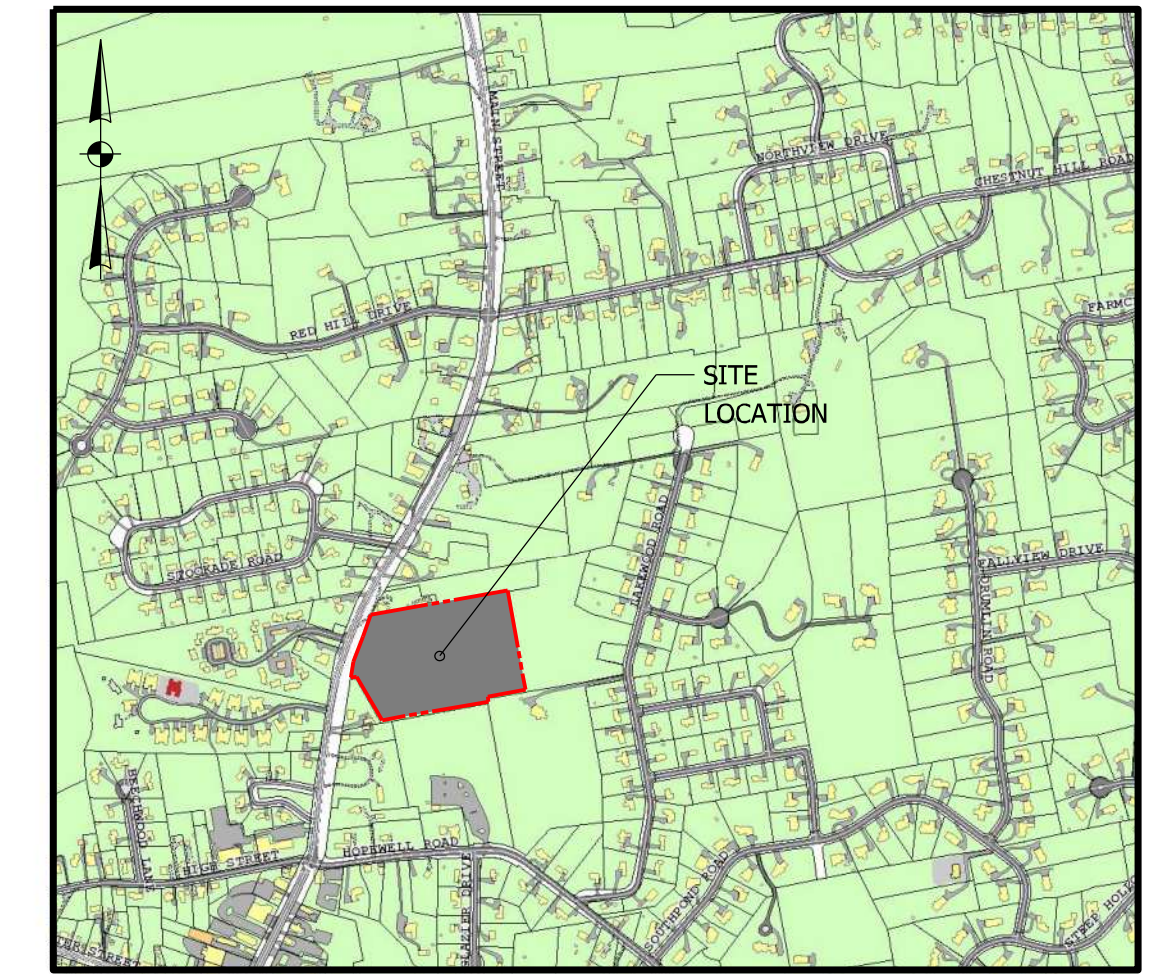


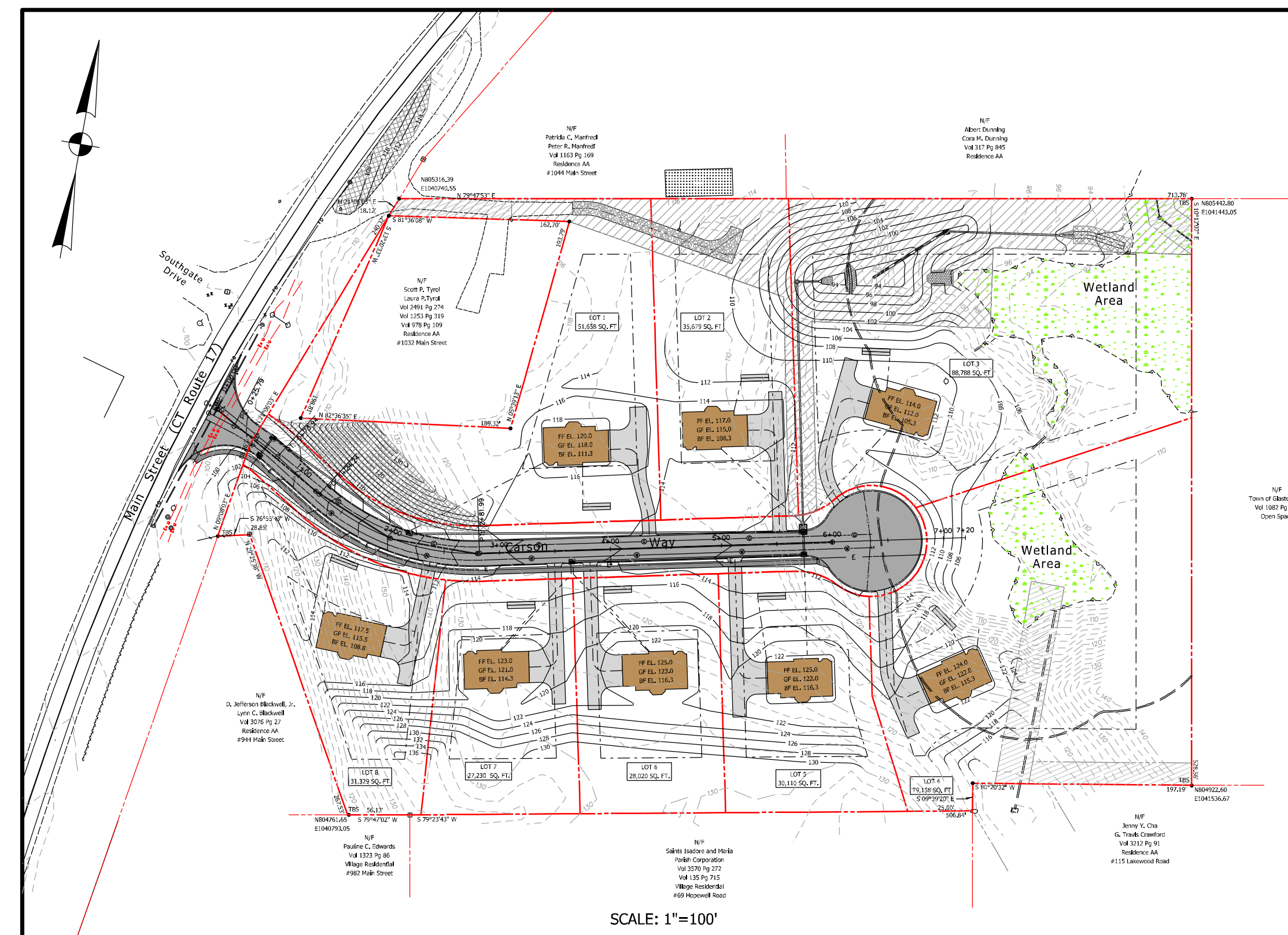
GENERAL NOTES

- TOTAL AREA OF THE PROPERTY IS 9.343± ACRES, 406,986.7± SQ. FT.
- ZONING OF THE PROPERTY IS RESIDENCE AA/GROUNDWATER PROTECTION ZONE 1.
- PROPERTY LINE INFORMATION OBTAINED FROM CLASS A-2 MAP PREPARED BY ROY V. CHENEY, L.S.
- TOPOGRAPHY SHOWN FROM ACTUAL FIELD SURVEY PERFORMED BY ROY CHENEY, L.S..
- ELEVATIONS REFER TO NAVD OF 1988 DATUM. CONTOUR INTERVAL IS TWO FEET.
- WETLAND AREAS ON THIS PROPERTY WERE DELINEATED BY ERIC DAVISON, PROFESSIONAL SOIL SCIENTIST.
- THE GLASTONBURY INLAND WETLANDS AGENCY EXERCISES REGULATORY CONTROL OVER ACTIVITIES IN OR WITHIN 100 FEET OF WETLANDS AREAS AND WATERCOURSES.
- NO PORTION OF THE PROPERTY FALLS WITHIN FLOOD BOUNDARY ZONE 'A' AS DEPICTED ON NATIONAL FLOOD INSURANCE PROGRAM MAP ENTITLED "FLOOD INSURANCE RATE MAP HARTFORD COUNTY, CONNECTICUT (ALL JURISDICTIONS) PANEL 536 OF 675 MAP NUMBER 09003C0536F, EFFECTIVE DATE SEPTEMBER 26, 2008.
- DRIVEWAY APRONS, DIMENSIONS AND PROFILES SHALL CONFORM TO THE TOWN OF GLASTONBURY STANDARDS.
- SOLAR ACCESS HAS BEEN CONSIDERED IN THE DEVELOPMENT AND LAYOUT OF THIS SUBDIVISION THROUGH THE USE OF HOUSE ORIENTATION, STREET AND LOT LAYOUT, VEGETATION, AND NATURAL AND MAN-MADE TOPOGRAPHICAL FEATURES.
- ALL UTILITIES SHOWN ARE APPROXIMATE AND BASED UPON ACTUAL FIELD LOCATION WHERE VISIBLE OR MARKED. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING THE ACTUAL LOCATIONS OF ALL EXISTING UTILITIES INCLUDING LATERALS AND SERVICES. CALL "CALL BEFORE YOU DIG" (1-800-922-4455) TO FIELD VERIFY LOCATIONS PRIOR TO CONSTRUCTION.
- THE LOCATION OF PROPOSED HOUSES AND DRIVEWAYS AND LIMITS OF CLEARING DEPICTED ON THESE PLANS ARE CONCEPTUAL TO DEMONSTRATE FEASIBILITY. ACTUAL HOUSE AND DRIVEWAY LOCATIONS, AND CLEARING LIMITS WILL BE DETERMINED AS EACH LOT IS DEVELOPED.
- ALL WORK WITHIN THE STATE HIGHWAY LINE REQUIRES A CONNECTICUT DEPARTMENT OF TRANSPORTATION (CTDOT) ENCROACHMENT PERMIT. THE OWNER/CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE PERMIT AND COMPLYING WITH ALL PROVISIONS AND CONDITIONS OF THE PERMIT.
- THE CONTRACTOR SHALL COORDINATE ALL WORK AND ARRANGE TO SUPPORT AND RELOCATE EXISTING UTILITY POLES WITH THE APPROPRIATE UTILITY COMPANY AS REQUIRED.
- OWNER OF RECORD: CARRIER CONSTRUCTION INC. P.O. BOX 1842 BRISTOL, CT 06010-1842.
- ASSESSOR'S MAP E10 STREET 4140 LOT E0129B.

Sand Hill Estates 1040 Main Street Glastonbury, CT



LOCATION PLAN
SCALE: 1"=1000'



TOWN PLAN & ZONING COMMISSION APPROVAL	
SAND HILL ESTATES	RESIDENCE AA/GWP ZONE 1
SUBDIVISION NAME	ZONE
CARRIER CONSTRUCTION, INC.	
SUBDIVIDER	
SUBDIVISION APPROVAL DATE	PLAN & ZONING COMMISSION CHAIRMAN
COMPLETION DATE FOR SUBDIVISION IMPROVEMENTS	COMMUNITY DEVELOPMENT DIRECTOR
FILE NO.	TOWN ENGINEER

OWNER:
Carrier Construction Inc.
P.O. Box 1842
Bristol, CT 06010-1842

APPLICANT:
Carrier Construction Inc.
P.O. Box 1842
Bristol, CT 06010-1842

CIVIL ENGINEER:
WOLFF ENGINEERING
Cornerstone Professional Park, Suite C101
39 Sherman Hill Road
Woodbury, Connecticut 06798

SURVEYOR:
Roy V. Cheney
18 Main Street North
Bethlehem, CT 06751

SOIL SCIENTIST:
Davison Environmental
10 Maple Street
Chester, CT 06412

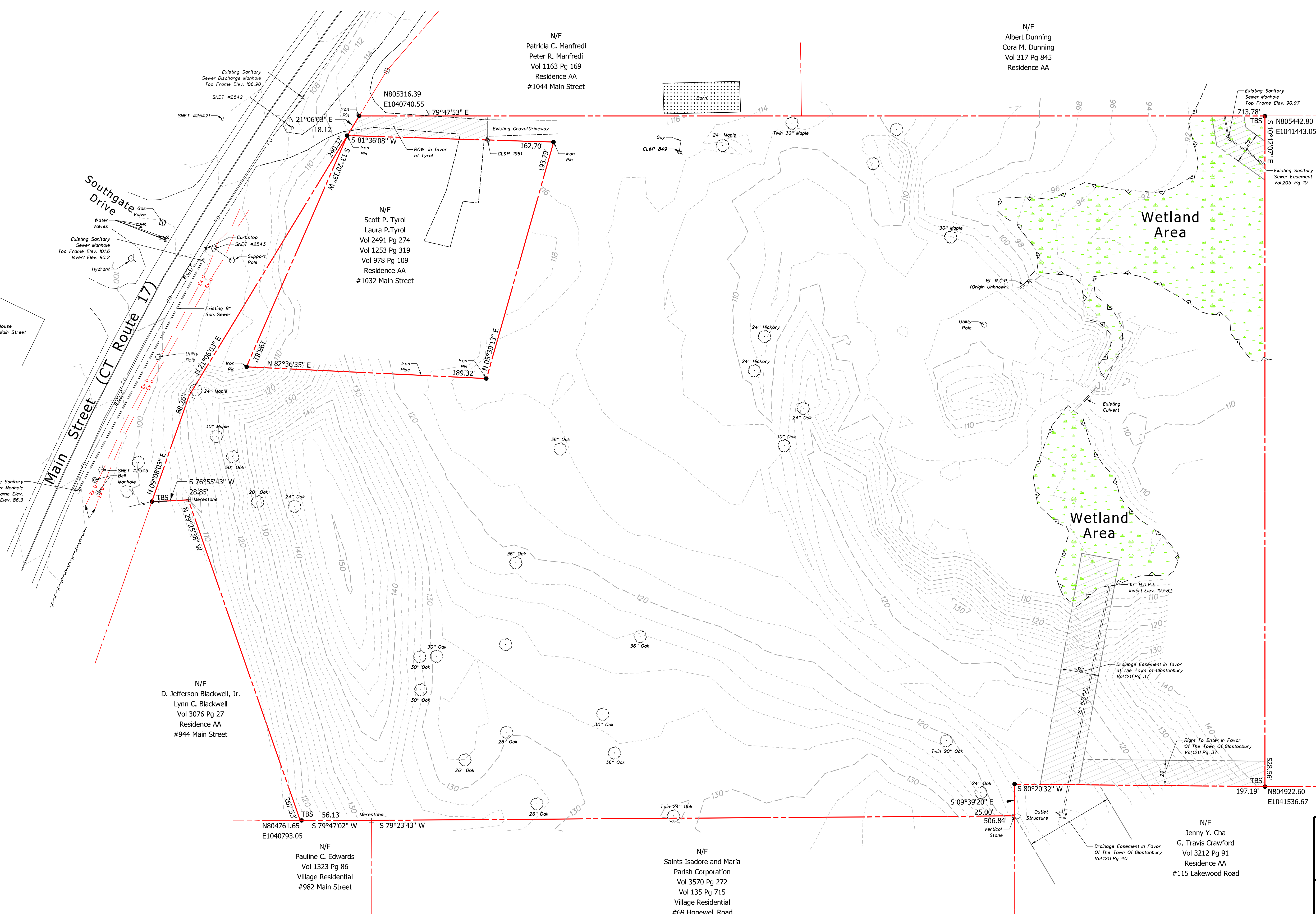
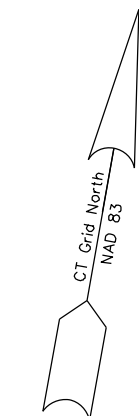


CIVIL ENGINEERS
CORNERSTONE PROFESSIONAL PARK, SUITE C101
39 SHERMAN HILL ROAD
WOODBURY, CONNECTICUT 06798
TEL.: 203.263.7447 FAX.: 203.263.0060
March 29, 2021

SHEET NUMBER	DRAWING TITLE
1	COVER SHEET
2	EXISTING CONDITIONS PLAN
3	SUBDIVISION PLAN (NOT INCLUDED WITH THIS SUBMISSION)
4	SITE DEVELOPMENT PLAN, GRADING PLAN
5	ROADWAY PLAN AND PROFILE, INTERSECTION GRADING PLANS
6	SEDIMENTATION & EROSION CONTROL PLAN
7	SEDIMENTATION & EROSION CONTROL NOTES & DETAILS, CONSTRUCTION NOTES AND SEQUENCE
8	SEDIMENTATION & EROSION CONTROL DETAILS
9-11	DETAILS
12	SIGHT LINE DIAGRAM

PRELIMINARY REVIEW COPY 03/29/2021





N/F
Patricia C. Manfredi
Peter R. Manfredi
Vol 1163 Pg 169
Residence AA
#1044 Main Street

N/F
Albert Dunning
Cora M. Dunning
Vol 317 Pg 845
Residence AA

N/F
Scott P. Tyrol
Laura P. Tyrol
Vol 2491 Pg 274
Vol 1253 Pg 319
Vol 978 Pg 109
Residence AA
#1032 Main Street

N/F
D. Jefferson Blackwell, Jr.
Lynn C. Blackwell
Vol 3076 Pg 27
Residence AA
#944 Main Street

N/F
Pauline C. Edwards
Vol 1323 Pg 86
Village Residential
#982 Main Street

N/F
Saints Isadore and Maria
Parish Corporation
Vol 3570 Pg 272
Vol 135 Pg 715
Village Residential
#69 Hopewell Road

N/F
Jenny Y. Cha
G. Travis Crawford
Vol 3212 Pg 91
Residence AA
#115 Lakewood Road

N/F
Town of Glastonbury
Vol 1082 Pg 278
Open Space

SAND HILL ESTATES
1040 MAIN STREET
GLASTONBURY, CT
EXISTING CONDITIONS PLAN

OWNER/APPLICANT:
CARRIER CONSTRUCTION INC
PO BOX 1842
BRISTOL, CT 06010-1842

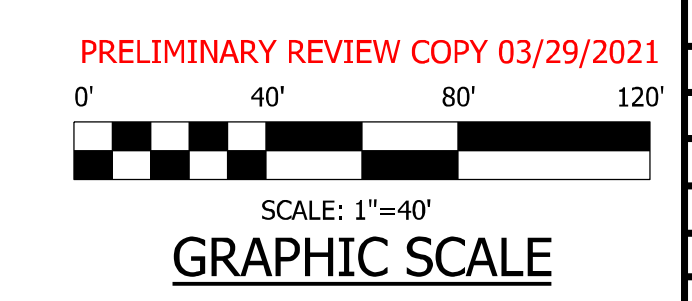
SITE LOCATION:
1040 MAIN STREET
ASSESSOR'S MAP E10 STREET 4140 LOT E0129B
GLASTONBURY, CT

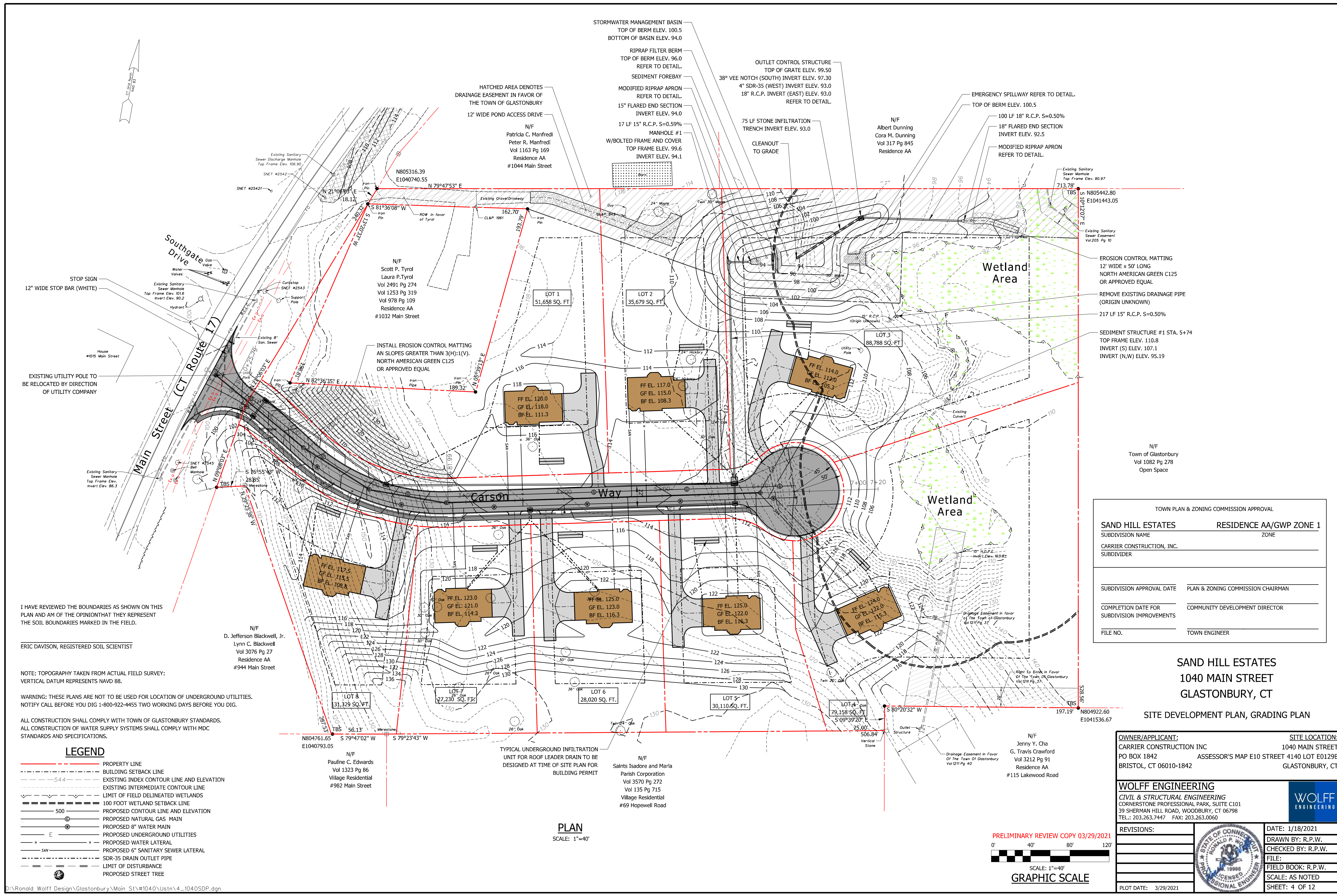
WOLFF ENGINEERING CIVIL & STRUCTURAL ENGINEERING CORNERSTONE PROFESSIONAL PARK, SUITE C101 39 SHERMAN HILL ROAD, WOODBURY, CT 06798 TEL.: 203.263.7447 FAX: 203.263.0060		
REVISIONS: _____ _____ _____ _____ PLOT DATE: 3/29/2021	DATE: 1/18/2021 DRAWN BY: R.P.W. CHECKED BY: R.P.W. FILE: FIELD BOOK: R.P.W. SCALE: AS NOTED SHEET: 2 OF 12	

LEGEND

- PROPERTY LINE
- - - 5.44' - EXISTING INDEX CONTOUR LINE AND ELEVATION
- - - - EXISTING INTERMEDIATE CONTOUR LINE
- - - - LIMIT OF FIELD DELINEATED WETLANDS

PLAN
SCALE: 1"=40'





I HAVE REVIEWED THE BOUNDARIES AS SHOWN ON THIS PLAN AND AM OF THE OPINION THAT THEY REPRESENT THE SOIL BOUNDARIES MARKED IN THE FIELD.

ERIC DAVISON, REGISTERED SOIL SCIENTIST

N/F
D. Jefferson Blackwell, Jr.
Lynn C. Blackwell
Vol 3076 Pg 27
Residence AA
#944 Main Street

NOTE: TOPOGRAPHY TAKEN FROM ACTUAL FIELD SURVEY; VERTICAL DATUM REPRESENTS NAVD 88.

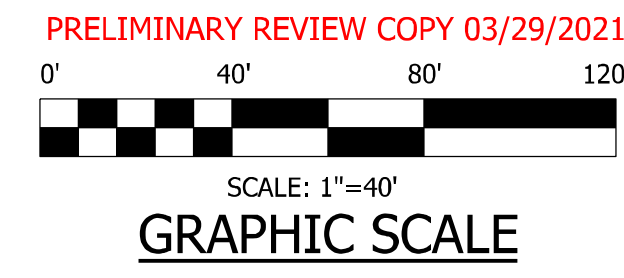
WARNING: THESE PLANS ARE NOT TO BE USED FOR LOCATION OF UNDERGROUND UTILITIES. NOTIFY CALL BEFORE YOU DIG 1-800-922-4455 TWO WORKING DAYS BEFORE YOU DIG.

ALL CONSTRUCTION SHALL COMPLY WITH TOWN OF GLASTONBURY STANDARDS. ALL CONSTRUCTION OF WATER SUPPLY SYSTEMS SHALL COMPLY WITH MDC STANDARDS AND SPECIFICATIONS.

LEGEND

---	PROPERTY LINE
---	BUILDING SETBACK LINE
---	EXISTING INDEX CONTOUR LINE AND ELEVATION
---	EXISTING INTERMEDIATE CONTOUR LINE
---	LIMIT OF FIELD DELINEATED WETLANDS
---	100 FOOT WETLAND SETBACK LINE
---	PROPOSED CONTOUR LINE AND ELEVATION
---	PROPOSED NATURAL GAS MAIN
---	PROPOSED 8" WATER MAIN
---	PROPOSED UNDERGROUND UTILITIES
---	PROPOSED WATER LATERAL
---	PROPOSED 6" SANITARY SEWER LATERAL
---	SDR-35 DRAIN OUTLET PIPE
---	LIMIT OF DISTURBANCE
---	PROPOSED STREET TREE

PLAN
SCALE: 1"=40'



TOWN PLAN & ZONING COMMISSION APPROVAL

SAND HILL ESTATES	RESIDENCE AA/GWP ZONE 1
SUBDIVISION NAME	ZONE
CARRIER CONSTRUCTION, INC.	
SUBDIVIDER	
SUBDIVISION APPROVAL DATE	PLAN & ZONING COMMISSION CHAIRMAN
COMPLETION DATE FOR SUBDIVISION IMPROVEMENTS	COMMUNITY DEVELOPMENT DIRECTOR
FILE NO.	TOWN ENGINEER

SAND HILL ESTATES
1040 MAIN STREET
GLASTONBURY, CT

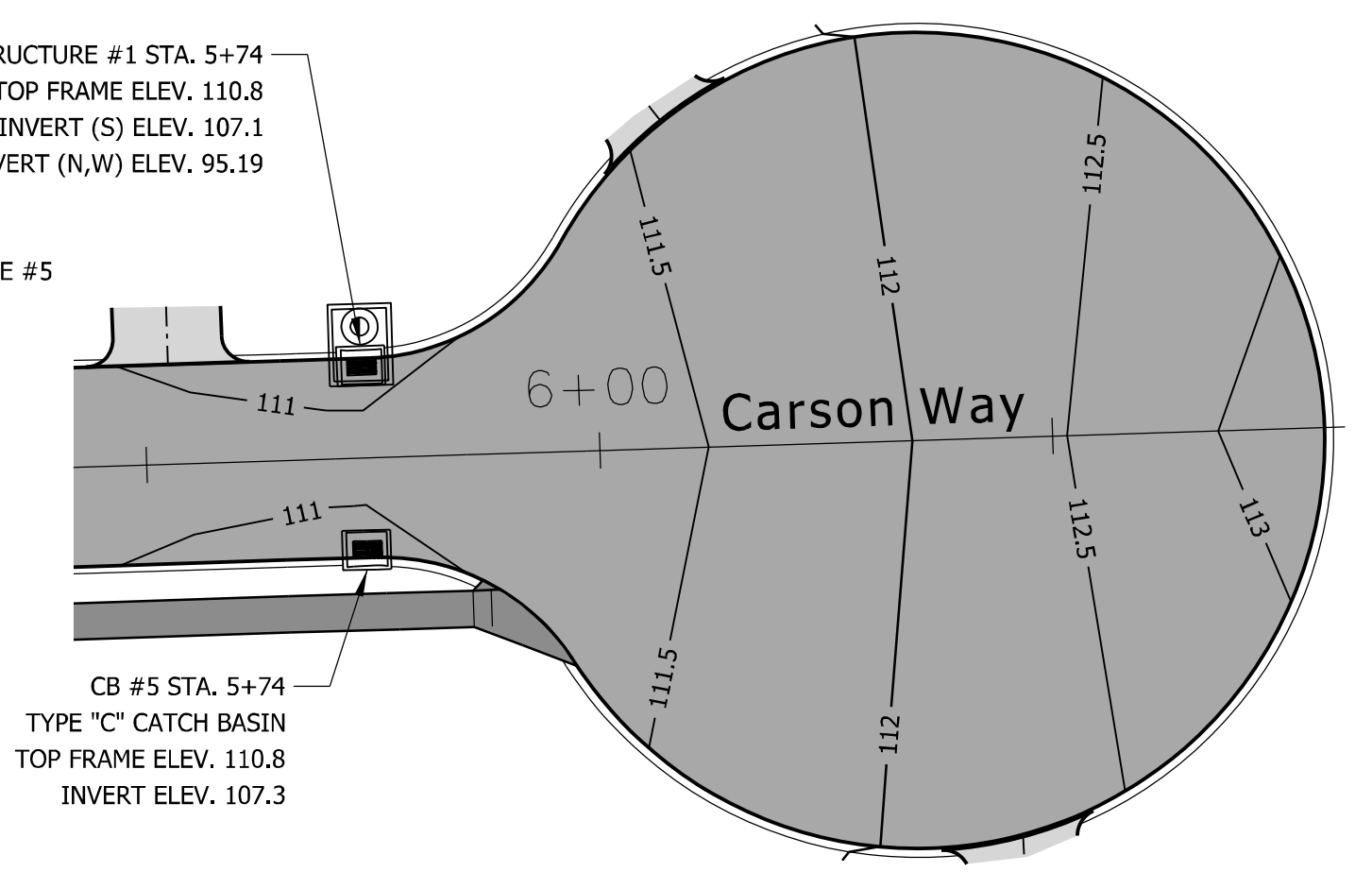
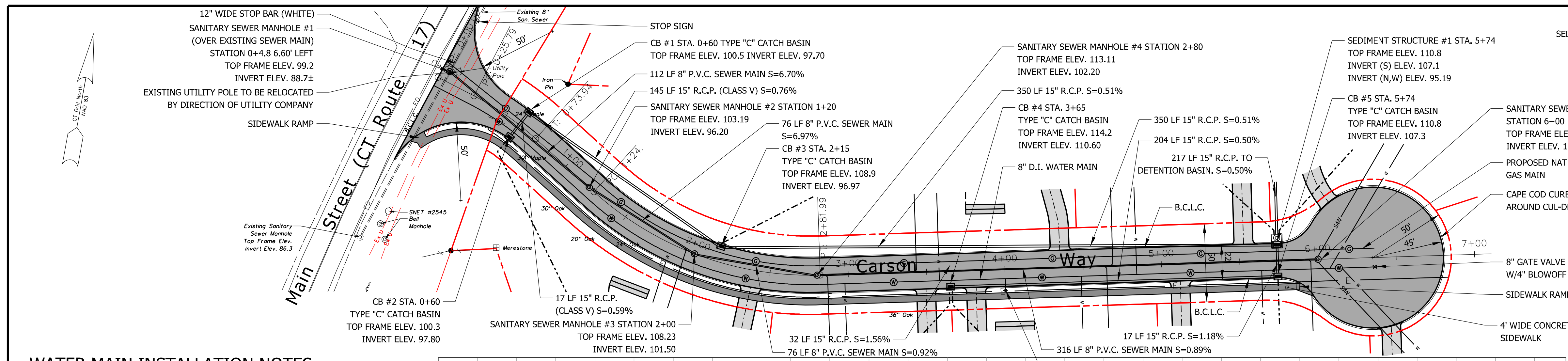
SITE DEVELOPMENT PLAN, GRADING PLAN

OWNER/APPLICANT: CARRIER CONSTRUCTION INC PO BOX 1842 BRISTOL, CT 06010-1842	SITE LOCATION: 1040 MAIN STREET 4140 LOT E0129B GLASTONBURY, CT
----------------------------------------------------------------------------------------------	---------------------------------------------------------------------------------

WOLFF ENGINEERING
CIVIL & STRUCTURAL ENGINEERING
CORNERSTONE PROFESSIONAL PARK, SUITE C101
39 SHERMAN HILL ROAD, WOODBURY, CT 06798
TEL.: 203.263.7447 FAX: 203.263.0060

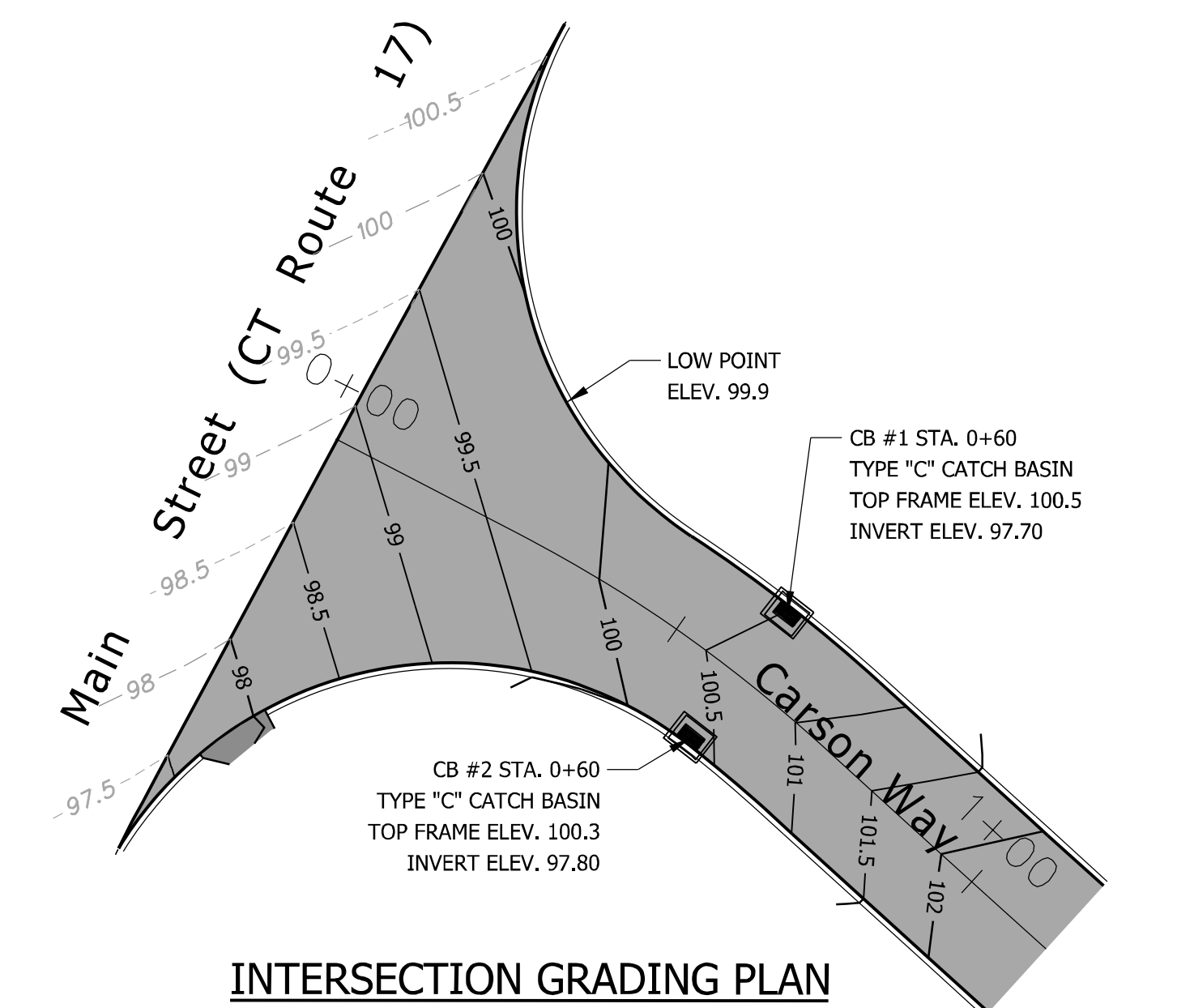
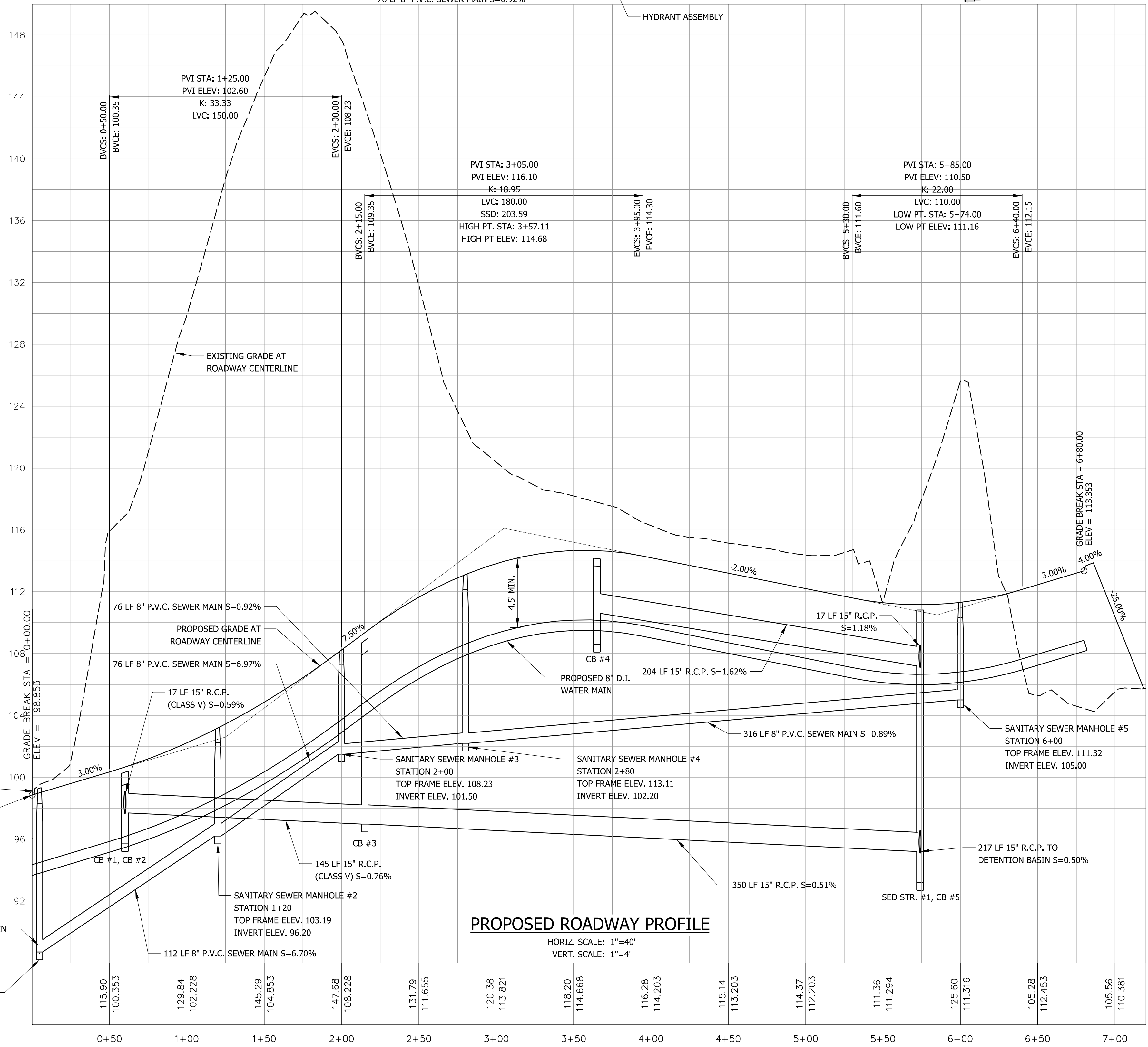
DATE: 1/18/2021
DRAWN BY: R.P.W.
CHECKED BY: R.P.W.
FILE:
FIELD BOOK: R.P.W.
SCALE: AS NOTED
SHEET: 4 OF 12

REVISIONS:
PLOT DATE: 3/29/2021



CUL-DE-SAC GRADING PLAN
SCALE: 1"=20'

- WATER MAIN INSTALLATION NOTES:**
1. ALL PIPE 4" OR LARGER SHALL BE CL54 D.I.P.
 2. WATER MAIN SHALL BE INSTALLED WITH A 3' SEPARATING DISTANCE.
 3. 4'-6" MINIMUM BURIAL DEPTH
 4. ALL HYDRANTS SHALL OPEN LEFT.
 5. DOMESTIC WATER SERVICE SHALL BE PRESSURE TESTED TO 150 P.S.I.
 6. WATER SERVICES SHALL BE SAMPLED AND TESTED FOR WATER QUALITY.



INTERSECTION GRADING PLAN
SCALE: 1"=20'

TOWN PLAN & ZONING COMMISSION APPROVAL	
SAND HILL ESTATES	RESIDENCE AA/GWP ZONE 1
SUBDIVISION NAME	ZONE
CARRIER CONSTRUCTION, INC.	
SUBDIVIDER	
SUBDIVISION APPROVAL DATE	PLAN & ZONING COMMISSION CHAIRMAN
COMPLETION DATE FOR SUBDIVISION IMPROVEMENTS	COMMUNITY DEVELOPMENT DIRECTOR
FILE NO.	TOWN ENGINEER

SAND HILL ESTATES
1040 MAIN STREET
GLASTONBURY, CT
ROADWAY PLAN AND PROFILE,
INTERSECTION GRADING PLANS

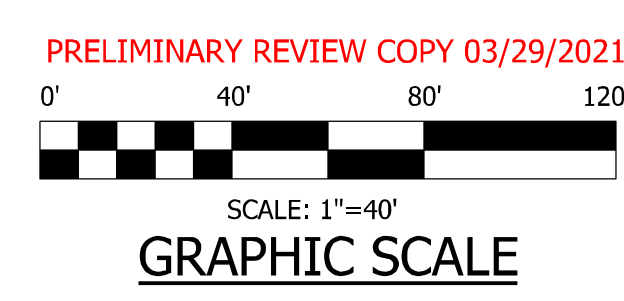
OWNER/APPLICANT:
CARRIER CONSTRUCTION INC
PO BOX 1842
BRISTOL, CT 06010-1842

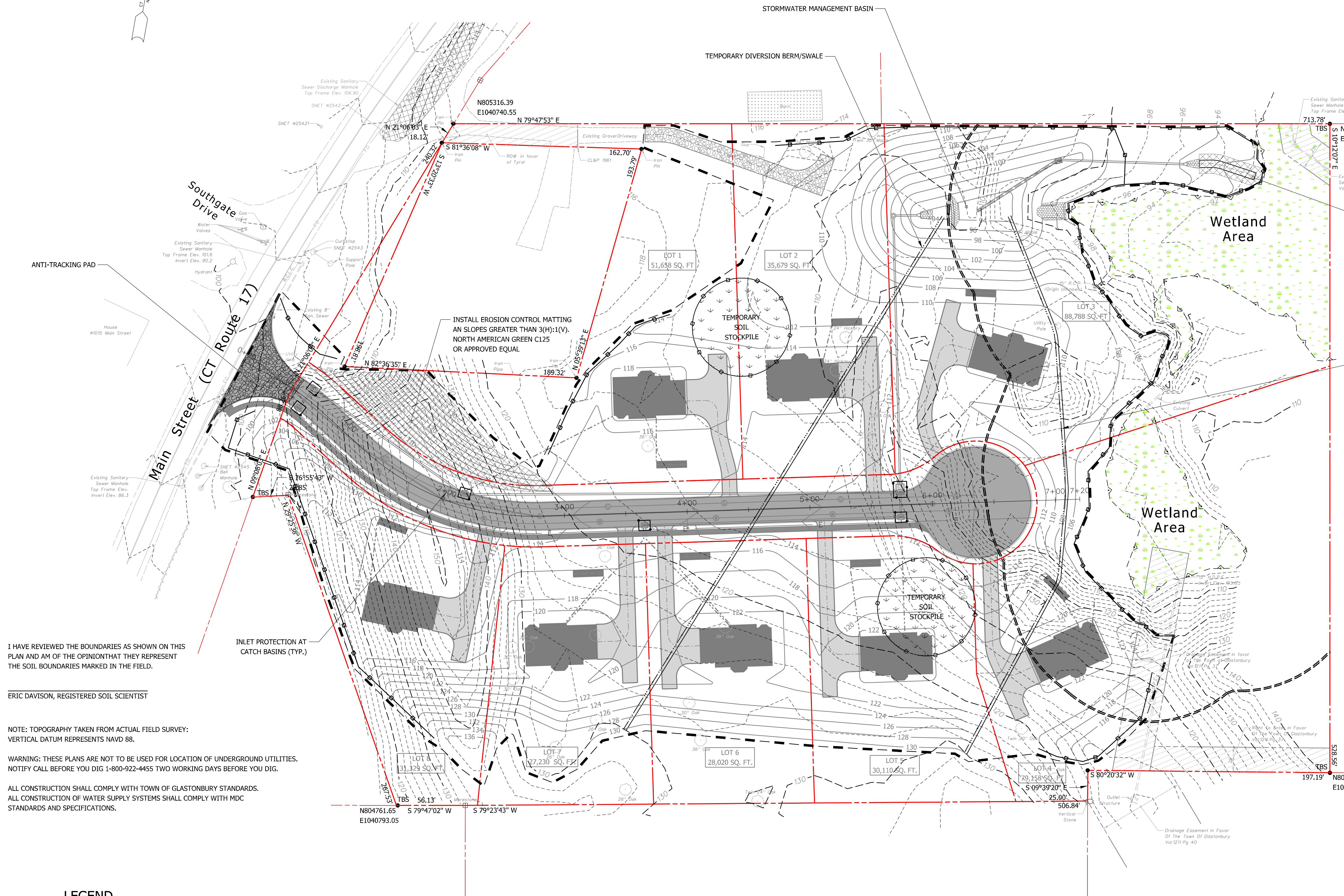
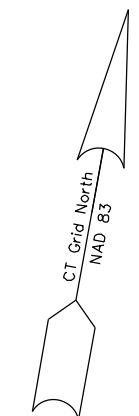
SITE LOCATION:
1040 MAIN STREET
ASSESSOR'S MAP E10 STREET 4140 LOT E0129B
GLASTONBURY, CT

WOLFF ENGINEERING
CIVIL & STRUCTURAL ENGINEERING
CORNERSTONE PROFESSIONAL PARK, SUITE C101
39 SHERMAN HILL ROAD, WOODBURY, CT 06798
TEL: 203.263.7447 FAX: 203.263.0060

DATE: 1/18/2021
DRAWN BY: R.P.W.
CHECKED BY: R.P.W.
FILE:
FIELD BOOK: R.P.W.
SCALE: AS NOTED
SHEET: 5 OF 12

REVISIONS:
PLOT DATE: 3/29/2021





I HAVE REVIEWED THE BOUNDARIES AS SHOWN ON THIS PLAN AND AM OF THE OPINION THAT THEY REPRESENT THE SOIL BOUNDARIES MARKED IN THE FIELD.

ERIC DAVISON, REGISTERED SOIL SCIENTIST

NOTE: TOPOGRAPHY TAKEN FROM ACTUAL FIELD SURVEY; VERTICAL DATUM REPRESENTS NAVD 88.

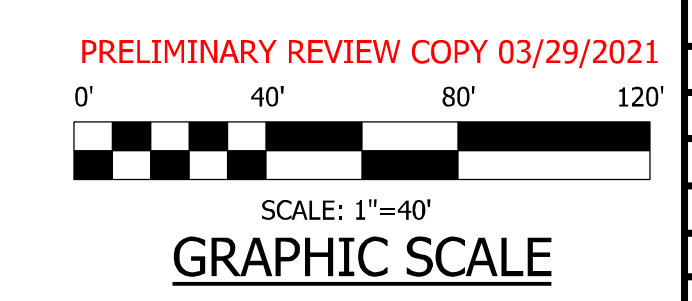
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ALL CONSTRUCTION SHALL COMPLY WITH TOWN OF GLASTONBURY STANDARDS. ALL CONSTRUCTION OF WATER SUPPLY SYSTEMS SHALL COMPLY WITH MDC STANDARDS AND SPECIFICATIONS.

LEGEND

	PROPERTY LINE
	EXISTING INDEX CONTOUR LINE AND ELEVATION
	EXISTING INTERMEDIATE CONTOUR LINE
	LIMIT OF FIELD DELINEATED WETLANDS
	100 FOOT WETLAND SETBACK LINE
	PROPOSED CONTOUR LINE AND ELEVATION
	LIMIT OF DISTURBANCE
	SEDIMENTATION CONTROL SYSTEM

PLAN
SCALE: 1"=40'



TOWN PLAN & ZONING COMMISSION APPROVAL	
SAND HILL ESTATES	RESIDENCE AA/GWP ZONE 1
SUBDIVISION NAME	ZONE
CARRIER CONSTRUCTION, INC.	
SUBDIVIDER	
SUBDIVISION APPROVAL DATE	PLAN & ZONING COMMISSION CHAIRMAN
COMPLETION DATE FOR SUBDIVISION IMPROVEMENTS	COMMUNITY DEVELOPMENT DIRECTOR
FILE NO.	TOWN ENGINEER

SAND HILL ESTATES
1040 MAIN STREET
GLASTONBURY, CT

SEDIMENTATION & EROSION CONTROL PLAN

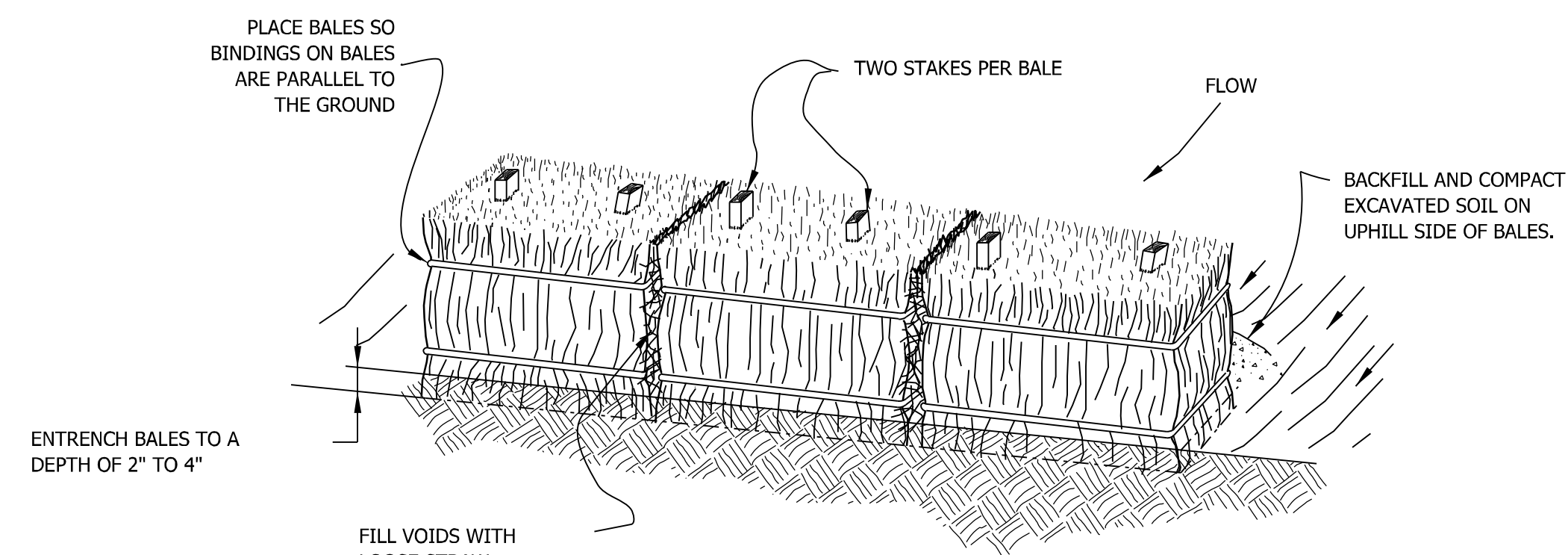
OWNER/APPLICANT: CARRIER CONSTRUCTION INC	SITE LOCATION: 1040 MAIN STREET PO BOX 1842 BRISTOL, CT 06010-1842
ASSESSOR'S MAP E10 STREET 4140 LOT E0129B	GLASTONBURY, CT

WOLFF ENGINEERING
CIVIL & STRUCTURAL ENGINEERING
CORNERSTONE PROFESSIONAL PARK, SUITE C101
39 SHERMAN HILL ROAD, WOODBURY, CT 06798
TEL.: 203.263.7447 FAX: 203.263.0060

REVISIONS:

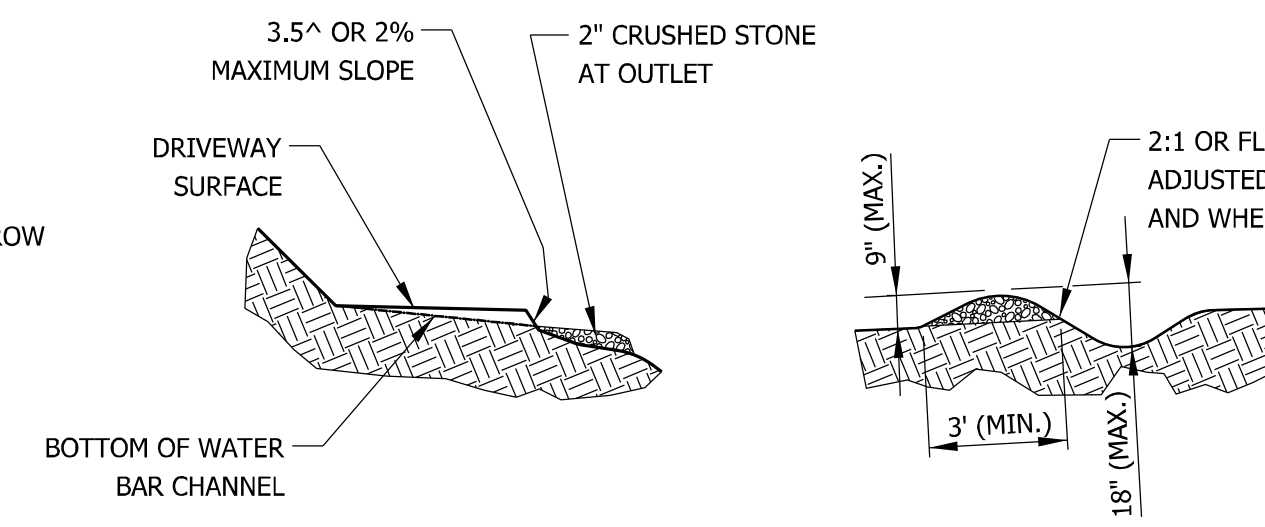
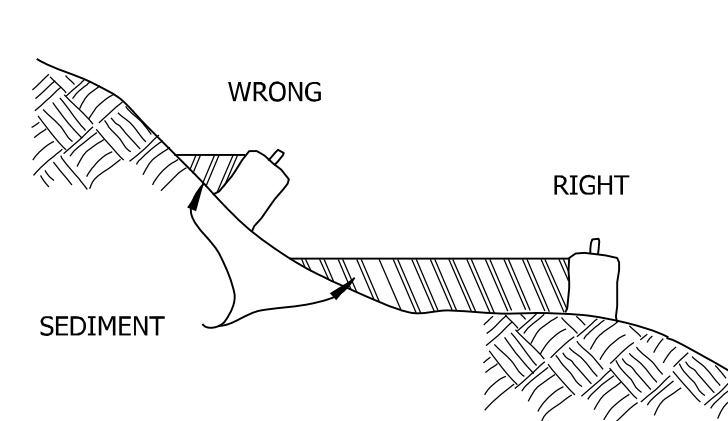
DATE: 1/18/2021
DRAWN BY: R.P.W.
CHECKED BY: R.P.W.
FILE:
FIELD BOOK: R.P.W.
SCALE: AS NOTED
SHEET: 6 OF 12

PLOT DATE: 3/29/2021

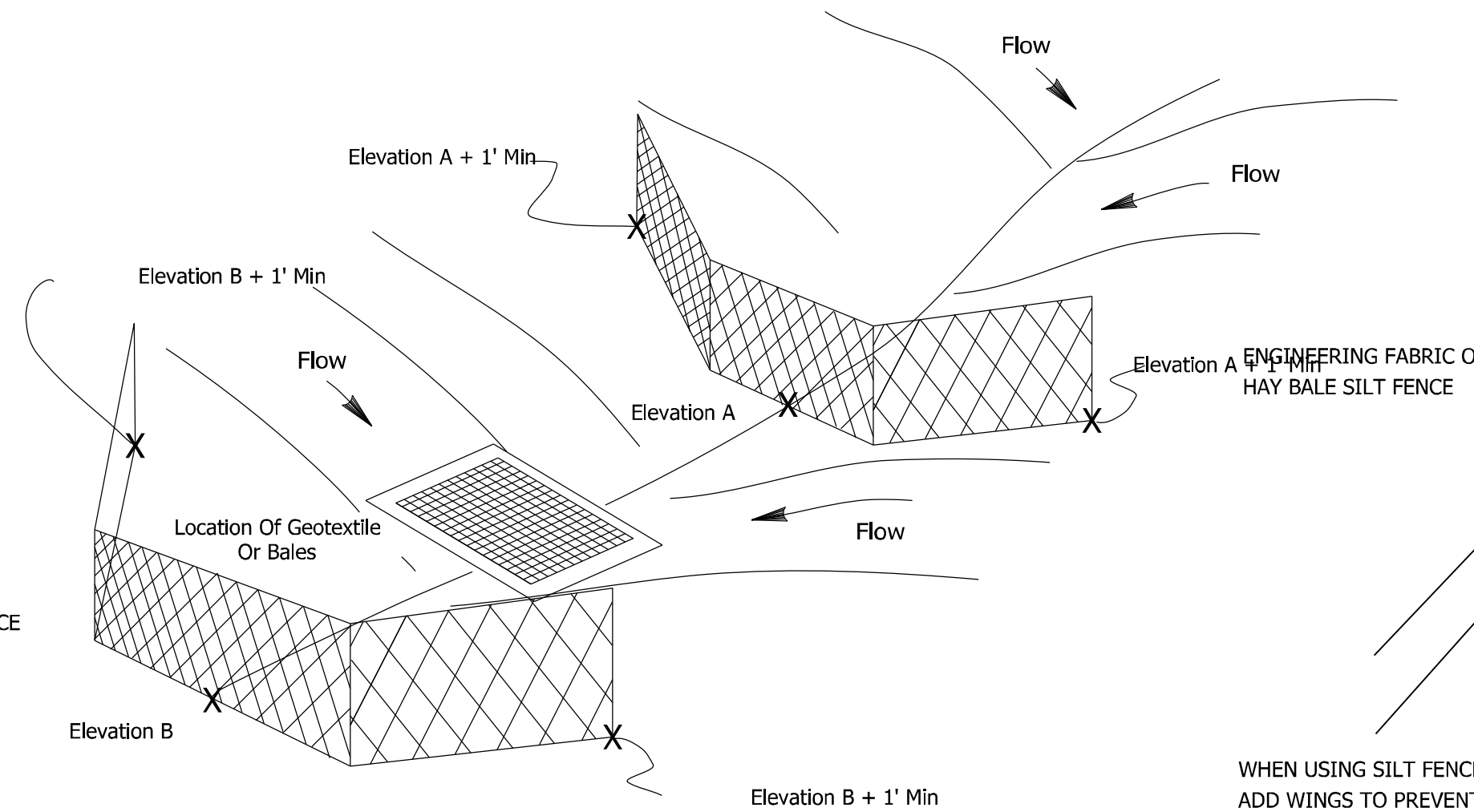


**PREFERRED PLACEMENT
HAY/STRAW BALES**
NOT TO SCALE

BALES PLACED AWAY FROM TOE OF SLOPE HAVE A LARGER CONFINEMENT AREA. ADDITIONAL BALES SHOULD BE ADDED BEHIND ORIGINAL BALES BEFORE SEDIMENTATION TOPS THE FIRST BALES.



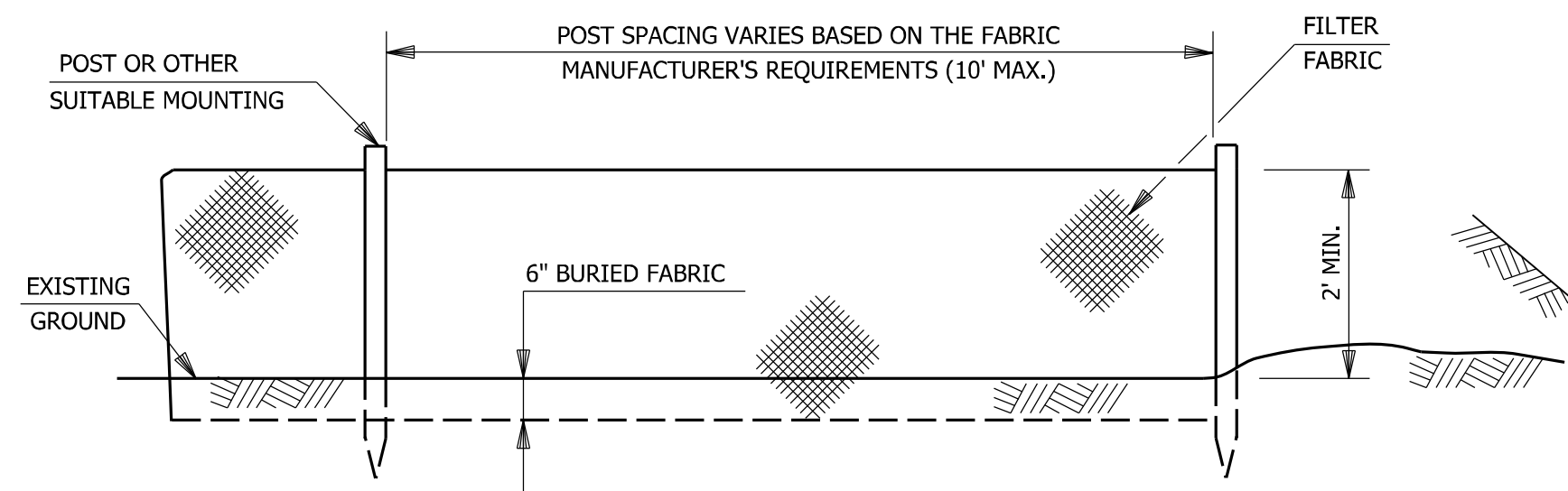
**SECTION A-A
SECTION B-B
TEMPORARY WATER BAR DETAIL**
NOT TO SCALE



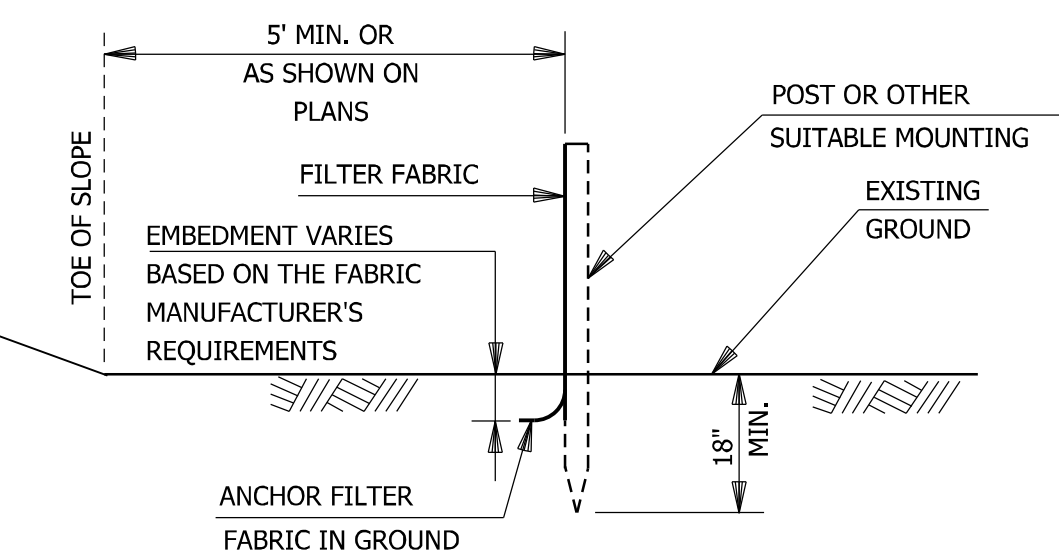
CATCH BASIN ON A SLOPE
NOT TO SCALE

**SEDIMENTATION CONTROL SYSTEM
TOE OF SLOPE**

WHEN USING SILT FENCE ALONG TOE OF SLOPE, ADD WINGS TO PREVENT SEDIMENT FROM MOVING ALONG THE FENCE AND OFF THE SITE. SPACING OF THE WING SHALL BE DETERMINED BY THE ENGINEER.



ELEVATION

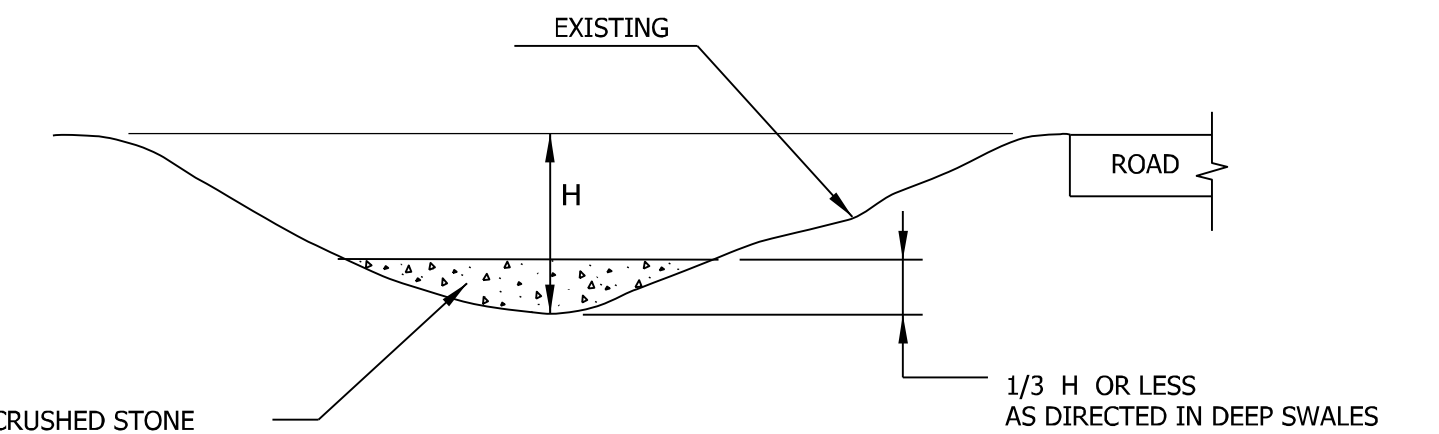


SECTION

SEDIMENTATION CONTROL SYSTEM
NOT TO SCALE

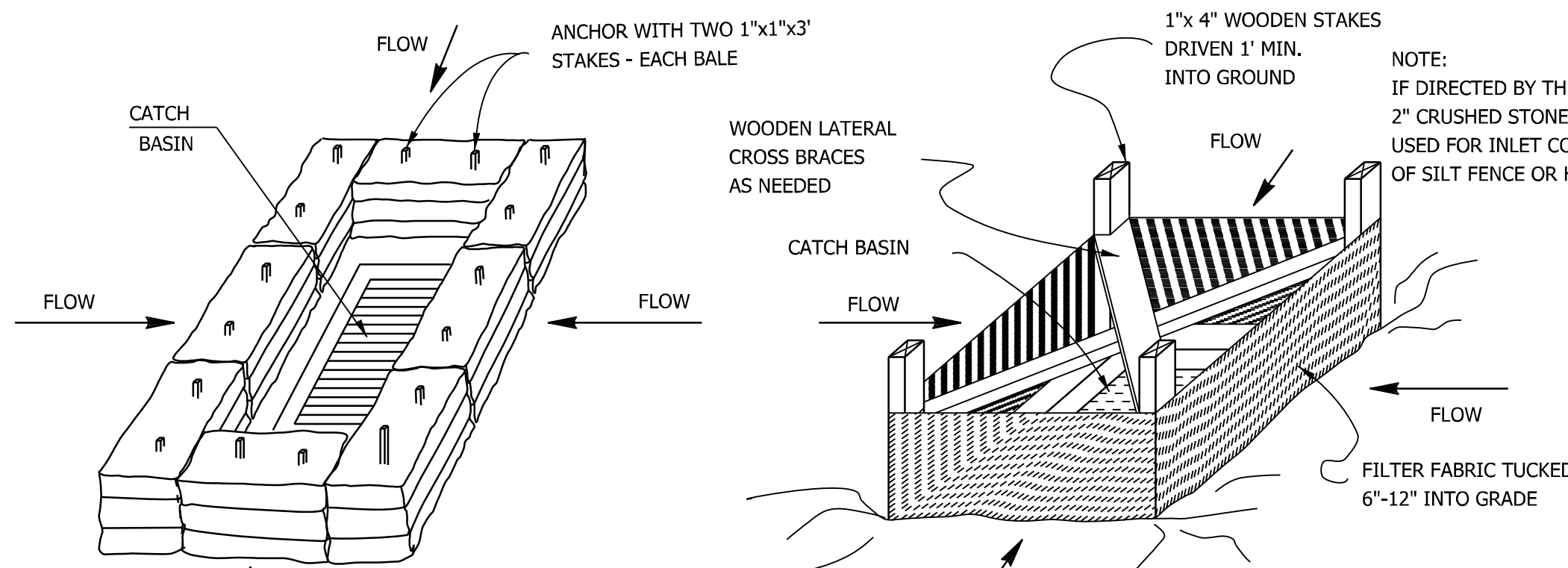
TEMPORARY DIVERSION NOTES

- CONSTRUCTION**
1. INSTALL EROSION CONTROLS AT THE OUTLET WHERE SEDIMENT LADEN RUNOFF IS EXPECTED.
 2. CONSTRUCT THE TEMPORARY DIVERSION AFTER GRADING THE BERM.
 3. TAMP OR COMPACT IT TO PREVENT FAILURE.
 4. APPLY STABILIZATION MEASURES (MAY INCLUDE TEMPORARY OR PERMANENT SEED AND MULCH) IMMEDIATELY FOLLOWING CONSTRUCTION.
- MAINTENANCE**
1. WHEN THE TEMPORARY DIVERSION IS LOCATED WITHIN CLOSE PROXIMITY TO ONGOING CONSTRUCTION ACTIVITIES, INSPECT THE TEMPORARY DIVERSION AT THE END OF EACH WORK DAY AND IMMEDIATELY REPAIR DAMAGES CAUSED BY CONSTRUCTION EQUIPMENT. OTHERWISE INSPECT THE TEMPORARY DIVERSION AND ANY ASSOCIATED MEASURES WEEKLY OR IMMEDIATELY AFTER 0.5 INCH OF RAIN FALLS WITHIN A 24-HOUR PERIOD TO DETERMINE MAINTENANCE NEEDS.
 2. REPAIR THE TEMPORARY DIVERSION AND ANY ASSOCIATED MEASURES WITHIN 24 HOURS OF OBSERVED FAILURE.
 3. WHEN REPETITIVE FAILURES OCCUR AT THE SAME LOCATION, REVIEW CONDITIONS AND LIMITATION FOR USE AND DETERMINE IF ADDITIONAL MEASURES ARE NEEDED TO REDUCE FAILURE RATES OR IF ALTERNATE MEASURES ARE INDICATED TO REPLACE THE TEMPORARY DIVERSION.

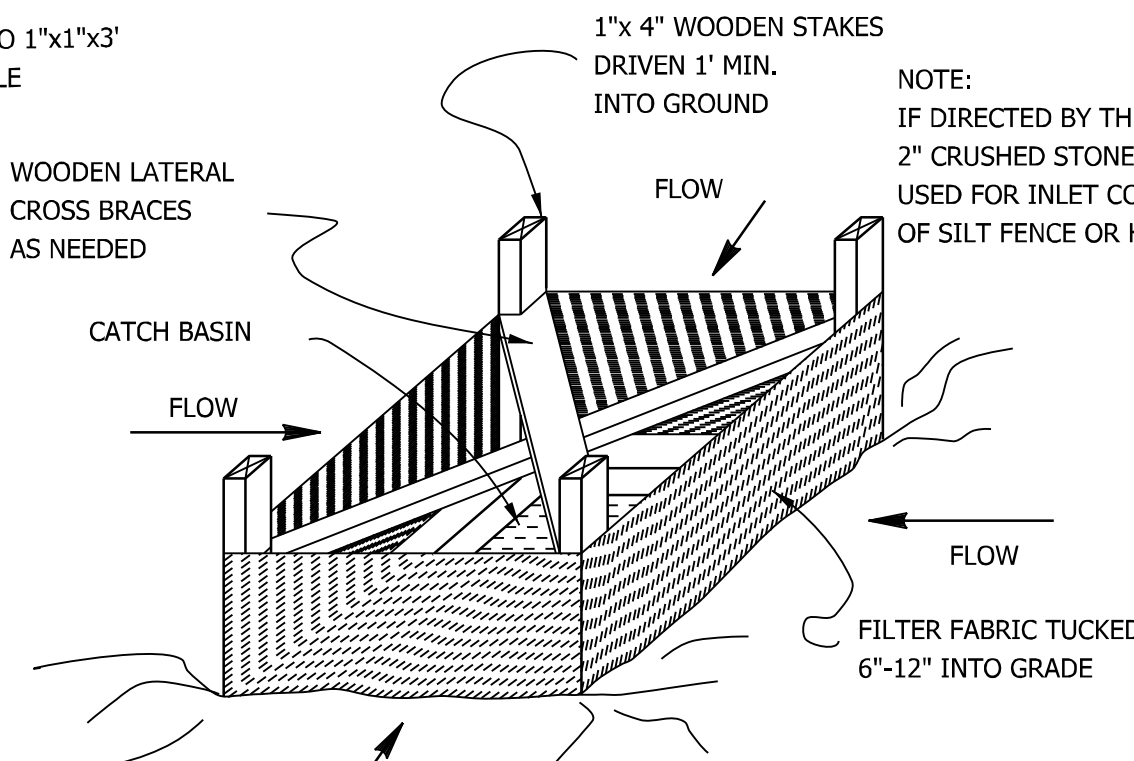


SECTION A-A

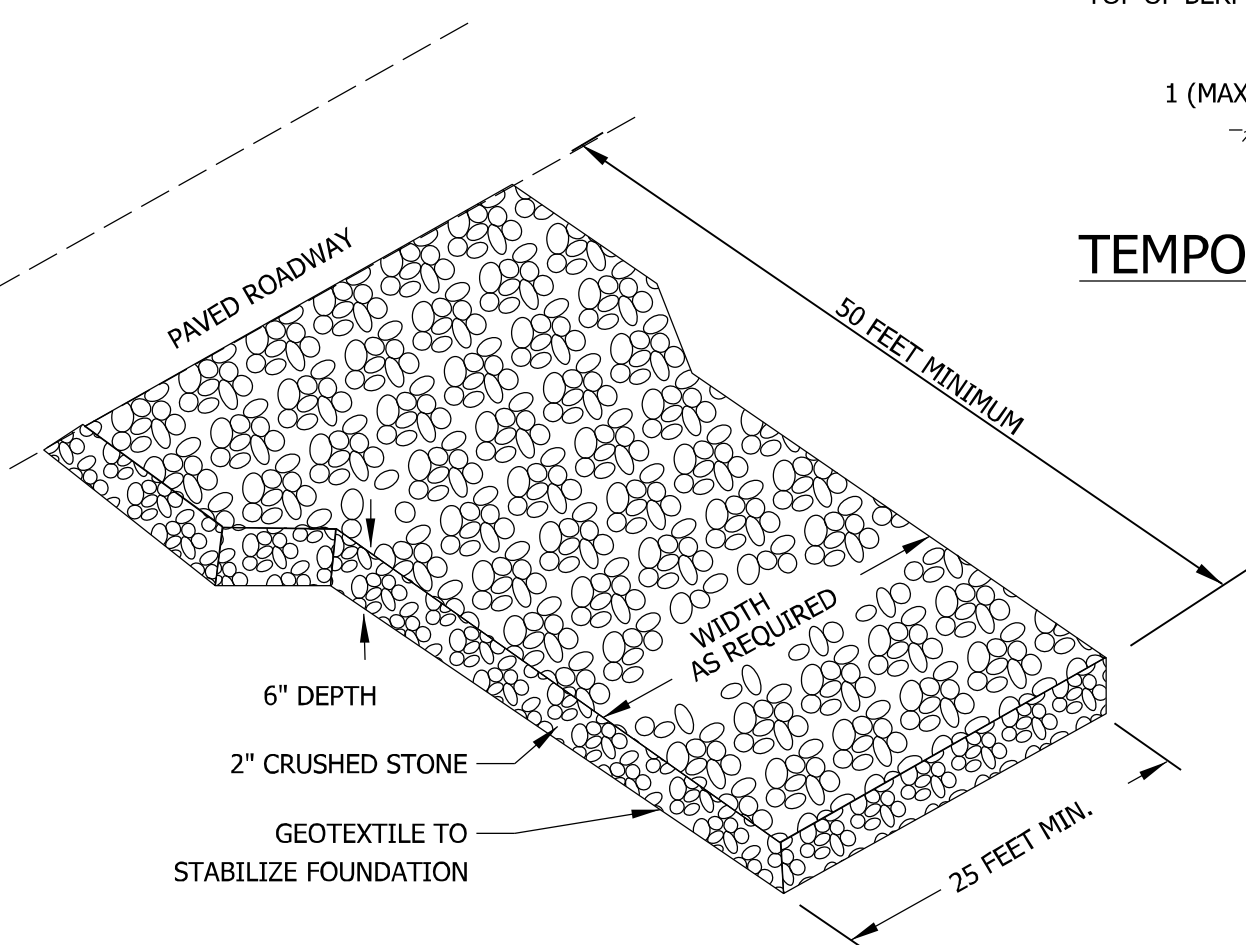
* MAXIMUM HEIGHT OF CHECK DAM SHOULD NOT EXCEED 1/3 HEIGHT OF THE CHANNEL.



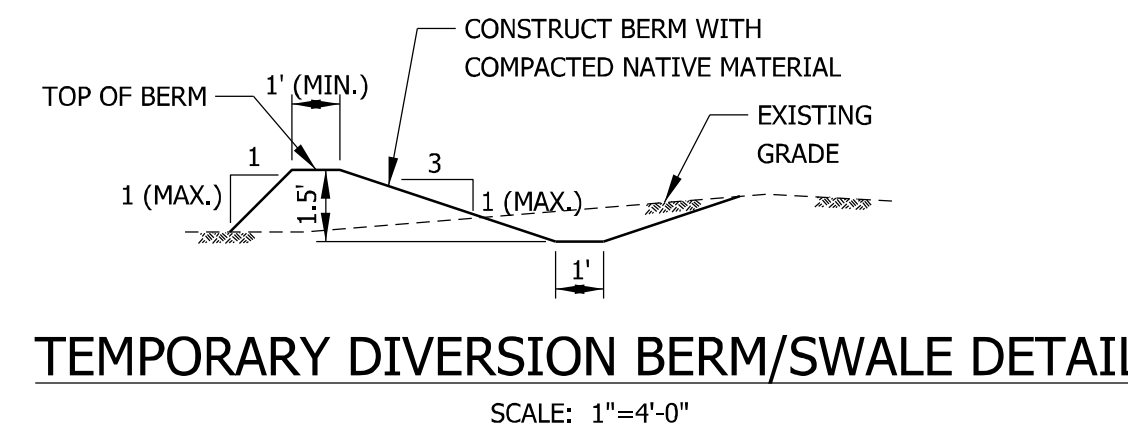
**HAY BALE INSTALLATION AT
CATCH BASIN**



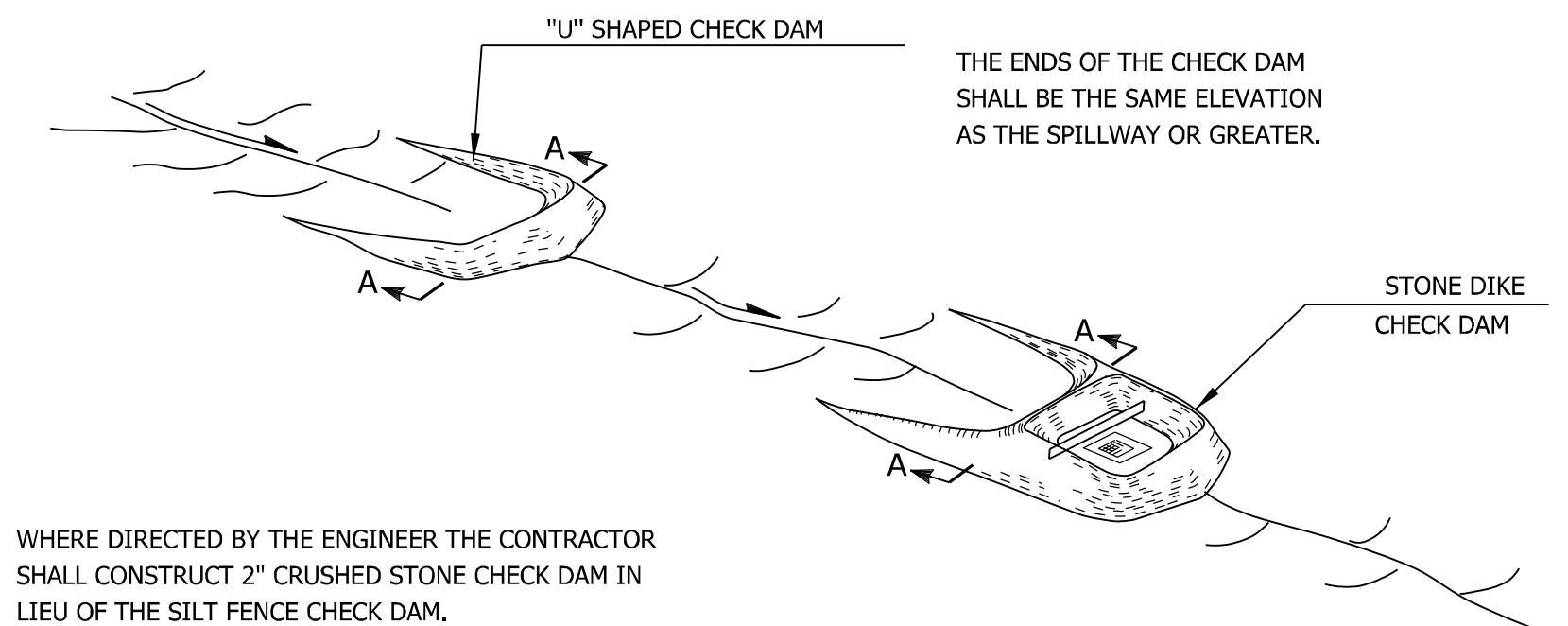
**SILT FENCE INSTALLATION
AT CATCH BASIN**



ANTI-TRACKING PAD
NOT TO SCALE



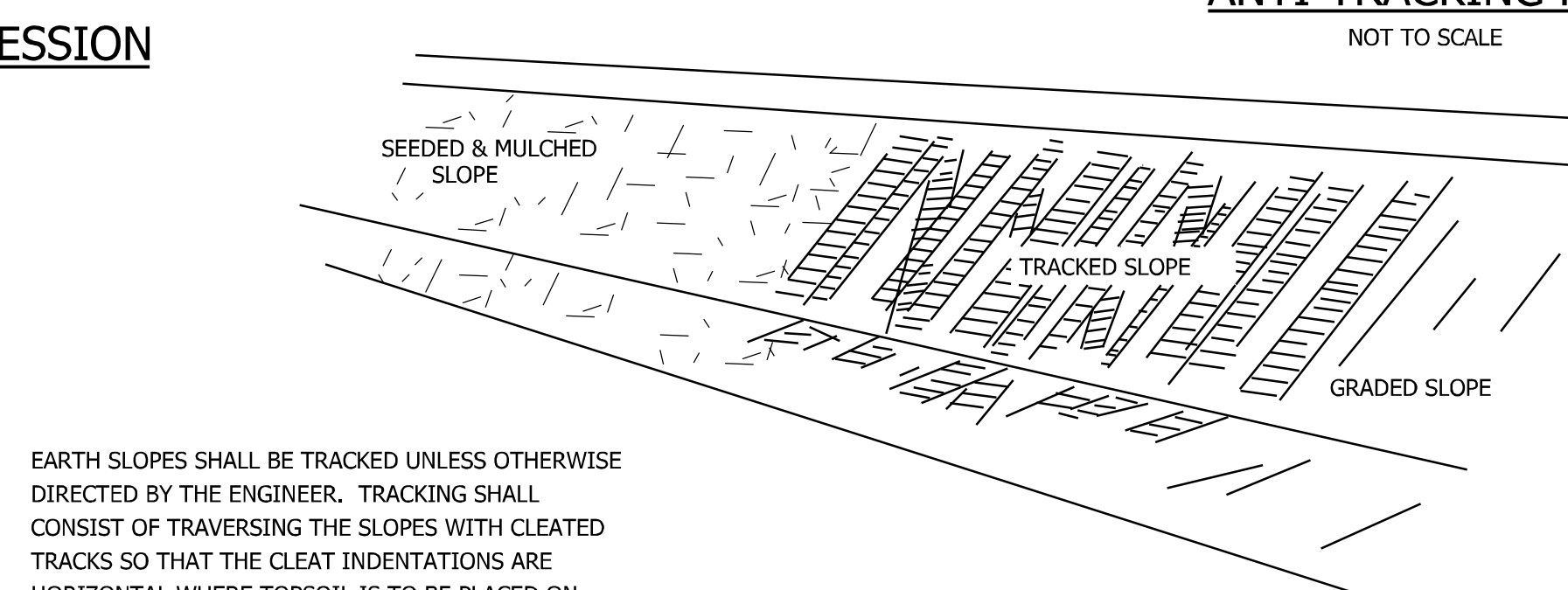
TEMPORARY DIVERSION BERM/SWALE DETAIL
SCALE: 1"=4'-0"



STONE CHECK DAM
NOT TO SCALE

WHERE DIRECTED BY THE ENGINEER THE CONTRACTOR SHALL CONSTRUCT 2\"/>

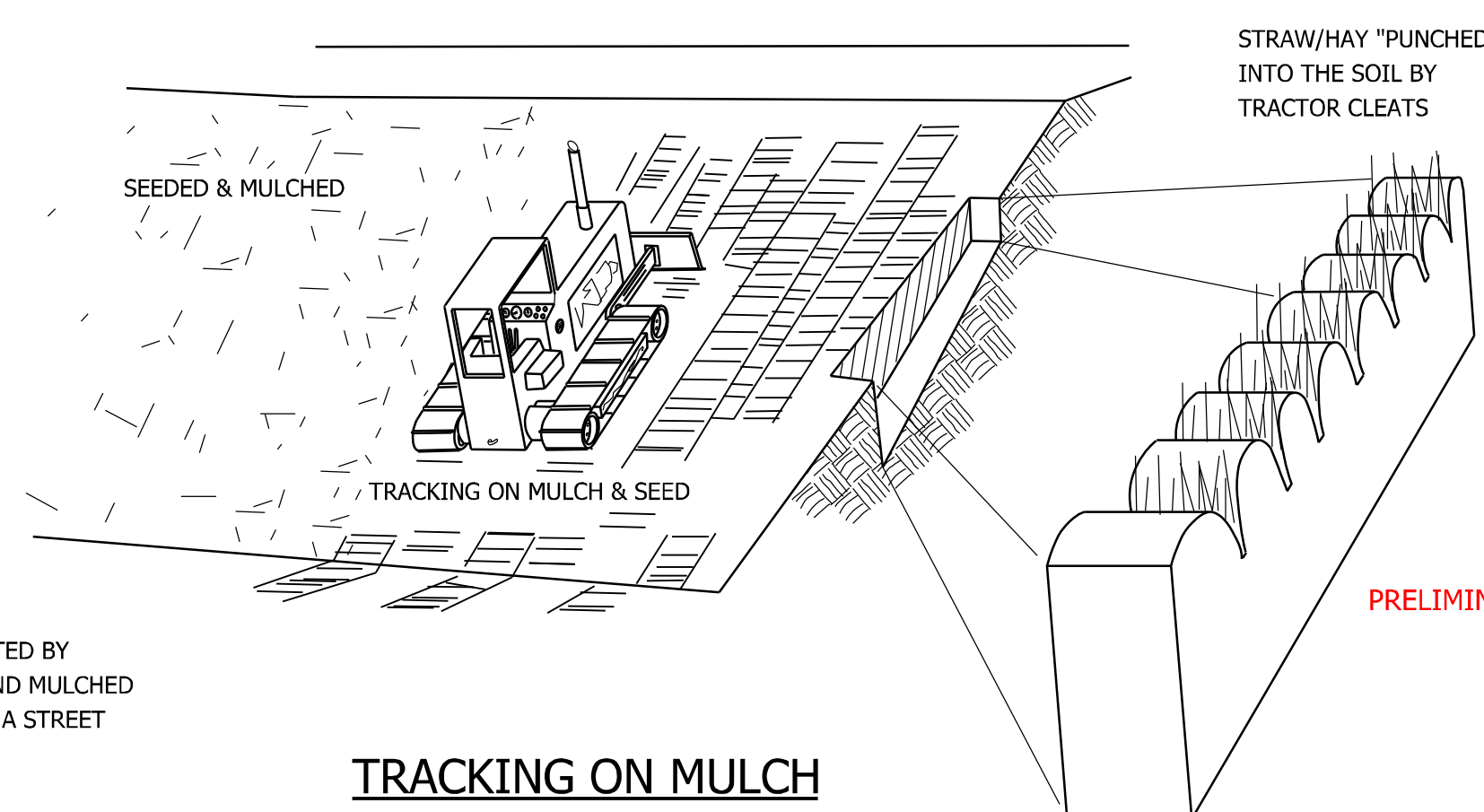
CATCH BASIN IN A DEPRESSION
NOT TO SCALE



TRACKING PLAN

EARTH SLOPES SHALL BE TRACKED UNLESS OTHERWISE DIRECTED BY THE ENGINEER. TRACKING SHALL CONSIST OF TRAVERSING THE SLOPES WITH CLEATED TRACKS SO THAT THE CLEAT INDENTATIONS ARE HORIZONTAL WHERE TOPSOIL IS TO BE PLACED ON SLOPE, THE TRACKING IS TO BE DONE PRIOR TO THE INSTALLATION OF THE TOPSOIL.

THE CONTRACTOR SHALL TRACK IF DIRECTED BY THE ENGINEER ON TOP OF THE SEED AND MULCHED AREA. A GROUSER PAD SHOULD BE USED, A STREET PAD IS NOT ACCEPTABLE.



TRACKING ON MULCH

PRELIMINARY REVIEW COPY 03/29/2021

SAND HILL ESTATES
1040 MAIN STREET
GLASTONBURY, CT

SEDIMENTATION & EROSION CONTROL DETAILS

OWNER/APPLICANT:
CARRIER CONSTRUCTION INC
PO BOX 1842
BRISTOL, CT 06010-1842

SITE LOCATION:
1040 MAIN STREET
ASSASSOR'S MAP E10 STREET 4140 LOT E0129B
GLASTONBURY, CT

WOLFF ENGINEERING
CIVIL & STRUCTURAL ENGINEERING
CORNERSTONE PROFESSIONAL PARK, SUITE C101
39 SHERMAN HILL ROAD, WOODBURY, CT 06798
TEL.: 203.263.7447 FAX: 203.263.0060

REVISIONS:	DATE: 1/18/2021
	DRAWN BY: R.P.W.
	CHECKED BY: R.P.W.
	FILE:
	FIELD BOOK: R.P.W.
	SCALE: AS NOTED
PLOT DATE: 3/29/2021	SHEET: 8 OF 12



FORMATION OF EMBANKMENT FOR DETENTION BASIN

A. MATERIALS

1. FILL MATERIAL SHALL BE FREE OF FROZEN MATERIAL, SOD, BRUSH, ROOTS, STUMPS AND OTHER ORGANIC MATERIAL. EARTH EMBANKMENTS SHALL CONTAIN NO STONES OVER SIX INCHES IN DIAMETER. THE MATERIAL USED IN THE CORE PORTION OF THE EMBANKMENT SHALL BE THE MOST IMPERVIOUS MATERIAL OBTAINED FROM THE BORROW AREAS, AS REQUIRED. THE MORE PERVIOUS MATERIALS SHALL BE USED IN THE OUTER FILL PORTION OF THE EMBANKMENT AS SHOWN ON THE PLANS.

2. THE IMPERVIOUS CORE FILL MATERIAL SHALL BE GLACIAL TILL, TO BE PROVIDED IN SUFFICIENT QUANTITIES TO COMPLETE THE WORK. FILL MATERIAL SHALL BE APPROVED BY THE ENGINEER PRIOR TO PLACEMENT. GLACIAL TILL SHALL CONSIST OF HARD AND DURABLE PARTICLES OR FRAGMENTS AND SHALL BE FREE OF ORGANIC MATTER AND OTHER OBJECTIONABLE MATERIALS. GLACIAL TILL SHALL CONFORM TO THE FOLLOWING GRADATION REQUIREMENTS.

U.S. STANDARD SIEVE SIZE	PERCENT PASSING BY WEIGHT
3 INCH	100
NO. 4	60 - 95
NO. 10	50 - 95
NO. 40	30 - 75
NO. 100	20 - 65
NO. 200	10 - 40

B. BERM FOUNDATION PREPARATION

1. ALL TREE CLEARING SHALL BE FLAGGED AND REVIEWED BY THE WETLAND ENFORCEMENT OFFICER PRIOR TO ANY CUTTING OR CLEARING.

2. THE AREA WHERE THE BERM IS TO BE CONSTRUCTED SHALL BE CLEARED AND GRUBBED OF ALL TOPSOIL AND OTHER ORGANIC MATERIALS TO A DEPTH OF AT LEAST 24". UNLESS OTHERWISE SPECIFIED ON THE PLANS, BERM FOUNDATION AREAS SHALL BE SCARIFIED TO A MINIMUM DEPTH OF THREE INCHES PRIOR TO PLACEMENT OF FILL MATERIAL.

C. PLACEMENT OF FILL

1. ALL EROSION CONTROL MEASURES SHALL BE ERECTED, INSPECTED AND APPROVED BY THE WETLANDS ENFORCEMENT OFFICER PRIOR TO PLACEMENT/EXCAVATION OF MATERIAL.

2. NO FILL SHALL BE PLACED UNTIL THE FOUNDATION PREPARATION AND EXCAVATIONS IN THE FOUNDATION HAVE BEEN COMPLETED AND APPROVED BY THE ENGINEER. NO FILL SHALL BE PLACED ON A FROZEN SURFACE NOR SHALL FROZEN MATERIAL BE INCORPORATED.

3. EMBANKMENT MATERIAL SHALL BE PLACED IN HORIZONTAL LAYERS IN 12 INCH LOOSE LIFTS. DURING CONSTRUCTION, THE SURFACE OF THE FILL SHALL BE SLOPED TO DRAIN. EACH LAYER OR LIFT SHALL EXTEND OVER THE ENTIRE AREA OF THE FILL.

4. THE FILL SHALL BE FREE FROM LENSES, POCKETS, STREAKS, OR LAYERS OF MATERIAL DIFFERING SUBSTANTIALLY IN TEXTURE OR GRADATION FROM THE SURROUNDING MATERIAL. THE MORE PERVIOUS MATERIAL SHALL BE PLACED IN THE OUTSIDE PORTION OF THE BERM OR AS INDICATED ON THE DRAWINGS. THE FINISHED FILL SHALL BE SHAPED AND GRADED TO THE LINES AND GRADE SHOWN ON THE DRAWINGS.

5. PIPE BACKFILL SHALL BE PLACED IN HORIZONTAL LAYERS NOT TO EXCEED 6 TO 8 INCH LOOSE LIFTS AND SHALL BE BROUGHT UP UNIFORMLY AROUND THE OUTLET PIPE AND FLARED END SECTION.

D. MOISTURE CONTROL

1. THE MOISTURE OF MATERIALS IN THE BERM SHALL BE CONTROLLED TO MEET THE REQUIREMENTS OF SOF APPROVED SPRINKLING EQUIPMENT. WATER SHALL BE ADDED UNIFORMLY AND EACH LAYER SHALL BE THOROUGHLY DISKED OR HARROWED TO PROVIDE PROPER MIXING. ANY LAYER FOUND TOO WET FOR COMPACTION SHALL BE ALLOWED TO DRY BEFORE ROLLING. PLACING OR ROLLING MATERIALS ON EARTH CONTENT BEYOND THE LIMIT OF SATISFACTORY COMPACTION. THE EARTH FILL SHALL BE BROUGHT UP UNIFORMLY AND ITS TOP SHALL BE KEPT GRADED AND SLOPED SO THAT A MINIMUM OF RAIN WATER WILL BE RETAINED THEREON. COMPACTED EARTH FILL DAMAGED BY RUNOFF SHALL BE REPLACED IMMEDIATELY BY THE CONTRACTOR.

E. COMPACTION OF BERM

1. BERM MATERIALS SHALL BE COMPACTED TO 95% OF THE STANDARD PROCTOR DENSITY AT OR NEAR OPTIMUM MOISTURE CONTENT AND BY THE COMPACTION EQUIPMENT SPECIFIED HEREIN. THE COMPACTION EQUIPMENT SHALL TRAVERSE THE ENTIRE SURFACE OF EACH LAYER OF FILL MATERIAL.

2. APPROVED TAMPING ROLLERS SHALL BE USED FOR COMPACTING ALL PARTS OF THE BERM. THE CONTRACTOR SHALL DEMONSTRATE THE EFFECTIVENESS OF THE ROLLER BY ACTUAL SOIL COMPACTION TEST RESULTS OF THE SOIL TO BE USED IN THE BERM WITH LABORATORY WORK PERFORMED BY AN APPROVED SOIL TESTING LABORATORY. COMPACTION TESTS SHALL INCLUDE MODIFIED PROCTOR AND NUCLEAR DENSITY TESTS MADE AT THE ENGINEER'S DISCRETION. A MINIMUM OF THREE PROCTOR TESTS SHALL BE PERFORMED AND DENSITY TESTS SHALL BE PERFORMED EVERY 1500 SQUARE FEET.

3. PIPE BACKFILL SHALL BE COMPACTED BY HAND TAMPING WITH MECHANICAL TAMPERS. HEAVY EQUIPMENT SHALL NOT BE OPERATED WITHIN THREE FEET OF ANY STRUCTURE. EQUIPMENT SHALL NOT BE ALLOWED TO OPERATE OVER THE OUTLET CULVERTS UNTIL THERE IS A LEAST TWO FEET OF COVER OVER THE PIPES.

F. FINISHING EMBANKMENTS

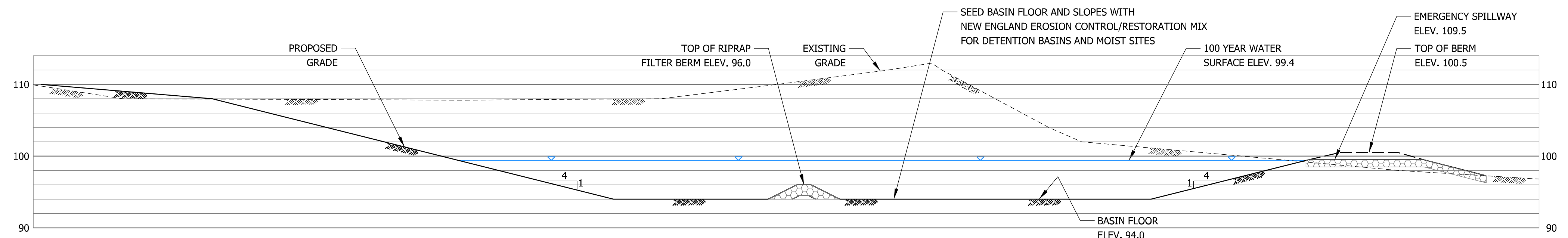
1. THE BERM SHALL BE CONSTRUCTED TO THE ELEVATIONS, LINES AND GRADES AND CROSS SECTIONS AS SHOWN ON THE PLANS. THE BERM SHALL BE MAINTAINED IN A MANNER SATISFACTORY TO THE ENGINEER AND THE TOWN AND SURFACES SHALL BE COMPACTED AND ACCURATELY GRADED BEFORE TOPSOIL IS PLACED ON THEM.

2. THE TOPSOIL SHALL BE PLACED AT A DEPTH OF 4 TO 6 INCHES OVER THE DISTURBED AREA AFTER COMPLETION OF CONSTRUCTION.

3. DISTURBED AREAS SHALL BE SEEDED WITH "NEW ENGLAND ENVIRONMENTAL BASIN MIX" OR APPROVED EQUAL AT A RATE OF 1 LB. PER 5000 SQUARE FEET OR AT A RATE RECOMMENDED BY THE MANUFACTURER.

4. SEEDED AREAS SHALL BE STABILIZED WITH HAY OR MULCH UNTIL VEGETATION IS FIRMLY ESTABLISHED. ECTION E " COMPACTION OF BERM". WHEN NECESSARY, MOISTURE SHALL BE ADDED BY THE USE

5. SEEDED AREAS SHALL BE MONITORED WEEKLY FOR EROSION AND ANY AREAS THAT REQUIRE RESEEDING SHALL BE RESEDED COMPLETELY AND IMMEDIATELY. ILL WILL NOT BE PERMITTED DURING OR IMMEDIATELY AFTER RAINFALLS WHICH INCREASE THE MOISTURE



STORMWATER MANAGEMENT AREA TYPICAL SECTION

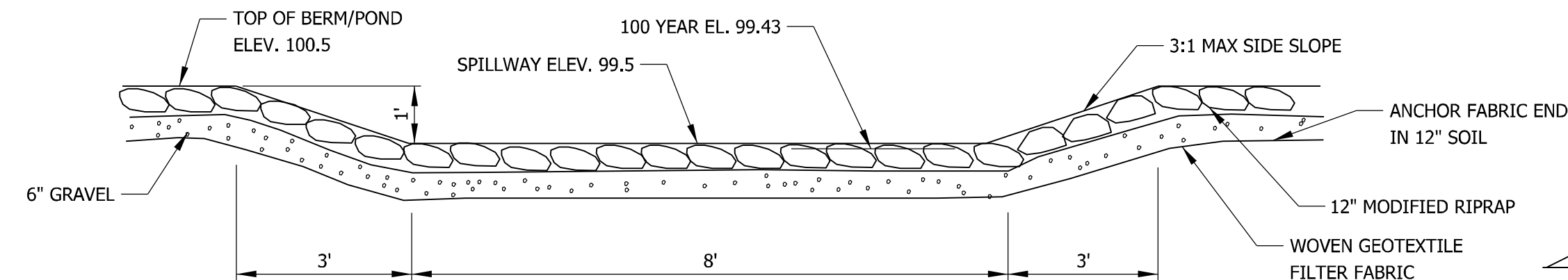
SCALE: 1"=10'

CONSTRUCTION MAINTENANCE SCHEDULE FOR DETENTION BASIN

1. INSTALL SOIL & EROSION CONTROL MEASURES PER THE PLAN.
2. TEMPORARILY SEED THE BASIN SLOPES AS CALLED OUT IN SEEDING & PLANTING REQUIREMENTS.
3. COMPLETE THE DETENTION BASIN PER THE PLANS AND SPECIFICATIONS.
4. INSPECT THE BASIN ON A WEEKLY BASIS. REPORT THE CONDITION OF THE BASIN.
5. REMOVE THE SEDIMENT AS REQUIRED TO AN APPROVED DEPOSIT SITE
6. INSPECT THE BASIN AFTER EACH RAINFALL EVENT. REMOVE ANY DEBRIS THAT MAY BE DEPOSITED IN THE BASIN.
7. REPORT AS NECESSARY AND AS SCHEDULED ELSEWHERE THE CONDITION OF THE BASIN TO THE TOWN STAFF.

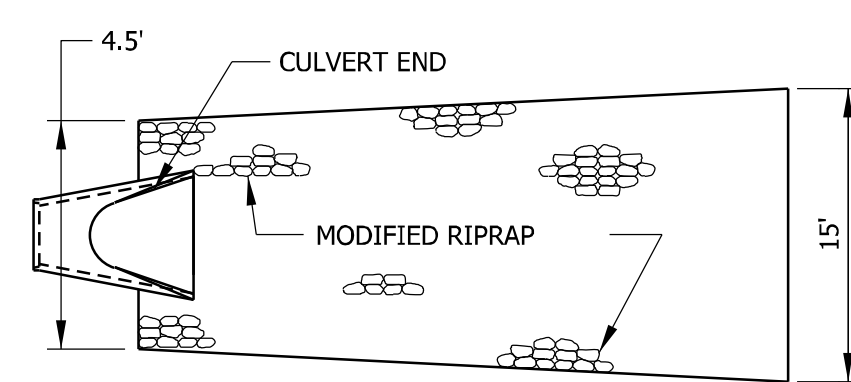
PERMANENT MAINTENANCE SCHEDULE FOR DETENTION BASIN

1. ONCE A YEAR THE INTERIOR OF THE BASIN BERM WILL BE MOWED PER THE PLANS AND ANY INVASIVE SPECIES SHALL BE REMOVED.
2. ON BI-ANNUAL BASIS, THE BASIN, DRAINAGE LINES, DRAINAGE STRUCTURES AND SWALES SHALL BE INSPECTED. ANY DEBRIS AND SEDIMENT BUILT UP OVER 2 INCHES SHALL BE REMOVED. ANY DEBRIS BUILT UP IN FRONT OF THE OUTLET STRUCTURE SHALL BE REMOVED.

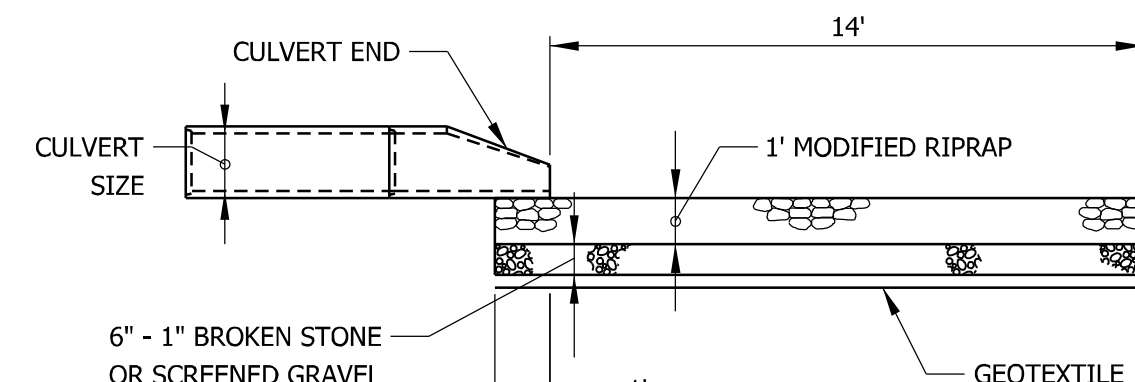


EMERGENCY SPILLWAY

NOT TO SCALE



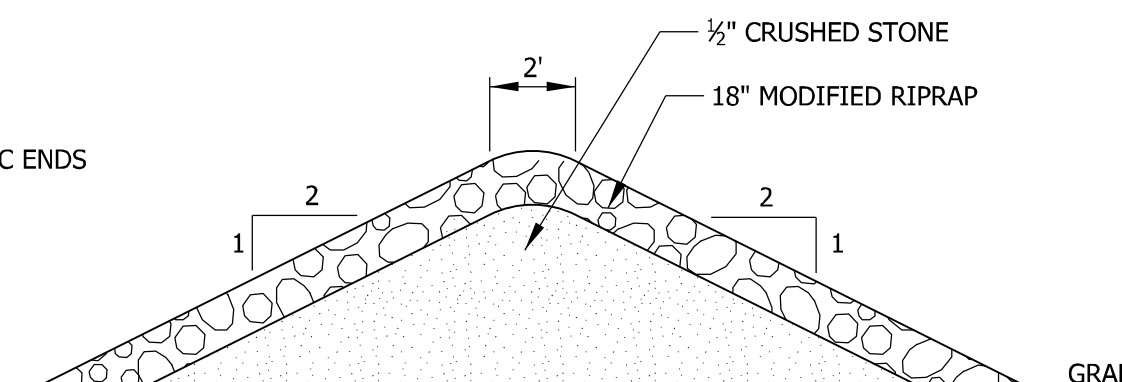
PLAN



ELEVATION

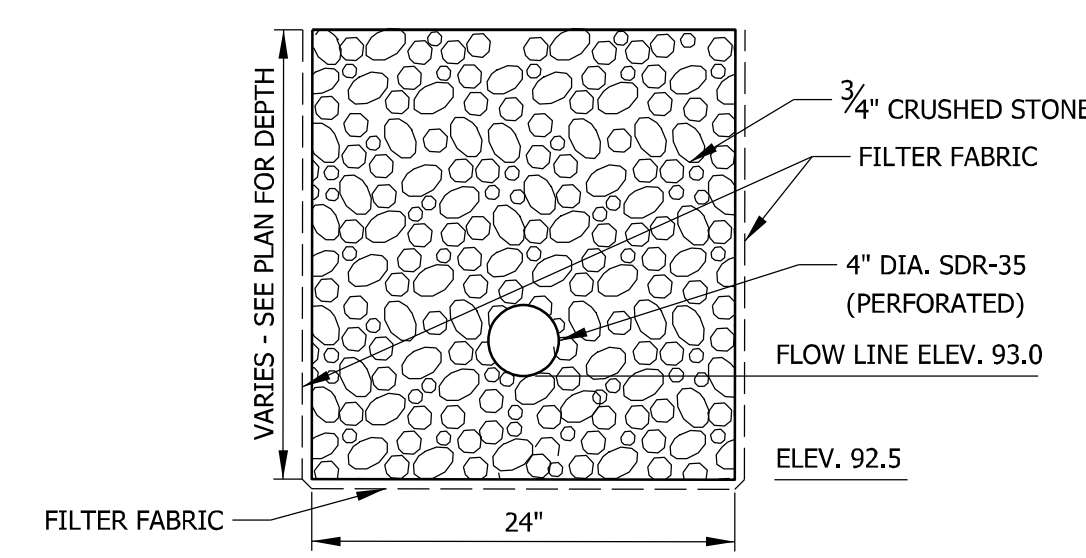
MODIFIED RIPRAP APRON

NOT TO SCALE



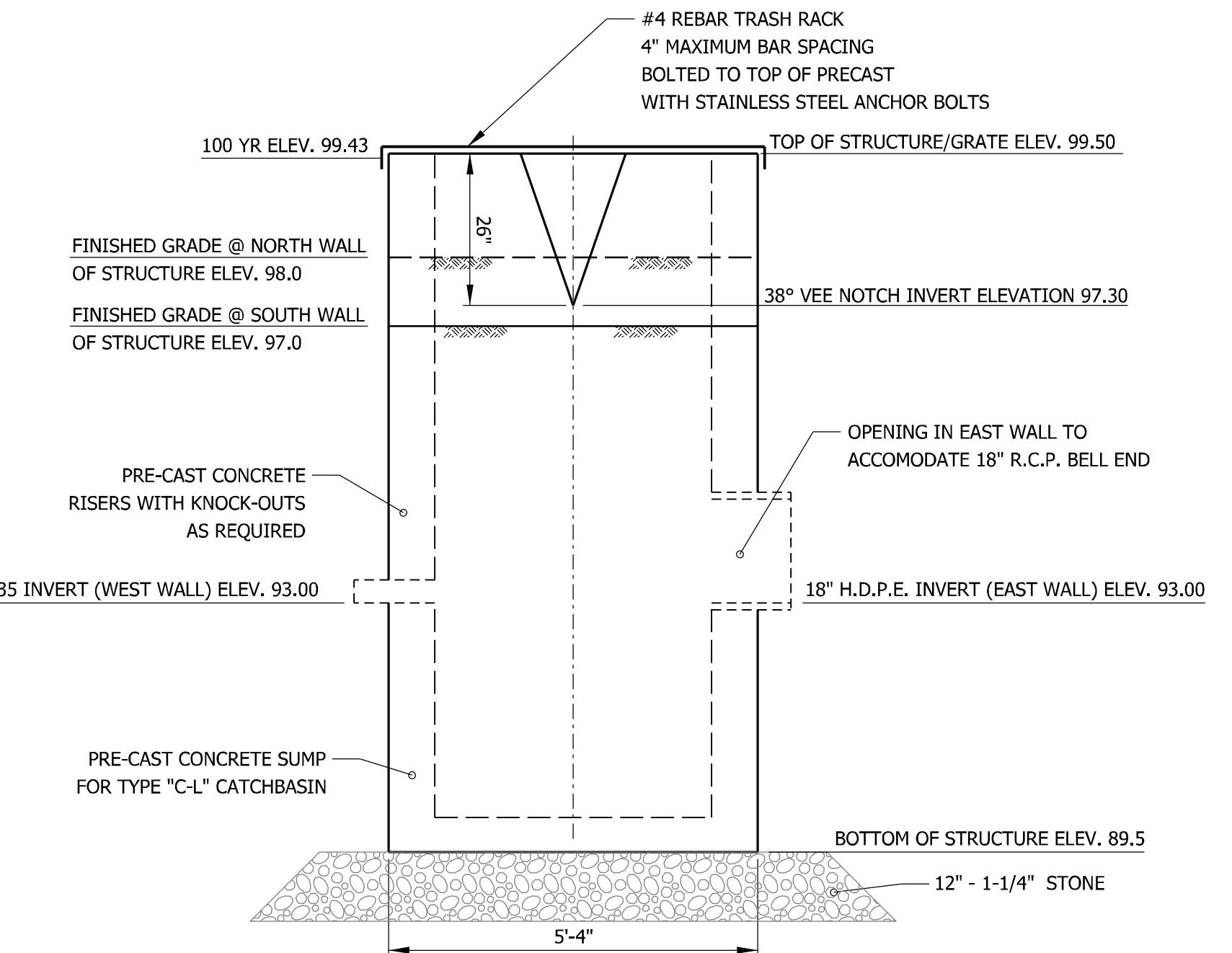
RIPRAP FILTER BERM

NOT TO SCALE



STONE INFILTRATION TRENCH

NOT TO SCALE



OUTLET CONTROL STRUCTURE DETAIL

NOT TO SCALE

SAND HILL ESTATES
1040 MAIN STREET
GLASTONBURY, CT

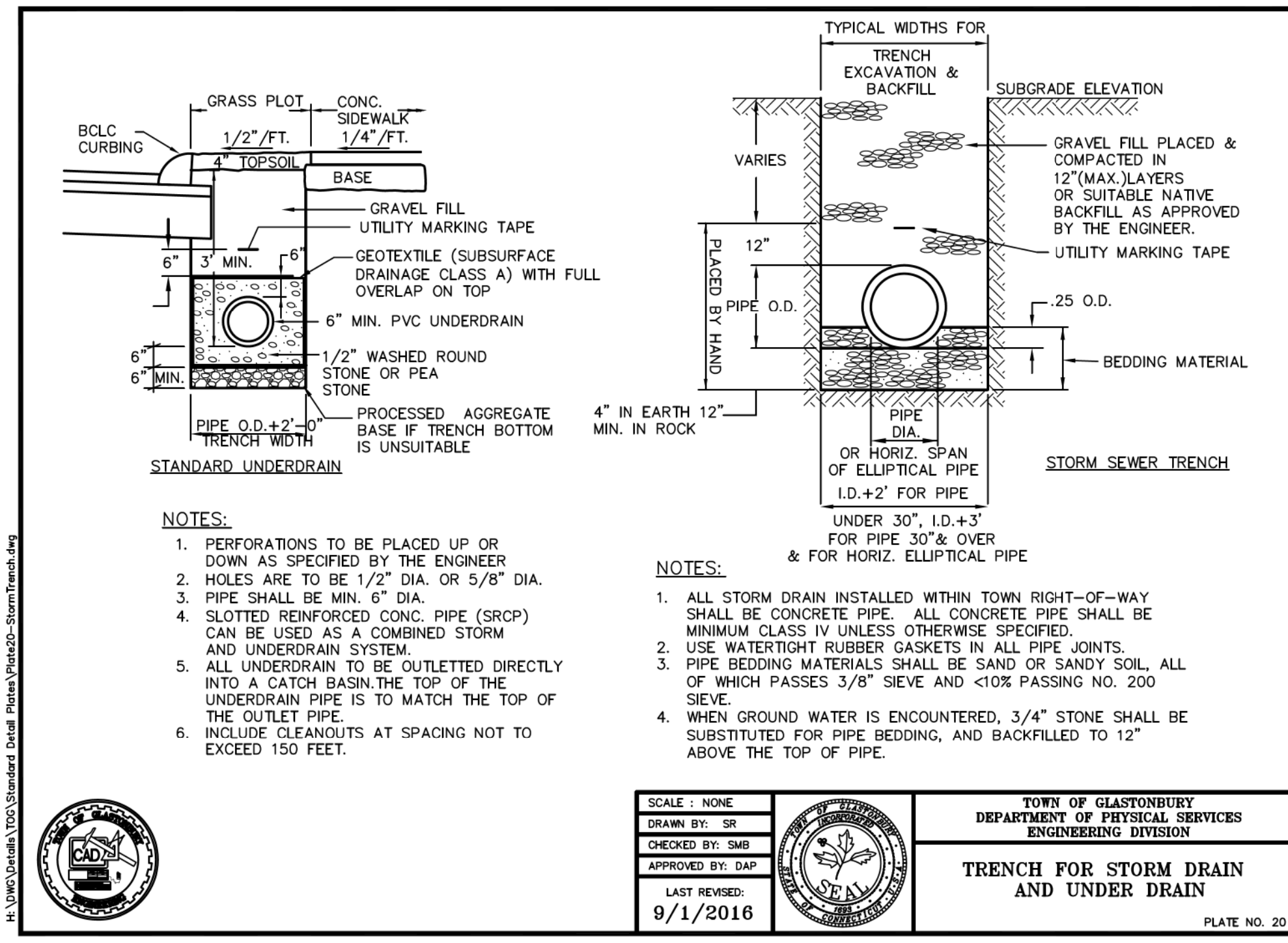
DETAILS

OWNER/APPLICANT: CARRIER CONSTRUCTION INC PO BOX 1842 BRISTOL, CT 06010-1842	SITE LOCATION: 1040 MAIN STREET ASSESSOR'S MAP E10 STREET 4140 LOT E0129B GLASTONBURY, CT
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WOLFF ENGINEERING CIVIL & STRUCTURAL ENGINEERING CORNERSTONE PROFESSIONAL PARK, SUITE C101 39 SHERMAN HILL ROAD, WOODBURY, CT 06798 TEL.: 203.263.7447 FAX: 203.263.0060	WOLFF ENGINEERING
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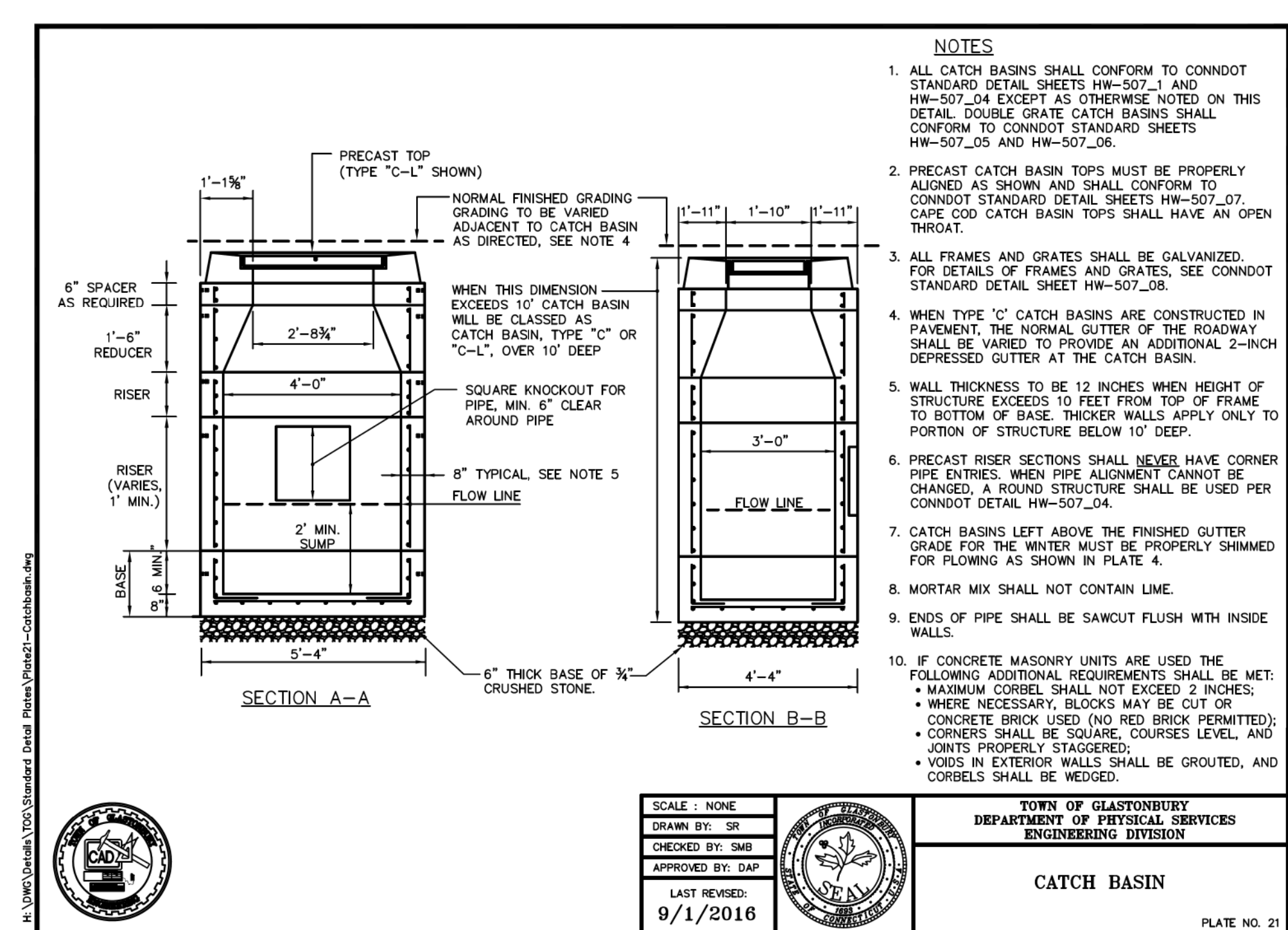
REVISIONS:	DATE: 1/18/2021
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	FILE:
	FIELD BOOK: R.P.W.
	SCALE: AS NOTED
PLOT DATE: 3/29/2021	SHEET: 9 OF 12

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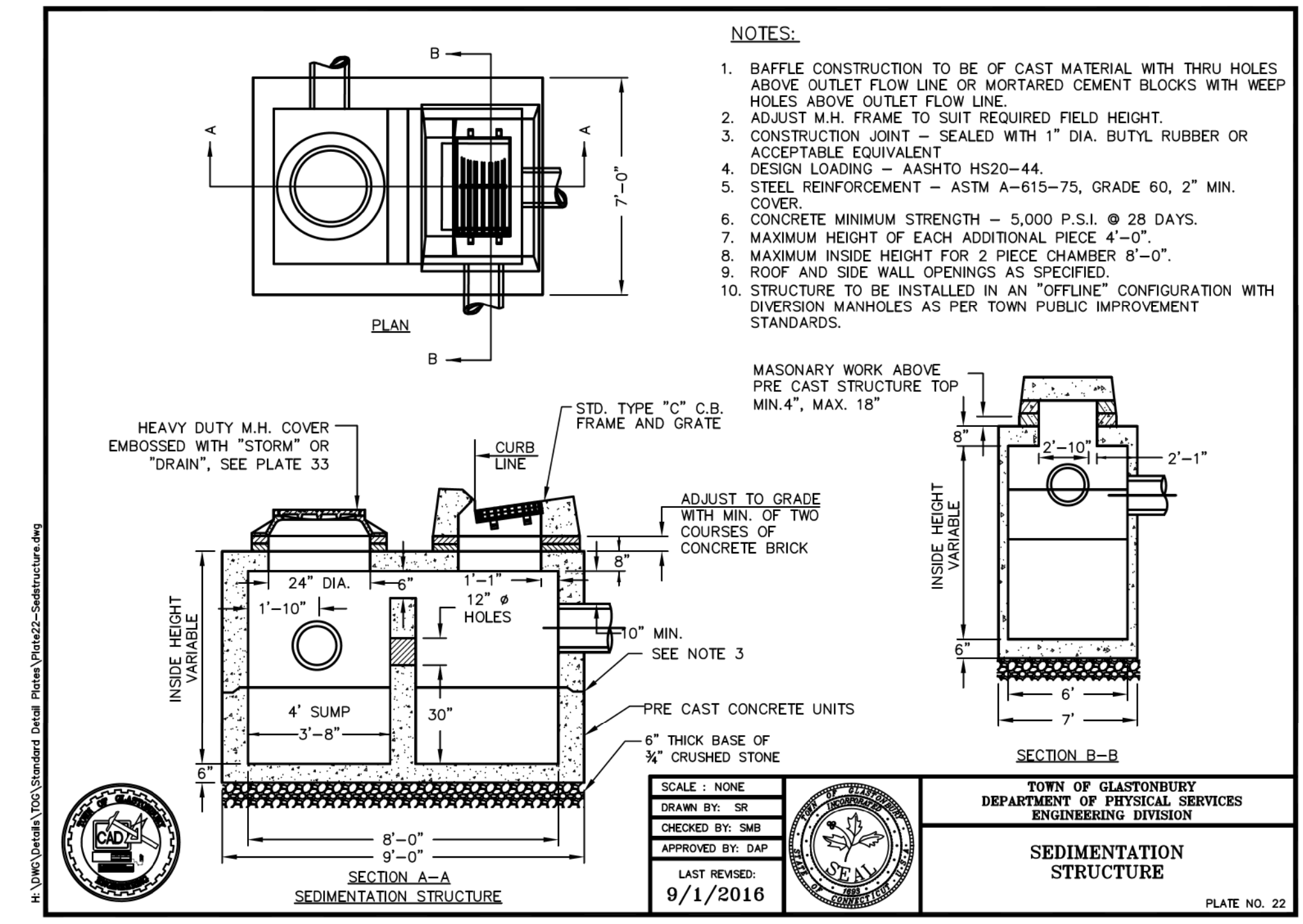
- NOTES:**
- PERFORATIONS TO BE PLACED UP OR DOWN AS SPECIFIED BY THE ENGINEER.
 - HOLES ARE TO BE 1/2" DIA. OR 5/8" DIA.
 - PIPE SHALL BE MIN. 6" DIA.
 - SLOTTED REINFORCED CONC. PIPE (SRCP) CAN BE USED AS A COMBINED STORM AND UNDERDRAIN SYSTEM.
 - ALL UNDERDRAIN TO BE OUTLETTED DIRECTLY INTO A CATCH BASIN THE TOP OF THE UNDERDRAIN PIPE IS TO MATCH THE TOP OF THE OUTLET PIPE.
 - INCLUDE CLEANOUTS AT SPACING NOT TO EXCEED 150 FEET.
- NOTES:**
- ALL STORM DRAIN INSTALLED WITHIN TOWN RIGHT-OF-WAY SHALL BE CONCRETE PIPE. ALL CONCRETE PIPE SHALL BE MINIMUM CLASS IV UNLESS OTHERWISE SPECIFIED.
 - USE WATERTIGHT RUBBER GASKETS IN ALL PIPE JOINTS.
 - PIPE BEDDING MATERIALS SHALL BE SAND OR SANDY SOIL, ALL OF WHICH PASSES 3/8" SIEVE AND <10% PASSING NO. 200 SIEVE.
 - WHEN GROUND WATER IS ENCOUNTERED, 3/4" STONE SHALL BE SUBSTITUTED FOR PIPE BEDDING, AND BACKFILLED TO 12" ABOVE THE TOP OF PIPE.

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TRENCH FOR STORM DRAIN AND UNDER DRAIN	
PLATE NO. 20	



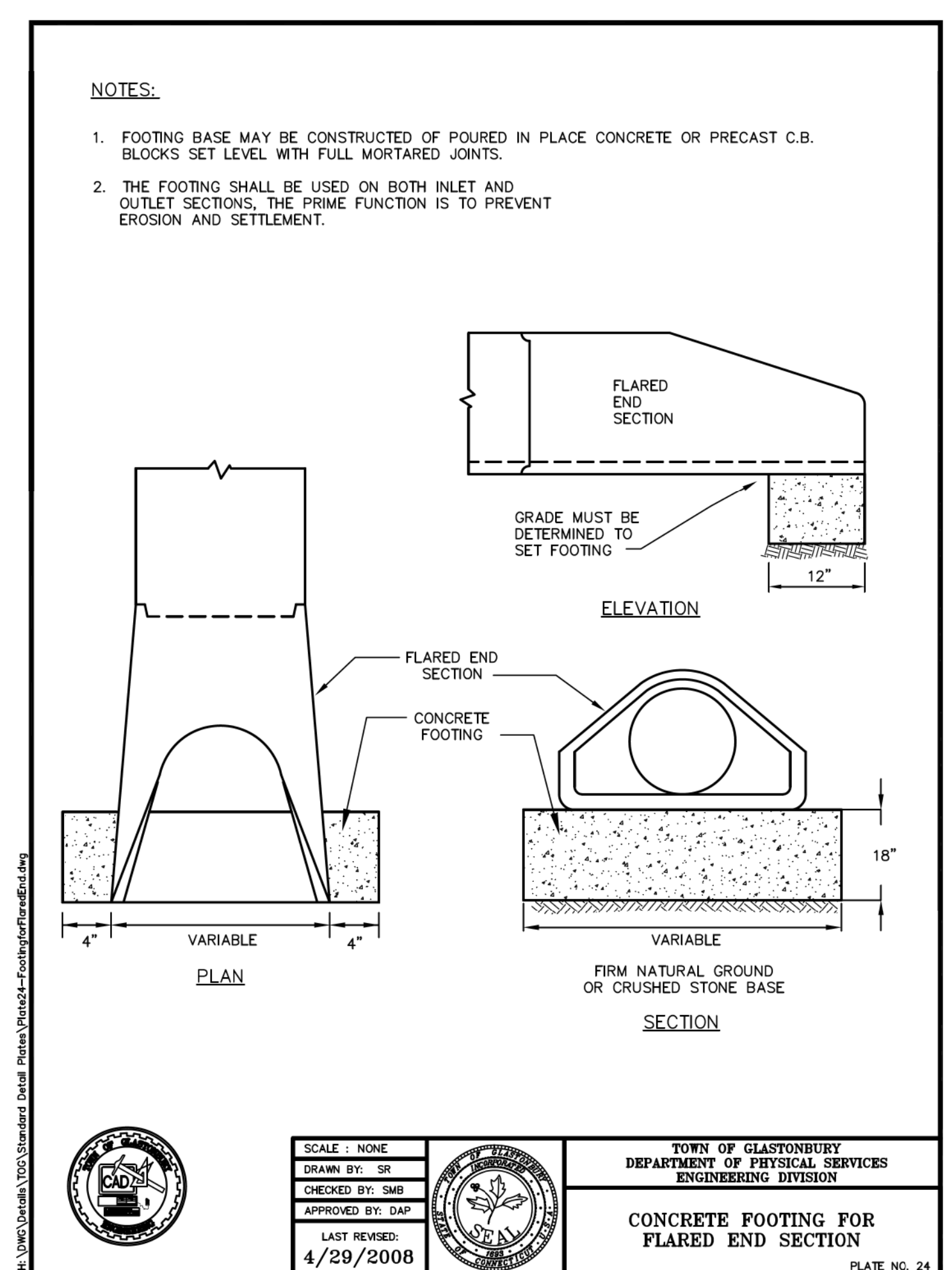
- NOTES:**
- ALL CATCH BASINS SHALL CONFORM TO CONDOT STANDARD DETAIL SHEETS HW-507.1 AND HW-507.04 EXCEPT AS OTHERWISE NOTED ON THIS DETAIL. DOUBLE GRATE CATCH BASINS SHALL CONFORM TO CONDOT STANDARD SHEETS HW-507.05 AND HW-507.06.
 - PRECAST CATCH BASIN TOPS MUST BE PROPERLY ALIGNED AS SHOWN AND SHALL CONFORM TO CONDOT STANDARD DETAIL SHEETS HW-507.07. CAPE COO CATCH BASIN TOPS SHALL HAVE AN OPEN THROAT.
 - ALL FRAMES AND GRATES SHALL BE GALVANIZED. FOR DETAILS OF FRAMES AND GRATES, SEE CONDOT STANDARD DETAIL SHEET HW-507.08.
 - WHEN TYPE 'C' CATCH BASINS ARE CONSTRUCTED IN PAVEMENT, THE NORMAL GUTTER OF THE ROADWAY SHALL BE VARIED TO PROVIDE AN ADDITIONAL 2-INCH DEPRESSION AT THE CATCH BASIN.
 - WALL THICKNESS TO BE 12 INCHES WHEN HEIGHT OF STRUCTURE EXCEEDS 10 FEET FROM TOP OF FRAME TO BOTTOM OF BASE. THICKER WALLS APPLY ONLY TO PORTION OF STRUCTURE BELOW 10' DEEP.
 - PRECAST RISER SECTIONS SHALL NEVER HAVE CORNER PIPE ENTRIES. WHEN PIPE ALIGNMENT CANNOT BE CHANGED, A ROUND STRUCTURE SHALL BE USED PER CONDOT DETAIL HW-507.04.
 - CATCH BASINS LEFT ABOVE THE FINISHED GUTTER GRADE FOR THE WINTER MUST BE PROPERLY SHIMMED FOR FLOWING AS SHOWN IN PLATE 4.
 - MORTAR MIX SHALL NOT CONTAIN LIME.
 - ENDS OF PIPE SHALL BE SAW CUT FLUSH WITH INSIDE WALLS.
 - IF CONCRETE MASONRY UNITS ARE USED THE FOLLOWING ADDITIONAL REQUIREMENTS SHALL BE MET:
 - MAXIMUM CORSEL SHALL NOT EXCEED 2 INCHES.
 - WHERE NECESSARY, BLOCKS MAY BE CUT OR CONCRETE BRICK USED (NO RED BRICK PERMITTED).
 - CORNERS SHALL BE SQUARE, COURSES LEVEL, AND JOINTS PROPERLY STAGGERED.
 - VOIDS IN EXTERIOR WALLS SHALL BE GROUTED, AND CORSELS SHALL BE WEDGED.

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CATCH BASIN	
PLATE NO. 21	



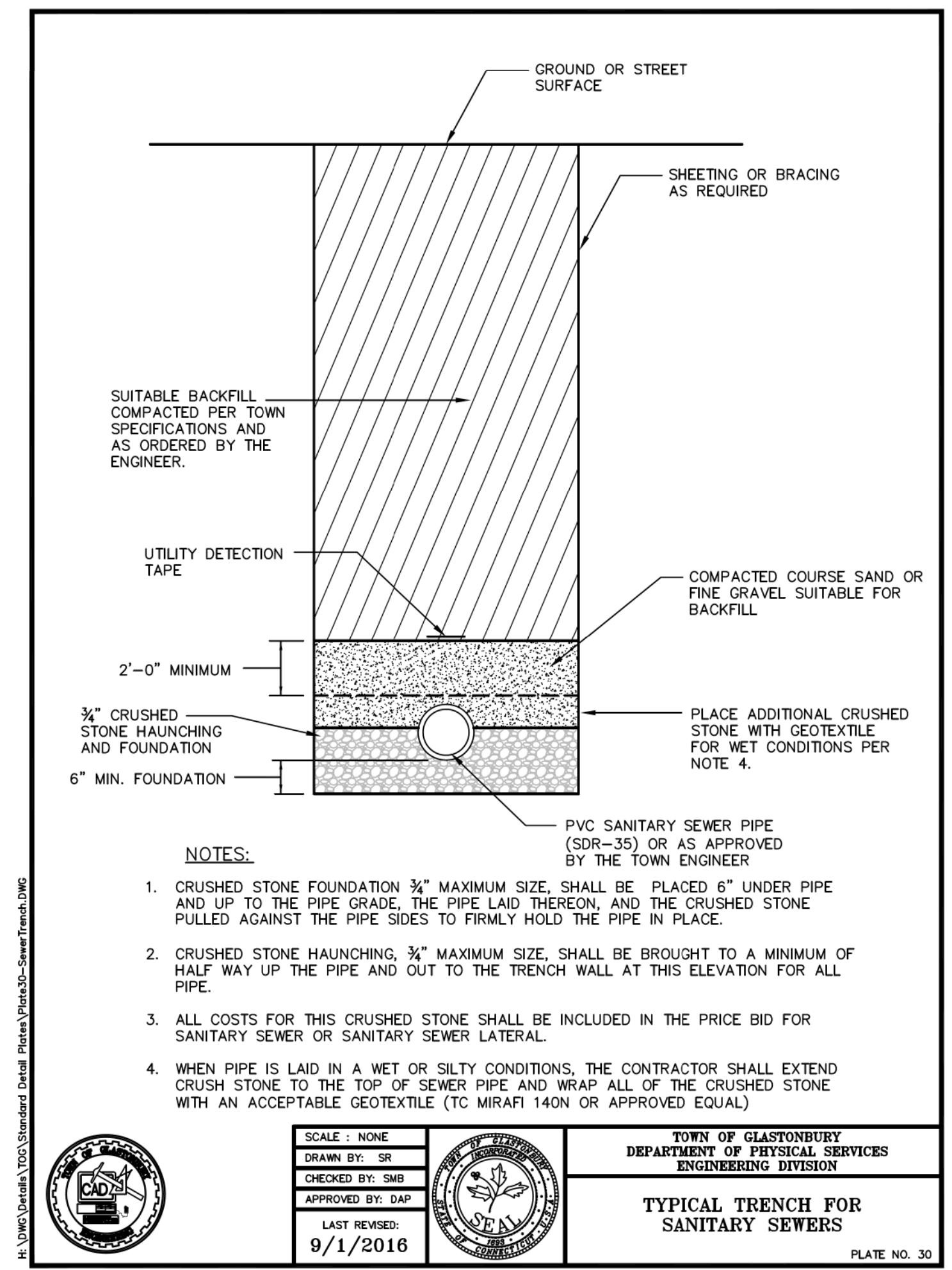
- NOTES:**
- BAFFLE CONSTRUCTION TO BE OF CAST MATERIAL WITH THRU HOLES ABOVE OUTLET FLOW LINE OR MORTARED CEMENT BLOCKS WITH WEEP HOLES ABOVE OUTLET FLOW LINE.
 - ADJUST M.H. FRAME TO SUIT REQUIRED FIELD HEIGHT.
 - CONSTRUCTION JOINT - SEALED WITH 1" DIA. BUTYL RUBBER OR ACCEPTABLE EQUIVALENT.
 - DESIGN LOADING - AASHTO HS20-44.
 - STEEL REINFORCEMENT - ASTM A-615-75, GRADE 60, 2" MIN. COVER.
 - CONCRETE MINIMUM STRENGTH - 5,000 P.S.I. @ 28 DAYS.
 - MAXIMUM HEIGHT OF EACH ADDITIONAL PIECE 4'-0".
 - MAXIMUM INSIDE HEIGHT FOR 2 PIECE CHAMBER 8'-0".
 - ROOF AND SIDE WALL OPENINGS AS SPECIFIED.
 - STRUCTURE TO BE INSTALLED IN AN "OFFLINE" CONFIGURATION WITH DIVERSION MANHOLES AS PER TOWN PUBLIC IMPROVEMENT STANDARDS.

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SEDIMENTATION STRUCTURE	
PLATE NO. 22	



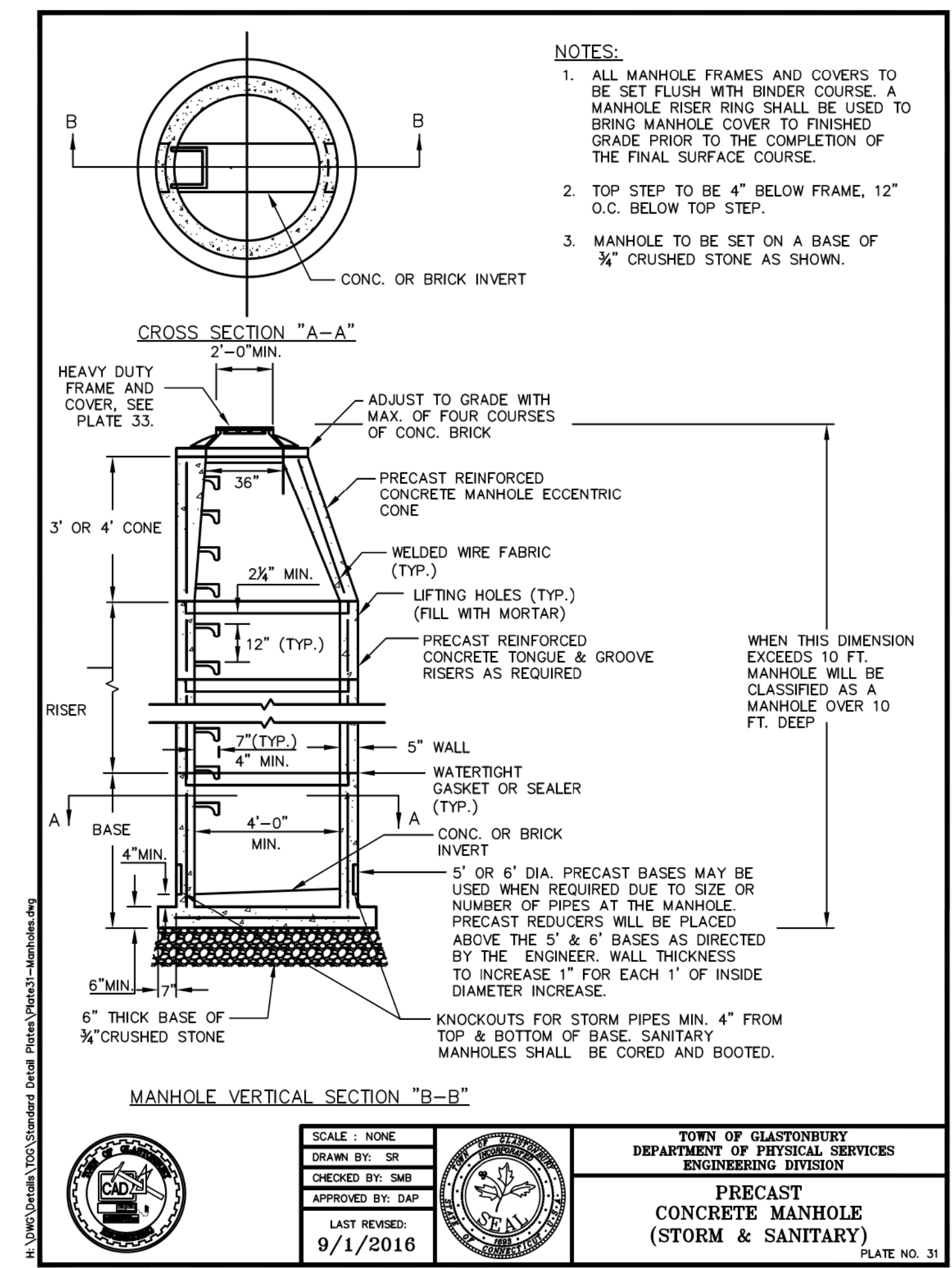
- NOTES:**
- FOOTING BASE MAY BE CONSTRUCTED OF POURED IN PLACE CONCRETE OR PRECAST C.B. BLOCKS SET LEVEL WITH FULL MORTARED JOINTS.
 - THE FOOTING SHALL BE USED ON BOTH INLET AND OUTLET SECTIONS. THE PRIME FUNCTION IS TO PREVENT EROSION AND SETTLEMENT.

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CONCRETE FOOTING FOR FLARED END SECTION	
PLATE NO. 24	



- NOTES:**
- CRUSHED STONE FOUNDATION 3/4" MAXIMUM SIZE, SHALL BE PLACED 6" UNDER PIPE AND UP TO THE PIPE GRADE, THE PIPE LAID THEREON, AND THE CRUSHED STONE PULLED AGAINST THE PIPE SIDES TO FIRMLY HOLD THE PIPE IN PLACE.
 - CRUSHED STONE HAUNCHING, 3/4" MAXIMUM SIZE, SHALL BE BROUGHT TO A MINIMUM OF HALF WAY UP THE PIPE AND OUT TO THE TRENCH WALL AT THIS ELEVATION FOR ALL PIPE.
 - ALL COSTS FOR THIS CRUSHED STONE SHALL BE INCLUDED IN THE PRICE BID FOR SANITARY SEWER OR SANITARY SEWER LATERAL.
 - WHEN PIPE IS LAID IN A WET OR SILTY CONDITIONS, THE CONTRACTOR SHALL EXTEND CRUSH STONE TO THE TOP OF SEWER PIPE AND WRAP ALL OF THE CRUSHED STONE WITH AN ACCEPTABLE GEOTEXTILE (TC MIRAFI 140N OR APPROVED EQUAL).

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TYPICAL TRENCH FOR SANITARY SEWERS	
PLATE NO. 30	



- NOTES:**
- ALL MANHOLE FRAMES AND COVERS TO BE SET FLUSH WITH BINDER COURSE. A MANHOLE RISER RING SHALL BE USED TO BRING MANHOLE COVER TO FINISHED GRADE PRIOR TO THE COMPLETION OF THE FINAL SURFACE COURSE.
 - TOP STEP TO BE 4" BELOW FRAME, 12" O.C. BELOW TOP STEP.
 - MANHOLE TO BE SET ON A BASE OF 3/4" CRUSHED STONE AS SHOWN.

SCALE: NONE	TOWN OF GLASTONBURY DEPARTMENT OF PHYSICAL SERVICES ENGINEERING DIVISION
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APPROVED BY: DAP	
LAST REVISED: 9/1/2016	
PRECAST CONCRETE MANHOLE (STORM & SANITARY)	
PLATE NO. 31	

SAND HILL ESTATES
1040 MAIN STREET
GLASTONBURY, CT

DETAILS

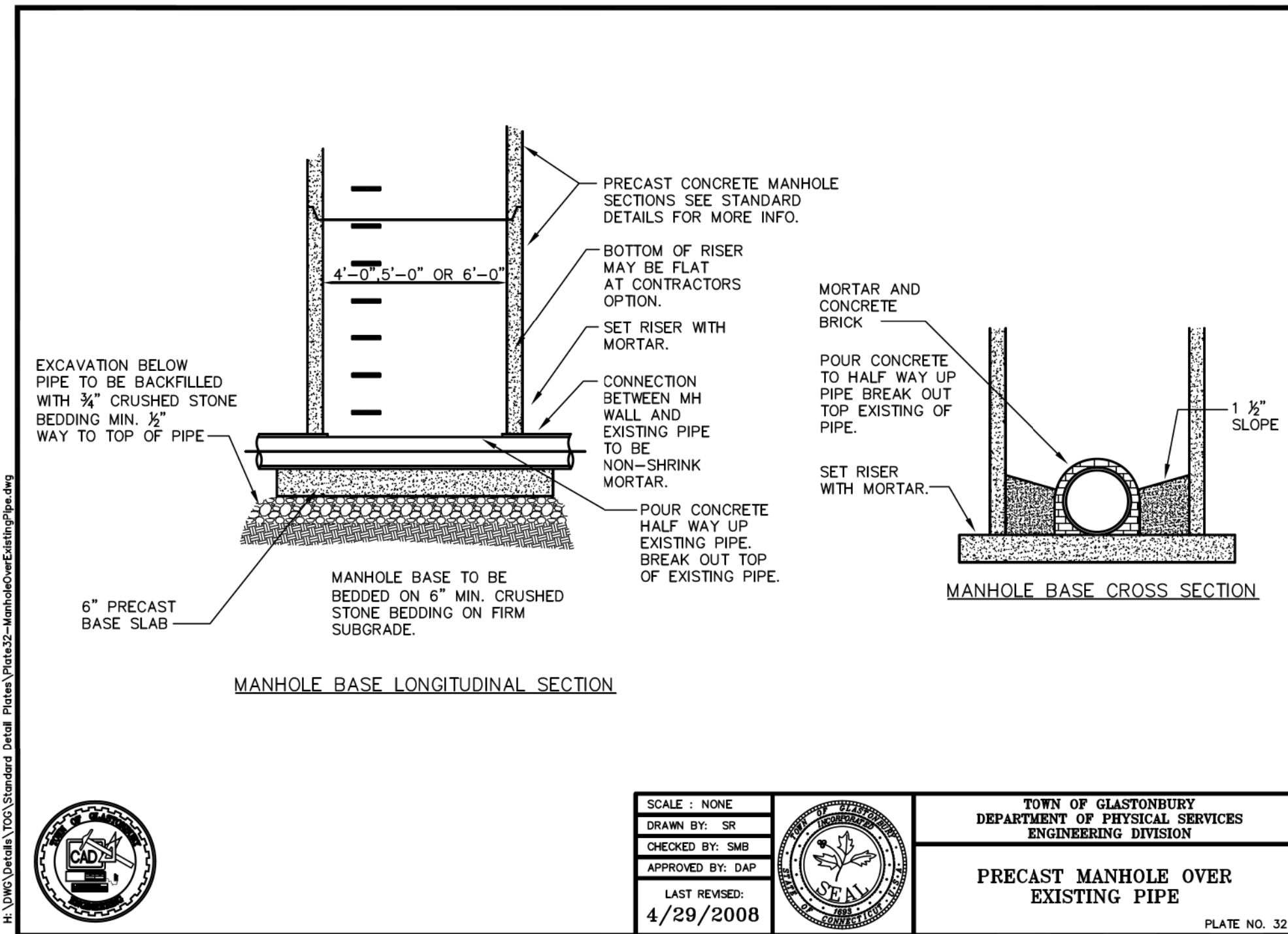
OWNER/APPLICANT: CARRIER CONSTRUCTION INC
PO BOX 1842 BRISTOL, CT 06010-1842

ASSESSOR'S MAP E10 STREET 4140 LOT E0129B
GLASTONBURY, CT

SITE LOCATION: 1040 MAIN STREET
GLASTONBURY, CT

WOLFF ENGINEERING		
CIVIL & STRUCTURAL ENGINEERING CORNERSTONE PROFESSIONAL PARK, SUITE C101 39 SHERMAN HILL ROAD, WOODBURY, CT 06798 TEL.: 203.263.7447 FAX: 203.263.0060		
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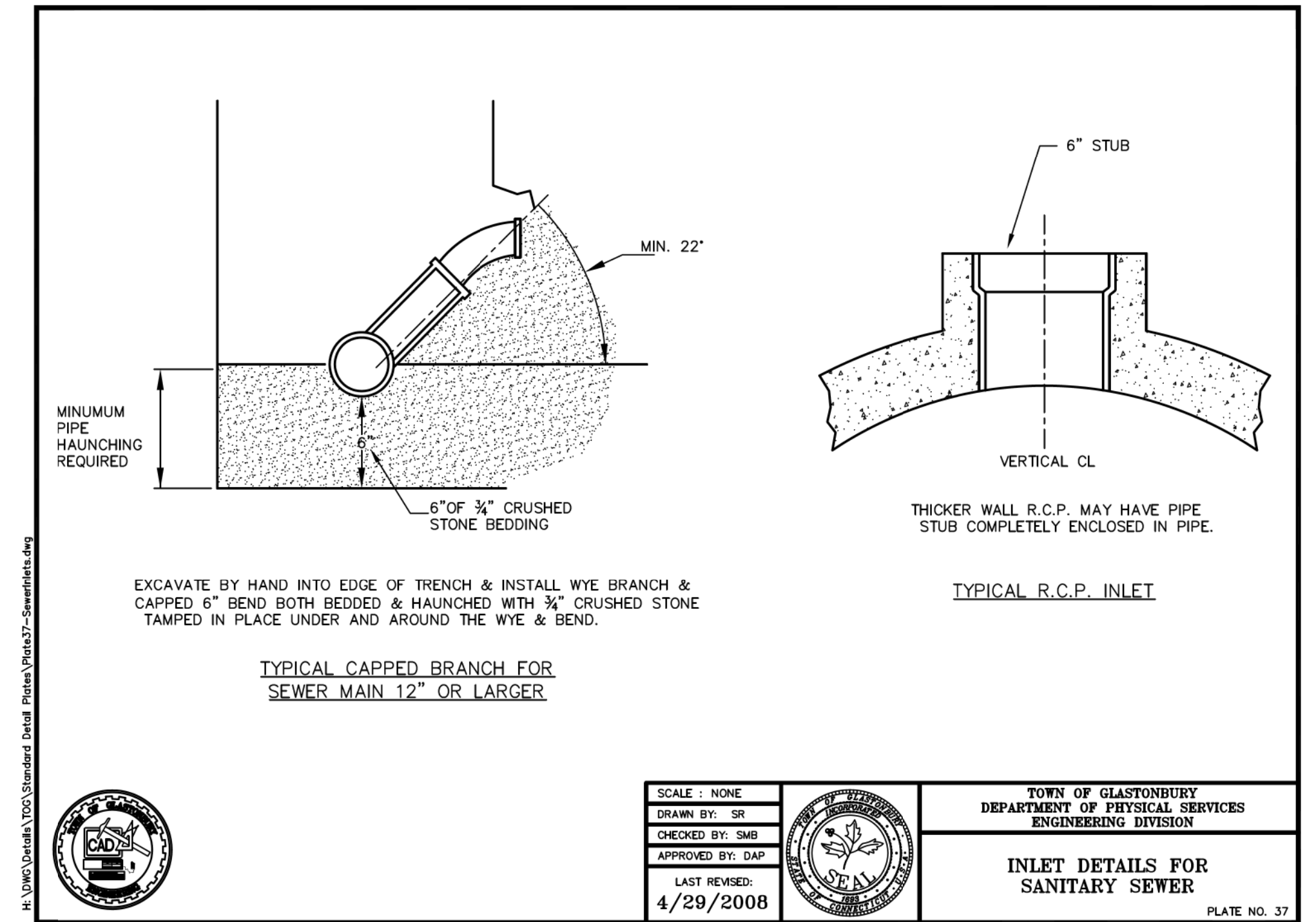
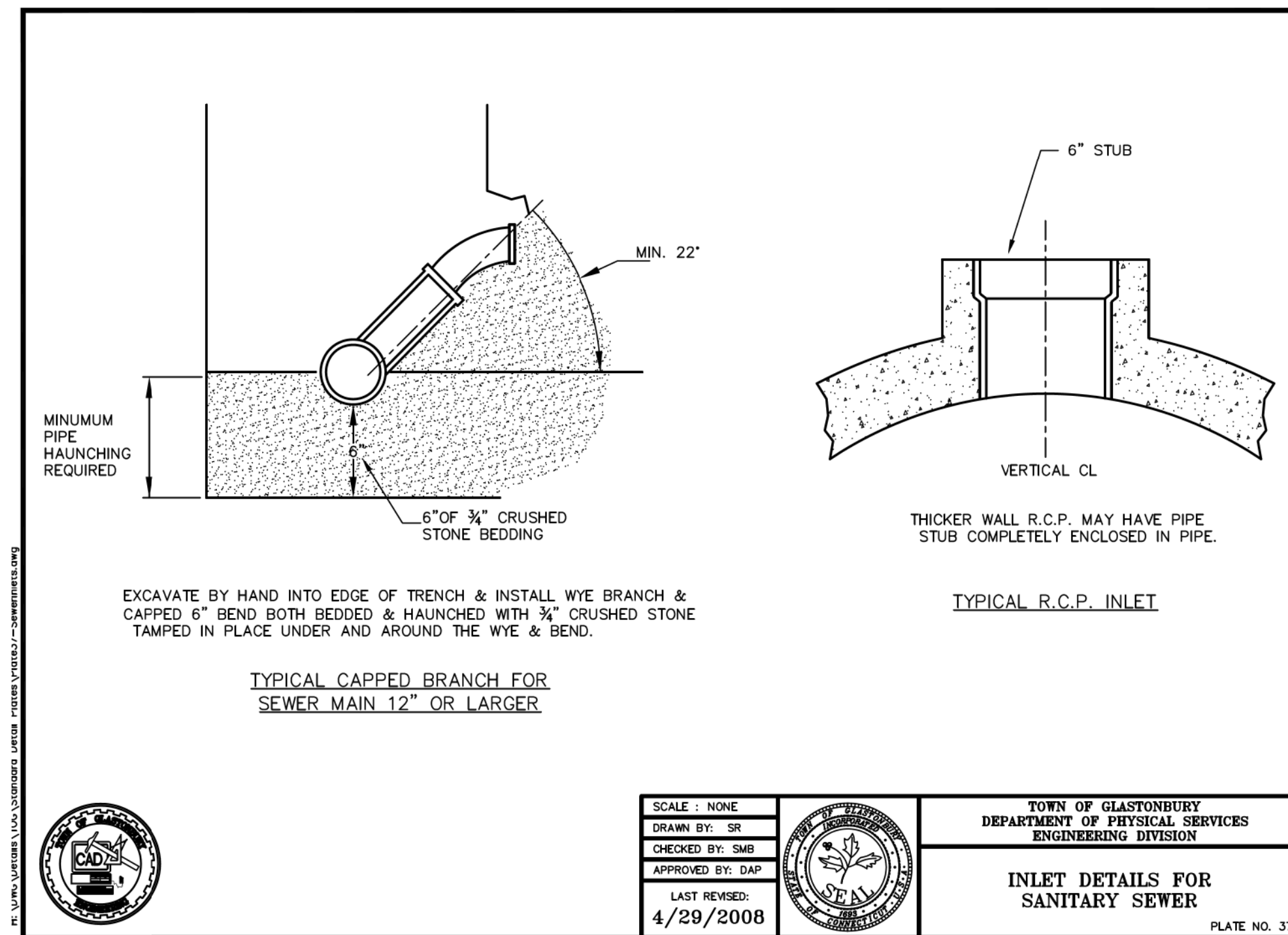
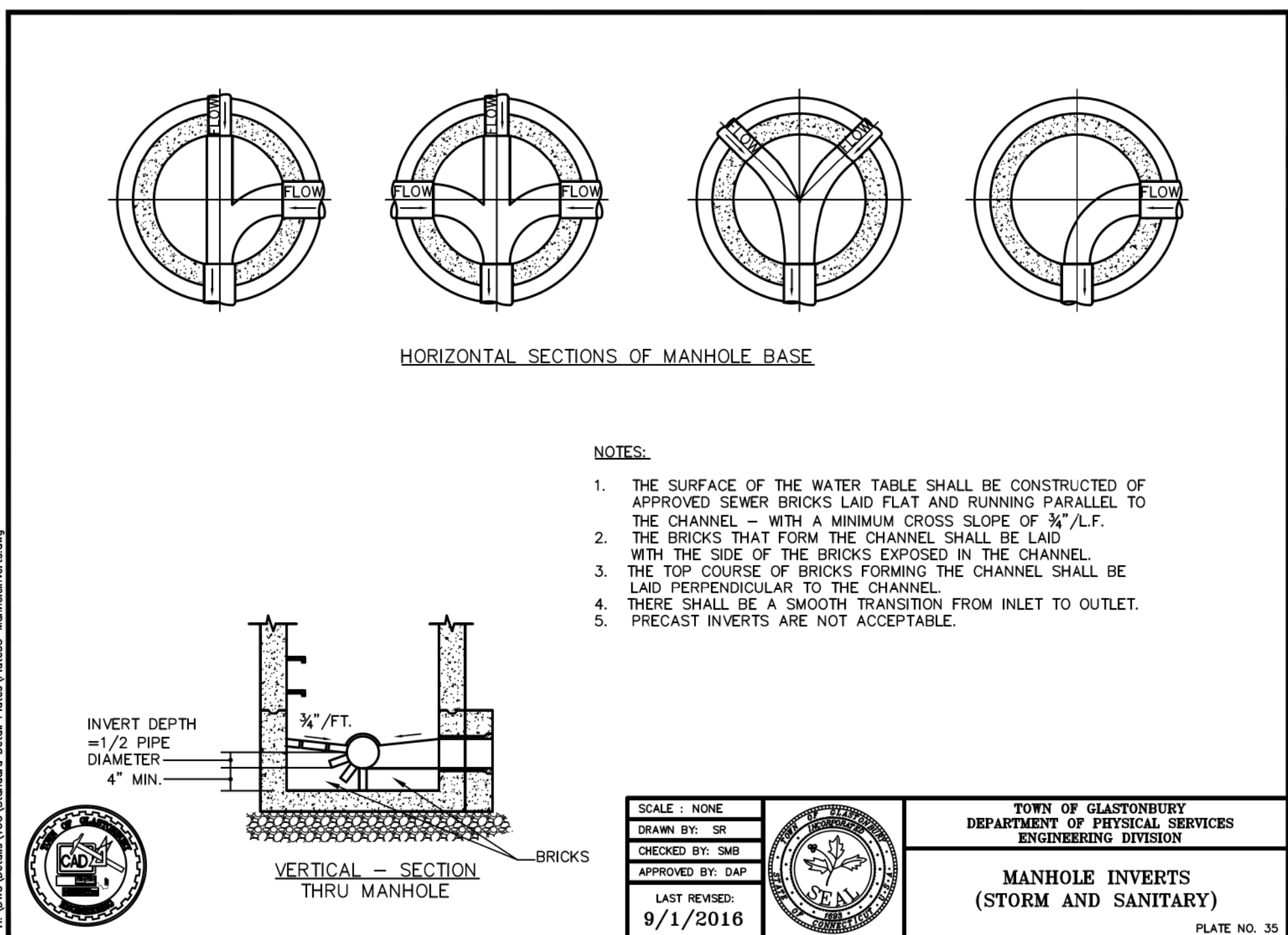
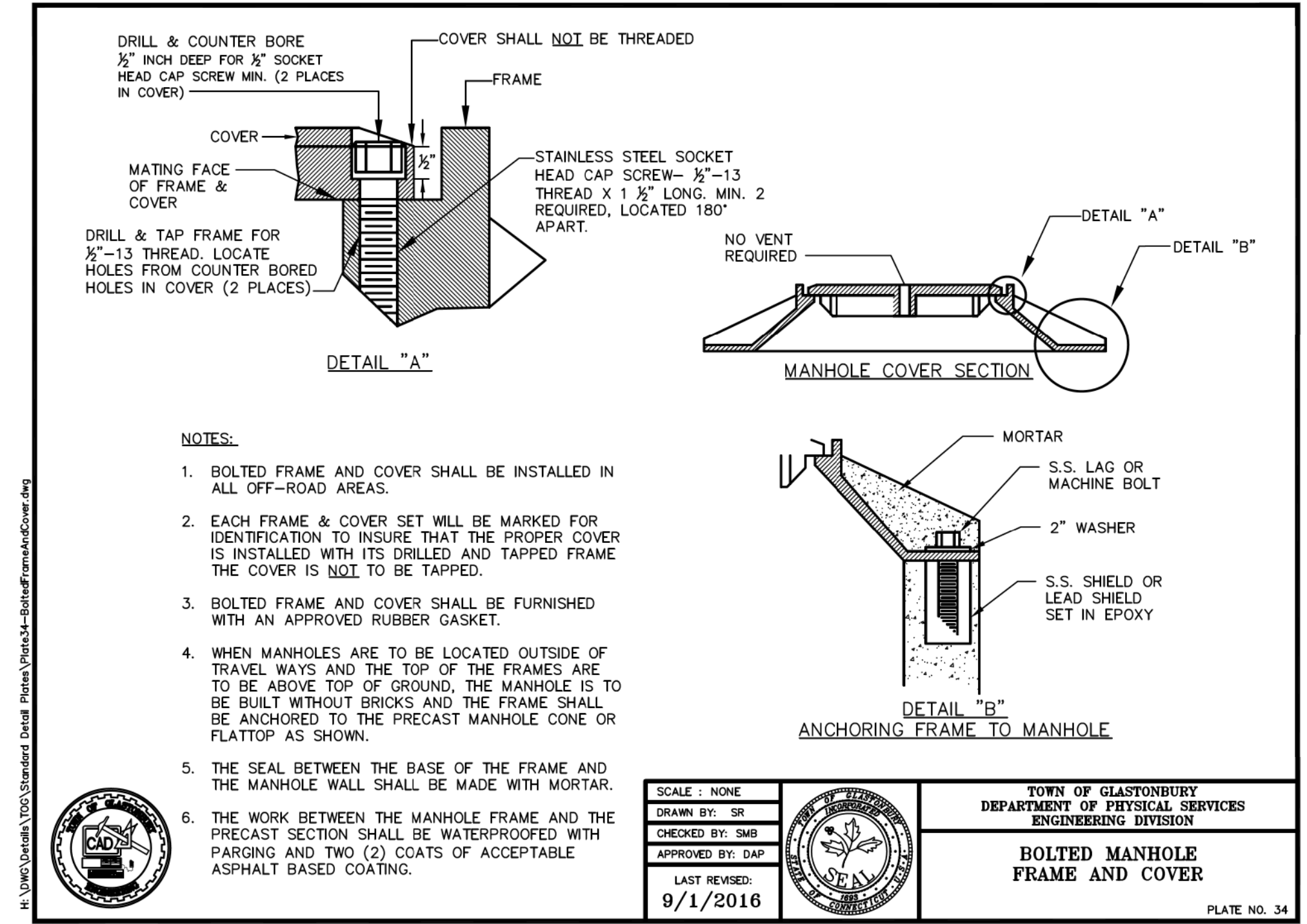
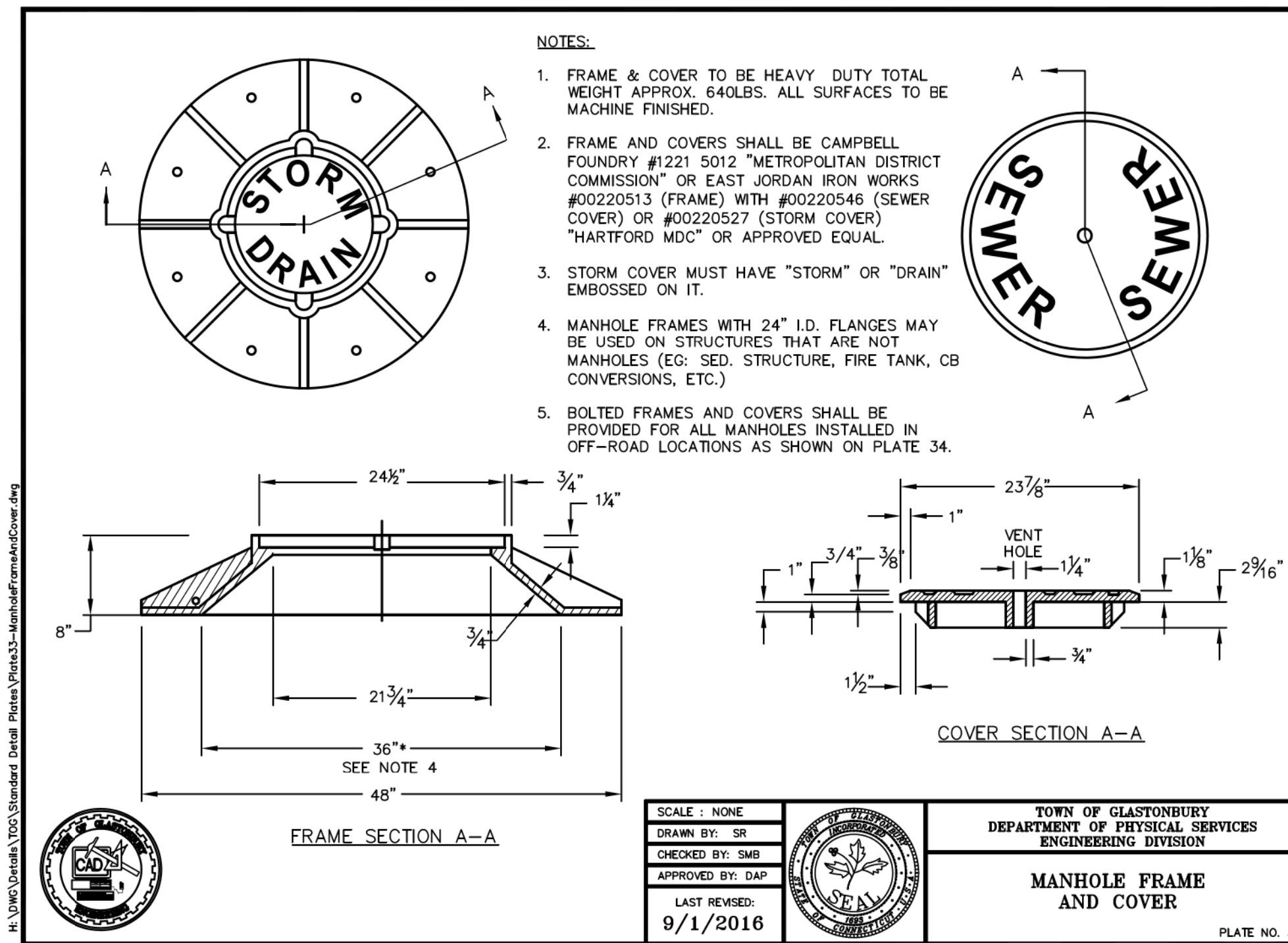
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TOWN OF GLASTONBURY
 DEPARTMENT OF PHYSICAL SERVICES
 ENGINEERING DIVISION

PRECAST MANHOLE OVER EXISTING PIPE

PLATE NO. 32



SAND HILL ESTATES
 1040 MAIN STREET
 GLASTONBURY, CT

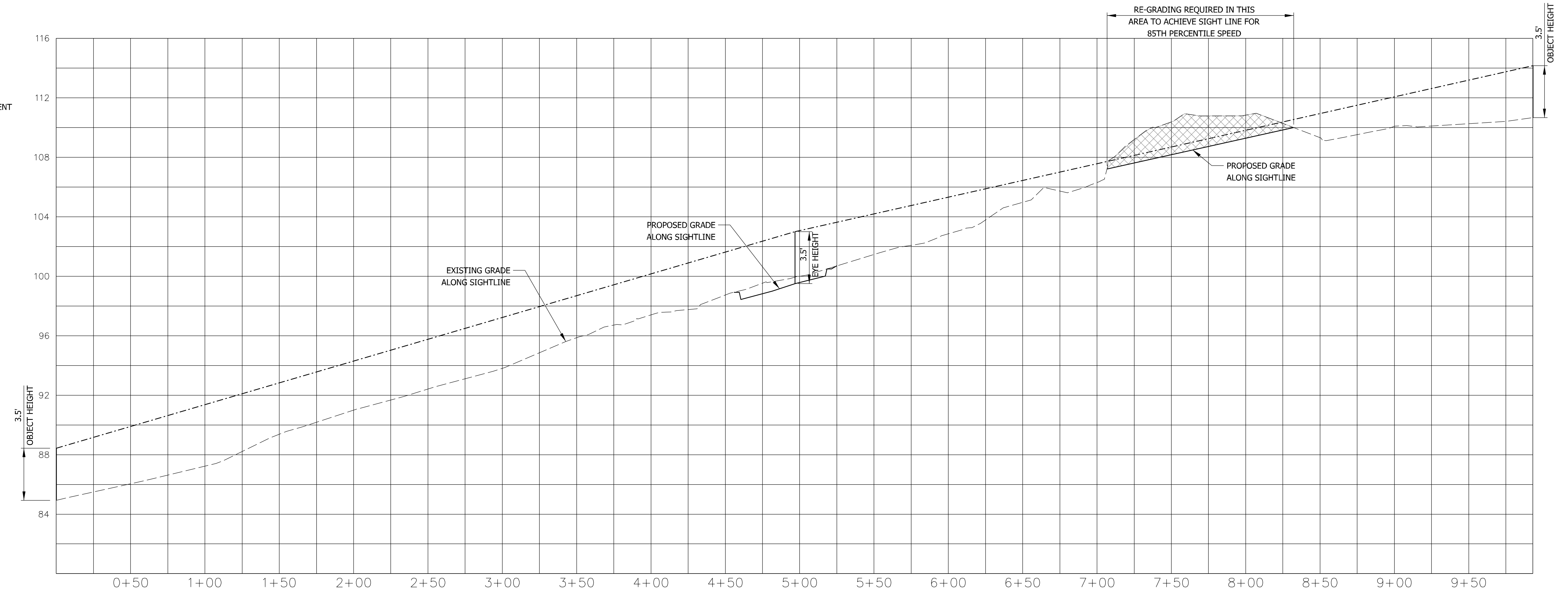
DETAILS

OWNER/APPLICANT: CARRIER CONSTRUCTION INC PO BOX 1842 BRISTOL, CT 06010-1842		SITE LOCATION: 1040 MAIN STREET ASSESSOR'S MAP E10 STREET 4140 LOT E0129B GLASTONBURY, CT	
WOLFF ENGINEERING CIVIL & STRUCTURAL ENGINEERING CORNERSTONE PROFESSIONAL PARK, SUITE C101 39 SHERMAN HILL ROAD, WOODBURY, CT 06798 TEL.: 203.263.7447 FAX: 203.263.0060			
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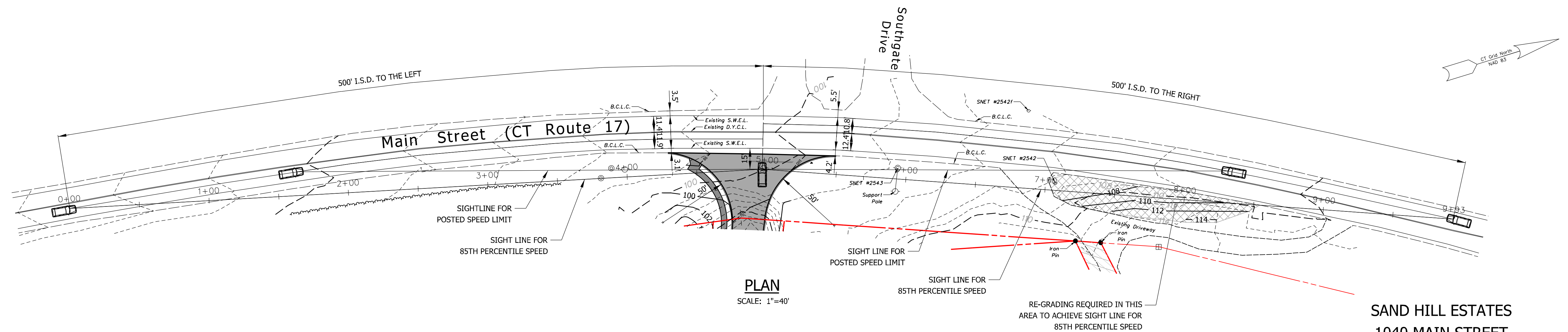
NOTES

1. POSTED SPEED LIMIT = 30 M.P.H.
2. 85TH PERCENTILE SPEED (NORTHBOUND) = 43.1 M.P.H. (AVERAGE BETWEEN M.P. 32.84 AND M.P. 33.67)
3. 85TH PERCENTILE SPEED (SOUTHBOUND) = 42.7 M.P.H. (AVERAGE BETWEEN M.P. 32.84 AND M.P. 33.67)
4. 85TH PERCENTILE SPEED DATA OBTAINED FROM THE CONNECTICUT DEPARTMENT OF TRANSPORTATION OFFICE OF THE STATE TRAFFIC ADMINISTRATION SPOT SPEED STUDIES REPORT.



SIGHT LINE PROFILE

HORIZONTAL SCALE: 1"=40'
VERTICAL SCALE: 1"=4'



PLAN

SCALE: 1"=40'

SAND HILL ESTATES
1040 MAIN STREET
GLASTONBURY, CT
SIGHT LINE DIAGRAM

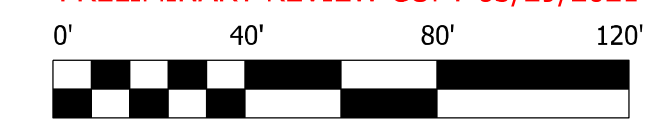
OWNER/APPLICANT:
CARRIER CONSTRUCTION INC
PO BOX 1842
BRISTOL, CT 06010-1842

SITE LOCATION:
1040 MAIN STREET
ASSESSOR'S MAP E10 STREET 4140 LOT E0129B
GLASTONBURY, CT

WOLFF ENGINEERING
CIVIL & STRUCTURAL ENGINEERING
CORNERSTONE PROFESSIONAL PARK, SUITE C101
39 SHERMAN HILL ROAD, WOODBURY, CT 06798
TEL.: 203.263.7447 FAX: 203.263.0060

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SCALE: 1"=40'
GRAPHIC SCALE