

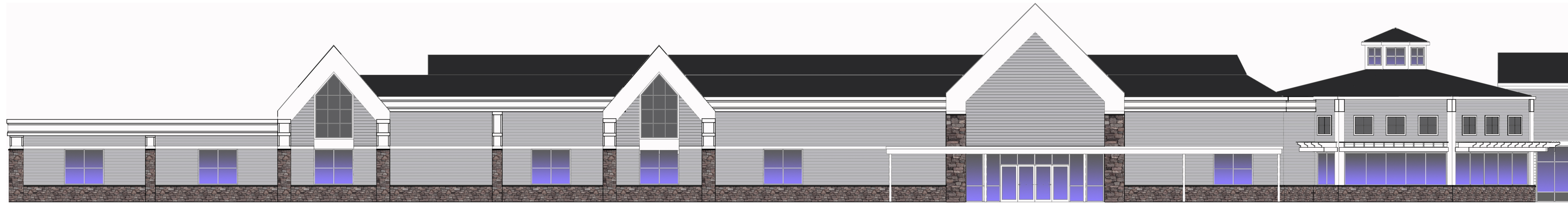


SOUTH ELEVATION - SECTION A

SOUTH ELEVATION - SECTION B

SOUTH ELEVATION - SECTION C

**SOUTH ELEVATION**  
N.T.S.



**SOUTH ELEVATION - SECTION A**  
3/32" = 1'-0"



**SOUTH ELEVATION - SECTION B**  
3/32" = 1'-0"



**SOUTH ELEVATION - SECTION C**  
3/32" = 1'-0"

PROJECT:  
SHOPPES AT FOX RUN - EXTERIOR  
RENOVATIONS  
CLIENT NAME:  
55 WELLES STREET  
GLASTONBURY, CT 06033

PROJECT NUMBER: 21179

**DENNIS COLWELL**  
**ARCHITECTS**  
132 CENTRAL STREET, SUITE 203, FOXBOROUGH, MA 02035  
P. 508.241.2122 F. 508.455.4466 WWW.DC-ARCHITECT.COM



STAMP:

ISSUE:	DATE:
PRELIMINARY	00/00/00

DRAWING SCALE: As indicated

DRAWN BY: CHECKED BY: Checker

DRAWING TITLE:  
EXTERIOR ELEVATIONS

SHEET NUMBER:

**A5.1**

# Shoppes at Fox Run Façade and Landscaping Enhancements



**Applicant/Owner:**  
**Brixmor Residual Shoppes at Fox Run, LLC**

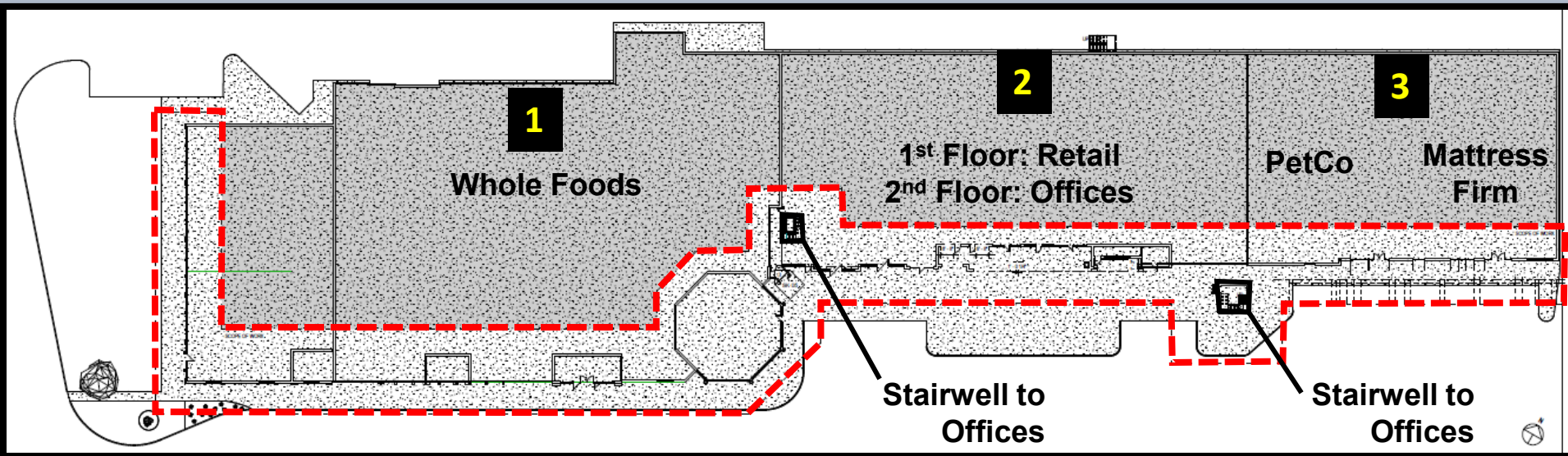
**Town Plan & Zoning Commission**  
**May 5, 2020**

**Section 12.9 Minor Change**  
**7:00 PM**

# Aerial View



# Scope of Work



# Key Elevations



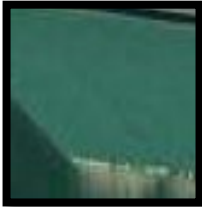








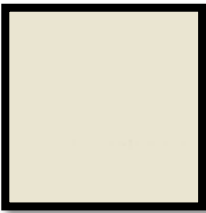



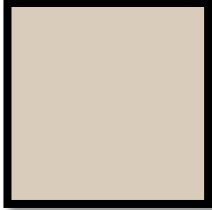
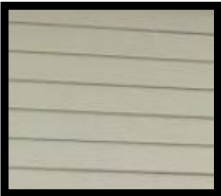

1

2

3



# Proposed Materials and Color Palette

	Existing	Proposed	Description		Existing	Proposed	Description
<b>Stone</b>			<b>Material:</b> Granite <b>Finish:</b> Grey <b>Location:</b> Engaged Pilaster Base	<b>Awning</b>			<b>Material:</b> Wood Pergola <b>Finish:</b> Paint White <b>Location:</b> Above Whole Foods Glazing
<b>Brick</b>			<b>Finish:</b> White Wash <b>Location:</b> Engaged Pilasters	<b>Store Front</b>			<b>Material:</b> Existing Storefront / Window Glazing <b>Finish:</b> Existing to Remain <b>Location:</b> Retail Fronts
<b>Roof Shingle</b>			<b>Material:</b> Rubber 'slate' Roof Tile <b>Finish:</b> Enviro slate <b>Location:</b> Roof	<b>EFIS Yellow</b>			<b>Material:</b> EIFS <b>Finish:</b> Colonial White <b>Location:</b> Cornice
<b>Plank Siding</b>			<b>Material:</b> Existing Plank Siding <b>Finish:</b> SW 7533 Khaki Shade <b>Location:</b> Field Siding	<b>Fascia</b>			<b>Material:</b> EIFS <b>Finish:</b> SW 7528 Windsor Greige <b>Location:</b> Whole Foods Peaks Fascia
<b>Siding</b>			<b>Material:</b> EIFS / Existing Siding <b>Finish:</b> SW 7048 Urbane Bronze <b>Location:</b> Accent Walls				

# West Façade – Existing



# West Façade – Proposed



# (View from Grove Street) West Elevation





## Whole Foods – Existing



## Whole Foods – Proposed



# (View from Welles Street) Whole Foods Elevation

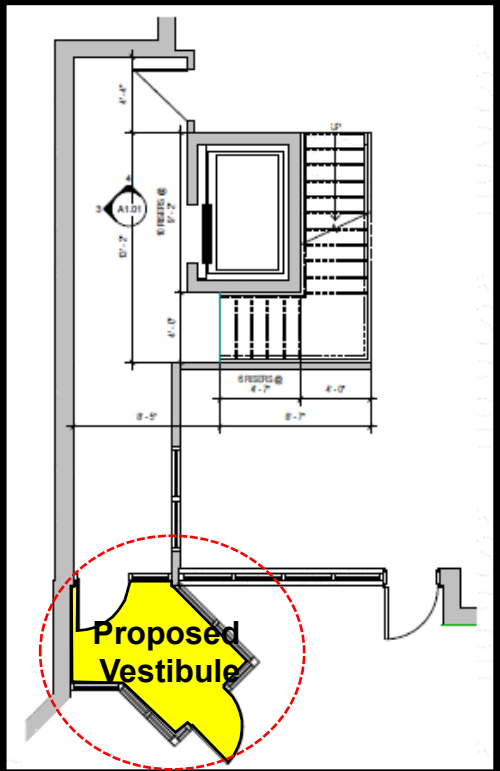


# Office Entry – Existing

# Office Entry – Proposed



# 1st Floor Lobby



# Office Entry – Elevation

# Office/Retail – Existing



# Office/Retail – Proposed



# (Welles Street View) Office/Retail Elevation



## Office Tower – Existing



## Office Tower – Proposed



# Office Tower Elevations



5 LOBBY TOWER - WEST  
ELEVATION

3/16" = 1'-0"



4 LOBBY TOWER - SOUTH  
ELEVATION

3/16" = 1'-0"



3 LOBBY TOWER - EAST  
ELEVATION

3/16" = 1'-0"

## Petco – Existing



## Petco – Proposed

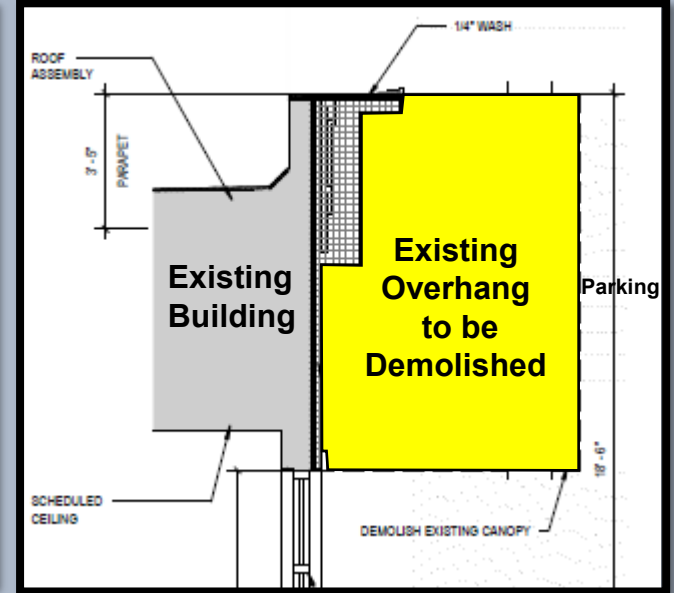




# (View from Welles Street) Petco Elevation



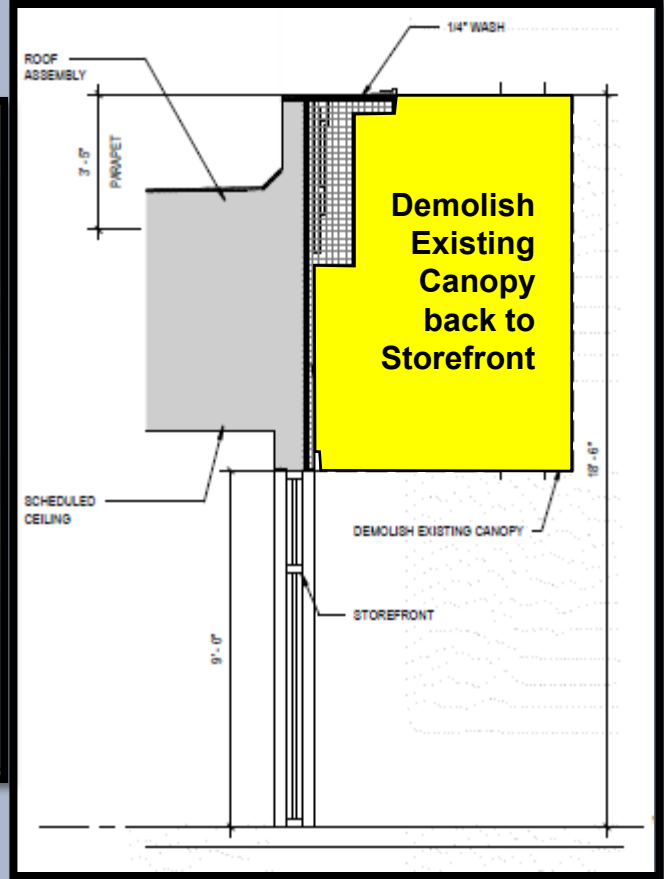
# Mattress Firm – Existing



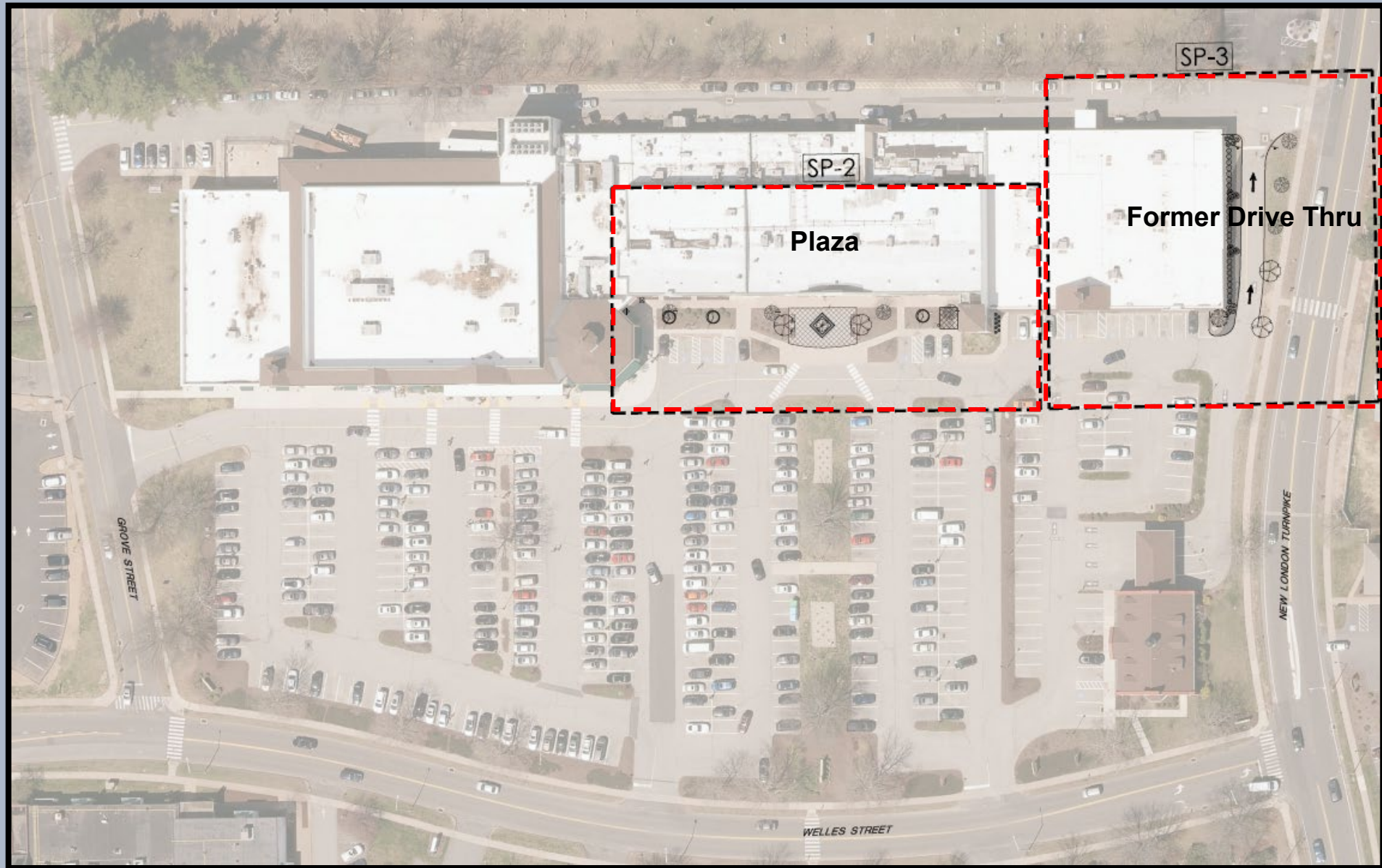
# Mattress Firm – Proposed



# (View from Welles Street) Mattress Firm Elevation



# Landscaping Enhancement Plan



# Plaza Landscaping Plan



BRICK-FACED SEAT WALL WITH STONE CAP



COLUMNAR SARGENT CHERRY



BOWHALL RED MAPLE



SNOW FOUNTAINS WEeping CHERRY

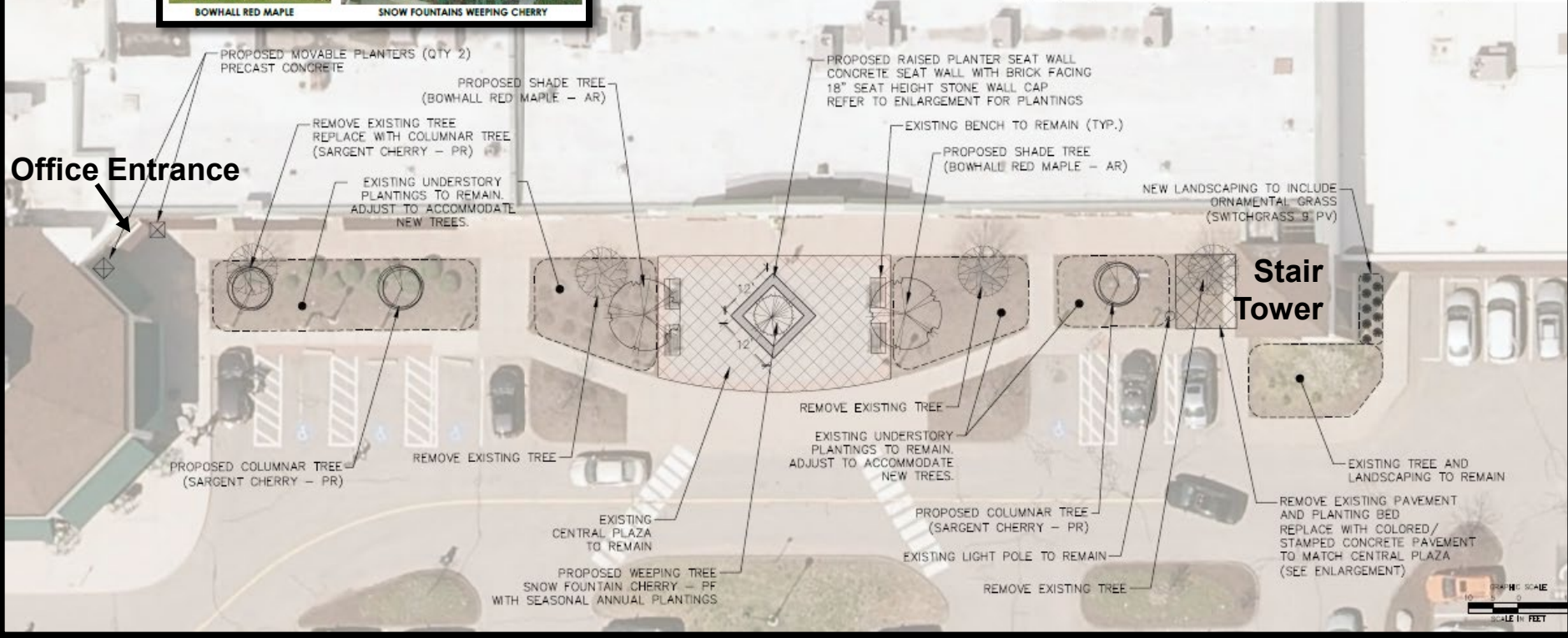
## LANDSCAPE PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	COMMENTS
AR	2	<i>Acer rubrum</i> 'Bowhall'	Bowhall Red Maple	B&B	2"-2.5" CAL.	MIN. 6' BRANCH HEIGHT
PF	1	<i>Prunus</i> x 'Snofozam'	Snow Fountains Weeping Cherry	B&B	1.5"-2.0" CAL.	
PR	3	<i>Prunus sargentii</i> 'Columnaris'	Columnar Sargent Cherry	B&B	2"-2.5" CAL.	MIN. 6' BRANCH HEIGHT
PV	9	<i>Panicum virgatum</i> 'Shenandoah'	Shenandoah Switchgrass	CONT	18"-24" HT.	30" O.C.

PR	3	<i>Prunus sargentii</i> 'Columnaris'	Columnar Sargent Cherry	B&B	2"-2.5" CAL.	MIN. 6' BRANCH HEIGHT
PV	9	<i>Panicum virgatum</i> 'Shenandoah'	Shenandoah Switchgrass	CONT	18"-24" HT.	30" O.C.

Office Entrance

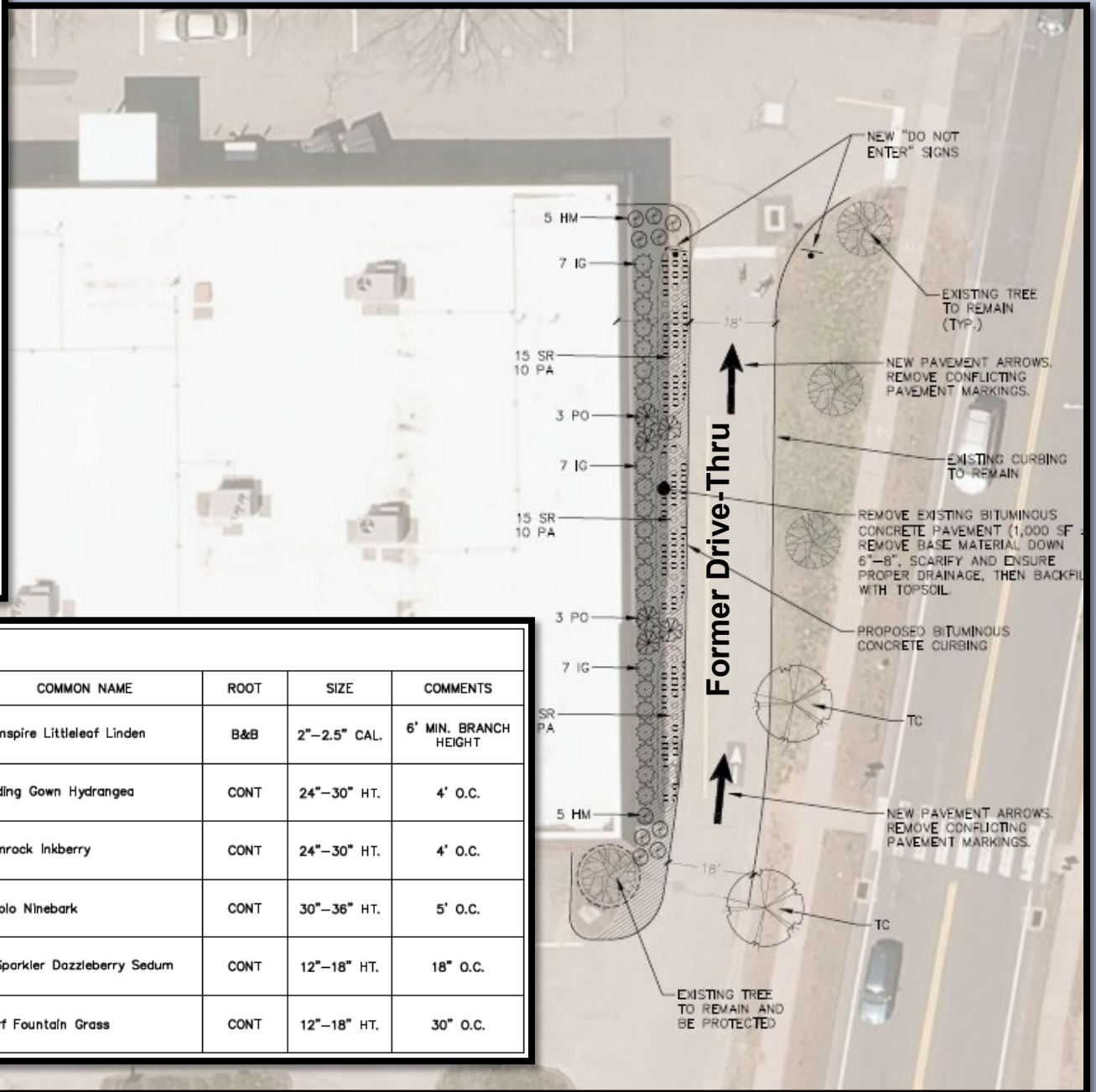
Stair Tower



# Former Drive-Thru Landscaping Plan



EXISTING SITE PHOTOS



## LANDSCAPE PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	COMMENTS
TC	2	<i>Tilia cordata</i> 'Greenspire'	Greenspire Littleleaf Linden	B&B	2"-2.5" CAL.	6' MIN. BRANCH HEIGHT
HM	10	<i>Hydrangea macrophylla</i> 'Wedding Gown'	Wedding Gown Hydrangea	CONT	24"-30" HT.	4' O.C.
IG	21	<i>Ilex glabra</i> 'Shamrock'	Shamrock Inkberry	CONT	24"-30" HT.	4' O.C.
PO	6	<i>Physocarpus opulifolius</i> 'Monlo'	Diablo Ninebark	CONT	30"-36" HT.	5' O.C.
SR	45	<i>Sedum</i> 'Dazzleberry'	SunSparkler Dazzleberry Sedum	CONT	12"-18" HT.	18" O.C.
PA	30	<i>Pennisetum alopecuroides</i> 'Hameln'	Dwarf Fountain Grass	CONT	12"-18" HT.	30" O.C.

# Engineering Memo Condition #1



The existing double lane, one-way circulation pattern on the east side of the main structure is a remnant of the former bank drive-thru which existed at this location. It is suggested that the paved width on this side of the structure be reduced to 20' and that two-way traffic be allowed. This will enable the auxiliary New London Turnpike entrance to become fully functional while still creating a paved width reduction which may be used for substantive landscaping improvements immediately adjacent to the building.