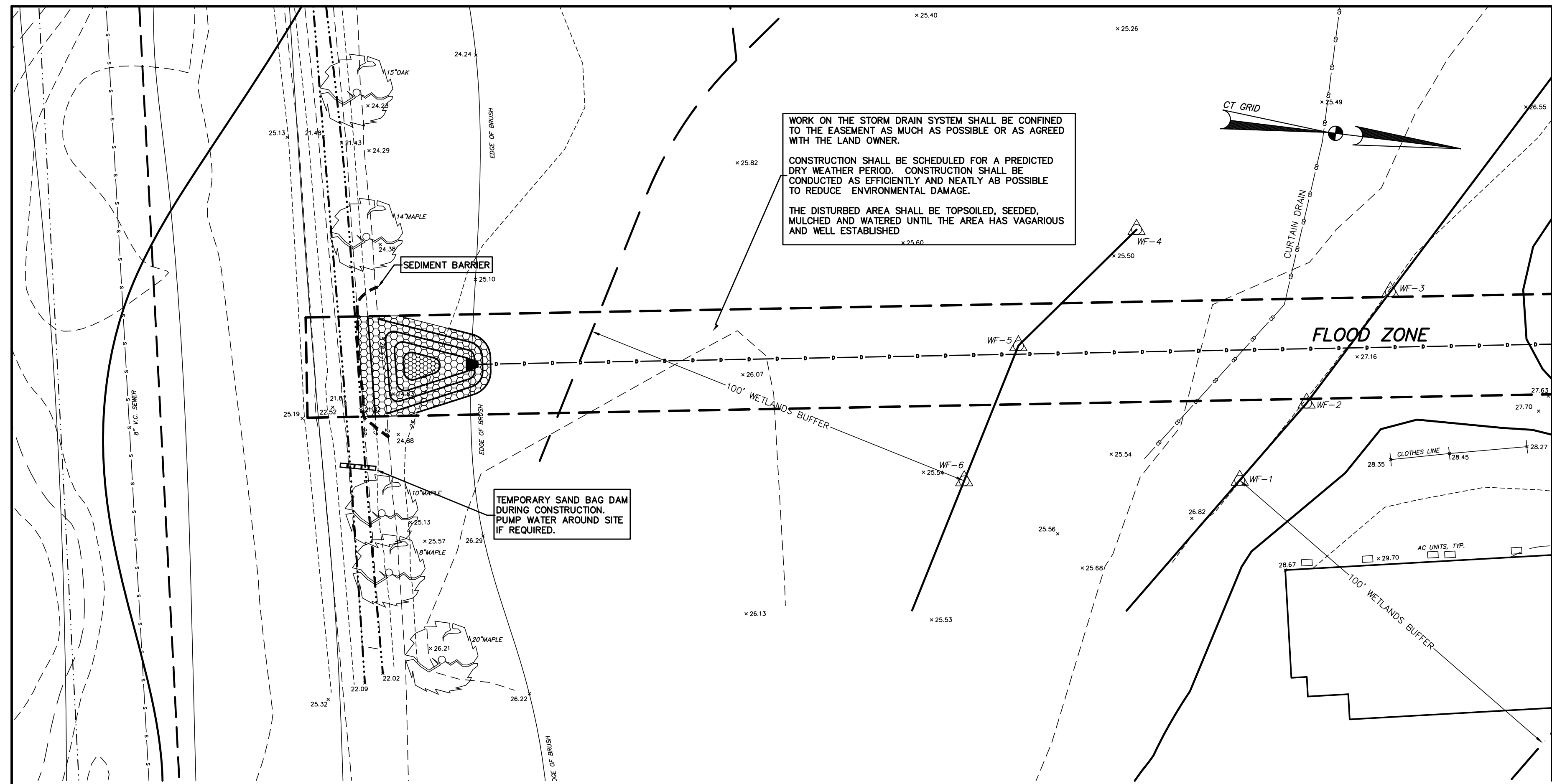
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**EROSION & SEDIMENT CONTROL PLAN**  
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 38 HUBBARD STREET  
 PREPARED FOR  
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 GLASTONBURY, CONNECTICUT

REVISIONS:  
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 SHEET 8 of 18  
**A-21-050-E/S**  
 FILE: 21050.DWG



RESERVED LAND ZONE  
 1946 MAIN STREET  
 N/F TOWN OF GLASTONBURY  
 VOL. 2, PG. 1

THE SITE HAS LIMITED ROOM TO STOCKPILE SOIL AND OTHER BUILDING MATERIALS, SURPLUS AND OR EXCAVATED SOIL SHALL BE REMOVED FROM THE SITE IF IT IS CREATED. THE MATERIAL SHALL BE STORED AT A SUITABLE APPROVED LOCATION FOR RE-USE OR DISPOSAL

A WELL MAINTAINED AND PROPERLY SIZED CONSTRUCTION ENTRANCE IS A VERY IMPORTANT ELEMENT OF THIS E & S PLAN. CONSTRUCTION MACHINE(S) SHALL BE KEPT ON SITE TO REMOVE SOIL AND DEBRIS TRACKED ON TO HUBBARD STREET

RESIDENCE A ZONE  
 1918 MAIN STREET  
 N/F BRIAN & SONIA KIG  
 VOL. 3489, PG. 89

RESIDENCE A ZONE  
 24 HUBBARD STREET  
 N/F ELIZABETH A. SUSAT REVOKABLE LIVING TRUST  
 VOL. 3303, PG. 170

EXISTING BUILDING  
 38 HUBBARD STREET  
 TOTAL FOOTPRINT AREA = 18,446 S.F.  
 FIRST FLOOR EL. = 32.06  
 SECOND FLOOR EL. = 42.82  
 THIRD FLOOR EL. = 53.90  
 ROOF EL. = 67.82

RESIDENCE A ZONE  
 48 REAR HUBBARD STREET  
 N/F DANA IERADI  
 VOL. 688, PG. 192

RESIDENCE A ZONE  
 46 HUBBARD STREET  
 N/F NICHOLAS & KERI L. RICCARDO  
 VOL. 3276, PG. 151



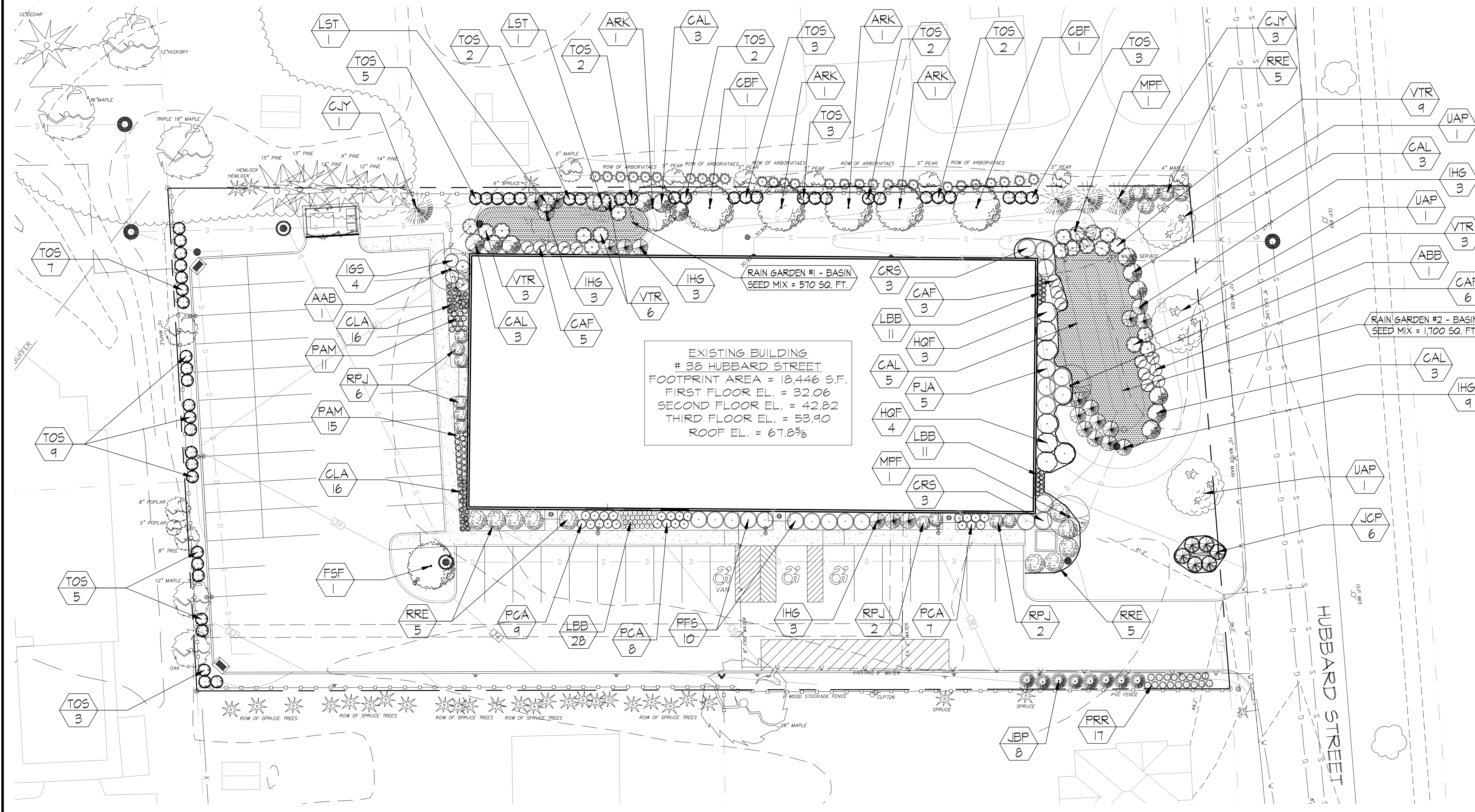
# Site Plant List

Key	Quantity	Botanical Name	Common Name	Size	Comments
<b>Trees:</b>					
Arp	# 3	Acer rubrum 'Karpick'	Karpick Red Maple	3-1/2" - 4" Cal.	B & B
Aab	# 2	Amenclanchier x 'Autumn Brilliance'	Autumn Brilliance Shadblow	2" - 2-1/2" Cal.	B & B
Cbf	# 3	Carpinus betulus 'Fastigiata'	Upright European Hornbeam	2" - 2-1/2" Cal.	B & B
Cjy	# 4	Cryptomeria japonica 'Yoshino'	Yoshino Japanese Cedar	5' - 6' Ht., 12" O.C.	B & B
Fsf	# 1	Fagus s. fastigiata 'Purpurea'	Dawyk Purple Eur. Beech	2" - 2-1/2" Cal.	B & B
Lst	# 2	Liquidambar sty. 'Slender Silhouette'	Slender Silhouette Sweetgum	2" - 2-1/2" Cal.	B & B
Mpf	# 2	Malus 'Prairifire'	Prairifire Crabapple	2" - 2-1/2" Cal.	B & B
Tos	# 48	Thuja occidentalis 'Smaragd'	Emerald Green Arborvitae	5' - 6' Ht., 4" O.C.	B & B
Uap	# 3	Ulmus americana 'Princeton'	Princeton American Elm	3" - 3-1/2" Cal.	B & B
<b>Shrubs:</b>					
Cal	# 12	Clethra alnifolia	Summersweet	6 Gal., 5' O.C.	Container
Crs	# 6	Clethra alnifolia 'Ruby Spice'	Ruby Spice Summersweet	6 Gal., 4' O.C.	Container
Caf	# 14	Cornus sericea 'Artic Fire'	Arctic Fire Dogwood	3 Gal., 4' O.C.	Container
Hqf	# 7	Hydrangea pan. 'Quick Fire'	Quick Fire Hardy Hydrangea	6 Gal., 6' O.C.	Container
Igs	# 4	Ilex glabra 'Shamrock'	Shamrock Inkberry Holly	5 Gal., 4.5' O.C.	Container
Ihg	# 18	Itea virginica 'Henry's Gamet'	Henry's Gamet Sweetspire	3 Gal., 5' O.C.	Container
Jbp	# 8	Juniperus conferta 'Blue Pacific'	Blue Pacific Juniper	2 Gal., 3' O.C.	Container
Jpc	# 6	Juniperus chin. 'Pfitz. Compacta'	Compact Pfitzer Juniper	3 Gal., 5' O.C.	Container
Pja	# 5	Pieris japonica	Japanese Pieris	6 Gal., 5.5' O.C.	Container
Pca	# 24	Pieris japonica 'Cavatine'	Cavatine Pieris	3 Gal., 3' O.C.	Container
Pfs	# 10	Pieris japonica 'Flaming Silver'	Flaming Silver Pieris	6 Gal., 5.5' O.C.	Container
Rre	# 14	Rhodod. c. 'Roseum Elegans'	Roseum Elegans Rhodo.	6 Gal., 5' O.C.	Container
Rpj	# 10	Rhododendron x 'PJM Elite'	Elite PJM Rhodo.	6 Gal., 4.5' O.C.	Container
Vtr	# 21	Viburnum trilobum 'Compactum'	Compact Cranberrybush	3 Gal., 5' O.C.	Container
<b>Ornamental Grasses / Ground Cover / Perennials:</b>					
Cla	# 32	Chasmanthium latifolium	Northern Sea Oats	1 Gal., 2' O.C.	Container
Lbb	# 50	Liriope muscari 'Big Blue'	Big Blue Lily Turf	1 Gal., 18" O.C.	Container
Pam	# 26	Pennisetum alopecuroides 'Moudry'	Black Fountain Grass	3 Gal., 2' O.C.	Container
Prr	# 17	Panicum virgatum 'Ruby Ribbons'	Ruby Ribbons Switch Grass	3 Gal., 2.5' O.C.	Container

## Rain Garden Basin Areas Seed Mix:

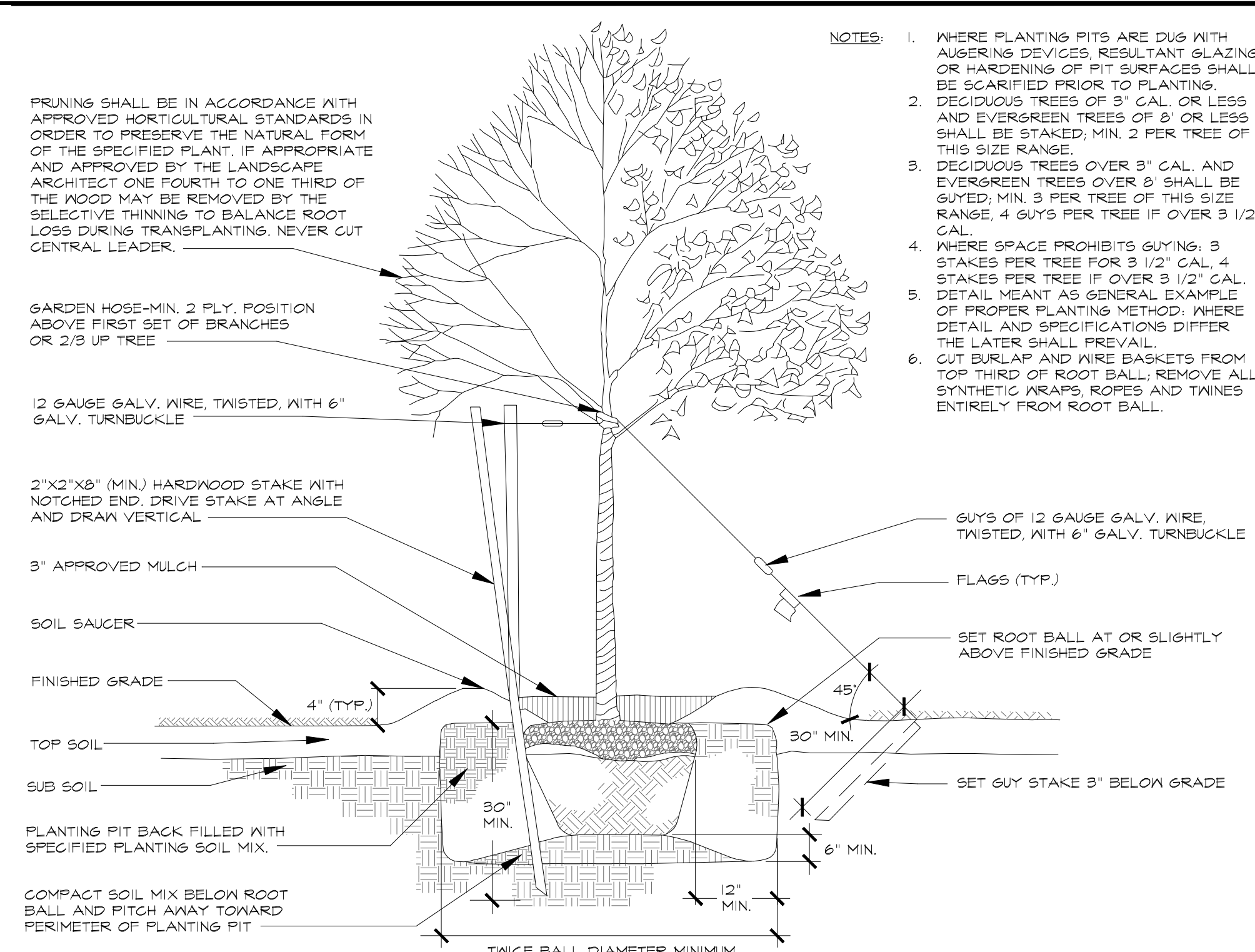
**Basin Area:** Seeding Rate; 35 Lbs. / Acre.; shall be "New England Erosion Control / Restoration Mix For Detention Basins and Moist Sites", as manufactured by New England Wetland Plants, Inc.; 820 Main Street, Amherst, MA 01002; Telephone: (413) 548 - 8000 or approved equal. Apply per manufacturer's specifications.

NOTE: ALL PLANTING BEDS TO BE MULCHED WITH SHREDDED HEMLOCK BARK MULCH TO A MAXIMUM DEPTH OF 3", OR APPROVED EQUAL. NO RED MULCH ALLOWED.



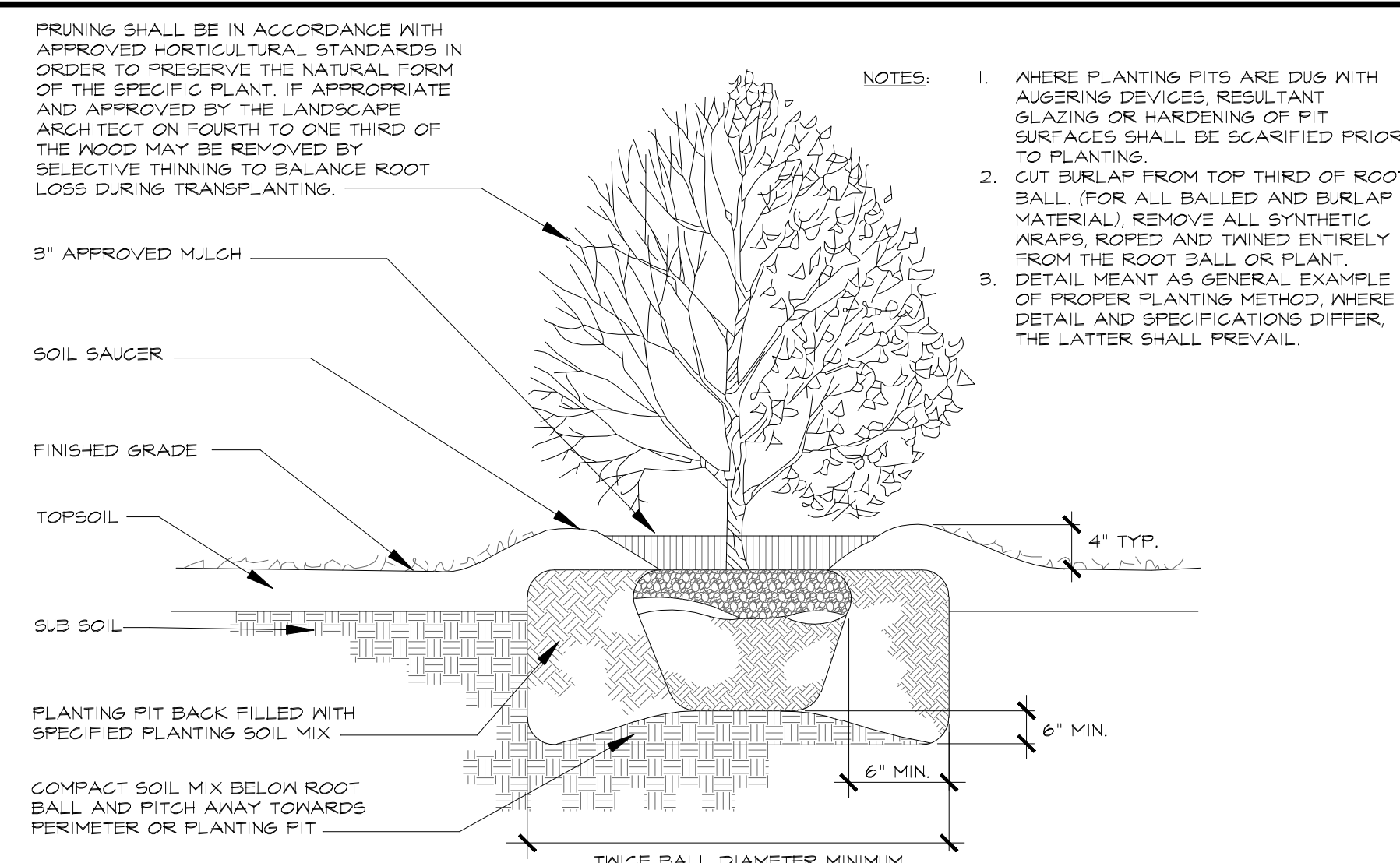
## Typical Tree Planting:

Scale: N.T.S.



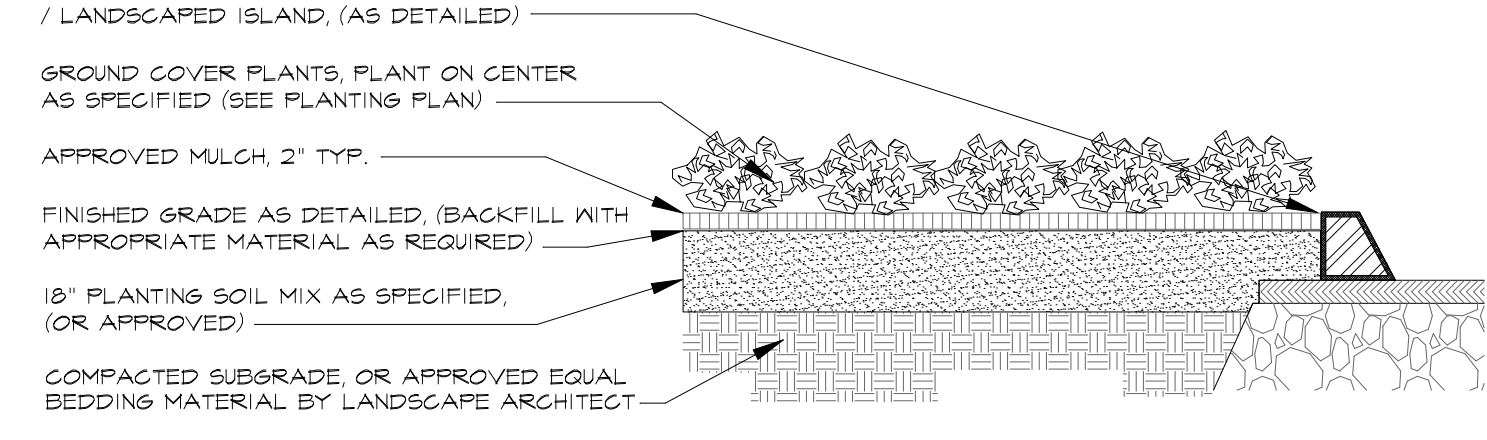
## Typical Shrub Planting:

Scale: N.T.S.



## Typical Groundcover / Perennial Bed Planting:

Scale: N.T.S.

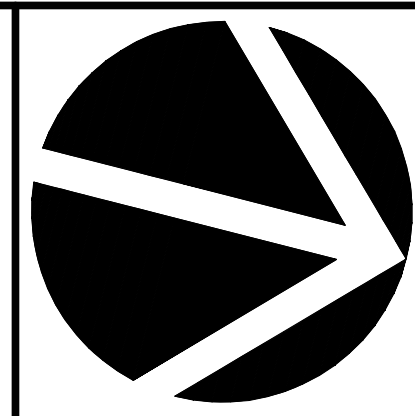


## GENERAL PLANTING NOTES:

- All plant material to be nursery stock subject to applicable A.A.N. standards.
- The Contractor shall supply all plants in quantities sufficient to complete the work shown on the drawings and listed in the plant list. In the event of a discrepancy between quantities shown in the plant lists and those required by the drawings, the larger number shall apply.
- All plants shall be inspected by the Landscape Architect. Any plant material that is deemed unsatisfactory shall be immediately removed from the Site and replaced with acceptable specimens at the Contractor's expense.
- Prior to installation, plant material shall be located on site by the Contractor for approval by the Landscape Architect. Any installations which were not approved by the Landscape Architect, and which are requested to be moved, will be done so at the Contractor's expense. Precise location of items not dimensioned on the plan to be scaled off the plan and field staked by the Contractor, for approval, as per note # 3 above.
- All shrub massing plantings and tree pits shall be mulched to a min. depth of 3" with shredded pine bark or hardwood mulch, as detailed.
- All trees under 3" caliper shall be staked. All trees 3" caliper and greater shall be guyed, as detailed.
- The Contractor is responsible for any damaged vegetation and shall replace or repair any damage at his own expense. Unless otherwise specified, all plant material shall be under guarantee for a minimum of one year for formal acceptance by the Owner.
- The Contractor should contact "Call Before You Dig" at 1-800-922-4455, (811), and not commence with construction activity unless they have field verified the existence of subsurface utilities and demarcated their location within the development envelope.
- Regardless of the results by adherence to activities described in Item 8. above, the Contractor is responsible for locating all utilities in the field. Where plant materials may interfere with utilities, the Contractor shall notify the Owner and Landscape Architect to coordinate their relocation prior to the installation of that material. Approval of plant material relocation must conform to the conditions dictated in Item 4. above.
- All shrub and groundcover planting areas shall have minimum continuous beds of topsoil, 18" deep. Bare Root plantings shall have a minimum topsoil bed of 12", unless otherwise specified.
- For planting soil mix, see specifications and/or planting details.
- All existing rill, gully and/or channel erosion shall be filled with appropriate backfill material, fine raked, scarified and stabilized with appropriate vegetative material and / or appropriate sedimentation and erosion control measures, as required. Refer to appropriate Stabilization Seed Mix and / or Sedimentation and Erosion Control Plans, Details and Specifications for site-specific requirements.
- Adjustments in the location of proposed plant material, as a result of existing vegetation determined in the field to remain, shall be approved by the Landscape Architect prior to installation, pursuant to the conditions dictated in Item 4. above.
- Bare Root and Sprig planting areas shall be hydro-seeded first with specified Seed Mix for immediate stabilization. Once hydro-seed activity has been successfully completed, clear a 1' diameter area around each proposed Sprig and / or Bare Root planting bed, prior to installation of that specified plant material.
- Additional planting material and / or increased seeding rates may be required by the Owner, Landscape Architect as site conditions dictate. Additional materials shall be compensated, to the mutual agreement of the Owner and the Contractor, and shall be approved and located as directed by the Landscape Architect, and pursuant to the conditions specified in these General Notes.

## General Turf Establishment and Management Narrative:

- Soil Testing**  
A composite soil sample from the subject property will be collected and delivered to a University of Connecticut Cooperative Extension office for testing of soil nutrient levels (i.e., pH, nitrogen, phosphorus, calcium, magnesium, potassium) prior to a fertilizer application. The Extension office will recommend a fertilizer application rate based upon these test results. The actual fertilizer application rate will follow this recommendation. This will ensure against an excessive fertilizer application, which could lead to chemical leaching or export.
- Slow-Release Fertilizers**  
Slow-release fertilizers will be applied to lawns, planted trees and shrubs. These can include, but are not limited to, organic-based fertilizers. A variety of commercial slow-release nitrogen fertilizer products are available (e.g., Milorganite, isobutylidene diurea, coated ureas, etc.). Advantages of slow-release fertilizers include the supply of a steady nitrogen source, and reduced nitrogen leaching. By combining small amounts of soluble nitrogen sources with slow-release nitrogen products, nitrogen availability can be extended without a threat of leaching.
- Fertilizer Application Schedule**  
Fertilizer will be applied three times annually to the subject property: early to late May (after the threat of cool, wet weather has passed), late August to early September, and mid-September to mid-October. If the soil test indicates a need for lime, it will be applied at the last fertilization date.
- Integrated Pest Management (IPM)**  
IPM is an integrated, preventative approach to maintaining healthy turf and landscape plants. IPM recognizes that, although chemicals are an important component of a turf management plan, other strategies are available to maintain a healthy lawn. A central premise of IPM is to treat pest problems as they arise on an as-needed basis only, using a variety of biological (e.g., natural predators), chemical and cultural (e.g., disease-resistant seed) practices.



**Warehouse #38**  
38 HUBBARD STREET, GLASTONBURY CONNECTICUT  
**Proposed Site Improvements**  
**LANDSCAPE PLAN**

**J S ADVISORS, LLC.**  
90 MILES DRIVE, #413  
WALLINGFORD, CT 06492

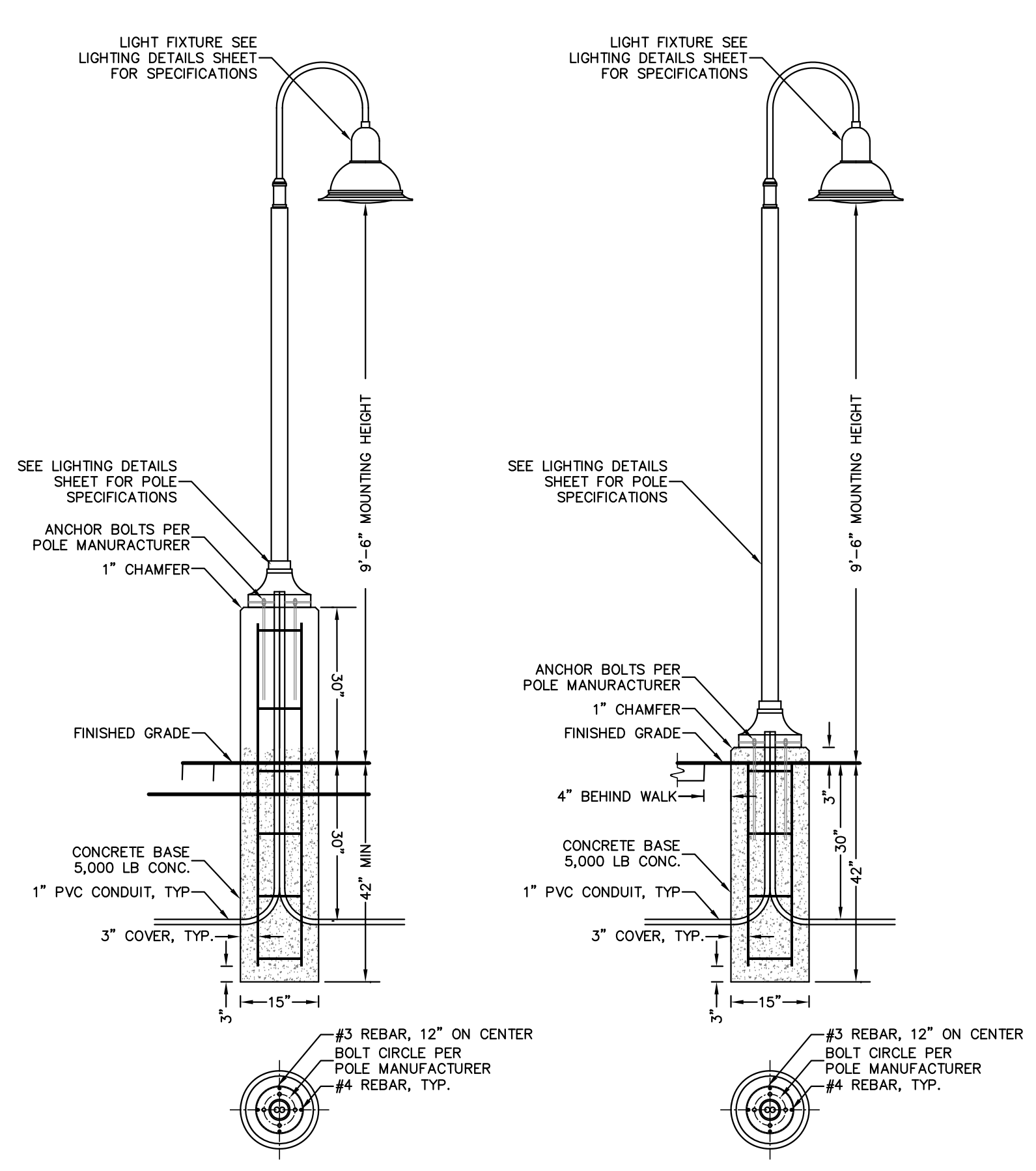
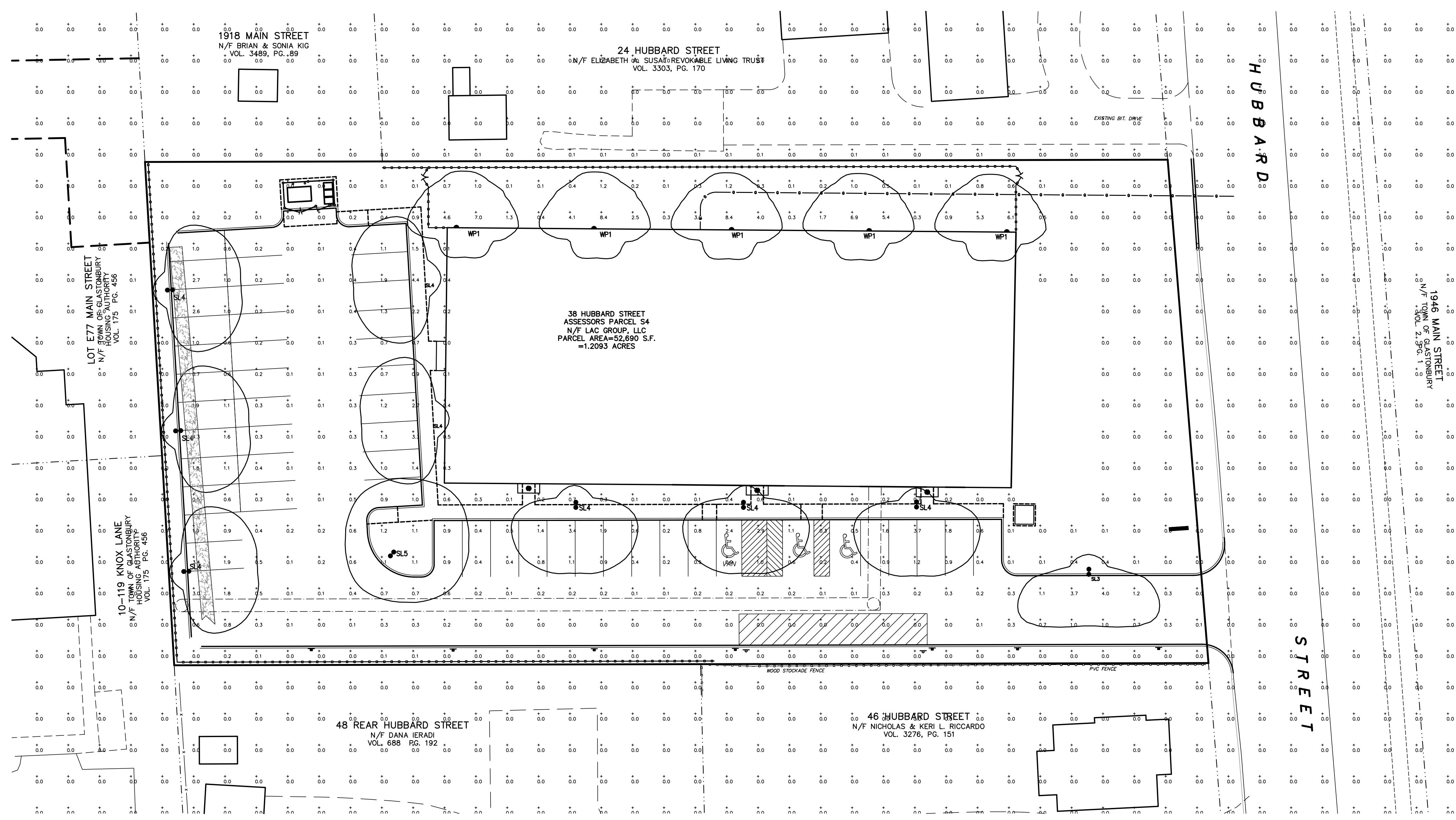
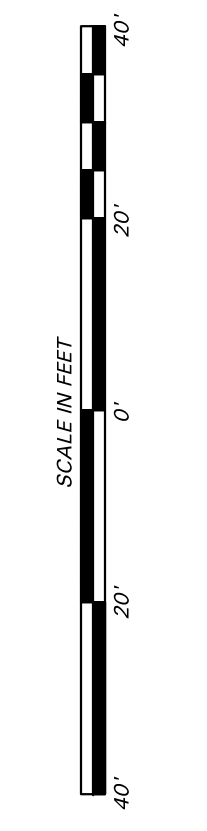
Scale: 1" = 20'  
0' 10' 20' 30' 40' 60'  
Date: 22 July 2021  
Revisions: 27 Aug. 2021

Prepared By:  
Robert C. Schechinger, Jr. ASLA  
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Farmington, CT 06032  
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Email: [RCS@bifdesign.com](mailto:RCS@bifdesign.com)  
Website: [BifDesign.com](http://BifDesign.com)

**Sheet No.**  
**L.1**

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**LIGHT POLE AND BASE**  
 NOT TO SCALE

JOB NAME: 38 HUBBARD ST  
 APEX LIGHTING SOLUTIONS  
 WORKPLANE/CALC PLANE: AT FINISH GRADE  
 MOUNTING HEIGHT: SEE LUMINAIRE SCHEDULE  
 APPS: LED  
 SALES: RT

Luminaire Schedule							
Qty	Label	Arrangement	Lumens	Input Watts	LLF	BUG Rating	Description
1	SL3	SINGLE	1796	28.66	0.850	B0-U0-G0	LUMEC DOS-24W16LED3K-LE3F-HS-DBA-1A-SM3D-9.5-COLTX / OPTICAL CENTER @ 9FT
8	SL4	SINGLE	1791	28.66	0.850	B0-U0-G0	LUMEC DOS-24W16LED3K-LE4F-HS-DBA-1A-SM3D-9.5-COLTX / OPTICAL CENTER @ 9FT
1	SL5	SINGLE	2042	28.6	0.850	B2-U0-G0	LUMEC DOS-24W16LED3K-LE5F-DBA-1A-SM3D-9.5-COLTX / OPTICAL CENTER @ 9FT
5	WP1	SINGLE	4806	43.7813	0.425	N.A.	WESTGATE WPX-21W-MCTP / WALL MOUNTED @ 8FT AFG TO BOF

Calculation Summary						
Label	Grid Height	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	0	0.11	8.4	0.0	N.A.	N.A.
PARKING LOT		0.69	4.3	0.0	N.A.	N.A.

**DUTTON ASSOCIATES, LLC**  
 LAND SURVEYORS AND CIVIL ENGINEERS  
 67 EASTERN BOULEVARD  
 GASTONBURY, CONNECTICUT 06033  
 TEL: 860-633-8401 FAX: 860-633-8851  
 EMAIL: INFO@DUTTONASSOCIATESLLC.COM

JOHN R. MARTUCCI, P.E. #19494

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**LIGHTING PLAN**  
**WAREHOUSE 38**  
**RESIDENTIAL CONVERSION**  
**38 HUBBARD STREET**  
**LAC GROUP, LLC JS ADVISORS, LLC APPLICANT**  
 GASTONBURY, CONNECTICUT

REVISIONS:  
 08/25/2021 - STORM DRAINS

DATE: 08/04/2021  
 SCALE: 1" = 20'  
 SHEET 10 of 18

**LIGHTING DESIGN BY:**  
**APEX**  
 LIGHTING SOLUTIONS  
 THE POINT WHERE ALL ASCENDING LINES CONVERGE

446 SMITH STREET  
 MIDDLETOWN, CT 06457  
 TELEPHONE 860.632.8766  
 FACSIMILE 860.632.8236  
 www.apexlgt.com

A-21-050-LTG  
 FILE:21050.DWG



**PERMANENT VEGETATIVE COVER:**

GENERAL:  
THE PURPOSE OF PERMANENT VEGETATIVE COVER IS TO STABILIZE EXPOSED SOIL, REDUCE DAMAGE FROM WIND & WATER EROSION AND ENHANCE THE ENVIRONMENT.

TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED ON ALL SOIL STOCKPILE AREAS WHICH WILL BE IN PLACE FOR MORE THAN 21 DAYS BETWEEN AUGUST 1 AND JUNE 15.

PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED AS SOON AS POSSIBLE ON AREAS WHERE CONSTRUCTION HAS BEEN COMPLETED.

PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED BETWEEN THE PRIME SEEDING DATES OF APRIL 15 THROUGH JUNE 15 AND AUGUST 15 THROUGH SEPTEMBER 15.

IF TEMPORARY VEGETATIVE COVER CANNOT BE ESTABLISHED BETWEEN THE PRIME SEEDING DATES, THE AREA SHALL BE STABILIZED TO THE EXTENT POSSIBLE WITH TEMPORARY MULCH UNTIL THE NEXT PRIME SEEDING DATE.

REFER TO THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL FOR ADDITIONAL INFORMATION.

**SITE PREPARATION:**

1. APPLICABLE EROSION AND SEDIMENTATION CONTROLS (SEDIMENT BARRIERS, ETC.) SHALL BE INSTALLED PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
2. REMOVE LOOSE ROCK AND LARGE STONES, DEBRIS, TRASH, STUMPS AND OTHER NOXIOUS MATERIALS.
3. UNLESS HYDROSEEDING, APPLY LIME PER SOIL TEST OR AT THE RATE OF 135 LB PER 1000 S.F.
4. UNLESS HYDROSEEDING, APPLY FERTILIZER PER SOIL TEST OR AT THE RATE OF 7.5 LB PER 1000 S.F. OF 10-10-10 FERTILIZER AND 7 LB PER 1000 S.F. OF 38-0-0 OF SLOW RELEASE NITROGEN FOR TOPDRESSING.
5. UNLESS HYDROSEEDING, LIME AND FERTILIZER SHALL BE WORKED INTO SOIL TO A DEPTH OF 4".

WHEN HYDROSEEDING, THE SOIL SHALL BE TILLED AS DESCRIBED BELOW. LIME AND FERTILIZER MAY BE APPLIED SIMULTANEOUSLY WITH THE SEED.

6. TILLAGE SHALL RESULT IN A UNIFORM CONTOUR, FREE FROM DEPRESSIONS AND WATER POCKETS.

**SEEDING:**

1. SELECT AN APPROPRIATE SEED MIXTURE FROM THE LIST BELOW. ALTERNATE SEED MIXES SHALL BE APPROVED BY THE ENVIRONMENTAL PLANNER. APPLY PROPER INOCULANT WHEN USING LEGUME SEED.
2. SEED SHALL BE APPLIED UNIFORMLY BY BROADCASTING, DRILLING OR HYDRAULIC APPLICATION.
3. UNLESS HYDROSEEDING OR "OULTIPLACKER" TYPE SEEDER IS USED, COVER THE SEEDS WITH NOT MORE THAN 1/4 INCH OF SOIL. THE SEEDBED SHALL BE FIRMED FOLLOWING SEEDING WITH A ROLLER OR LIGHT DRAG.
4. UNLESS HYDROSEEDING, APPLY MULCH AS REQUIRED IMMEDIATELY AFTER SEEDING.
5. SEEDING SHALL OCCUR BETWEEN APRIL 15 TO JUNE 15 AND / OR AUGUST 15 TO SEPTEMBER 15.
6. WHEN HYDROSEEDING, SEEDING RATES SHALL BE INCREASED BY 10 % (400% FOR LEGUMES).

FIBER MULCH SHALL BE USED WHEN HYDROSEEDING EXCEPT FOR CRITICAL AREAS WHICH SHALL BE MULCHED WITH STRAW MULCH.

**RECOMMENDED SEED MIXES:**

SHADY SITE:  
CREEPING RED FESCUE - 1.10 LB/1000 S.F.  
PERENNIAL RYEGRASS - 0.10 LB/1000 S.F.

SUNNY / PARTIALLY SUNNY SITE:  
KENTUCKY BLUEGRASS - 0.50 LB/1000 S.F.  
CREEPING RED FESCUE - 0.50 LB/1000 S.F.  
PERENNIAL RYEGRASS - 0.10 LB/1000 S.F.

DRY SITES:  
CREEPING RED FESCUE - 1.00 LB/1000 S.F.  
TALL FESCUE - 0.50 LB/1000 S.F.

**MULCHING:**

GENERAL:  
THE PURPOSE OF MULCHING IS TO PROTECT THE SOIL, CONTROL RUNOFF AND PROMOTE PLANT GROWTH. ALL AREAS WHICH HAVE BEEN TEMPORARILY OR PERMANENTLY SEEDING SHALL BE MULCHED IMMEDIATELY FOLLOWING SEEDING.

MULCH SHALL BE USED ON ALL DISTURBED AREAS FOR PROTECTION FROM EROSION WHICH WILL BE EXPOSED FOR MORE THAN 21 DAYS AND CANNOT BE SEEDING WITHIN THE PRIME SEEDING DATES.

MATERIALS:  
THE MATERIALS USED FOR MULCHING SHALL BE STRAW OR HAY FREE FROM COARSE MATTER AND WEEDS. WHEN HYDROSEEDING, MULCH SHALL BE APPLIED SIMULTANEOUSLY WITH THE SEED. MULCH MATERIAL AND APPLICATION RATE SHALL BE AS RECOMMENDED BY THE MANUFACTURER.

APPLICATION:  
MULCH SHALL BE APPLIED UNIFORMLY BY HAND OR BLOWER AT A RATE OF 90 LB/1000 S.F.

CRITICAL AREAS (SLOPES OVER 3 HORIZ. TO 1 VERT.) AND/OR AREAS IDENTIFIED ON THE PLAN SHALL BE MULCHED WITH HAY OR STRAW MULCH.

**ANCHORING:**

1. IF REQUIRED, MULCH SHALL BE ANCHORED IMMEDIATELY FOLLOWING APPLICATION.
2. STRAW AND HAY MULCH ON SLOPES IN EXCESS OF 5% SLOPE AND/OR AREAS AS DIRECTED BY THE ENVIRONMENTAL PLANNER SHALL BE ANCHORED IN ACCORDANCE WITH CHAPTER 7 OF THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, LATEST EDITION.

**TOPSOILING:**

MATERIALS:  
TOPSOIL SHALL BE FRIABLE AND LOAMY (LOAM, SANDY LOAM OR SILT LOAM) AND SHALL BE FREE OF DEBRIS, TRASH, STUMPS, ROCKS, ROOTS AND NOXIOUS WEEDS. IT SHALL GIVE EVIDENCE OF BEING ABLE TO SUPPORT HEALTHY VEGETATION AND CONTAIN NO SUBSTANCE THAT IS POTENTIALLY TOXIC TO PLANT GROWTH.

ALL TOPSOIL SHALL BE TESTED BY A RECOGNIZED LABORATORY AND SHALL MEET THE FOLLOWING REQUIREMENTS:  
ORGANIC MATTER: NOT LESS THAN 1.5% BY WEIGHT.  
PH RANGE: 6.0-7.5 (IF LESS THAN 6.0, LIME SHALL BE APPLIED AS REQUIRED).  
SOLUBLE SALTS: SHALL NOT EXCEED 500 ppm.

APPLICATION:  
APPLICABLE EROSION AND SEDIMENTATION CONTROLS (SEDIMENT BARRIERS, ETC.) SHALL BE IN PLACE AND IN GOOD CONDITION PRIOR TO PLACING TOPSOIL.

TOPSOIL SHALL NOT BE APPLIED WHILE IN A FROZEN OR MUDDY CONDITION.

TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED TO A MINIMUM COMPACTED DEPTH OF 4", SURFACE IRREGULARITIES SHALL BE CORRECTED AT TIME OF PLACEMENT TO AVOID DEPRESSIONS AND WATER POCKETS.

TOPSOIL SHALL BE COMPACTED ONLY ENOUGH TO ENSURE GOOD CONTACT WITH THE UNDERLYING SOIL AND TO OBTAIN A UNIFORM SEEDBED. OVER COMPACTING SHALL BE AVOIDED.

**TRENCH DE-WATERING:**

GENERAL:  
THE PURPOSE OF TRENCH DE-WATERING IS TO PERMIT THE INSTALLATION OF UNDERGROUND UTILITY STRUCTURES AND SERVICES IN A STABLE ENVIRONMENT. THE EROSION & SEDIMENTATION CONCERN IS THE OUTFLOW FROM THE DE-WATERING OPERATION.

**CONTROL METHOD:**

IF A SMALL AMOUNT OF WATER IS ENCOUNTERED, THE OUTFLOW SHALL BE PLACED SUCH THAT THE WATER IS ENCOURAGED TO DISPERSE OVER UNDISTURBED EXISTING VEGETATION, UPSTREAM OF A SEDIMENT BARRIER.

IF LARGE AMOUNTS OF DE-WATERING IS REQUIRED, THE PUMP OUTLET SHALL BE DIRECTED INTO A 6" DIAMETER PERFORATED PIPE 50 FEET LONG (MIN.), LAID LEVEL ON EXISTING GRADE, WHERE THE WATER WILL FLOW ONTO UNDISTURBED EXISTING VEGETATION UPSTREAM OF A SEDIMENT BARRIER.

**TEMPORARY VEGETATIVE COVER:**

GENERAL:  
THE PURPOSE OF TEMPORARY VEGETATIVE COVER IS TO STABILIZE EXPOSED SOIL AND REDUCE WIND AND WATER EROSION.

TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED ON ALL SOIL STOCKPILE AREAS WHICH WILL BE IN PLACE FOR MORE THAN 21 DAYS BETWEEN AUGUST 1 AND JUNE 15.

TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED ON AREAS WHERE CONSTRUCTION HAS BEEN COMPLETED AND PERMANENT STABILIZATION WILL NOT TAKE PLACE WITHIN 21 DAYS BETWEEN AUGUST 1 AND JUNE 15.

IN ALL CASES, PERMANENT STABILIZATION SHALL BE COMPLETED WITHIN 12 MONTHS.

IF TEMPORARY VEGETATIVE COVER CANNOT BE ESTABLISHED BETWEEN THE PRIME SEEDING DATES INDICATED BELOW, THE AREA SHALL BE STABILIZED TO THE EXTENT POSSIBLE WITH TEMPORARY MULCH.

REFER TO THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, LATEST EDITION, FOR ADDITIONAL INFORMATION.

**SITE PREPARATION:**

1. APPLICABLE EROSION AND SEDIMENTATION CONTROLS (SEDIMENT BARRIERS, ETC.) SHALL BE INSTALLED PRIOR TO ESTABLISHMENT OF TEMPORARY VEGETATIVE COVER.
2. REMOVE LOOSE ROCK AND LARGE STONES, DEBRIS, TRASH, STUMPS AND OTHER NOXIOUS MATERIALS.
3. APPLY LIME PER SOIL TEST OR AT THE RATE OF 50 LB PER 1000 S.F.
4. APPLY FERTILIZER PER SOIL TEST OR AT THE RATE OF 7 LB PER 1000 S.F. OF 10-10-10 FERTILIZER.
5. UNLESS HYDROSEEDING, LIME AND FERTILIZER SHALL BE WORKED INTO SOIL TO A DEPTH OF 4".
6. TILLAGE SHALL RESULT IN A UNIFORM CONTOUR, FREE FROM DEPRESSIONS AND WATER POCKETS.

**SEEDING:**

1. APPLY ANNUAL RYEGRASS (OR APPROVED EQUAL) AT A RATE OF 1 LB PER 1000 S.F.
2. SEED SHALL BE APPLIED UNIFORMLY BY BROADCASTING, DRILLING OR HYDRAULIC APPLICATION.
3. UNLESS HYDROSEEDING, SEEDS SHALL BE COVERED WITH NOT MORE THAN 1/4 INCH OF SOIL.
4. APPLY MULCH AS REQUIRED IMMEDIATELY AFTER SEEDING.
5. SEEDING SHALL OCCUR BETWEEN APRIL 1 TO JUNE 15 AND / OR AUGUST 1 TO OCTOBER 1.

**GENERAL E & S NOTES:**

ALL EROSION AND SEDIMENTATION CONTROL METHODS SHALL BE IN ACCORDANCE WITH THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENTATION CONTROL, LATEST EDITION UNLESS SPECIFICALLY NOTED OTHERWISE ON THESE PLANS.

EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED WITHIN THE PROPER SEQUENCE DURING CONSTRUCTION (I.E. SEDIMENT BARRIERS INSTALLED DOWNSLOPE OF AREAS TO BE DISTURBED PRIOR TO DISTURBANCE).

ALL DISTURBED AREAS SHALL BE COVERED WITH A MINIMUM OF 4 INCHES OF TOPSOIL, SEEDING AND MULCHED IMMEDIATELY UPON COMPLETION OF FINAL GRADING.

ALL SOIL STOCKPILE AREAS SHALL BE ENCRUSTED WITH SEDIMENT BARRIERS. TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED ON ANY STOCKPILE AREA WHICH IS TO REMAIN MORE THAN 21 DAYS.

THE CONTRACTOR SHALL KEEP A SUPPLY OF EROSION AND SEDIMENTATION CONTROL TOOLS AND SUPPLIES ON SITE (SEDIMENT BARRIER, STONE, SHOVELS, ETC.).

THE CONTRACTOR SHALL INSPECT THE EROSION AND SEDIMENTATION CONTROLS WEEKLY AND PRIOR TO A PREDICTED RAIN EVENT. THE EROSION AND SEDIMENTATION CONTROLS SHALL BE REPAIRED OR MAINTAINED AS REQUIRED.

THE CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED TO PREVENT WIND EROSION. THE METHOD USED SHALL BE APPROVED BY THE ENVIRONMENTAL PLANNER.

EROSION AND SEDIMENTATION CONTROL MEASURES ARE SUBJECT TO REVIEW AND APPROVAL BY THE TOWNS ENVIRONMENTAL PLANNER.

ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED AS DIRECTED BY THE TOWNS ENVIRONMENTAL PLANNER TO ADDRESS FIELD CONDITIONS.

SEE THE ATTACHED EROSION CONTROL NARRATIVE, CONSTRUCTION SEQUENCE, CONSTRUCTION SCHEDULE FOR ADDITIONAL INFORMATION.

**EROSION CONTROL NARRATIVE:**

SITE / PROJECT DESCRIPTION: AREA=52,690 S.F. = 1.2096 AC.  
AREA OF DISTURBANCE: 65,000 S.F.± = 1.5 AC. (INCLUDES THE STORM OUTFALL)  
TOPOGRAPHY: FLAT

SOILS: UDORTHENTS AND WINDSOR SANDY LOAM  
SITE CONDITIONS: DEVELOPED AS A WAREHOUSE WITH BIT. CONC. AND GRAVEL PARKING DRAINAGE. GENERALLY THE SITE FLOWS FROM THE NORTHEAST TO THE SOUTHWEST, THE SITE DOES NOT CONTAIN ANY EXISTING STORMWATER PIPE SYSTEM. DRYWELL LIKELY EXIST BUT WERE NOT FOUND.

PROPOSAL: DEMOLITION OF MANY ACCESSORY STRUCTURES (ATTACHED & DETACHED) TO THE MAIN WAREHOUSE AND CONSTRUCTION OF A NEW PAVEMENT PARKING AREA.  
INSTALLATION OF NEW UTILITY SERVICES WHERE REQUIRED. CONSTRUCTION OF A NEW STORMWATER DRAINAGE SYSTEM. CONSTRUCTION OR EXTENSIVE GROUNDWATER INFILTRATION SYSTEMS. INSTALLATION OF NEW EXTENSIVE LANDSCAPING.

**POTENTIAL E. & S. PROBLEMS / MITIGATION**

THE FOLLOWING IS A DISCUSSION OF EROSION AND SEDIMENTATION CONCERNS AND THE SUGGESTED METHODS OF MITIGATION AND CONTROL. ALL EROSION AND SEDIMENTATION CONTROL METHODS AND MATERIALS ARE SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN OF GLASTONBURY. ADDITIONAL EROSION AND SEDIMENTATION CONTROLS MAY BE REQUIRED TO ADDRESS FIELD CONDITIONS.

1) SEDIMENT ENTERING THE EXISTING STORM SEWERS.

THE PLAN CALLS FOR ALL STORM SEWER INLET SUBJECT TO RUNOFF FROM THE DISTURBED AREA HAVE ITS INLET PROTECTED WITH FILTER FABRIC "SILT SACKS". THE "SILT SACK" PROTECTION SHOULD BE CHECKED AT REGULAR INTERVALS, THE ACCUMULATED SEDIMENT REMOVED AND THE FILTER FABRIC REPLACED TO AVOID EXCESSIVE PONDING AT THE INLETS.

2) WIND EROSION.

BECAUSE THE SITE IS SMALL AND SOMEWHAT PROTECTED BY TREES, WIND EROSION SHOULD NOT BE A MAJOR PROBLEM. IF WIND EROSION DOES OCCUR, THE SITE SHOULD BE WATERED OR STABILIZED BY OTHER MEANS TO REDUCE THE POTENTIAL FOR WIND EROSION.

3) INSPECTION AND MAINTENANCE OF E. & S. CONTROLS.

INSPECTION AND PROPER MAINTENANCE OF ALL EROSION AND SEDIMENTATION CONTROL SYSTEMS IS CRITICAL TO THE ULTIMATE SUCCESS OF THE PROJECT. THE PLAN REQUIRES THE SITE CONTRACTOR TO INSPECT AND MAINTAIN THE EROSION AND SEDIMENTATION CONTROL SYSTEMS ON AT LEAST A WEEKLY BASIS AND PRIOR TO A PREDICTED RAIN EVENT.

4) EFFICIENT CONSTRUCTION AND TIMING.

TO MINIMIZE THE EROSION AND SEDIMENTATION CONTROL PROBLEMS, THE SITE CONTRACTOR SHOULD CAREFULLY PLAN THEIR CONSTRUCTION ACTIVITIES TO MINIMIZE THE PERIOD OF TIME THE SITE IS EXPOSED TO EROSION FORCES AND TIME THE STABILIZATION WITH PRIME SEEDING DATES.

**CONSTRUCTION NOTES:**

THIS SITE WAS DEVELOPED MANY YEARS AGO, OTHER UNDERGROUND UTILITIES, PIPES, FACILITIES OR STRUCTURES MAY BE ENCOUNTERED DURING CONSTRUCTION. IF ANY UNKNOWN ITEM IS ENCOUNTERED THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY SO THE ISSUE CAN BE ADDRESSED.

UNDERGROUND UTILITY STRUCTURE FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING AND INFORMATION PROVIDED BY OTHERS. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES AND STRUCTURES MAY EXIST IN THE AREA, THE EXISTENCE OF WHICH IS UNKNOWN TO DUTTON ASSOCIATES, LLC. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION.

ALL SCRAP METAL, TIRES AND OTHER DEBRIS SHALL BE REMOVED FROM THE SITE AT TIME OF DEMOLITION OF THE EXISTING FOUNDATIONS AND DISPOSED OF AT A SUITABLE LOCATION IN ACCORDANCE WITH ALL LAWS AND REGULATIONS.

TREE STUMPS, TRASH OR DEBRIS NOT BE BURIED ON SITE.

PRIOR TO CONSTRUCTION, ALL EXISTING STREET LINE MONUMENTATION SHALL BE STAKED AND FLAGGED. CARE SHOULD BE TAKEN DURING CONSTRUCTION NOT TO DAMAGE THE MONUMENTS. IF MONUMENTS ARE DAMAGED, THE CONTRACTOR SHALL REPLACE THE MONUMENTS.

PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES AT CROSSING AND CONNECTION POINTS. ANY CONFLICT OR DISCREPANCY WITH THE PLANS SHALL BE REPORTED TO THE ENGINEER SO THAT ADJUSTMENTS TO THE DESIGN CAN BE MADE.

CALL BEFORE YOU DIG: PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL REQUEST AN UNDERGROUND UTILITY MARK OUT BY CALLING THE CONNECTICUT UNDERGROUND UTILITY PROTECTION PLAN (PHONE 1-800-922-4455).

PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL COORDINATE CONSTRUCTION WITH OUTSIDE UTILITY COMPANIES PROVIDING SERVICE TO THE SITE. CONFLICTS WITH SUCH UTILITIES SHALL BE REPORTED TO THE ENGINEER SO THAT ADJUSTMENTS TO THE DESIGN CAN BE MADE.

THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS AND ARRANGE FOR ALL NECESSARY INSPECTIONS FOR THE WORK TO BE PERFORMED.

THE CONTRACTOR IS RESPONSIBLE FOR PAYMENT OF ALL PERMIT AND/OR INSPECTION FEES.

THE CONDITIONS OF APPROVAL ARE A PART OF THIS PLAN, THE CONTRACTOR SHALL CONFORM TO ALL APPLICABLE CONDITIONS.

CONSTRUCTION WASTE AND/OR DEBRIS SHALL BE DISPOSED OF ONLY AT APPROVED LOCATIONS AND IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL LAWS AND/OR REGULATIONS.

CONSTRUCTION METHODS AND MATERIALS SHALL BE IN ACCORDANCE WITH THE NOTES AND DETAILS ON THESE PLANS, IF NOT ON SAID PLAN THE TOWN OR CITY STANDARD DETAILS AND SPECIFICATIONS AND IF NOT INCLUDED IN ABOVE, THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES AND INCIDENTAL CONSTRUCTION, FORM 816 AS APPLICABLE.

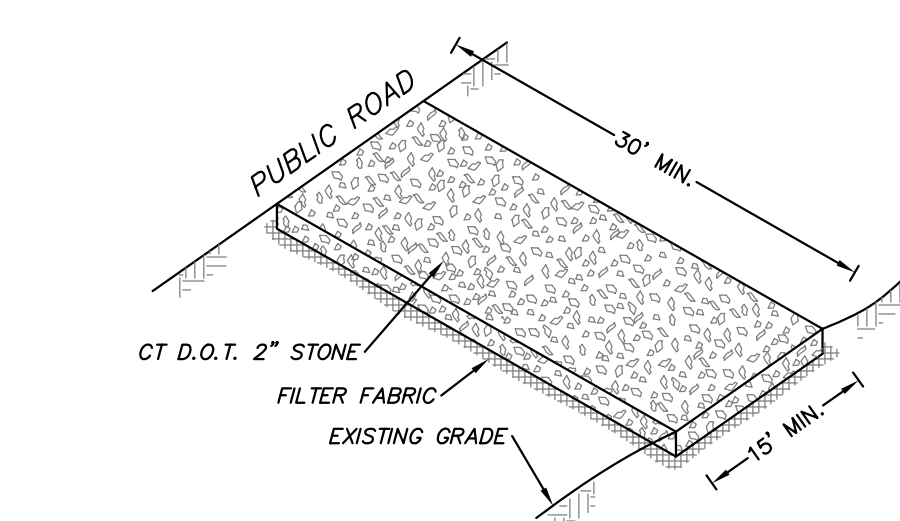
THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING STRUCTURES, SERVICES AND/OR PROPERTY CAUSED BY HIM DURING CONSTRUCTION. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER OF THE DAMAGED PROPERTY AT THE CONTRACTORS EXPENSE.

**SUGGESTED CONSTRUCTION SEQUENCE & SCHEDULE**

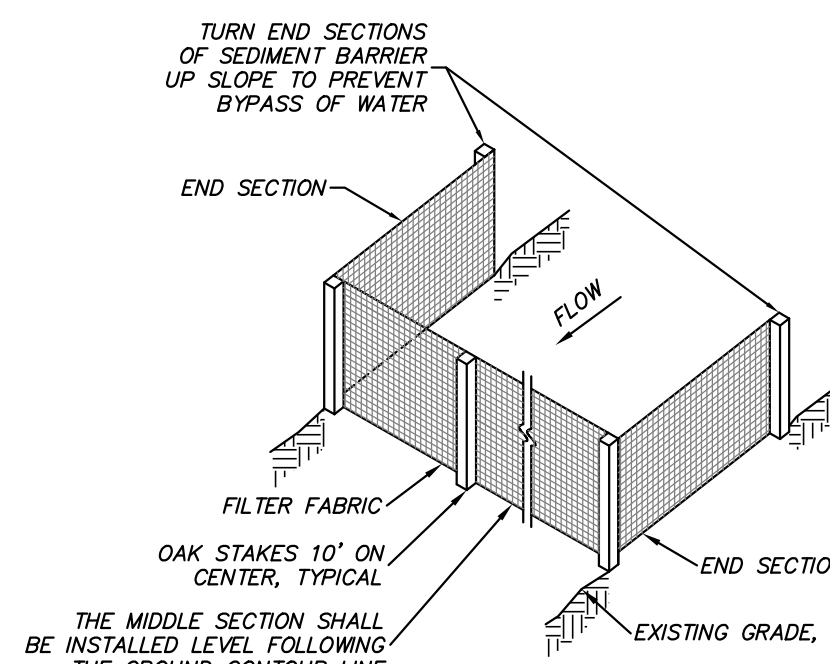
OPERATION / WEEKS	1	2	3	4	5	6	7	8	9	10	11	12
E & S CONTROLS												
SITE DEMOLITION, STRIP TOPSOIL												
REMOVE CONTAMINATED SOIL												
ROUGH GRADING												
SITE UTILITIES / INFILTRATION SYSTEMS												
PATIOS												
LIGHTING												
CURBING & PEROUS CONCRETE												
FINAL GRADING / PAVEMENT BASE												
PAVING												
SPREAD TOPSOIL												
LANDSCAPING												
EXTERIOR BUILDING RENOVATIONS												
WEEK ENDING	WEEK OF JUNE 2	WEEK OF JUNE 9	WEEK OF JUNE 16	WEEK OF JUNE 23	WEEK OF JUNE 30	WEEK OF JULY 7	WEEK OF JULY 14	WEEK OF JULY 21	WEEK OF JULY 28	WEEK OF AUG. 4	WEEK OF AUG. 11	WEEK OF AUG. 18

**CONSTRUCTION SEQUENCE:**

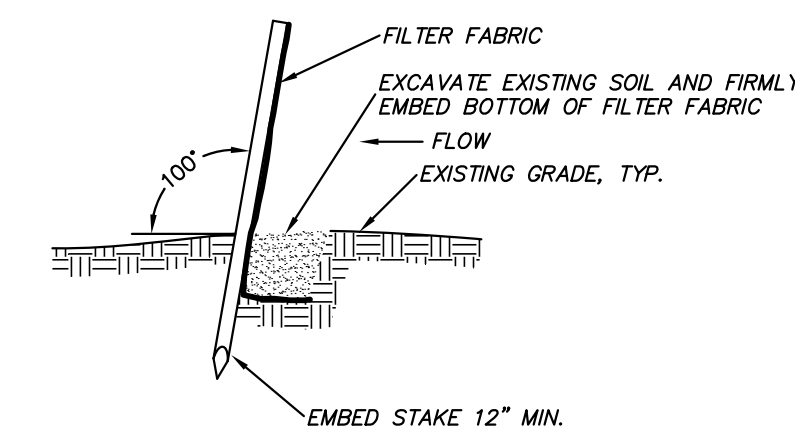
1. INSTALL APPLICABLE EROSION AND SEDIMENTATION CONTROLS.
2. SITE DEMOLITION / STRIP & STOCKPILE TOPSOIL.
3. REMOVAL AND DISPOSAL OF CONTAMINATED SOIL.
4. START EXTERIOR BUILDING RENOVATIONS.
5. ROUGH GRADE SITE, PREPARE FOR UTILITY INSTALLATION.
6. INSTALL SITE UTILITIES, ELECTRIC, GAS, & STORM DRAINS AND INFILTRATION SYSTEMS.
7. INSTALL PATIO RETAINING WALLS AND PAVERS.
8. INSTALL LIGHT BASES AND WIRING.
9. INSTALL PRECAST CONCRETE CURB, SIDEWALKS, REFUSE AREA SLAB AND PEROUS PAVEMENT SECTIONS.
10. FINE GRADE SITE AND INSTALL PAVEMENT BASE.
11. PAVE SITE.
12. SPREAD TOPSOIL.
14. INSTALL LANDSCAPING AND CONDUCT FINAL SITE CLEAN-UP.



**CONSTRUCTION ENTRANCE**  
NOT TO SCALE



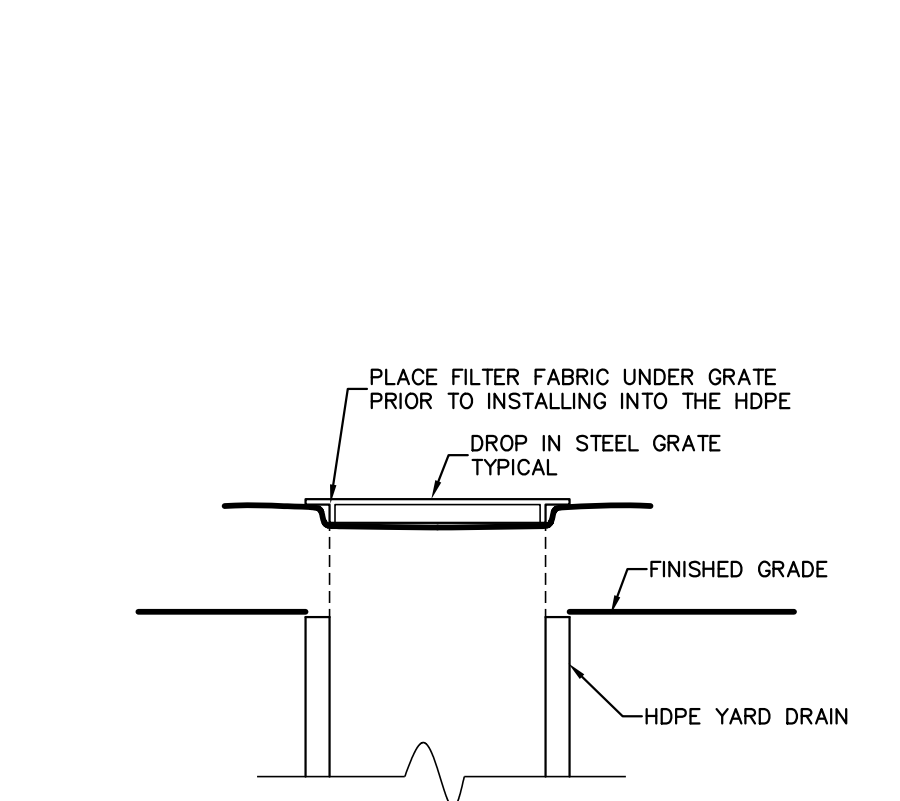
**SEDIMENT BARRIER**  
NOT TO SCALE



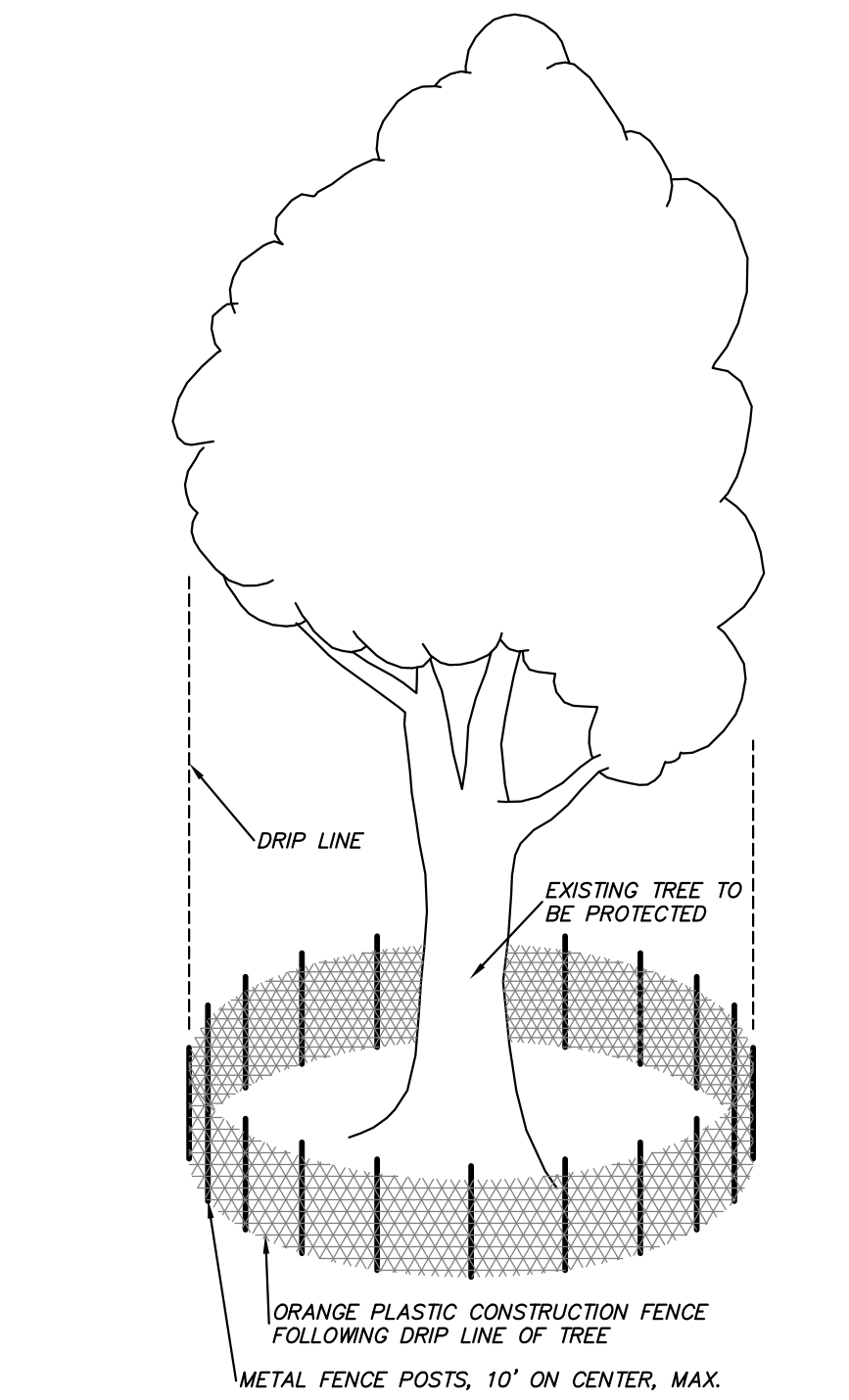
**TEST PIT DATA**  
TESTPITS CONDUCTED ON 10/7/2013 BY DUTTON ASSOCIATES, LLC.

NUMBER:	TP-1	DATE:	10/7/2013	WITNESS:	J.D.	LEDGE:	NONE	DEPTH:	82"	WATER:	NONE	SOIL PROFILE:	MOTTLING: NONE
0'-7"	TOPSOIL												
7"-18"	DARK BROWN LOAMY SAND												
18"-24"	ORIGINAL TOPSOIL												
24"-48"	ORANGE/BROWN LOAMY SAND												
48"-82"	GREY MEDIUM SAND												
TP EL=36.0													

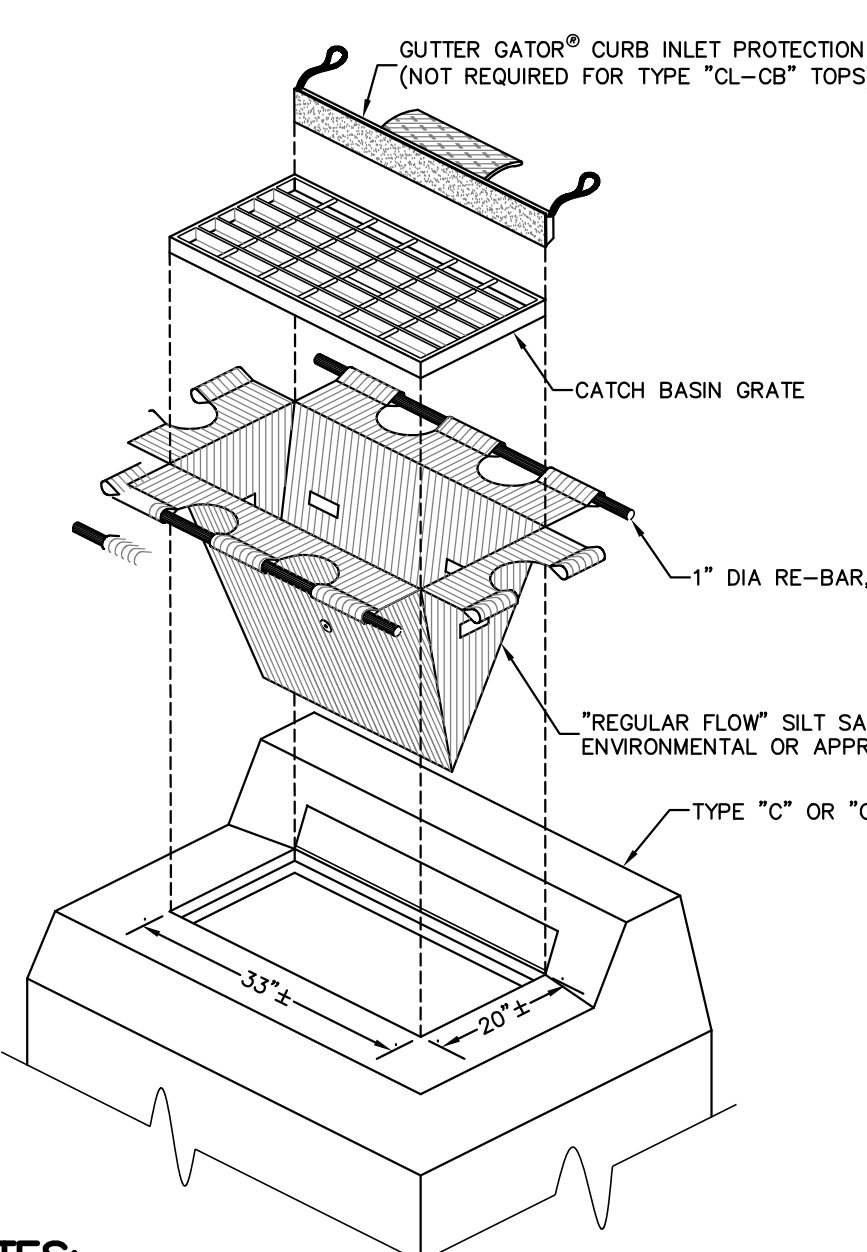
NUMBER:	TP-3	DATE:	10/7/2013	WITNESS:	J.D.	LEDGE:	NONE	DEPTH:	72"	WATER:	NONE	SOIL PROFILE:	MOTTLING: @ 57"
0'-18"	FILL/TOPSOIL ORANGE/BROWN LOAMY SAND												
18"-28"	ORIGINAL TOPSOIL												
28"-52"	ORANGE/BROWN LOAMY SAND												
52"-72"	REDDISH/BROWN LOAMY SAND												
(4" TILE PIPE, 2 FT. DOWN, FOUND SOUTH END OF PIT)													
TP EL=32.75													
MOTTLING EL=28.0													



**SEDIMENT CONTROL HDPE YARD DRAINS**  
NOT TO SCALE



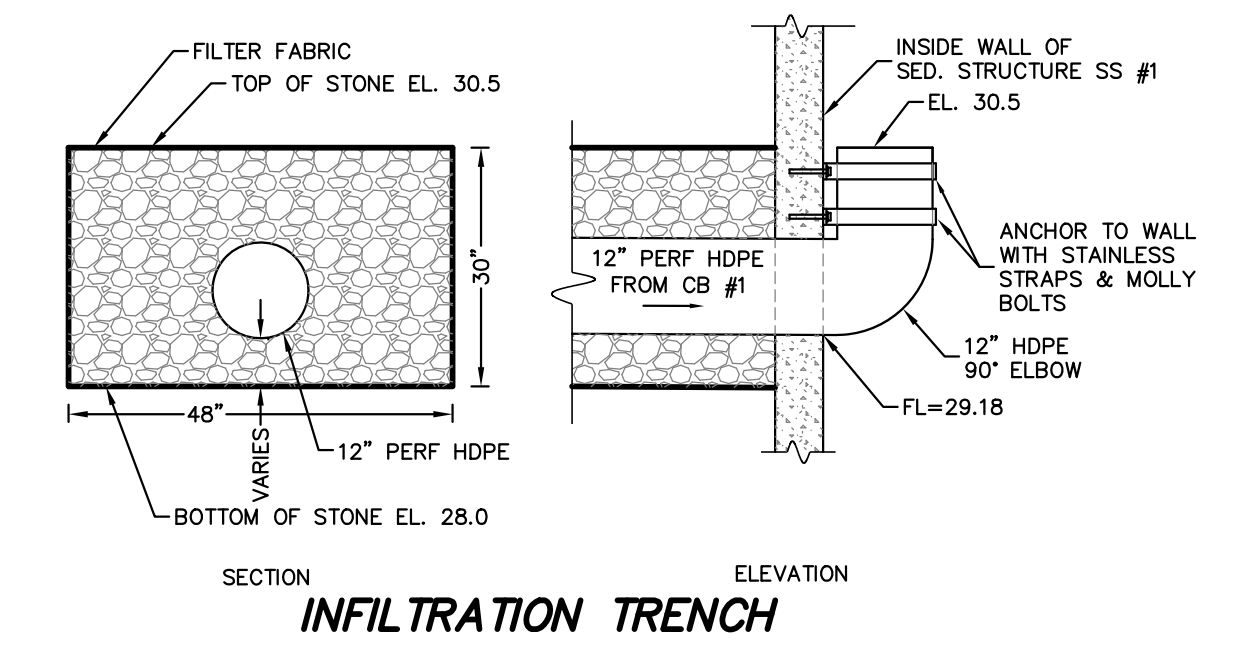
**TREE PROTECTION**  
NOT TO SCALE



**STORM INLET SEDIMENT CONTROL**  
NOT TO SCALE

**UNDERGROUND UTILITY NOTE:**  
UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROLE TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO THE UNDERSIGNED. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455 OR 811.

**INSPECTION NOTE:**  
THE CONTRACTOR SHALL NOTIFY THE TOWN OF GLASTONBURY ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, SANITARY SEWER INSTALLATION, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, OR ANY EXCAVATION IN THE TOWN RIGHT-OF-WAY TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:00 AM - 4:30 PM MONDAY THROUGH FRIDAY AT (860)-652-7735.



**15" HDPE OUTLET SS #1**  
NOT TO SCALE

**DUTTON ASSOCIATES, LLC**  
LAND SURVEYORS AND CIVIL ENGINEERS  
67 EASTERN BOULEVARD  
GLASTONBURY, CONNECTICUT 06033  
TEL: 860-633-8401 FAX: 860-633-8981  
EMAIL: INFO@DUTTONASSOCIATESLLC.COM

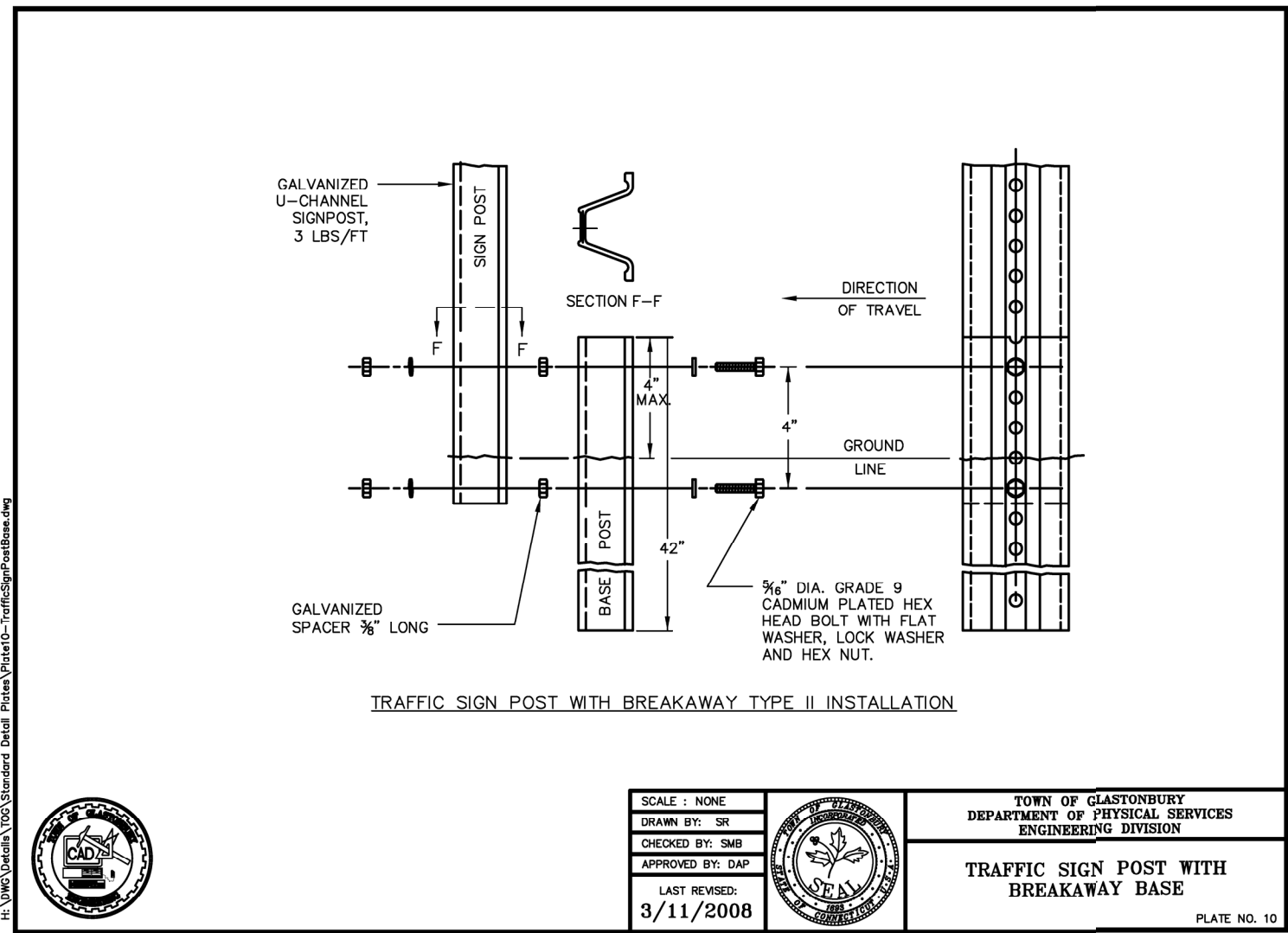
JOHN R. MARTUCCI, P.E. #19494

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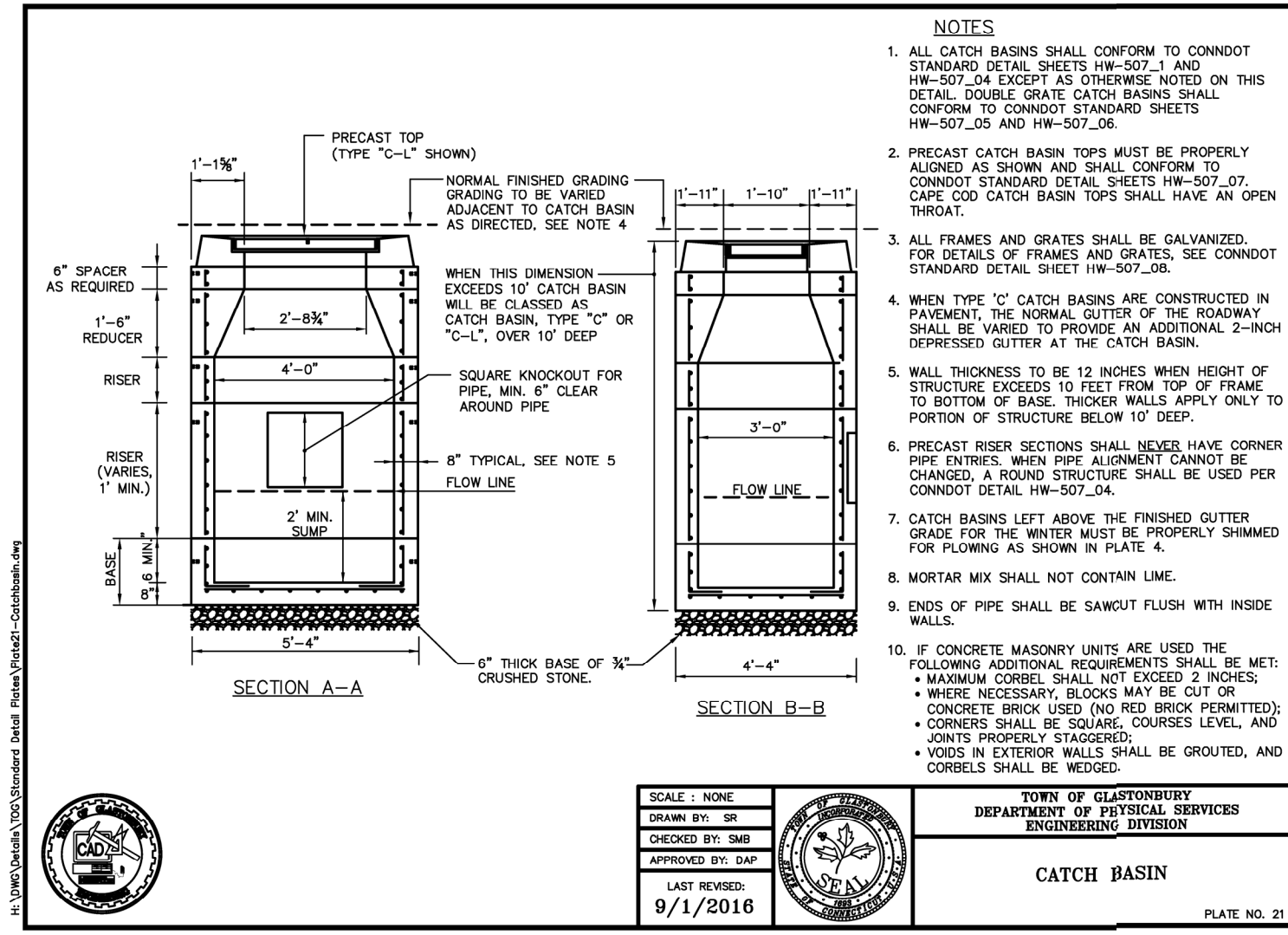
**GENERAL NOTES AND DETAILS**  
**WAREHOUSE 38**  
**RESIDENTIAL CONVERSION**  
**38 HUBBARD STREET**  
**LAC GROUP, LLC JS ADVISORS, LLC APPLICANT**  
GLASTONBURY, CONNECTICUT

REVISIONS:  
08/28/2021 - STORM DRAINS

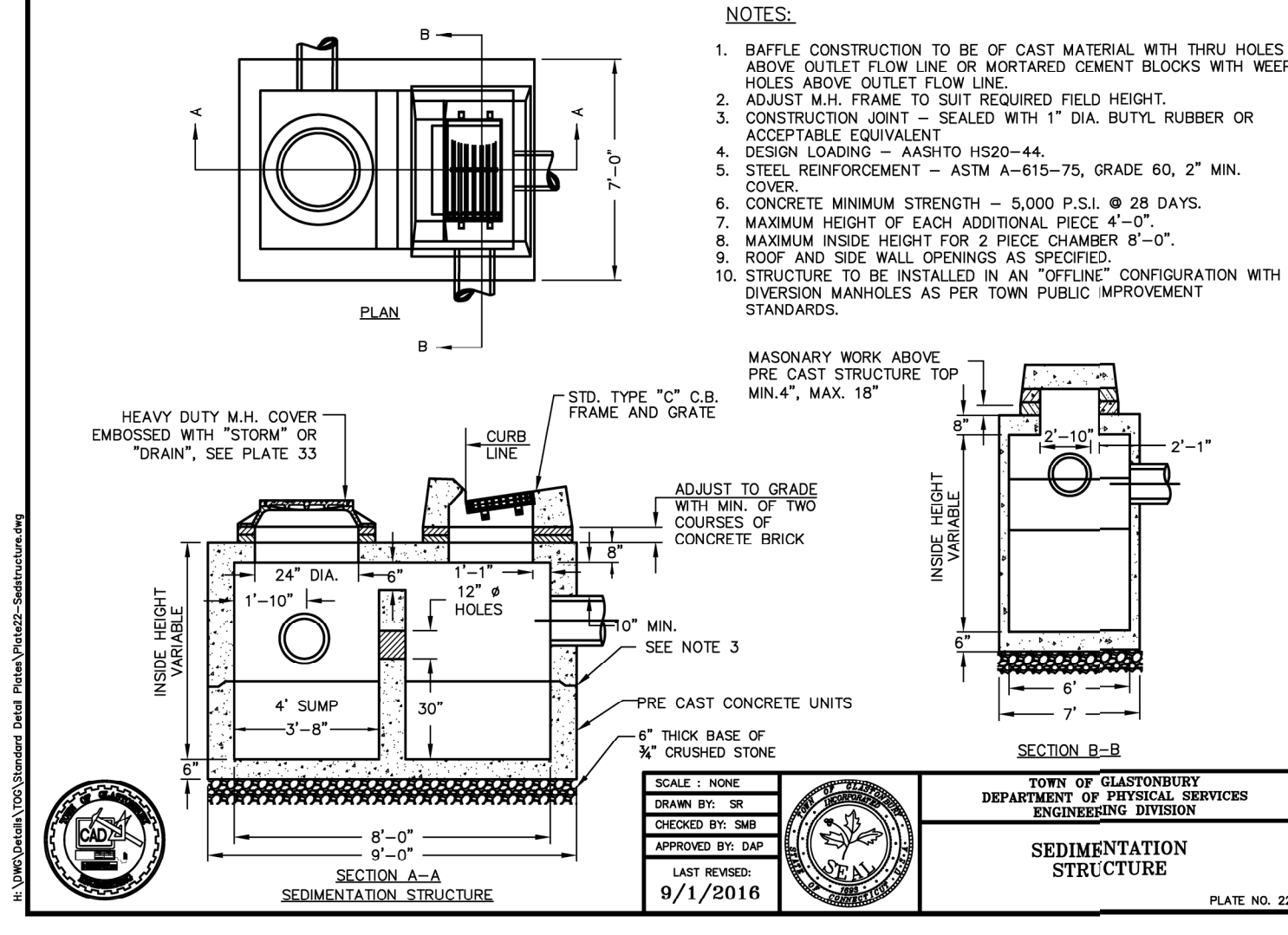
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SCALE: AS SHOWN  
SHEET 12 of 16  
**A-21-050-D1**  
FILE: 21050.DWG



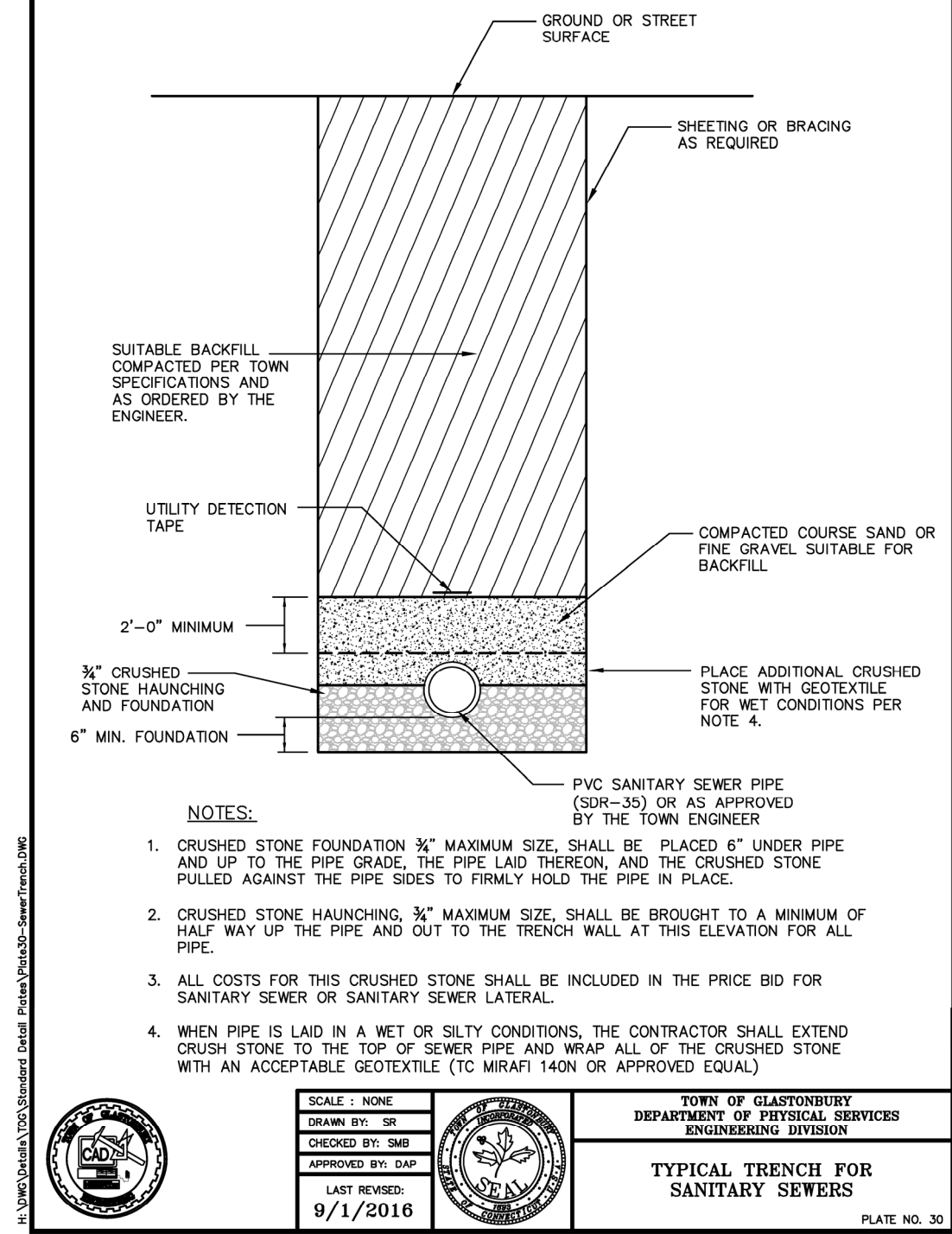
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DRAWN BY: SR	
CHECKED BY: SRB	
APPROVED BY: DAP	
LAST REVISED: 3/11/2008	
	TRAFFIC SIGN POST WITH BREAKAWAY BASE
	PLATE NO. 10



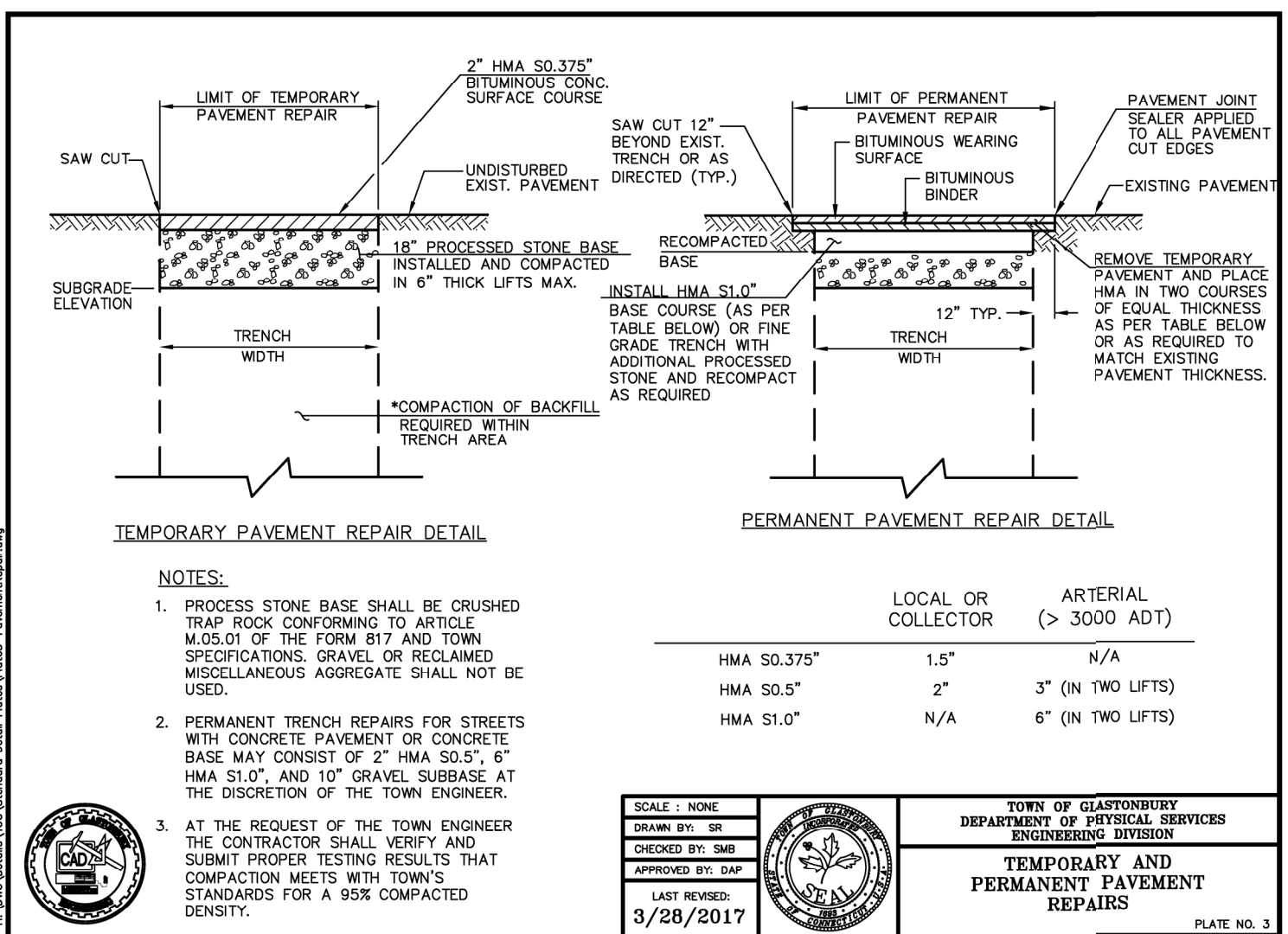
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LAST REVISED: 9/1/2016	
	CATCH BASIN
	PLATE NO. 21



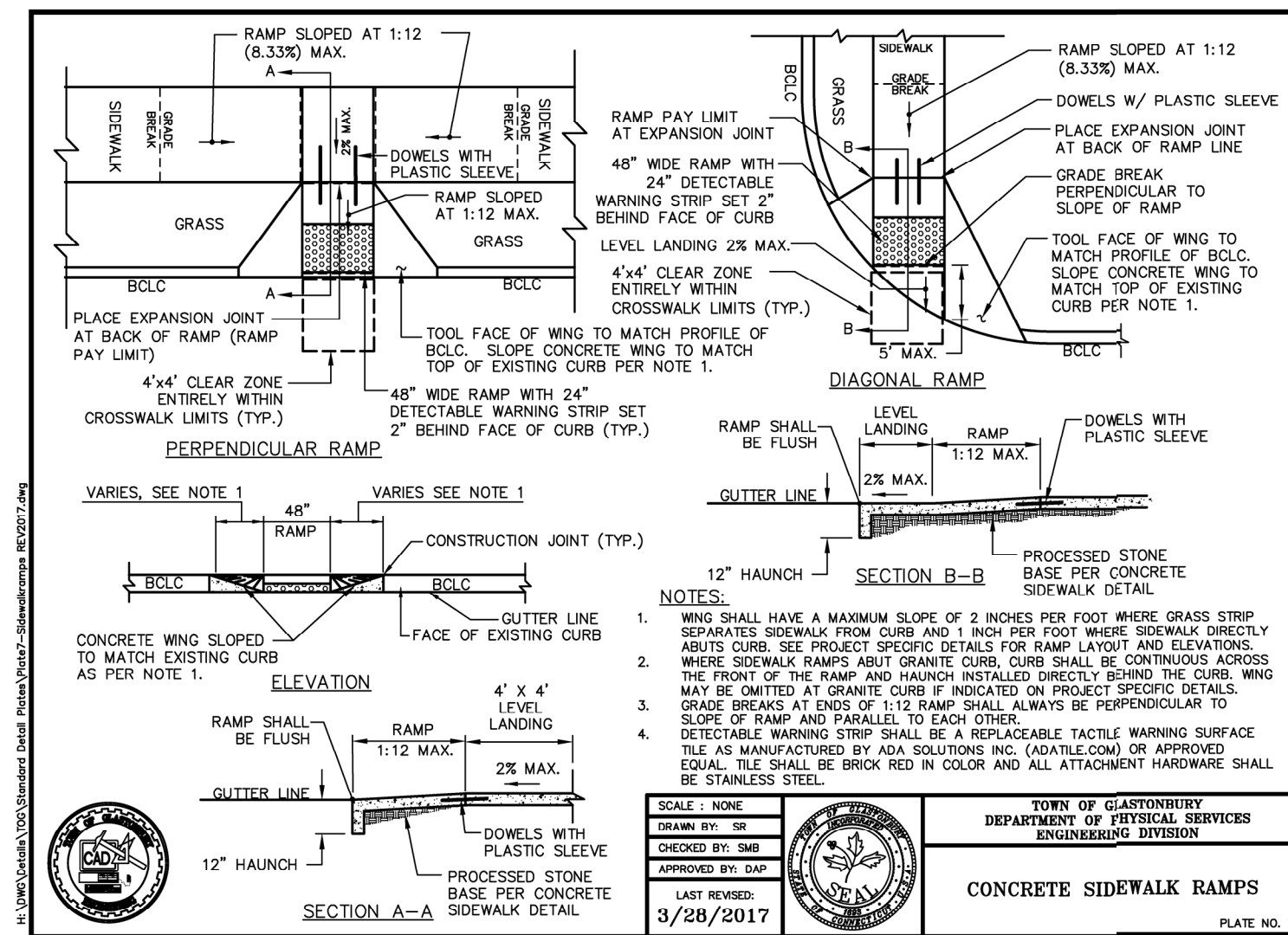
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APPROVED BY: DAP	
LAST REVISED: 9/1/2016	
	SEDIMENTATION STRUCTURE
	PLATE NO. 22



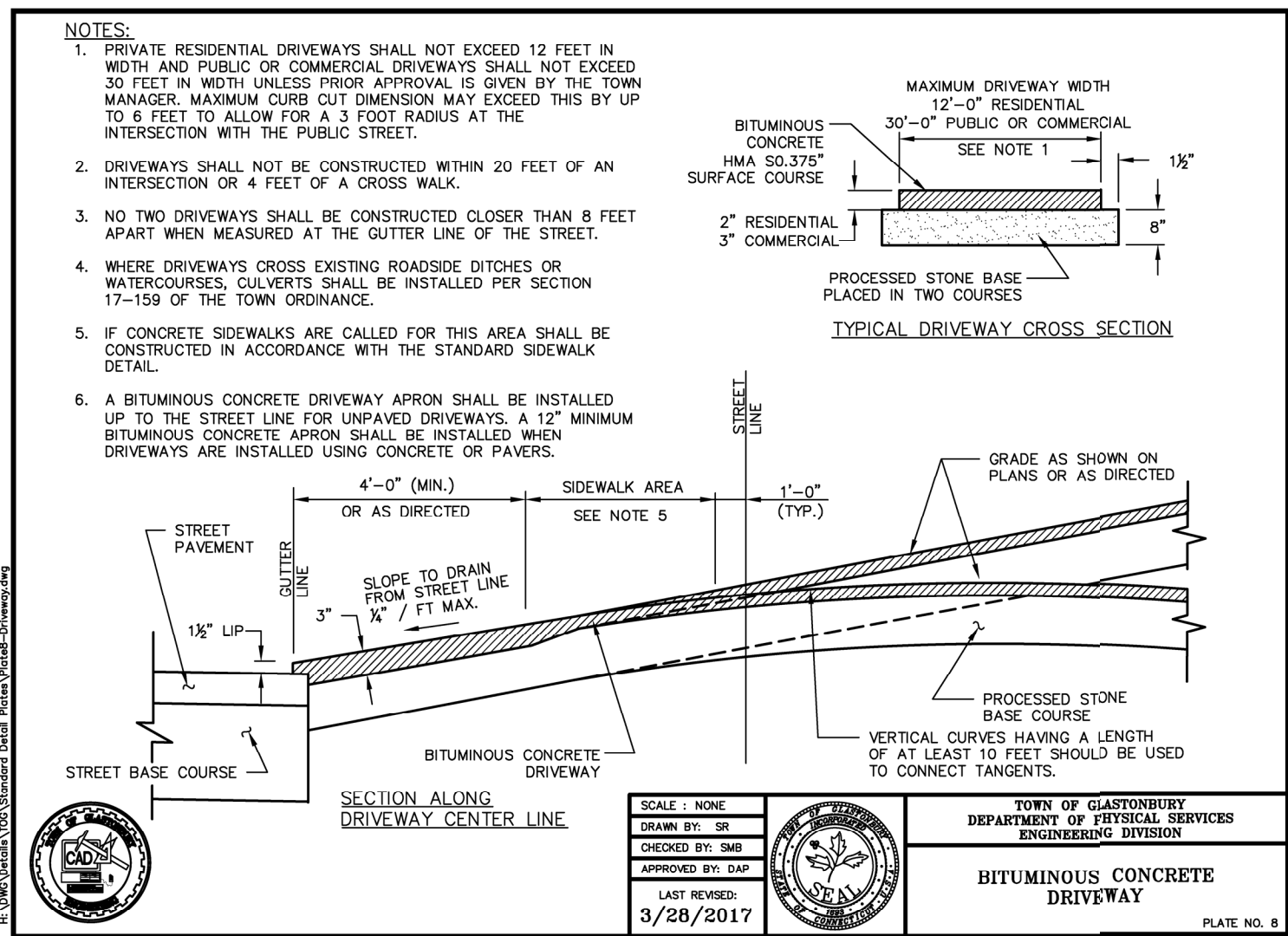
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DRAWN BY: SR	
CHECKED BY: SRB	
APPROVED BY: DAP	
LAST REVISED: 9/1/2016	
	TYPICAL TRENCH FOR SANITARY SEWERS
	PLATE NO. 20



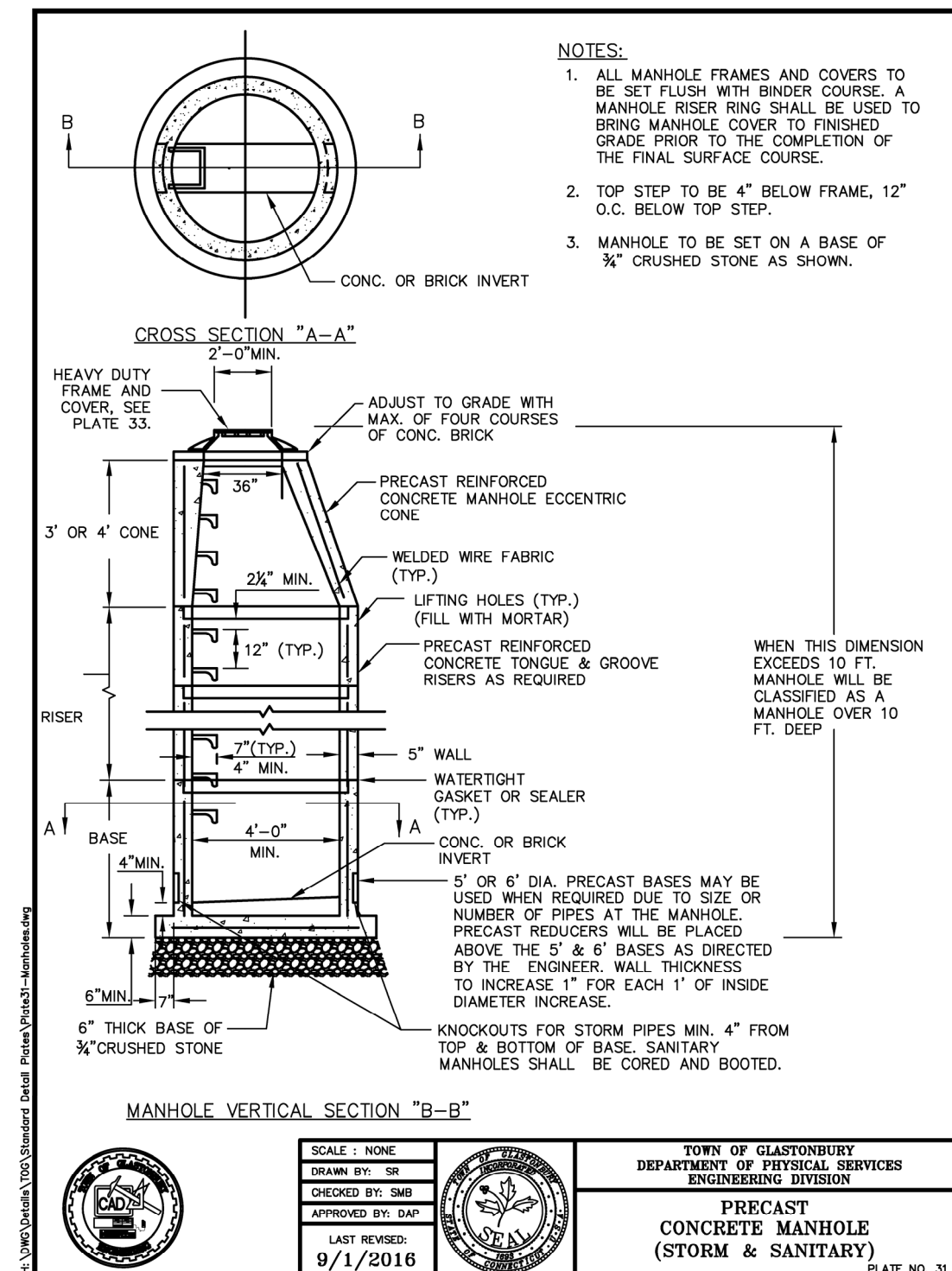
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DRAWN BY: SR	
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LAST REVISED: 3/28/2017	
	TEMPORARY AND PERMANENT PAVEMENT REPAIRS
	PLATE NO. 3



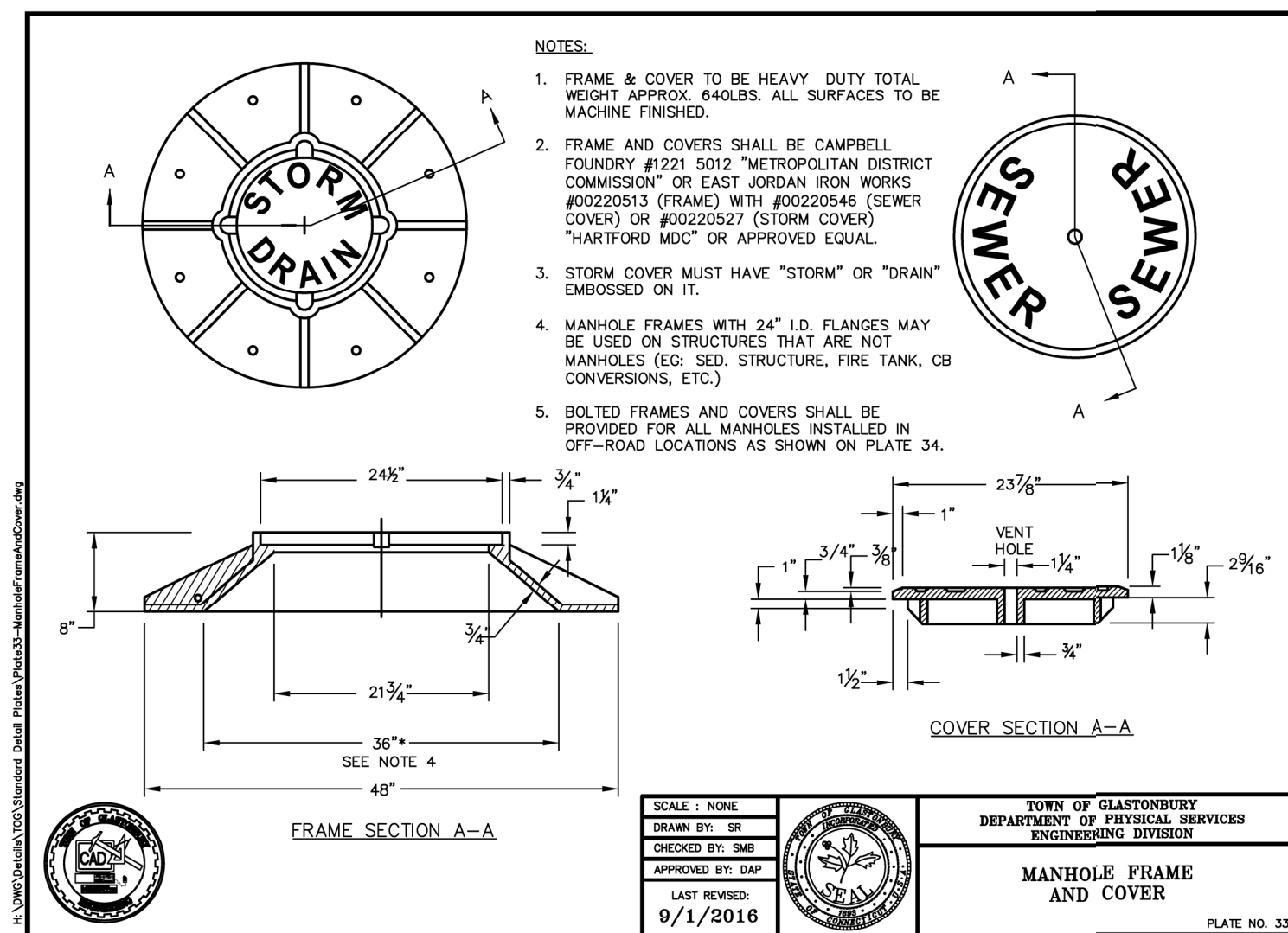
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DRAWN BY: SR	
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APPROVED BY: DAP	
LAST REVISED: 3/28/2017	
	CONCRETE SIDEWALK RAMP
	PLATE NO. 7



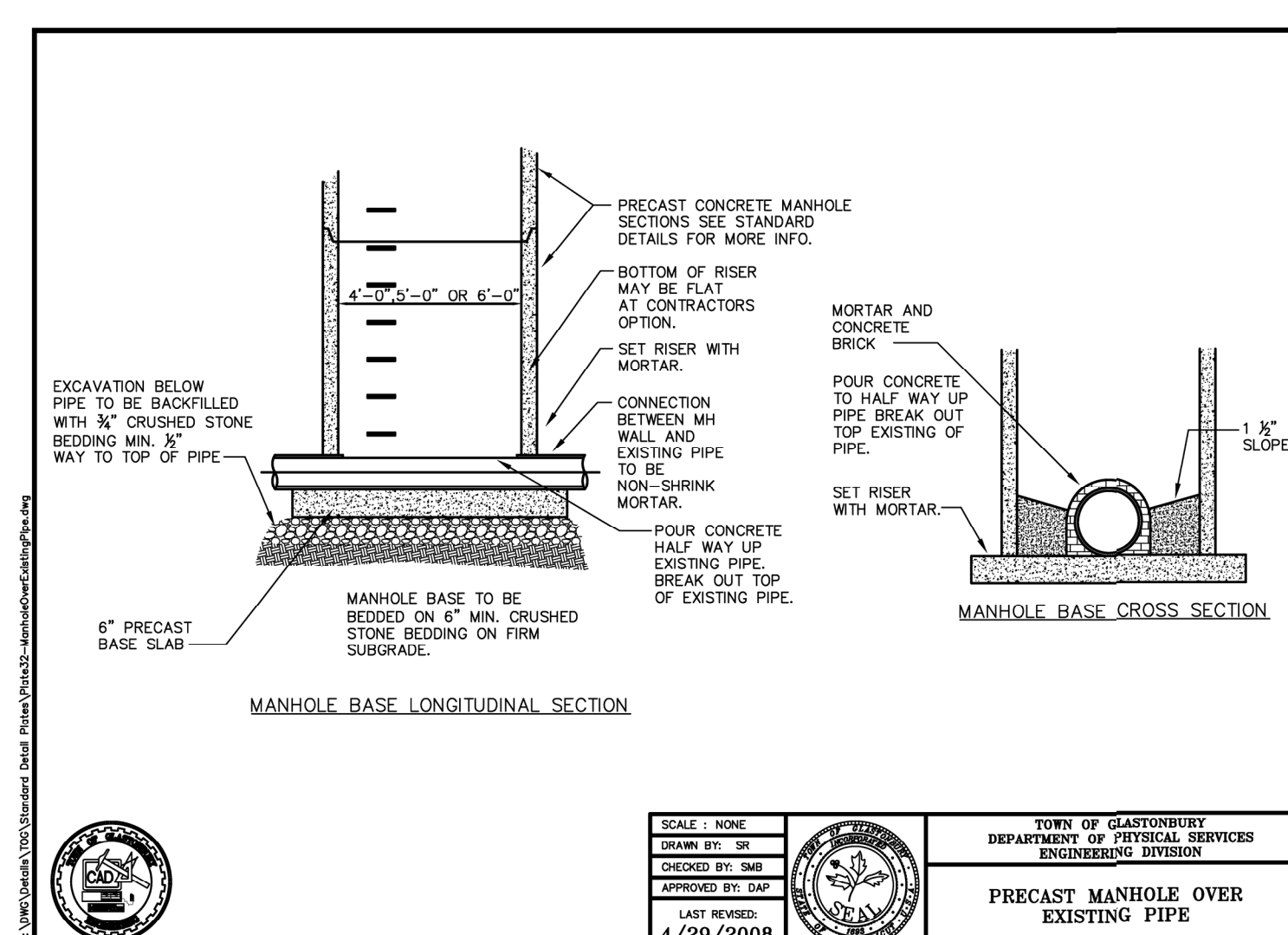
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DRAWN BY: SR	
CHECKED BY: SRB	
APPROVED BY: DAP	
LAST REVISED: 3/28/2017	
	BITUMINOUS CONCRETE DRIVEWAY
	PLATE NO. 8



SCALE: NONE	TOWN OF GLASTONBURY DEPARTMENT OF PHYSICAL SERVICES ENGINEERING DIVISION
DRAWN BY: SR	
CHECKED BY: SRB	
APPROVED BY: DAP	
LAST REVISED: 9/1/2016	
	PRECAST CONCRETE MANHOLE (STORM & SANITARY)
	PLATE NO. 31



SCALE: NONE	TOWN OF GLASTONBURY DEPARTMENT OF PHYSICAL SERVICES ENGINEERING DIVISION
DRAWN BY: SR	
CHECKED BY: SRB	
APPROVED BY: DAP	
LAST REVISED: 9/1/2016	
	MANHOLE FRAME AND COVER
	PLATE NO. 23



SCALE: NONE	TOWN OF GLASTONBURY DEPARTMENT OF PHYSICAL SERVICES ENGINEERING DIVISION
DRAWN BY: SR	
CHECKED BY: SRB	
APPROVED BY: DAP	
LAST REVISED: 4/29/2008	
	PRECAST MANHOLE OVER EXISTING PIPE
	PLATE NO. 24

**DUTTON ASSOCIATES, LLC**  
LAND SURVEYORS AND CIVIL ENGINEERS  
67 EASTERN BOULEVARD  
GLASTONBURY, CONNECTICUT 06033  
TEL: 860-633-9401 FAX: 860-633-8951  
EMAIL: INFO@DUTTONASSOCIATESLLC.COM

JOHN R. MARTUCCI, P.E. #19494

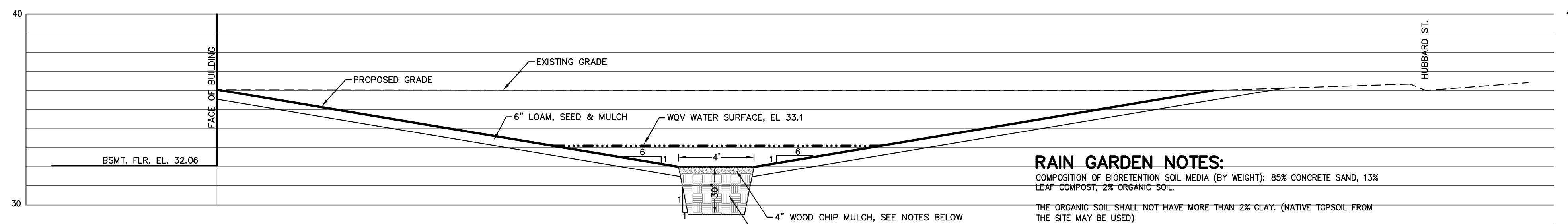
**LAC GROUP, LLC JS ADVISORS, LLC APPLICANT**  
WAREHOUSE 38  
RESIDENTIAL CONVERSION  
38 HUBBARD STREET  
GLASTONBURY, CONNECTICUT

REVISIONS:  
08/25/2021 - STORM DRAINS

**UNDERGROUND UTILITY NOTE:**  
UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROLE TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO THE UNDERSIGNED. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 800-922-4555 OR 911.

**INSPECTION NOTE:**  
THE CONTRACTOR SHALL NOTIFY THE TOWN OF GLASTONBURY ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, SANITARY SEWER INSTALLATION, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, OR ANY EXCAVATION IN THE TOWN RIGHT-OF-WAY TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:00 AM - 4:30 PM MONDAY THROUGH FRIDAY AT (860)-652-7735.

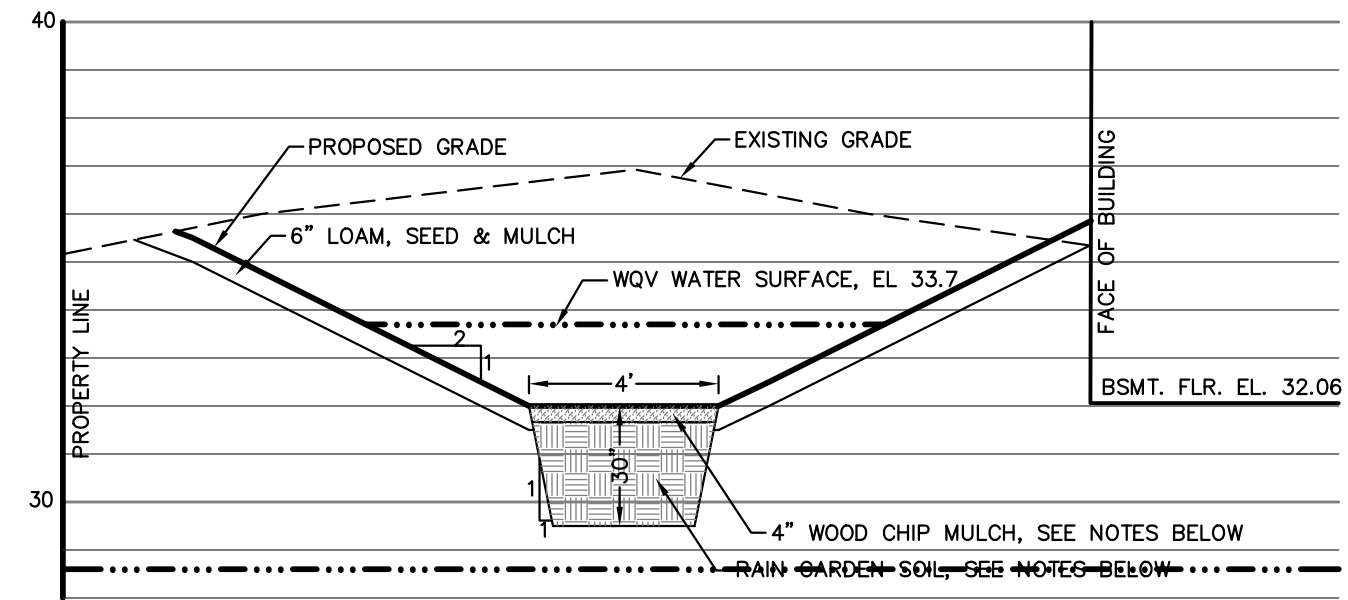
DATE: 08/04/2021  
SCALE: AS SHOWN  
SHEET 13 OF 18  
**A-21-050-D2**  
FILE: 21050.DWG



**RAIN GARDEN NOTES:**  
 COMPOSITION OF BIORETENTION SOIL MEDIA (BY WEIGHT): 85% CONCRETE SAND, 13% LEAF-COMPOST, 2% ORGANIC SOIL.  
 THE ORGANIC SOIL SHALL NOT HAVE MORE THAN 2% CLAY. (NATIVE TOPSOIL FROM THE SITE MAY BE USED)  
 MULCH WITHIN THE RAIN GARDEN AREA SHALL BE PLACED AT A UNIFORM THICKNESS OF 4" AND SHALL BE WELL AGED (6 TO 12 MONTHS) SHREDDED HARDWOOD MULCH. PINE MULCH AND WOOD CHIPS ARE NOT ACCEPTABLE MATERIALS AS THEY WILL FLOAT DURING STORM EVENTS AND CAUSE FAILURE OF THE OUTLET STRUCTURE AND UNDERDRAIN SYSTEMS.  
 REFER TO THE LANDSCAPE PLAN FOR PLANTINGS WITHIN THE RAIN GARDEN.

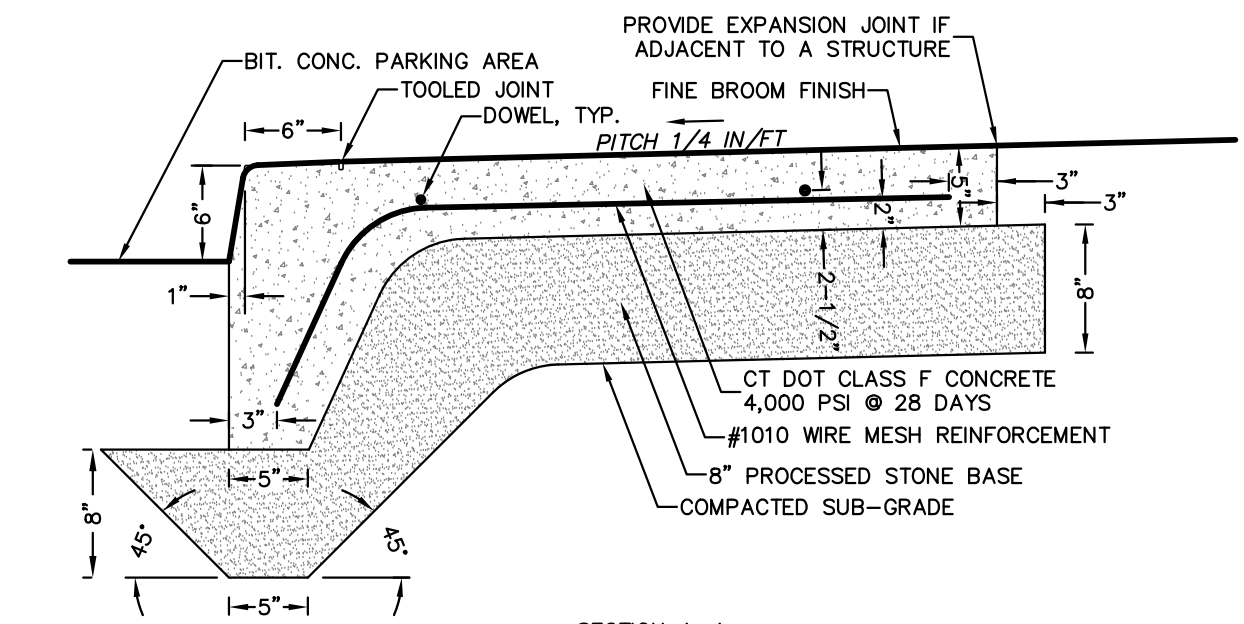
**RAIN GARDEN #2 SECTION B-B**  
 SCALE 1"=4"

**RAIN GARDEN SECTIONS**  
 NOT TO SCALE

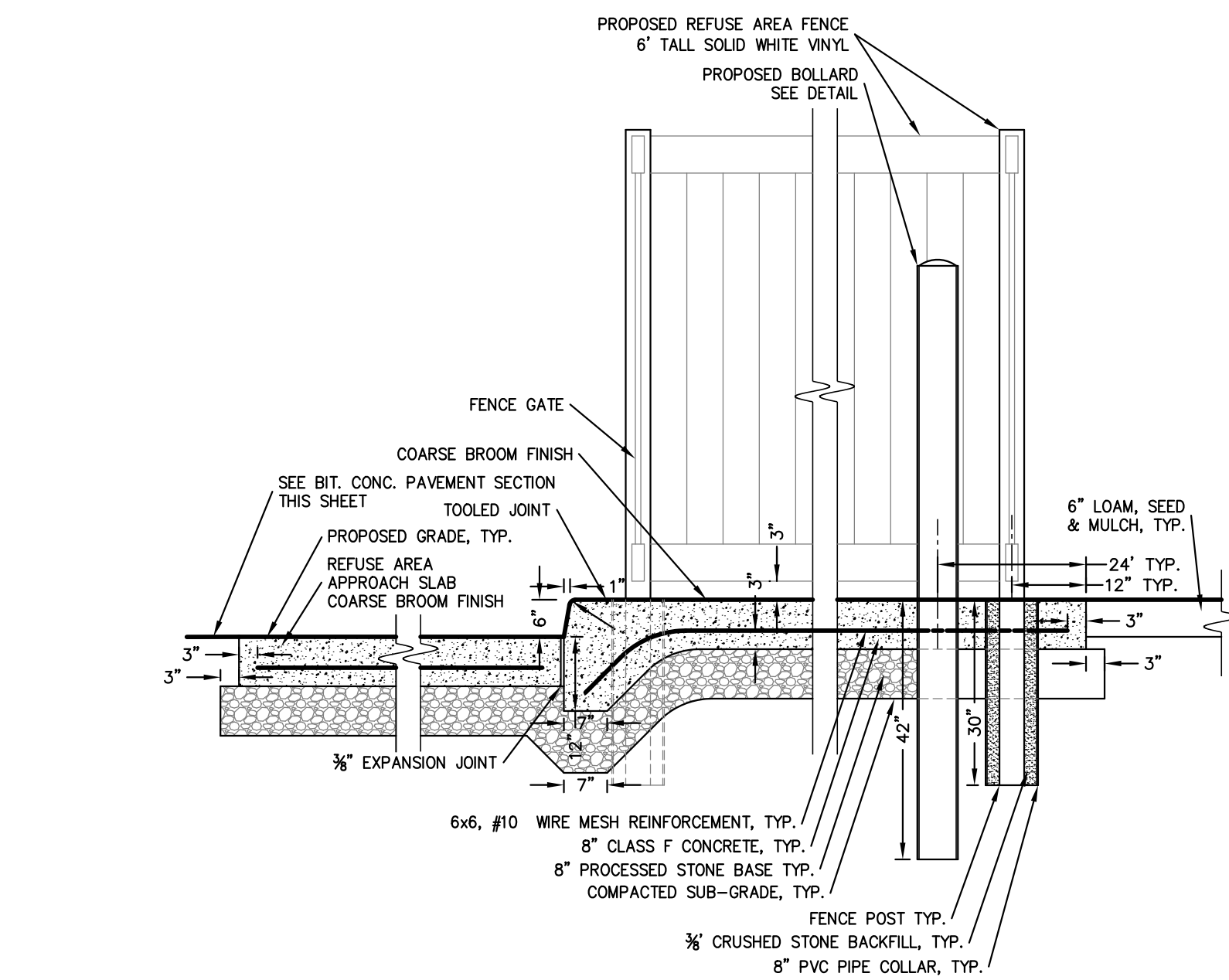


**RAIN GARDEN #1 SECTION A-A**  
 SCALE 1"=4"

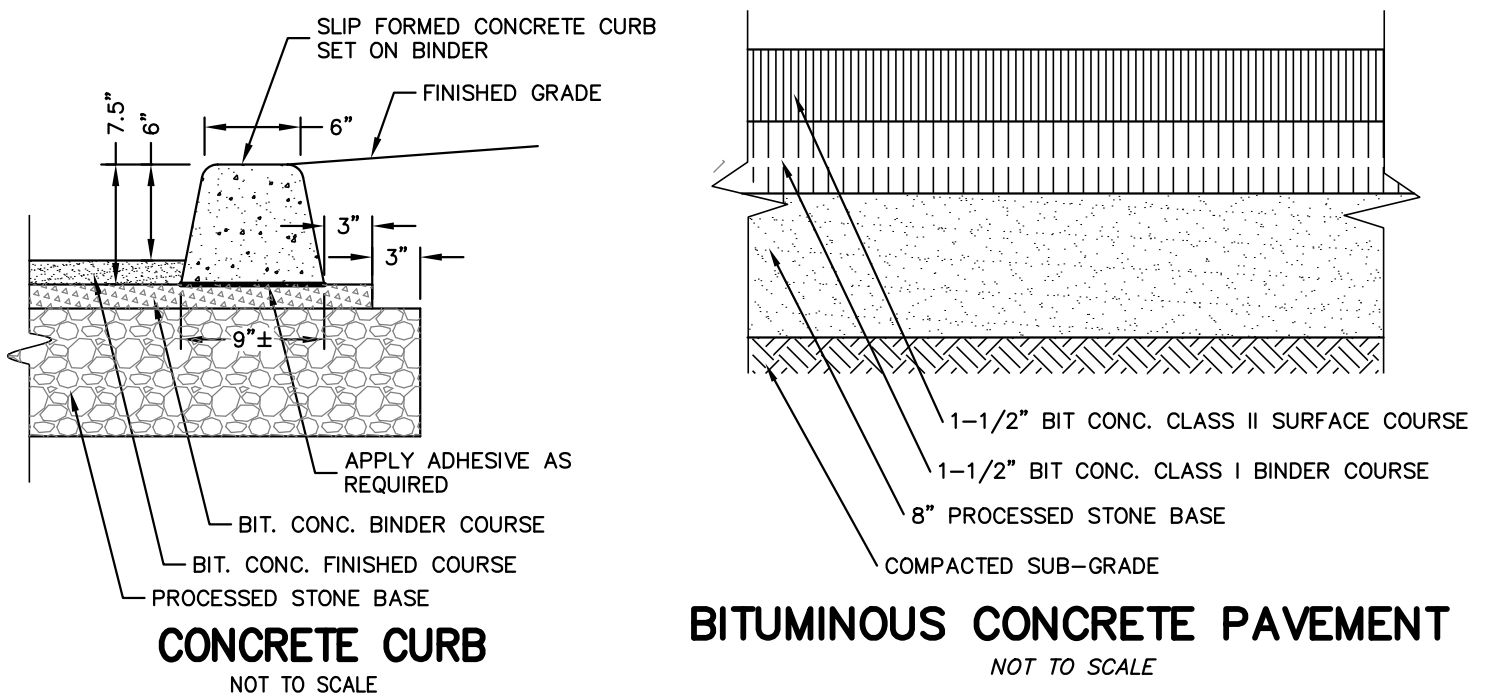
**RAIN GARDEN SECTIONS**  
 NOT TO SCALE



**CONCRETE WALK WITH INTEGRAL CURB**  
 NOT TO SCALE

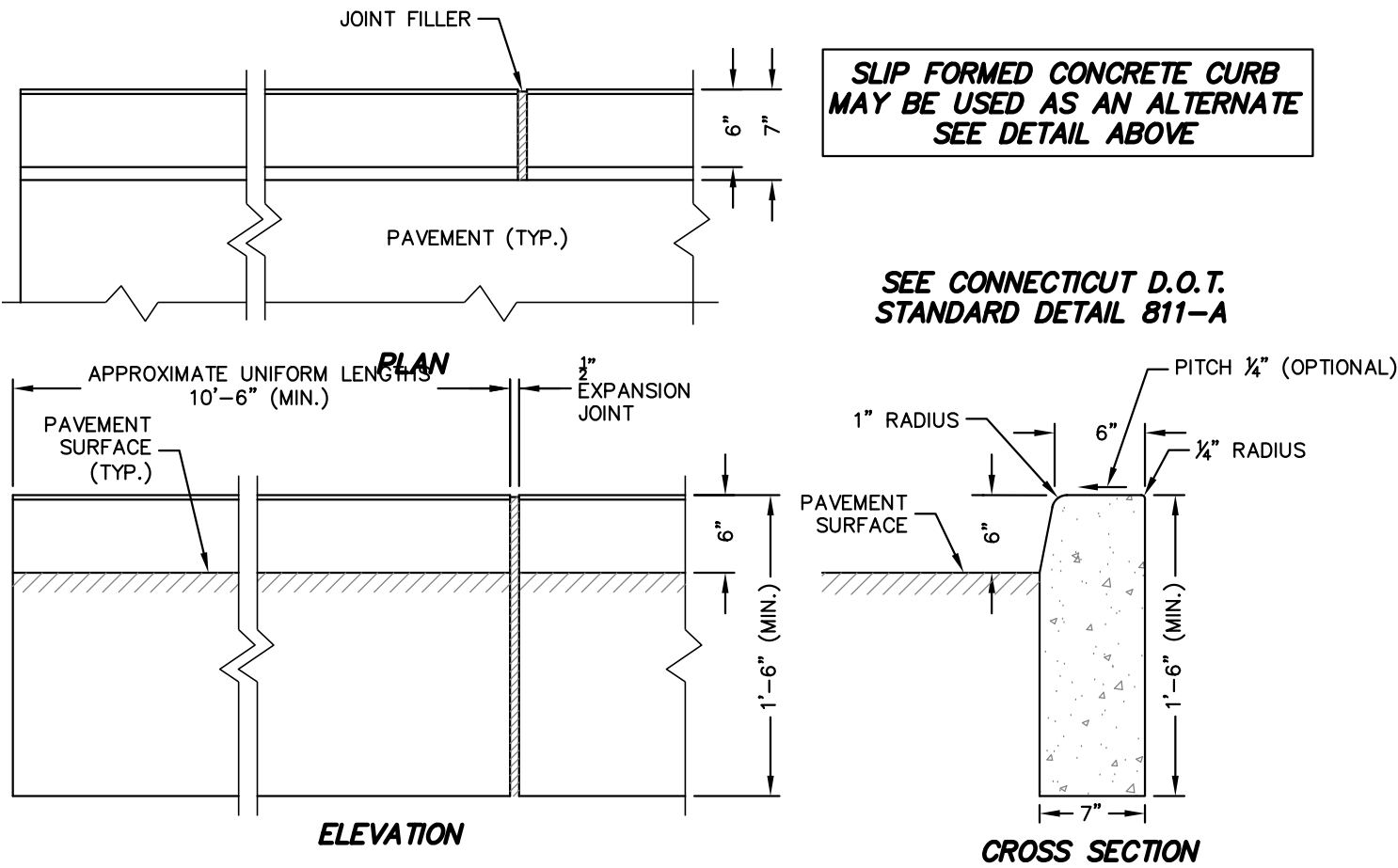


SEE "CONCRETE WALK NOTES" ON THIS SHEET FOR ADDITIONAL INFORMATION.  
**SECTION REFUSE AREA & APPROACH SLAB**  
 NOT TO SCALE

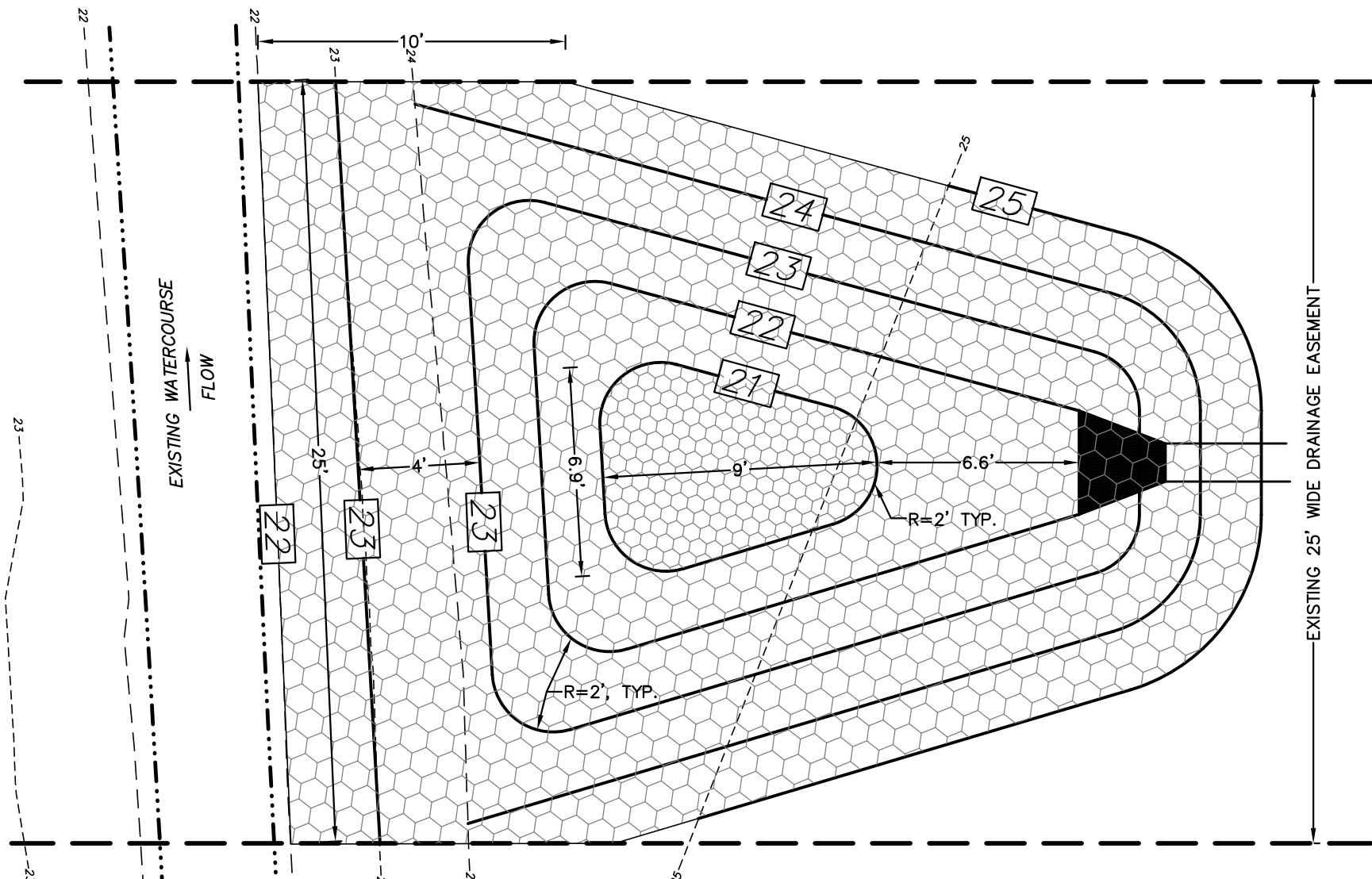


**CONCRETE CURB**  
 NOT TO SCALE

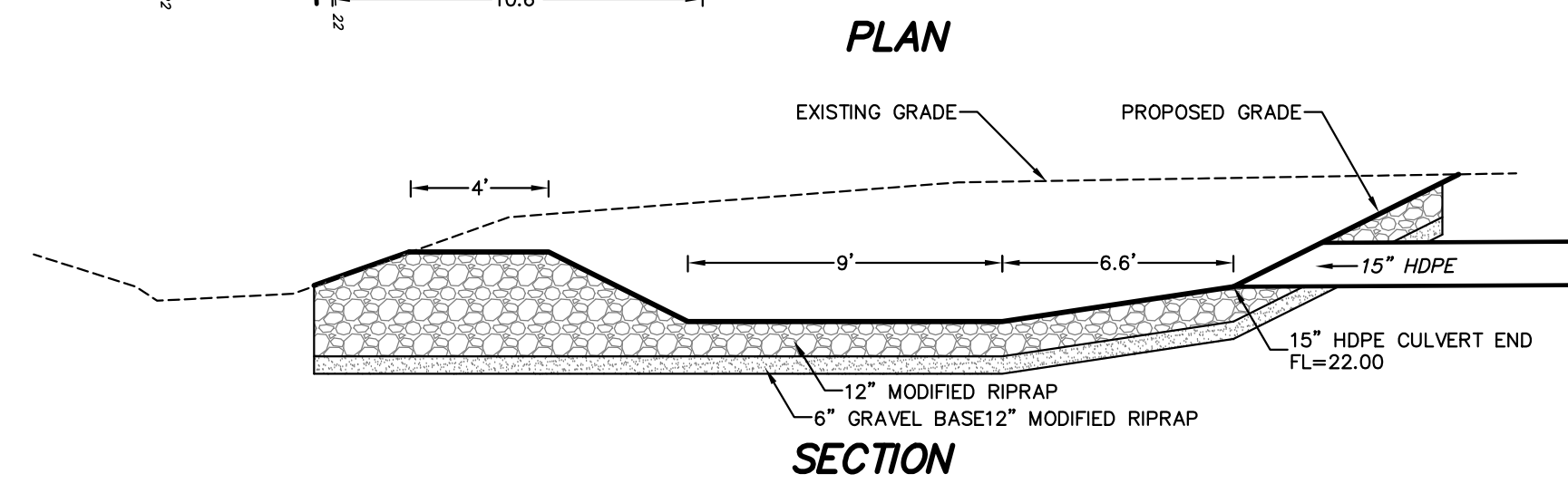
**BITUMINOUS CONCRETE PAVEMENT**  
 NOT TO SCALE



**CONCRETE CURB**  
 NOT TO SCALE



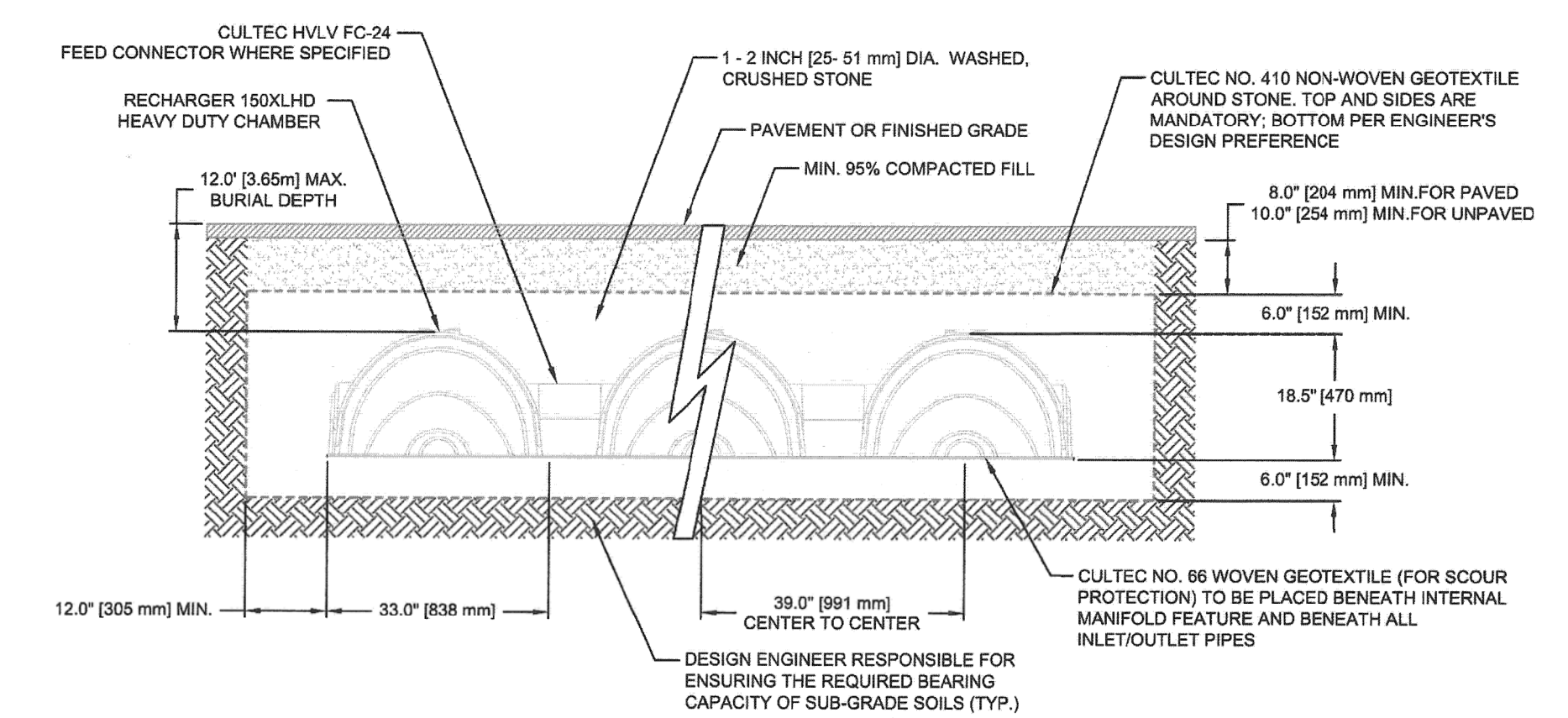
**PLAN**



**SECTION**

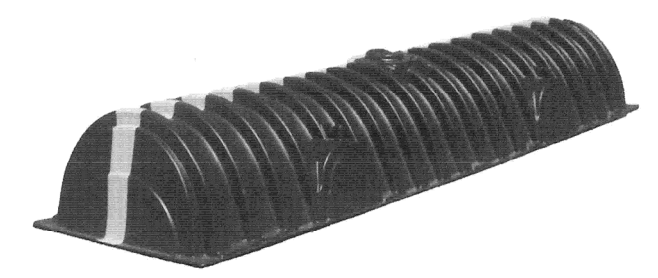
**RIPRAP PLUNGE POOL OUTLET PROTECTION**  
 SCALE 1"=5"

**Typical Cross Section for Traffic Application**



**CULTEC Recharger® 150XLHD Stormwater Chamber**

The Recharger® 150XLHD is an 18.5" (470 mm) tall, lower profile chamber and is typically used for installations with depth restrictions or when a larger infiltrative area is required. The Recharger® 150XLHD has the side portal internal manifold feature. HVLV® FC-24 Feed Connectors are inserted into the side portals to create the internal manifold.



Size (L x W x H)	11" x 33" x 18.5"
Installed Length	3.35 m x 838 mm x 470 mm
Length Adjustment per Run	10.25'
Chamber Storage	3.12 m
Min. Installed Storage	0.75'
Min. Area Required	0.23 m
Min. Center-to-Center Spacing	2.65 ft³/ft
Max. Allowable Cover	0.77 m/unit
Max. Inlet Opening in End Wall	4.89 ft³/ft
Compatible Feed Connector	0.45 m³/m
	50.17 ft³/unit
	1.42 m³/unit

**Recharger® 150XLHD Chamber Storage Volumes**

Elevation	Incremental Storage Volume	Cumulative Storage
ft	m³/m	m³
18.5	0.006	0.006
18	0.010	0.016
17	0.032	0.048
16	0.077	0.125
15	0.102	0.227
14	0.119	0.346
13	0.134	0.480
12	0.146	0.626
11	0.156	0.782
10	0.165	0.947
9	0.172	1.119
8	0.179	1.298
7	0.184	1.482
6	0.188	1.670
5	0.191	1.861
4	0.193	2.054
3	0.195	2.250
2	0.197	2.447
1	0.207	2.654
<b>Total</b>	<b>2.656</b>	<b>27.193</b>

Stone Foundation Depth	6"	12"	18"
	152 mm	305 mm	457 mm
Chamber and Stone Storage Per Chamber	50.17 ft³	56.83 ft³	63.49 ft³
Min. Effective Depth	1.42 m³	1.61 m³	1.80 m³
Stone Required Per Chamber	2.54 yd³	3.04 yd³	3.54 yd³
	2.13 yd³	2.75 yd³	3.36 yd³
	1.63 m³	2.10 m³	2.57 m³

**CULTEC INFILTRATION SYSTEM**

NOT TO SCALE

**STORM SEWER MAINTENANCE PLAN**

PROPER MAINTENANCE OF THE STORM SEWER IS CRITICAL TO ITS FUNCTION AND LONG TERM SUCCESS. THE PERVIOUS CONCRETE GUTTER SECTION USED AT THIS SITE IS A NEW TECHNOLOGY AND PROPER MAINTENANCE IS VERY CRITICAL. THE FOLLOWING MAINTENANCE REQUIREMENTS AND SCHEDULE SHALL BE REVIEWED IN DETAIL WITH THE COMPANY AND OR PEOPLE RESPONSIBLE FOR THE MAINTENANCE.

**SPECIAL REQUIREMENTS - CULTEC SYSTEM**

IN ADDITION TO ANY MANUFACTURERS MAINTENANCE REQUIREMENTS, THE FOLLOWING SHALL OCCUR:  
 AT A MINIMUM, THE CULTEC UNITS SHALL BE INSPECTED ONCE PER YEAR IN THE FALL. IF MORE THAN 3" OF SEDIMENT IS OBSERVED, THE SYSTEM SHALL BE FLUSHED AND CLEANED TO THE EXTENT POSSIBLE.  
 IF THE SYSTEM IS 50% OR MORE FULL OF SEDIMENT, THE SYSTEM SHALL BE REPLACED.

**GENERAL SPRING MAINTENANCE**

- FOLLOWING THE LAST SPRING SNOWFALL, THE FOLLOWING MAINTENANCE TASKS SHALL BE CONDUCTED:
- 1) INSPECT ALL STORM SEWER INLETS AND RAIN THE GARDENS REMOVE ANY ACCUMULATED SEDIMENT. REMOVE LEAVES, STICKS AND DEBRIS, REMOVE AND / OR FRESHEN MULCH AS REQUIRED
  - 2) INSPECT THE STORM SEWER OUTFALLS, REPAIR ANY EROSION ISSUES AS REQUIRED.
  - 3) REMOVE ANY SEDIMENT AND DEBRIS FROM THE PAVED PARKING AREA.
  - 5) CONDUCT GENERAL SITE CLEANUP, REMOVE ACCUMULATED DEBRIS.

**FALL MAINTENANCE:**

- FOLLOWING LEAF DROP, APPROXIMATELY MID NOVEMBER, THE FOLLOWING TASKS SHALL BE CONDUCTED:
- 1) INSPECT ALL STORM SEWER INLETS AND RAIN THE GARDENS REMOVE ANY ACCUMULATED SEDIMENT. REMOVE LEAVES, STICKS AND DEBRIS, REMOVE AND / OR FRESHEN MULCH AS REQUIRED. INSURE INLET GRATES ARE CLEAR.
  - 2) REMOVE ALL LEAVES AND OTHER DEBRIS FROM THE SITE.
  - 3) REMOVE ANY SEDIMENT AND DEBRIS FROM THE PAVED PARKING AREA.
  - 4) PREPARE THE PARKING AREA FOR SNOW REMOVAL (MARK EDGES, PREPARE LANDSCAPE PLANS IF REQUIRED, ETC.)

**DUTTON ASSOCIATES, LLC**  
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 67 EASTERN BOULEVARD  
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JOHN R. MARTUCCI, P.E. #19494

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**GENERAL NOTES AND DETAILS**  
**WAREHOUSE 38**  
**RESIDENTIAL CONVERSION**  
**38 HUBBARD STREET**  
**LAC GROUP, LLC JS ADVISORS, LLC APPLICANT**  
 GLASTONBURY, CONNECTICUT

REVISIONS:  
 08/25/2021 - STORM DRAINS

DATE: 08/04/2021  
 SCALE: 1" = 20'  
 SHEET 14 of 18  
**A-21-050-D3**  
 FILE: 21050.DWG



Town of Glastonbury

2155 MAIN STREET • P.O. BOX 6523 • GLASTONBURY, CT 06033-6523 • (860) 652-7500 FAX (860) 652-7505

Richard J. Johnson  
Town Manager

July 2, 2014

Mr. Dominick Calciano  
L.A.C. Group, LLC  
58 Cotswold Close  
Glastonbury, Connecticut 06033

Re: Zone Change Application - 38 Hubbard Street

Dear Mr. Calciano:

Following a public hearing on June 24, 2014 the Glastonbury Town Council (Zoning Authority) approved your application for a Change of Zone from Residence A Zone to Adaptive Redevelopment Zone - 1.2073 acre parcel known as 38 Hubbard Street and a Site Development Plan for residential reuse of the existing structure on the premises in accordance with the terms of the attached resolution which was filed with the Town Clerk on June 27, 2014.

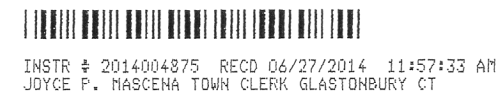
In accordance with Section 4.17.3 of the Building-Zone Regulations, certified mylar plans of the Site Development Plan shall be filed in the Office of the Town Clerk no later than December 22, 2014. Please forward a paper copy of the Site Development Plan to the Office of Community Development for review prior to printing the record mylar. Finally, strict compliance with conditions of approval and all other Town protocols is required and expected for this project. Please clearly convey Town expectations and requirements to all those who will be involved in the project. Failure to comply with Conditions of Approval is subject to financial penalties pursuant to Article VIII of the Glastonbury Town Code.

Should you have any questions, please contact the Office of Community Development directly at (860) 652-7510. Best wishes for a successful project.

Sincerely,  
Richard J. Johnson  
Town Manager

RJK/CEL/gjm

cc: Peter R. Carey, Building Official  
Kenneth E. Leslie, Community Development Director  
John Rook, ACP, Planner  
Attorney Peter Alter  
Attorney Meghan Alter  
Dutton Associates



Glastonbury Town Council (Zoning Authority)  
Resolution - ALZ Rezoned - 38 Hubbard Street  
June 24, 2014

BE IT RESOLVED, that the Glastonbury Town Council (Zoning Authority) hereby approves a Change of Zone from Residence A Zone to Adaptive Redevelopment Zone - 1.2073 acre parcel known as 38 Hubbard Street and a Site Development Plan for residential reuse of the existing structure on the premises together with associated parking and other site improvements in accordance with the following plans:

"TITLE SHEET & INDEX PLAN WAREHOUSE 38 ON THE GREEN RESIDENTIAL CONVERSION 38 HUBBARD STREET PREPARED FOR LAC GROUP, LLC GLASTONBURY, CONNECTICUT DUTTON ASSOCIATES, LLC LAND SURVEYORS AND CIVIL ENGINEERS 67 EASTERN BOULEVARD GLASTONBURY, CONNECTICUT 06033 TEL: 860-633-9401 FAX: 860-633-8851 EMAIL: JMD@DUTTONASSOCIATESL.LC.COM DATE: 10/14/2013 SCALE: 1" = 20' SHEET 1 OF 14 A-08-034-LAY FILE: 08034.DWG 11/5/2013 - COMMENTS 12/19/2013 - PATIOS 02/21/2014 - TPZ SUBMISSION 05/15/2014 COUNCIL SUBMISSION"

"LAYOUT PLAN WAREHOUSE 38 ON THE GREEN RESIDENTIAL CONVERSION 38 HUBBARD STREET PREPARED FOR LAC GROUP, LLC GLASTONBURY, CONNECTICUT DUTTON ASSOCIATES, LLC LAND SURVEYORS AND CIVIL ENGINEERS 67 EASTERN BOULEVARD GLASTONBURY, CONNECTICUT 06033 TEL: 860-633-9401 FAX: 860-633-8851 EMAIL: JMD@DUTTONASSOCIATESL.LC.COM DATE: 10/14/2013 SCALE: 1" = 20' SHEET 4 OF 14 A-08-034-LAY FILE: 08034.DWG 11/5/2013 - COMMENTS 12/19/2013 - PATIOS 02/21/2014 - TPZ SUBMISSION 05/15/2014 COUNCIL SUBMISSION"

"UTILITY PLAN WAREHOUSE 38 ON THE GREEN RESIDENTIAL CONVERSION 38 HUBBARD STREET PREPARED FOR LAC GROUP, LLC GLASTONBURY, CONNECTICUT DUTTON ASSOCIATES, LLC LAND SURVEYORS AND CIVIL ENGINEERS 67 EASTERN BOULEVARD GLASTONBURY, CONNECTICUT 06033 TEL: 860-633-9401 FAX: 860-633-8851 EMAIL: JMD@DUTTONASSOCIATESL.LC.COM DATE: 10/14/2013 SCALE: 1" = 20' SHEET 5 OF 14 A-08-034-LAY FILE: 08034.DWG 11/5/2013 - COMMENTS 12/19/2013 - PATIOS 02/21/2014 - TPZ SUBMISSION 05/15/2014 COUNCIL SUBMISSION"

"GRADING, EROSION & SEDIMENT CONTROL PLAN WAREHOUSE 38 ON THE GREEN RESIDENTIAL CONVERSION 38 HUBBARD STREET PREPARED FOR LAC GROUP, LLC GLASTONBURY, CONNECTICUT DUTTON ASSOCIATES, LLC LAND SURVEYORS AND CIVIL ENGINEERS 67 EASTERN BOULEVARD GLASTONBURY, CONNECTICUT 06033 TEL: 860-633-9401 FAX: 860-633-8851 EMAIL: JMD@DUTTONASSOCIATESL.LC.COM DATE: 10/14/2013 SCALE: 1" = 20' SHEET 6 OF 14 A-08-034-LAY FILE: 08034.DWG 11/5/2013 - COMMENTS 12/19/2013 - PATIOS 02/21/2014 - TPZ SUBMISSION 05/15/2014 COUNCIL SUBMISSION"

"WAREHOUSE 38 ON THE GREEN HUBBARD STREET GLASTONBURY, CT J. ALEXOPOULOS LAND ARCH. SEPT. 30, 2013 REV. OCT. 28, 2013 REV. NOV. 5, 2013 REV. JAN. 5, 2014 REV. FEB. 25, 2014"

"LIGHTING PLAN WAREHOUSE 38 ON THE GREEN RESIDENTIAL CONVERSION 38 HUBBARD STREET PREPARED FOR LAC GROUP, LLC GLASTONBURY, CONNECTICUT DUTTON ASSOCIATES, LLC LAND SURVEYORS AND CIVIL ENGINEERS 67 EASTERN BOULEVARD GLASTONBURY, CONNECTICUT 06033 TEL: 860-633-9401 FAX: 860-633-8851 EMAIL: JMD@DUTTONASSOCIATESL.LC.COM DATE: 10/14/2013 SCALE: 1" = 20' SHEET 8 OF 14 A-08-034-LAY FILE: 08034.DWG 11/5/2013 - COMMENTS 12/19/2013 - PATIOS 02/21/2014 - TPZ SUBMISSION 05/15/2014 COUNCIL SUBMISSION"

"LIGHTING DETAILS WAREHOUSE 38 ON THE GREEN RESIDENTIAL CONVERSION 38 HUBBARD STREET PREPARED FOR LAC GROUP, LLC GLASTONBURY, CONNECTICUT DUTTON ASSOCIATES, LLC LAND SURVEYORS AND CIVIL ENGINEERS 67 EASTERN BOULEVARD GLASTONBURY, CONNECTICUT 06033 TEL: 860-633-9401 FAX: 860-633-8851 EMAIL: JMD@DUTTONASSOCIATESL.LC.COM DATE: 10/14/2013 SCALE: AS SHOWN SHEET 9 OF 14 A-08-034-LAY FILE: 08034.DWG 11/5/2013 - COMMENTS 12/19/2013 - PATIOS 02/21/2014 - TPZ SUBMISSION 05/15/2014 COUNCIL SUBMISSION"

"GENERAL NOTES AND DETAILS WAREHOUSE 38 ON THE GREEN RESIDENTIAL CONVERSION 38 HUBBARD STREET PREPARED FOR LAC GROUP, LLC GLASTONBURY, CONNECTICUT DUTTON ASSOCIATES, LLC LAND SURVEYORS AND CIVIL ENGINEERS 67 EASTERN BOULEVARD GLASTONBURY, CONNECTICUT 06033 TEL: 860-633-9401 FAX: 860-633-8851 EMAIL: JMD@DUTTONASSOCIATESL.LC.COM DATE: 10/14/2013 SCALE: AS SHOWN SHEET 10 OF 14 A-08-034-LAY FILE: 08034.DWG 11/5/2013 - COMMENTS 12/19/2013 - PATIOS 02/21/2014 - TPZ SUBMISSION 05/15/2014 COUNCIL SUBMISSION"

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"APPROVALS WAREHOUSE 38 ON THE GREEN RESIDENTIAL CONVERSION 38 HUBBARD STREET PREPARED FOR LAC GROUP, LLC GLASTONBURY, CONNECTICUT DUTTON ASSOCIATES, LLC LAND SURVEYORS AND CIVIL ENGINEERS 67 EASTERN BOULEVARD GLASTONBURY, CONNECTICUT 06033 TEL: 860-633-9401 FAX: 860-633-8851 EMAIL: JMD@DUTTONASSOCIATESL.LC.COM DATE: 10/14/2013 SCALE: NO SCALE SHEET 14 OF 14 A-08-034-LAY FILE: 08034.DWG 11/5/2013 - COMMENTS 12/19/2013 - PATIOS 02/21/2014 - TPZ SUBMISSION 05/15/2014 COUNCIL SUBMISSION"

"EAST SIDE ELEVATION SCALE: 1/8" = 1"-0" WAREHOUSE 38 ON THE GREEN GLASTONBURY, CT CALCIANO BUILDERS GLASTONBURY, CT BARTON PARTNERS ARCHITECTS PLANNERS, INC. 700 E. MAIN STREET, 3<sup>RD</sup> FLOOR NORRISTOWN, PA 19401-4122 P 610.930.2800 F 610.930.2808 1 OF 4 PROJECT NUMBER: 13010 DATE: 2014.06.10"

"WEST ELEVATION SCALE: 1/8" = 1"-0" WAREHOUSE 38 ON THE GREEN GLASTONBURY, CT CALCIANO BUILDERS GLASTONBURY, CT BARTON PARTNERS ARCHITECTS PLANNERS, INC. 700 E. MAIN STREET, 3<sup>RD</sup> FLOOR NORRISTOWN, PA 19401-4122 P 610.930.2800 F 610.930.2808 2 OF 4 PROJECT NUMBER: 13010 DATE: 2014.06.10"

"NORTH ELEVATION SCALE: 1/8" = 1"-0" WAREHOUSE 38 ON THE GREEN GLASTONBURY, CT CALCIANO BUILDERS GLASTONBURY, CT BARTON PARTNERS ARCHITECTS PLANNERS, INC. 700 E. MAIN STREET, 3<sup>RD</sup> FLOOR NORRISTOWN, PA 19401-4122 P 610.930.2800 F 610.930.2808 3 OF 4 PROJECT NUMBER: 13010 DATE: 2014.06.10"

"SOUTH ELEVATION SCALE: 1/8" = 1"-0" WAREHOUSE 38 ON THE GREEN GLASTONBURY, CT CALCIANO BUILDERS GLASTONBURY, CT BARTON PARTNERS ARCHITECTS PLANNERS, INC. 700 E. MAIN STREET, 3<sup>RD</sup> FLOOR NORRISTOWN, PA 19401-4122 P 610.930.2800 F 610.930.2808 4 OF 4 PROJECT NUMBER: 13010 DATE: 2014.06.10"

and in compliance with the following conditions:

- 1. Nine ground-level dwelling units shall be deleted for a total of 31 dwelling units on the upper two floors in accordance with plans submitted. The existing flat roof shall be retained. There shall be no dwelling units on the ground level.
2. HVAC units (low profile) shall be installed on the flat rooftop and screened appropriately.
3. The parking layout shall be modified as follows:
a) Five spaces in front of the building shall be deleted.
b) Ten tandem spaces (20 total spaces) shall be maintained along the southerly property line commencing on the westerly side of the parcel.
c) The remaining four tandem spaces (8 total spaces) shall be converted to 2 spaces and open area extending to the southeast corner of the parcel.
There shall be a total of 50 parking spaces for the project.
4. The carport structure shall be deleted.
5. The existing basement window openings shall remain.
6. The vacated basement area may be used only for common tenant purposes.
7. Compliance with the resolution as recommended by the Conservation Commission during its meeting of December 19, 2013.
8. Compliance with standards contained in a report from the Fire Marshal, File #14-024, plans reviewed 3-13-14.
9. A sanitary sewer manhole shall be installed along the proposed sanitary sewer lateral serving the building.
10. Fence and dumpster enclosure details shall be indicated on final plans for filing.
11. Metal waste containers shall be provided at the site to facilitate the collection of refuse material generated from construction activities. Such material shall not be buried or burned at the site.
12. Installation of soil erosion and sedimentation control and stabilization measures shall be the Permittee's responsibility. Once installed these measures shall then be inspected by the Environmental Planner prior to land disturbance activities. Afterwards it then shall be the Permittee's responsibility to inspect these control measures during, and immediately following, substantial storm events and maintain and/or replace the control measures, when needed, on a regular basis until the site is vegetatively stabilized. The Environmental Planner is hereby authorized to require additional soil erosion and sediment controls and stabilization measures to address situations that arise on the site.
13. Prior to the issuance of a Certificate of Occupancy, certification from a professional engineer shall be required confirming that the stormwater management system was constructed in conformance with the approved design.
14. Prior to the issuance of a Certificate of Occupancy, certification from a landscape architect shall be required confirming that landscape plants were installed in accordance with the approved landscape plan.
15. Compliance with the agreements listed in the March 14, 2014 memorandum of understanding between L.A.C. Group, LLC and Jonathan and Elizabeth Susat. This document shall be depicted on final plans for filing.
16. The effective date of this zone change action shall be July 14, 2014.

Valanda D. O'Lenick  
Executive Secretary to the Town Manager/  
Acting Council Clerk



Town of Glastonbury

2155 MAIN STREET • P.O. BOX 6523 • GLASTONBURY, CONNECTICUT 06033-6523

TOWN PLAN AND ZONING COMMISSION SECTION 4.11 FLOOD ZONE SPECIAL PERMIT  
APPLICANT  
OWNER: L.A.C. GROUP LLC  
58 COTSWOLD CLOSE  
GLASTONBURY, CT 06033  
RE: 1906 MAIN STREET

MOVED, that the Town Plan and Zoning Commission approve the application of L.A.C. Group, LLC for a Section 4.11 Special Permit concerning a drainage outfall structure located on property at 1906 Main Street, in accordance with plans on file in the Office of Community Development, and in compliance with the following condition:

- 1. Prior to the issuance of a Certificate of Occupancy at 38 Hubbard Street, certification from a professional engineer shall be required confirming no loss of flood storage capacity.

APPROVED: TOWN PLAN AND ZONING COMMISSION  
APRIL 1, 2014

SHARON H. FURKILL, CHAIRMAN



Town of Glastonbury

2155 MAIN STREET • P.O. BOX 6523 • GLASTONBURY, CONNECTICUT 06033-6523

TOWN PLAN AND ZONING COMMISSION  
April 29, 2014  
Len Calciano  
L.A.C. Group, LLC  
58 Cotswold Close  
Glastonbury, Connecticut 06033

Re: 1906 Main Street - part of the 38 Hubbard Street project

Dear Mr. Calciano:

At its meeting of April 1, 2014, the Town Plan and Zoning Commission approved your application for a Section 4.11 Flood Zone Special Permit, in accordance with the attached Special Permit Motion.

- In accordance with Connecticut General Statutes, the Special Permit Motion must be recorded on the Glastonbury Land Records in the Town Clerk's Office. The Special Permit is not effective until it is filed; therefore, a building permit may not be issued nor any use actively begun until this filing has been completed.

Please be advised that this Special Permit authorizes new construction/site or building modifications or operation of a new use only in accordance with specified plans and any conditions of approval. Accordingly, no modifications to specified plans or conditions shall be made unless authorization has been received from the Town Plan and Zoning Commission or their authorized agents within the Community Development Department.

If substantial construction has not begun on a building or structure, or use established on a lot within one (1) year from the date of approval, the special permit shall become null and void. The Town Plan and Zoning Commission, upon request of the applicant, may extend for an additional one (1) year the period for beginning substantial construction or establishment of a use.

Please contact the Office of Community Development if you have any questions.

Sincerely,  
TOWN PLAN AND ZONING COMMISSION  
For the Secretary  
Kenneth E. Leslie  
Community Development Director  
attachment  
cc: Peter R. Carey, Building Official  
Jim Dutton  
Attorney Meghan Alter

APPROVED MOTION FOR A WETLANDS PERMIT

MOVED, that the Inland Wetlands and Watercourses Agency grants an inland wetlands and watercourses permit to Dominic and Leonardo Calciano and LAC Group, LLC for the construction and maintenance of a stormwater drainage pipe and outfall within wetlands and their regulated upland review area, and adjacent to a manmade intermittent watercourse with respect to the proposed Warehouse 38 On The Green Adaptive Redevelopment Zone project at 38 Hubbard Street, in accordance with plans on file in the Office of Community Development, and in compliance with the following conditions:

- 1. The drainage report submitted by the Permittee should be signed and sealed by a Connecticut Licensed Professional Engineer.
2. Healthy mature trees shall be preserved and saved when possible. Said trees shall be protected with the use of high visibility construction-fence during construction or otherwise protected as required by staff.
3. Installation of soil erosion and sedimentation control and stabilization measures shall be the Permittee's responsibility. Once installed these measures shall then be inspected by the Environmental Planner prior to land disturbance activities. Afterwards it then shall be the Permittee's responsibility to inspect these control measures during, and immediately following, substantial storm events and maintain and/or replace the control measures, when needed, on a regular basis until the site is vegetatively stabilized. Hay bales shall be replaced every 60 days. The Environmental Planner is hereby authorized to require additional soil erosion and sediment controls and stabilization measures to address situations that arise on the site.
4. Prior to the issuance of a Certificate of Occupancy, certification from a professional engineer shall be required confirming that the stormwater management system was constructed in conformance with the approved design.
5. Underground fuel storage tanks shall be prohibited to reduce the potential of contamination to wetlands, watercourses, and groundwater resources.
6. The Permittee shall be fully responsible for damages caused by all activities undertaken pursuant to this permit that may have a detrimental effect on wetlands and/or watercourses, and all such activities that cause erosion and sedimentation problems.



Town of Glastonbury

2155 MAIN STREET • P.O. BOX 6523 • GLASTONBURY, CONNECTICUT 06033-6523

January 7, 2014

CONSERVATION COMMISSION AND INLAND WETLANDS & WATERCOURSES AGENCY  
Dominick and Leonardo Calciano  
LAC Group, LLC  
58 Cotswold Close  
Glastonbury, Connecticut 06033

Re: Application of Dominick and Leonardo Calciano, LAC Group, LLC for an inland wetlands and watercourses permit - Warehouse 38 On The Green, a proposed residential conversion project involving 40 apartments - 38 Hubbard Street - Residential A Zone (requiring change to Adaptive Redevelopment Zone) and Flood Zone - Attorneys Peter and Meghan Alter - Dutton Associates, LLC, C.E.

Dear Messrs. Calciano:

At its Regular Meeting of December 19, 2013, the Conservation Commission/Inland Wetlands & Watercourses Agency approved an Inland Wetlands and Watercourses Permit, in accordance with the plans and conditions cited in the attached motion.

Please read the conditions of approval carefully and comply with them. Some of the conditions may require interacting with the Environmental Planner (e.g. inspection of soil erosion and sediment controls), it will be your responsibility to schedule such interactions. Any questions you may have about the stated conditions can be directed to the Office of Community Development at (860) 652-7511.

This Permit:  
- requires that the approved regulated activities be completed within one (1) year from commencement of said activities;  
- is valid for five (5) years and thus expires on December 19, 2018; and  
- may not be transferred unless authorized by the Inland Wetlands & Watercourses Agency  
This Permit may be revoked if you exceed the conditions or limitations of this Permit or have secured this Permit through inaccurate information.

Once again should you have any questions, please do not hesitate to contact this office.

Sincerely,

John Rook  
ACP, Planner

Attachment  
cc: Attorneys Peter and Meghan Alter  
Jim Dutton



Town of Glastonbury

2155 MAIN STREET • P.O. BOX 6523 • GLASTONBURY, CONNECTICUT 06033-6523

February 18, 2014

Mr. James W. Dutton, L.S.  
Dutton Associates, LLC  
67 Eastern Boulevard  
Glastonbury, CT 06033

Re: 38 Hubbard Street

Dear Mr. Dutton:

This is to advise you that, at its meeting on February 12, 2014, the Water Pollution Control Authority unanimously approved the Sanitary Sewer Impact Report for the above-referenced location.

Please note that, as part of this approval, it was indicated that the applicant's estimated sanitary sewer use would be more than twice what was allotted by the Town's Master Sewer Plan. The Engineering Subcommittee met on February 11, 2014 and, because of this increase in intensity of use of the sewer system, it was recommended by the Subcommittee that an additional fee be levied within the sewer assessment at the time of construction.

The fee would be based on the estimated installation cost of equipment (i.e. holding tanks, pumps, and timers) to control the excess flows, which would be timed to discharge during off-peak hours. Excess flow is defined as the anticipated daily flow from the proposed development above that which was provided for this parcel in the Town's Master Sewer Plan. That estimated cost would then be converted to a per unit cost within the proposed assessment.

If you have any questions, please contact me at (860) 652-7742.

Sincerely,

Robert W. Shirah  
Senior Engineering Technician

RWS/ce

cc: Kenneth E. Leslie, Community Development Director

UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPLETED IN PART FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROLE TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO THE UNDERSIGNED. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG - 800-922-4559 OR 911.  
INSPECTION NOTE:  
THE CONTRACTOR SHALL NOTIFY THE TOWN OF GLASTONBURY ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, SANITARY SEWER INSTALLATION, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, OR ANY EXCAVATION IN THE TOWN RIGHT-OF-WAY TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:00 AM - 4:30 PM MONDAY THROUGH FRIDAY AT (860)-652-7735.



DUTTON ASSOCIATES, LLC  
LAND SURVEYORS AND CIVIL ENGINEERS  
67 EASTERN BOULEVARD  
GLASTONBURY, CONNECTICUT 06033  
TEL: 860-633-9401 FAX: 860-633-8851  
EMAIL: JMD@DUTTONASSOCIATESL.LC.COM

JOHN R. MARTUCCI, P.E. #19494

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PREVIOUS APPROVALS  
WAREHOUSE 38  
RESIDENTIAL CONVERSION  
38 HUBBARD STREET  
LAC GROUP, LLC IS ADVISORS, LLC APPLICANT  
GLASTONBURY, CONNECTICUT

REVISIONS:

08/08/2021 - STORM DRAINS

DATE: 08/04/2021

SCALE: NO SCALE

SHEET 15 of 18

A-21-050-APP-1

FILE:21050.DWG



Town of Glastonbury

2165 MAIN STREET • P.O. BOX 6523 • GLASTONBURY, CONNECTICUT 06033-6523

July 19, 2021

Mr. James W. Dutton, L.S.  
Dutton Associates, LLC  
67 Eastern Boulevard  
Glastonbury, CT. 06033

Re: 38 Hubbard Street—Proposed Residential Condominium Development

Dear Mr. Dutton:

This is to advise you that at its meeting on July 14, 2021, the Water Pollution Control Authority unanimously approved the revised sanitary sewer impact report for the above-referenced project.

Please note that, as part of this approval, it was indicated that the applicant's estimated sanitary sewer use would be in excess of 150% what was allotted by the Town's Master Sewer Plan calculations. Because of this increase in intensity of use of the sewer system, it was requested by the applicant that the excess flow fee to be levied be incorporated within the sewer assessment rather than installation of the on-site sewage pump station outlined below.

The fee will be based upon the submitted Engineer's estimate of \$16,200.00 which incorporated the installation cost of equipment (i.e. holding tanks, pumps, and timers) to control the excess flows, which would be timed to discharge during off-peak hours. Excess flow is defined as the anticipated daily flow from the proposed development above that which was provided for this parcel in the Town's Master Sewer Plan.

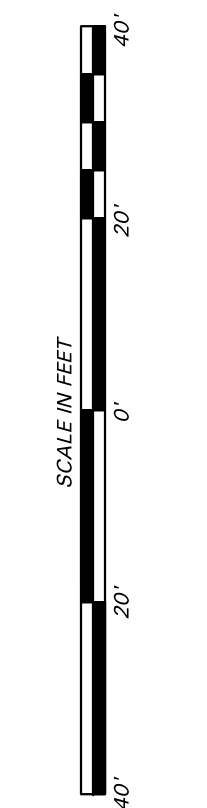
If you have any questions, please call me at (860) 652-7742

Sincerely,

Gregory J. Mahoney  
Senior Engineering Technician

Cc: Rebecca Augur, Director of Planning & Land Use Services

**UNDERGROUND UTILITY NOTE:**  
UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROLE TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO THE UNDERSIGNED. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG: 1-800-927-4455 OR 911.  
**INSPECTION NOTE:**  
THE CONTRACTOR SHALL NOTIFY THE TOWN OF GLASTONBURY ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, SANITARY SEWER INSTALLATION, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, OR ANY EXCAVATION IN THE TOWN RIGHT-OF-WAY TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:00 AM - 4:30 PM MONDAY THROUGH FRIDAY AT (860)-652-7735.



**DUTTON ASSOCIATES, LLC**  
LAND SURVEYORS AND CIVIL ENGINEERS  
67 EASTERN BOULEVARD  
GLASTONBURY, CONNECTICUT 06033  
TEL: 860-633-9401 FAX: 860-633-8951  
EMAIL: JIM@DUTTONASSOCIATESLLC.COM

JOHN R. MARTUCCI, P.E. #19494

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**CURRENT APPROVALS**  
**WAREHOUSE 38**  
**RESIDENTIAL CONVERSION**  
**38 HUBBARD STREET**  
**LAC GROUP, LLC IS ADVISORS, LLC APPLICANT**  
GLASTONBURY, CONNECTICUT

REVISIONS:  
08/25/2021 - STORM DRAINS  
  
DATE: 08/04/2021  
SCALE: NO SCALE  
SHEET 16 of 16  
**A-21-050-APP-2**  
FILE: 21050.DWG