

**TOWN PLAN AND ZONING COMMISSION  
PROPOSALS FOR PLANS REVIEW SUBCOMMITTEE**

Proposals which are to be reviewed by the Plans Review Subcommittee to determine if they are to be considered Minor or Insignificant Changes and need action/approval by the Town Plan and Zoning Commission, must initiate with the completion of this form to be submitted with one (1) **FOLDED** set of appropriate materials. Once a Subcommittee meeting date is set, you will be notified by email with an agenda. You or your representative must attend the meeting and bring relevant materials. At the meeting it will be determined whether your proposal is a Minor (Section 12.9) or Insignificant (Section 12.10) Change. A Minor Change will require submittal of a Special Permit Application, an application fee and additional sets of plans and will move forward for approval by the full Commission. An Insignificant Change will be handled internally with the Chairman's signature and requires no application or fee.

Please return this form and any enclosures to the Community Development Office, 2155 Main Street Post Office Box 6523, Glastonbury, CT 06033-6523.

**CHECK LIST**

General Map or Charts (1)

Other Documentation (1)

Site Plan (1)

Architect's Rendering (1)

TITLE/ADDRESS OF APPLICATION: Shoppes at Fox Run, 55 Welles Street – Changes to Approved Plan

APPLICANT'S NAME: Brixmor Residual Shoppes at Fox Run, LLC

APPLICANT'S ADDRESS: c/o Mary Hollebeke, 111 Middlesex Turnpike – 2<sup>nd</sup> Floor, Burlington, MA 01803

PHONE #S: 646-344-8683 (TJ McKeever)

EMAIL: TJ.McKeever@brixmor.com

OTHER REPRESENTATIVE(S): Alter & Pearson, LLC: mhope@alterpearson.com; Dennis Colwell Architects, Inc. – jamie@dc-architect.com

STATEMENT OF INTENT: Request for changes to the approved building facade enhancements at the Shops at Fox Run Mall.

  
\_\_\_\_\_  
APPLICANT'S SIGNATURE

Brixmor Residual Shoppes at Fox Run, LLC  
By: Meghan A. Hope, their Attorney

9/8/2021

\_\_\_\_\_  
DATE

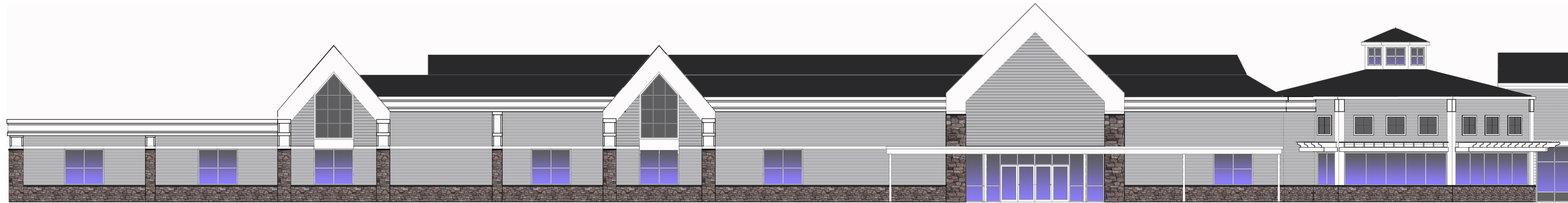


SOUTH ELEVATION - SECTION A

SOUTH ELEVATION - SECTION B

SOUTH ELEVATION - SECTION C

**SOUTH ELEVATION**  
N.T.S.



**SOUTH ELEVATION - SECTION A**  
3/32" = 1'-0"



**SOUTH ELEVATION - SECTION B**  
3/32" = 1'-0"



**SOUTH ELEVATION - SECTION C**  
3/32" = 1'-0"

PROJECT:  
SHOPPES AT FOX RUN - EXTERIOR  
RENOVATIONS  
CLIENT NAME:  
55 WELLES STREET  
GLASTONBURY, CT 06033

PROJECT NUMBER: 21179

**DENNIS COLWELL**  
**ARCHITECTS**  
132 CENTRAL STREET, SUITE 203, FOXBOROUGH, MA 02035  
P. 508.241.2122 F. 508.455.4466 WWW.DC-ARCHITECT.COM



STAMP:

ISSUE:	DATE:
PRELIMINARY	00/00/00

DRAWING SCALE: As indicated

DRAWN BY: CHECKED BY: Checker

DRAWING TITLE:  
EXTERIOR ELEVATIONS

SHEET NUMBER:

**A5.1**

# Shoppes at Fox Run Façade and Landscaping Enhancements



**Applicant/Owner:**  
**Brixmor Residual Shoppes at Fox Run, LLC**

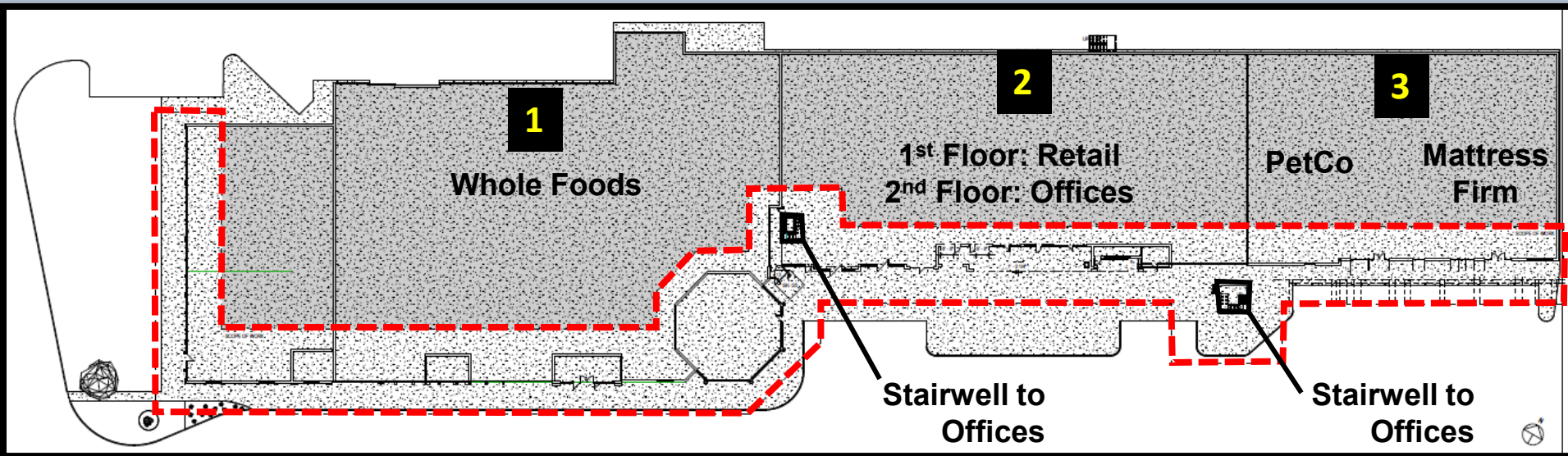
**Town Plan & Zoning Commission**  
**May 5, 2020**

**Section 12.9 Minor Change**  
**7:00 PM**

# Aerial View



# Scope of Work



# Key Elevations



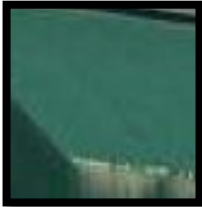







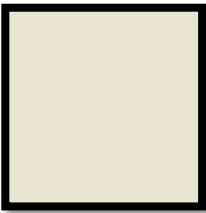



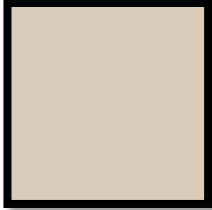
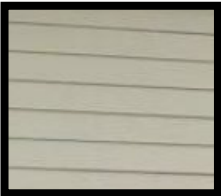

1

2

3



# Proposed Materials and Color Palette

	Existing	Proposed	Description		Existing	Proposed	Description
<b>Stone</b>			<b>Material:</b> Granite <b>Finish:</b> Grey <b>Location:</b> Engaged Pilaster Base	<b>Awning</b>			<b>Material:</b> Wood Pergola <b>Finish:</b> Paint White <b>Location:</b> Above Whole Foods Glazing
<b>Brick</b>			<b>Finish:</b> White Wash <b>Location:</b> Engaged Pilasters	<b>Store Front</b>			<b>Material:</b> Existing Storefront / Window Glazing <b>Finish:</b> Existing to Remain <b>Location:</b> Retail Fronts
<b>Roof Shingle</b>			<b>Material:</b> Rubber 'slate' Roof Tile <b>Finish:</b> Enviro slate <b>Location:</b> Roof	<b>EFIS Yellow</b>			<b>Material:</b> EIFS <b>Finish:</b> Colonial White <b>Location:</b> Cornice
<b>Plank Siding</b>			<b>Material:</b> Existing Plank Siding <b>Finish:</b> SW 7533 Khaki Shade <b>Location:</b> Field Siding	<b>Fascia</b>			<b>Material:</b> EIFS <b>Finish:</b> SW 7528 Windsor Greige <b>Location:</b> Whole Foods Peaks Fascia
<b>Siding</b>			<b>Material:</b> EIFS / Existing Siding <b>Finish:</b> SW 7048 Urbane Bronze <b>Location:</b> Accent Walls				

# West Façade – Existing



# West Façade – Proposed





# (View from Grove Street) West Elevation



## Whole Foods – Existing



## Whole Foods – Proposed



# (View from Welles Street) Whole Foods Elevation

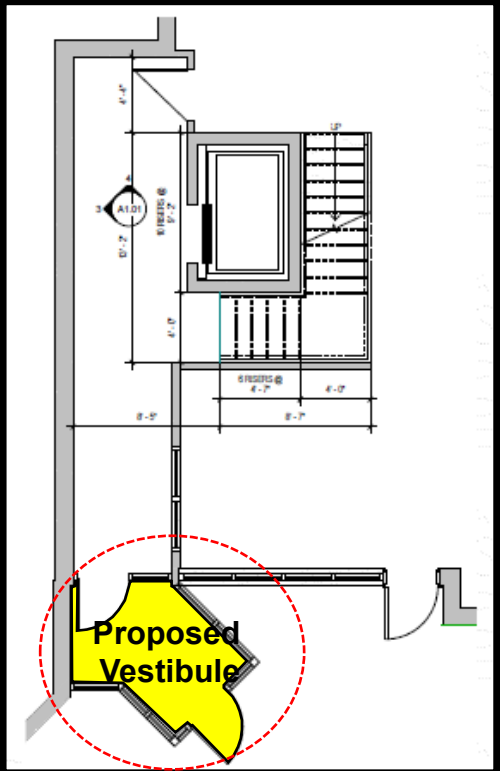


# Office Entry – Existing

# Office Entry – Proposed



# 1st Floor Lobby



# Office Entry – Elevation

## Office/Retail – Existing



## Office/Retail – Proposed



# (Welles Street View) Office/Retail Elevation



## Office Tower – Existing



## Office Tower – Proposed



# Office Tower Elevations



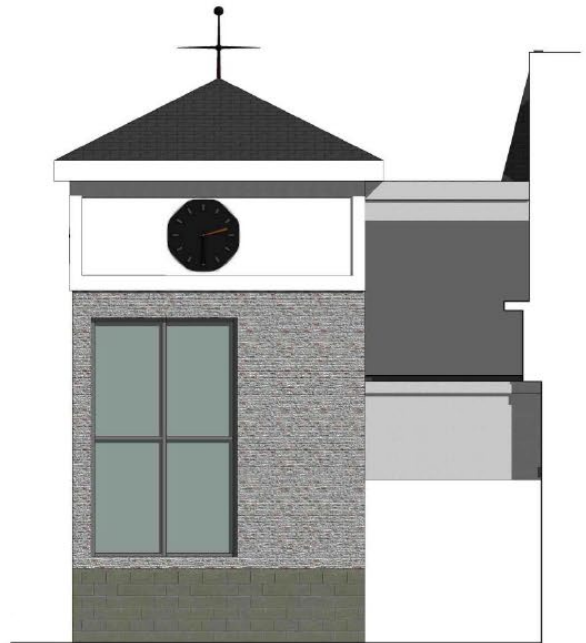
5 LOBBY TOWER - WEST  
ELEVATION

3/16" = 1'-0"



4 LOBBY TOWER - SOUTH  
ELEVATION

3/16" = 1'-0"



3 LOBBY TOWER - EAST  
ELEVATION

3/16" = 1'-0"



## Petco – Existing



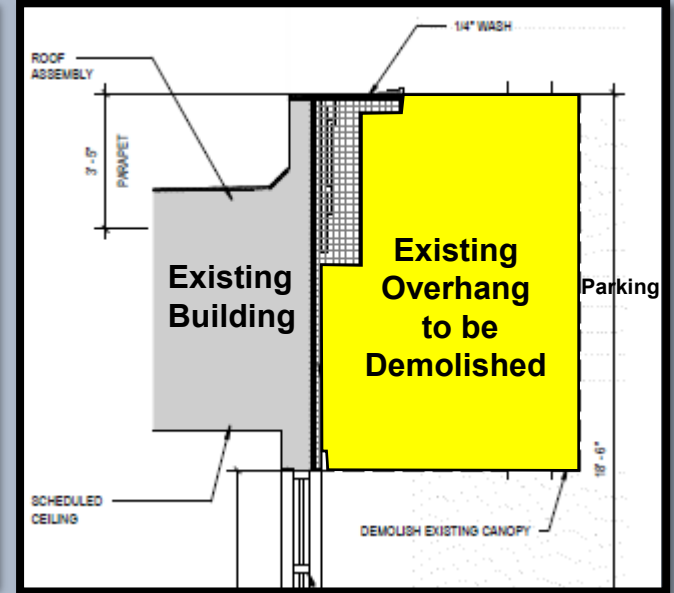
## Petco – Proposed



# (View from Welles Street) Petco Elevation



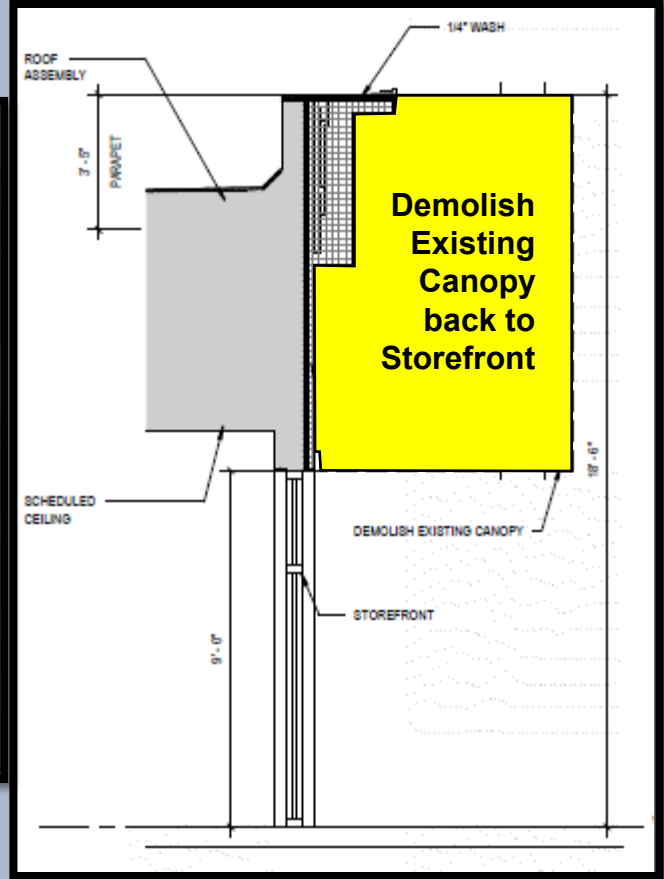
# Mattress Firm – Existing



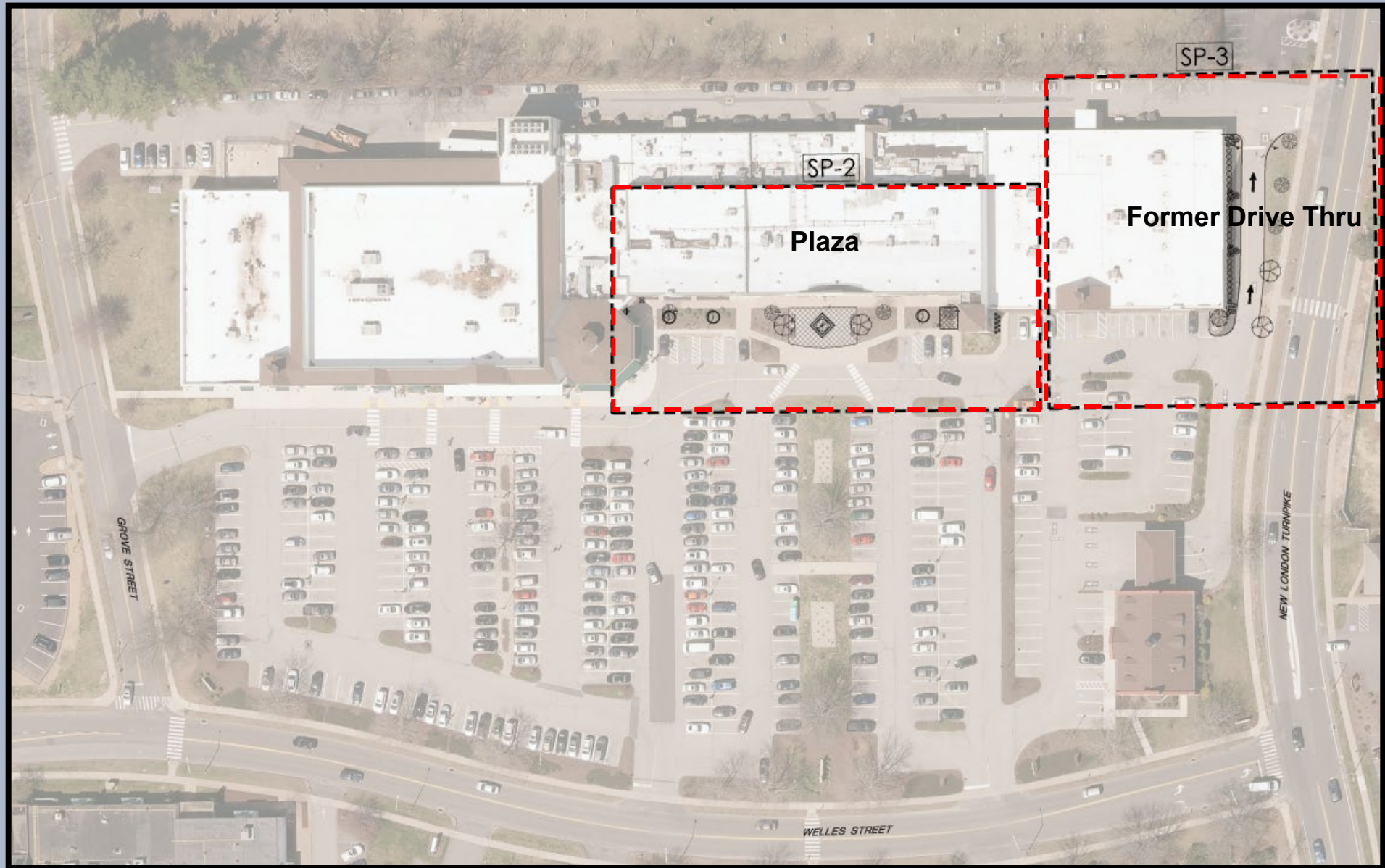
# Mattress Firm – Proposed



# (View from Welles Street) Mattress Firm Elevation



# Landscaping Enhancement Plan



# Plaza Landscaping Plan



BRICK-FACED SEAT WALL WITH STONE CAP



COLUMNAR SARGENT CHERRY



BOWHALL RED MAPLE



SNOW FOUNTAINS WEeping CHERRY

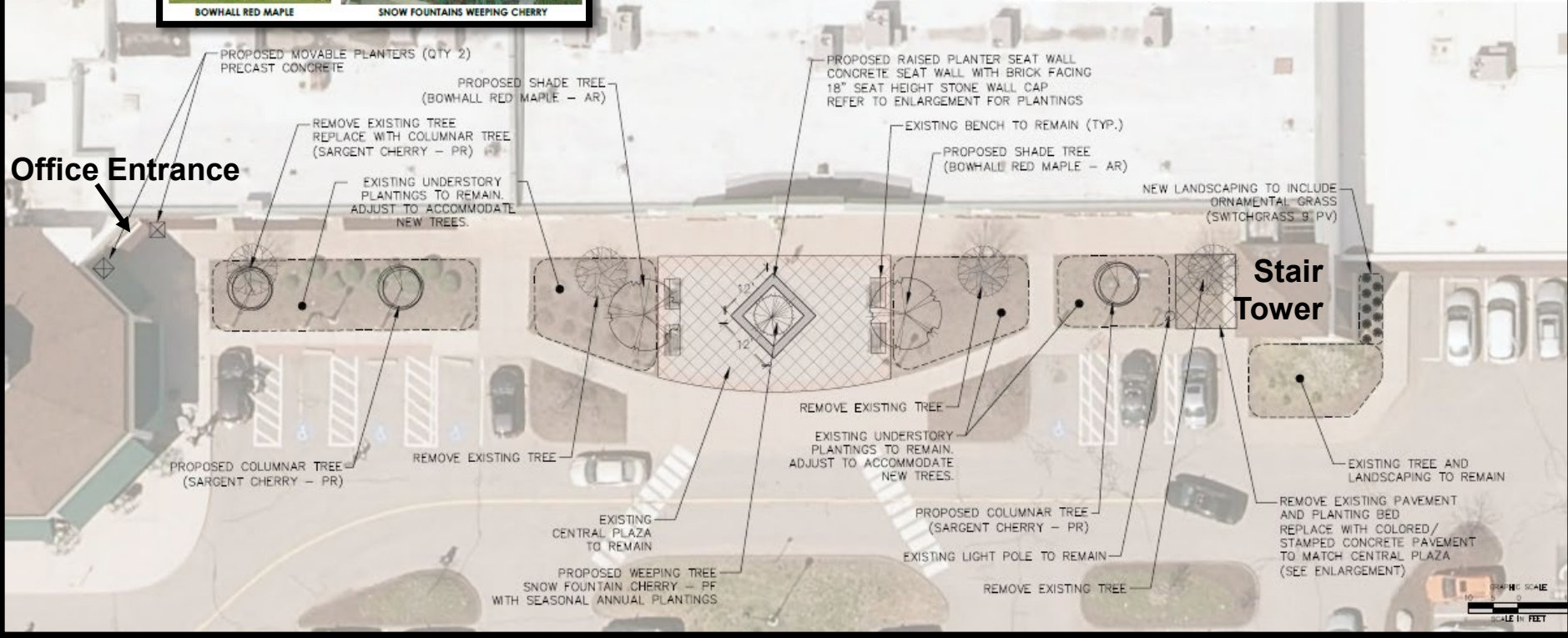
## LANDSCAPE PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	COMMENTS
AR	2	<i>Acer rubrum</i> 'Bowhall'	Bowhall Red Maple	B&B	2"-2.5" CAL.	MIN. 6' BRANCH HEIGHT
PF	1	<i>Prunus</i> x 'Snofozam'	Snow Fountains Weeping Cherry	B&B	1.5"-2.0" CAL.	
PR	3	<i>Prunus sargentii</i> 'Columnaris'	Columnar Sargent Cherry	B&B	2"-2.5" CAL.	MIN. 6' BRANCH HEIGHT
PV	9	<i>Panicum virgatum</i> 'Shenandoah'	Shenandoah Switchgrass	CONT	18"-24" HT.	30" O.C.

PR	3	<i>Prunus sargentii</i> 'Columnaris'	Columnar Sargent Cherry	B&B	2"-2.5" CAL.	MIN. 6' BRANCH HEIGHT
PV	9	<i>Panicum virgatum</i> 'Shenandoah'	Shenandoah Switchgrass	CONT	18"-24" HT.	30" O.C.

Office Entrance

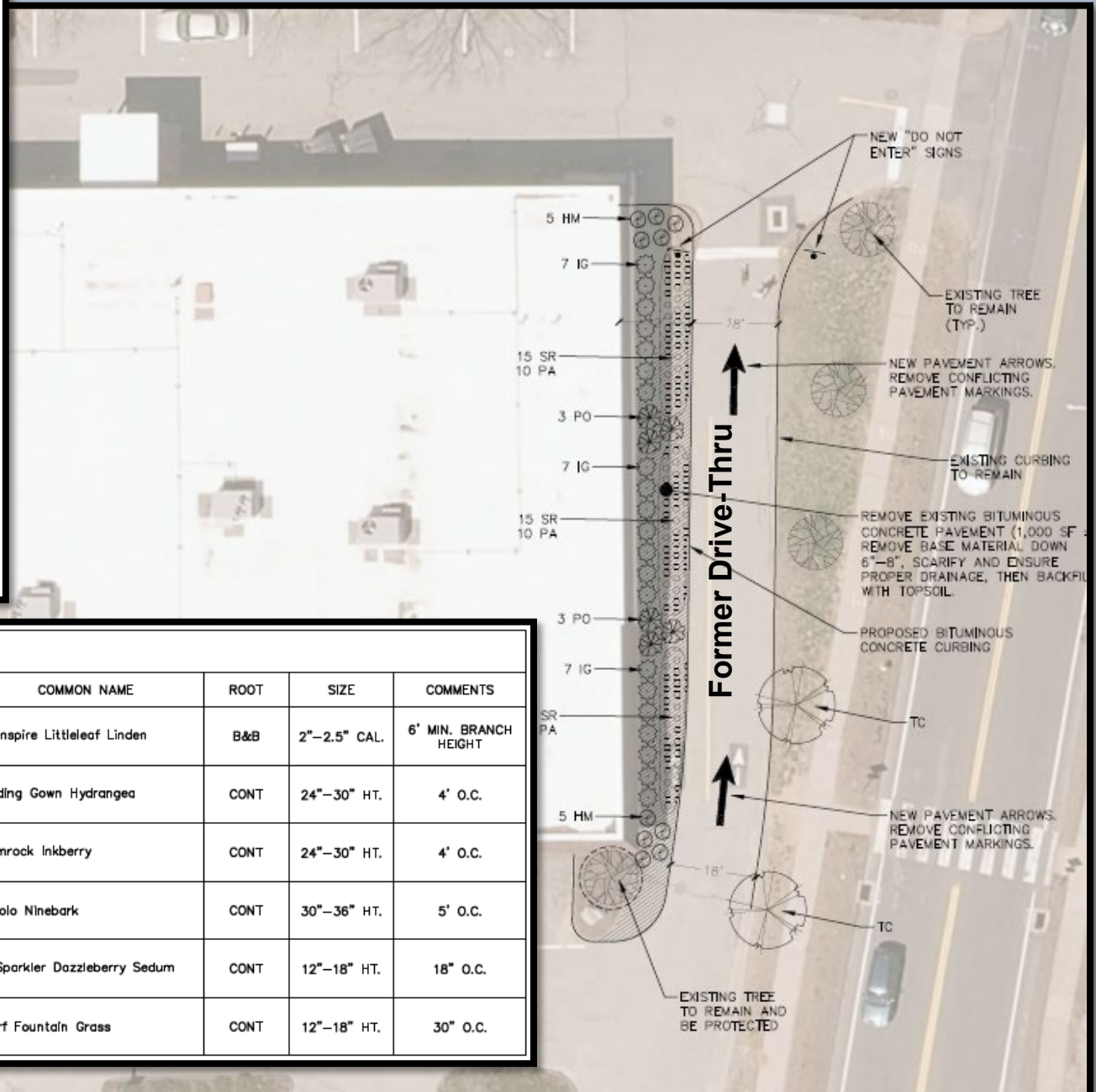
Stair Tower



# Former Drive-Thru Landscaping Plan



EXISTING SITE PHOTOS



## LANDSCAPE PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	COMMENTS
TC	2	<i>Tilia cordata</i> 'Greenspire'	Greenspire Littleleaf Linden	B&B	2"-2.5" CAL.	6' MIN. BRANCH HEIGHT
HM	10	<i>Hydrangea macrophylla</i> 'Wedding Gown'	Wedding Gown Hydrangea	CONT	24"-30" HT.	4' O.C.
IG	21	<i>Ilex glabra</i> 'Shamrock'	Shamrock Inkberry	CONT	24"-30" HT.	4' O.C.
PO	6	<i>Physocarpus opulifolius</i> 'Monlo'	Diablo Ninebark	CONT	30"-36" HT.	5' O.C.
SR	45	<i>Sedum</i> 'Dazzleberry'	SunSparkler Dazzleberry Sedum	CONT	12"-18" HT.	18" O.C.
PA	30	<i>Pennisetum alopecuroides</i> 'Hameln'	Dwarf Fountain Grass	CONT	12"-18" HT.	30" O.C.

# Engineering Memo Condition #1



The existing double lane, one-way circulation pattern on the east side of the main structure is a remnant of the former bank drive-thru which existed at this location. It is suggested that the paved width on this side of the structure be reduced to 20' and that two-way traffic be allowed. This will enable the auxiliary New London Turnpike entrance to become fully functional while still creating a paved width reduction which may be used for substantive landscaping improvements immediately adjacent to the building.