

SPECIAL PERMIT MODIFICATION

FOR:



2834 MAIN STREET GLASTONBURY, CONNECTICUT

OWNER

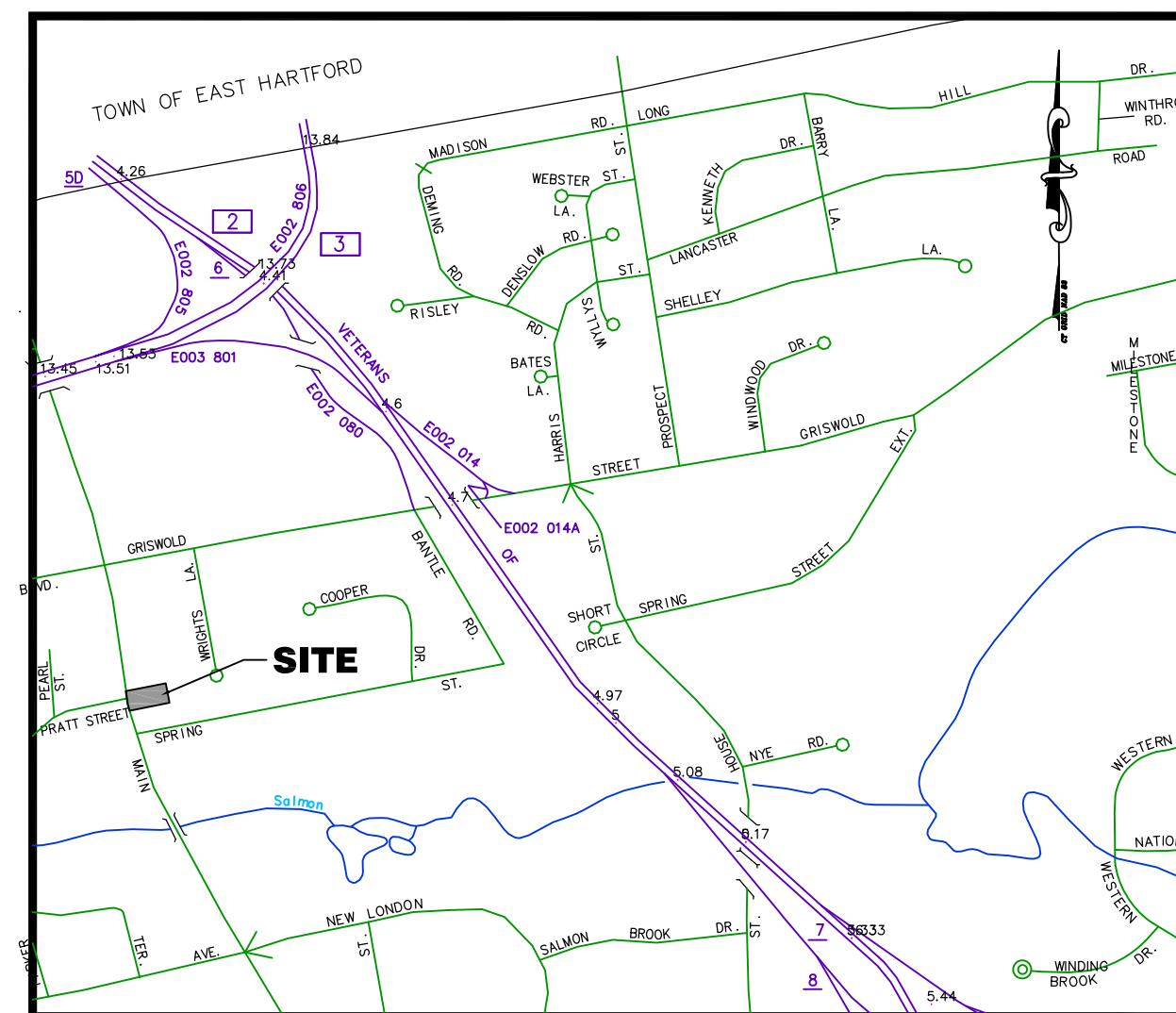
RHC ASSOCIATES
5 BREWSTER STREET #368
GLEN COVE, NY 11542

APPLICANT AND DEVELOPER

MICHAEL CASSETTA
870 PORTLAND COLBALT ROAD
PORTLAND, CT 06488

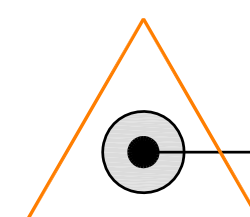
SHEET INDEX

<u>SHEET #</u>	<u>DRAWING TITLE</u>
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2	ZONING IMPROVEMENT LOCATION SURVEY-PROPOSED
3	SITE DEVELOPMENT PLAN
4	PROPOSED PATIO LAYOUT PLAN
5-6	SITE DETAILS
LS-1	SITE LANDSCAPING PLAN
F-5	BUILDING ELEVATIONS
PH-1	SITE PHOTOMETRICS PLAN



LOCATION MAP

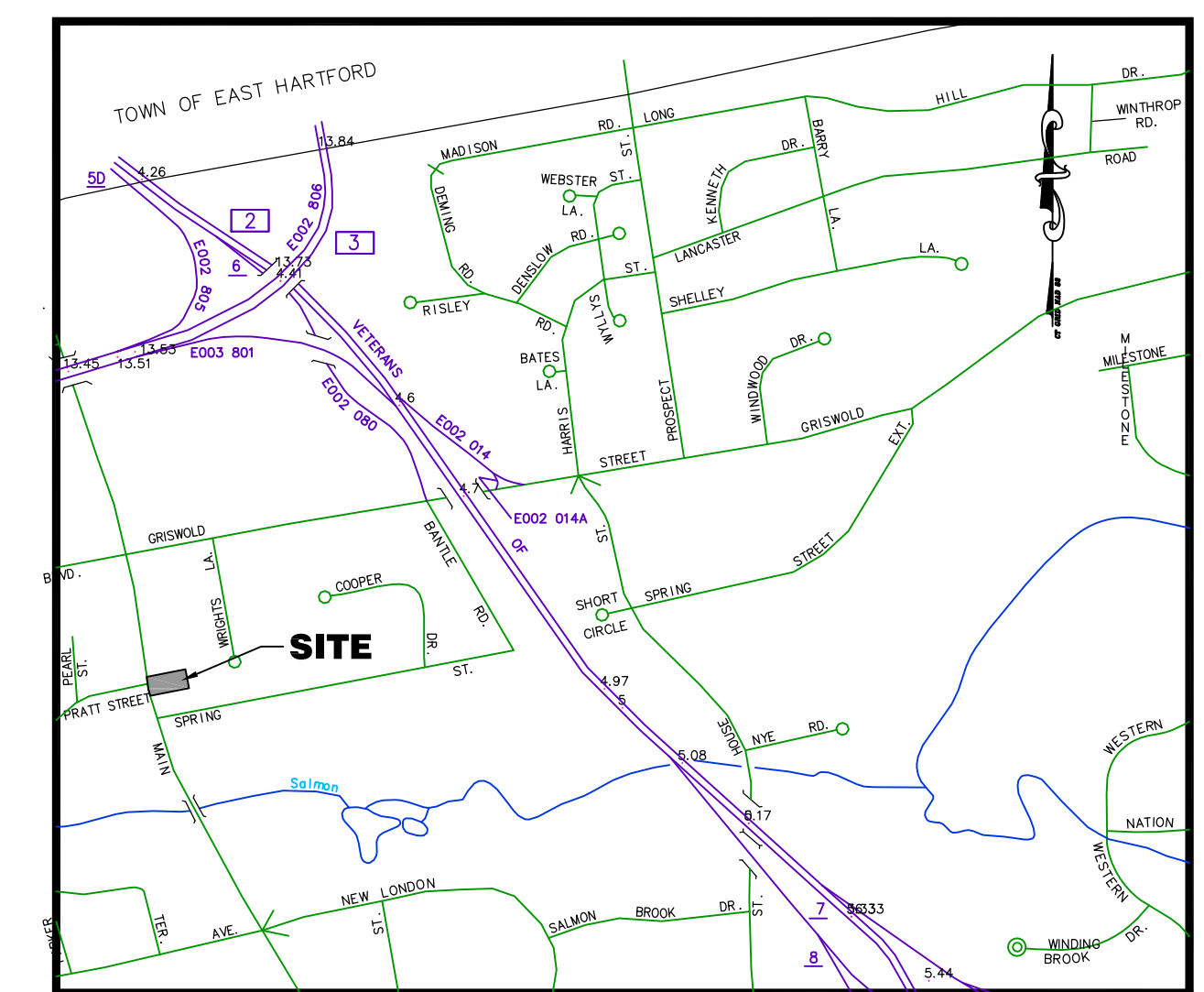
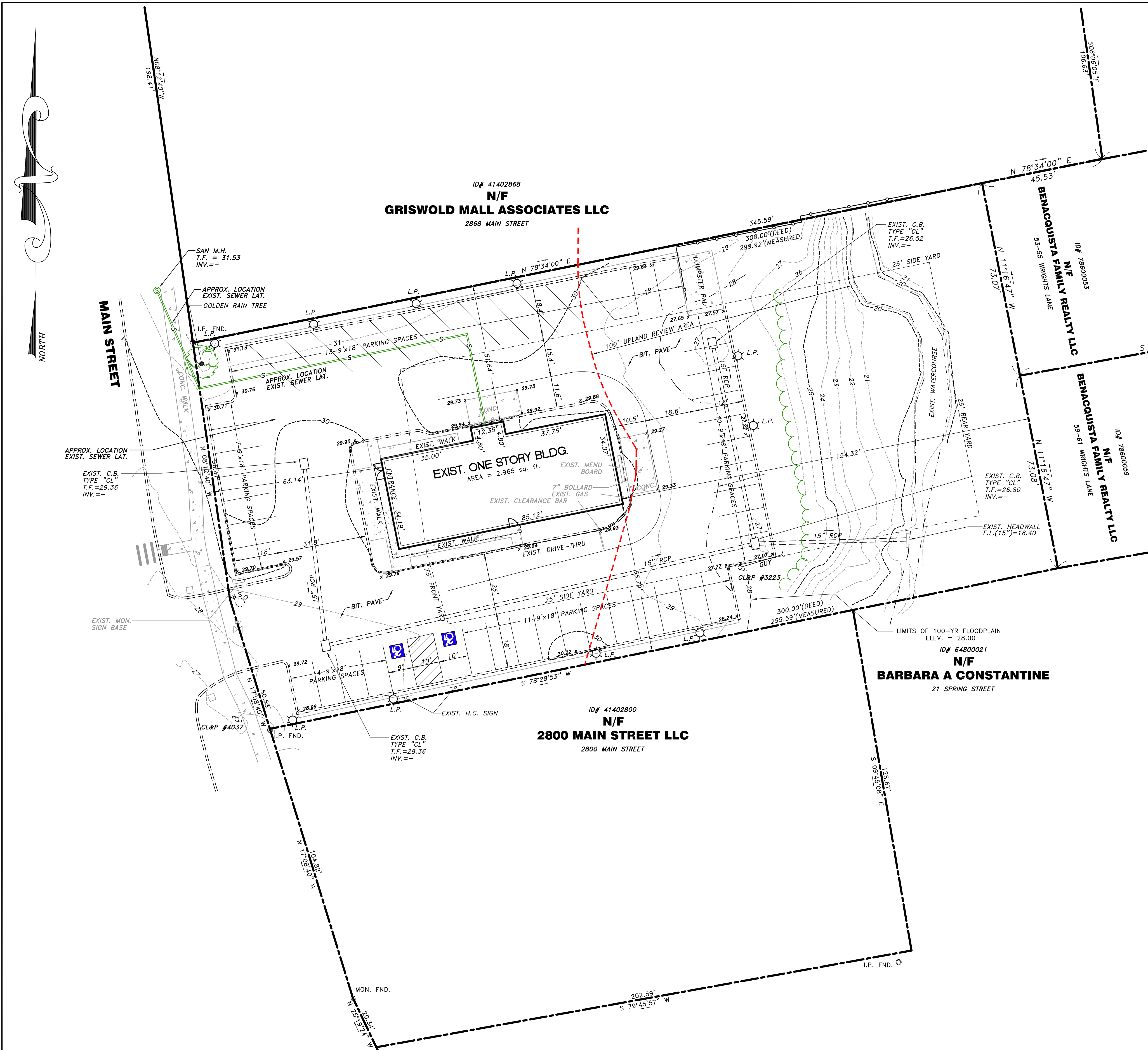
SCALE: 1" = 1000'



HALLISEY, PEARSON & CASSIDY

CIVIL ENGINEERS & LAND SURVEYORS
630 MAIN STREET, UNIT #1A
CROMWELL, CONNECTICUT 06416
PHONE: (860)-529-6812, FAX: (860)-721-7709

NO.	DATE	DESCRIPTION	BY
3	2/23/21	ADDED FURNITURE DETAILS & UPDATED BUILDING ELEVATION	JMP
2	12/1/20	PER TOWN COMMENT	JMP
1	11/20/20	UPDATED GRADING	JMP



LOCATION MAP
SCALE: 1"=1,000'

- NOTES:**
- SURVEY NOTES:**
 - This survey has been prepared pursuant to the Regulation of Connecticut State Agencies Section 20-300b-1 Through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996.
 - Type Of Survey is PROPERTY/TOPOGRAPHIC SURVEY
 - Boundary Determination Category is DEPENDENT RESURVEY
 - Class of Accuracy is HOR.-"A-2" , VERT.-"V-2", TOPO-"T-2"
 - MAP REFERENCES:**
 - A) "LAYOUT PLAN, BOSTON CHICKEN, MAIN STREET, GLATONBURY CONNECTICUT" DATED: JULY 05, 1994, REVISED TO 8-15-94. SCALE: 1"=20'. SHEET SP.1. PREPARED BY: JOHN MEYER CONSULTING.
 - B) "PLOT PLAN PREPARED FOR LAWRENCE SIBBALD GLATONBURY CONNECTICUT" DATED: FEBRUARY 27, 1974. SCALE: 1"=20'. SHEET B-72-73. PREPARED BY: MOZZOCHI ASSOCIATES.
 - C) "SITE PLAN THE GRISWOLD MALL GLATONBURY CONNECTICUT" DATED: JANUARY 9, 1989. SCALE: 1"=40'. SHEET SP.1. PREPARED BY: FRANK J. GRAVINO ASSOCIATES.
 - D) "CONNECTICUT STATE HIGHWAY DEPARTMENT RIGHT OF WAY MAP TOWN OF GLATONBURY EAST, HARTFORD-PORTLAND ROAD FROM GLATONBURY CENTER NORTHERLY TO EAST HARTFORD TOWN LINE ROUTE NO.17" DATED: APRIL 10, 1928. SCALE: 1"=40'. SHEET 2 OF 3. PREPARED BY: CONNECTICUT STATE HIGHWAY DEPARTMENT.
 - HORIZONTAL DATUM BASED ON N.A.D. OF 1983.
 - PROPERTY MAY BE BENEFITED AND/OR BURDENED BY RECORDED AND/OR UNRECORDED EASEMENTS.
 - PROPERTY IS ZONED "PBD"
 - PROPERTY LIES IN FLOOD ZONE X (MINIMAL RISK AREAS OUTSIDE THE 1% & 0.2% ANNUAL CHANCE FLOODPLAINS.) F.I.R.M. PANEL NO. 128 OF 450. MAP NO. 09007CD128G. DATED: AUGUST 28, 2008.
 - PROPERTY MAY BE BURDENED AND/OR BENEFITED BY RECORDED AND/OR UNRECORDED EASEMENTS.
 - ELEVATIONS BASED ON NAVD 88. CONTOUR INTERVAL = 2 FEET.

ZONING INFORMATION BULK CHART: PBD ZONE

ZONE: PBD	REQUIRED	EXISTING
MINIMUM LOT AREA	60,000 sq. ft.	44,253 sq. ft.*
MIN. LOT FRONTAGE	200'	147.0'*
MIN. FRONT YARD	75'	63.14'*
MIN. SIDE YARD	25'	55.79'/51.64'
MIN. REAR YARD	25'	154.32'
MAX. LOT COVERAGE	20%	2,965 SQ. FT./44,253 SQ.FT.= 6.7%
MAX. BUILDING HEIGHT	35'	<35'

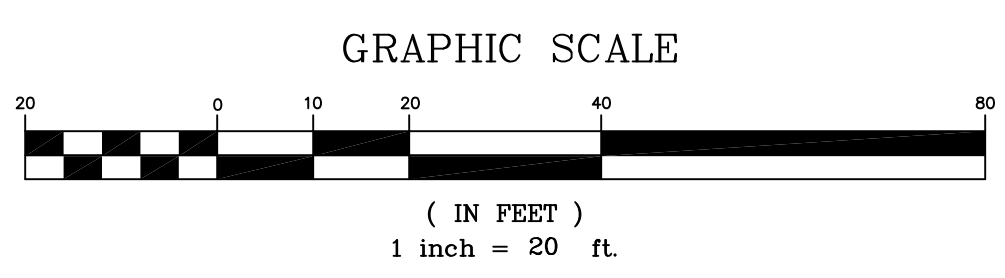
* - DENOTES EXISTING NON-CONFORMING

PARKING DATA SCHEDULE:

USE	REQUIREMENT	REQUIRED
RESTAURANT	1 SPACE/3 SEATS	(50 SEATS) x 1 SPACE/3 SEATS= 16.7
TOTAL REQUIRED= 17 SPACES (INCLUDING 1 H.C. SPACES)		
PARKING SPACES EXISTING= 47 SPACES -Incl. 2 handicapped accessible space		

LEGEND

---	EXISTING PROPERTY LINE	---	EXISTING WATER MAIN
---	EXISTING EDGE OF PAVEMENT	---	EXISTING SANITARY SEWER
●	I.P. FND. OR I.P.IPE FND.	---	EXISTING GAS MAIN
■	C.M.S. FND. OR C.H.D. FND.	---	EXISTING OVERHEAD WIRES
---	EXISTING TREE LINE	---	EXISTING FENCE
---	EXISTING CONTOUR		
x	EXISTING SPOT GRADE		
---	EXISTING TELEPHONE POLE		
---	EXISTING CONC. CURB		
---	EXISTING STORM DRAINAGE SYSTEM		



TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON:

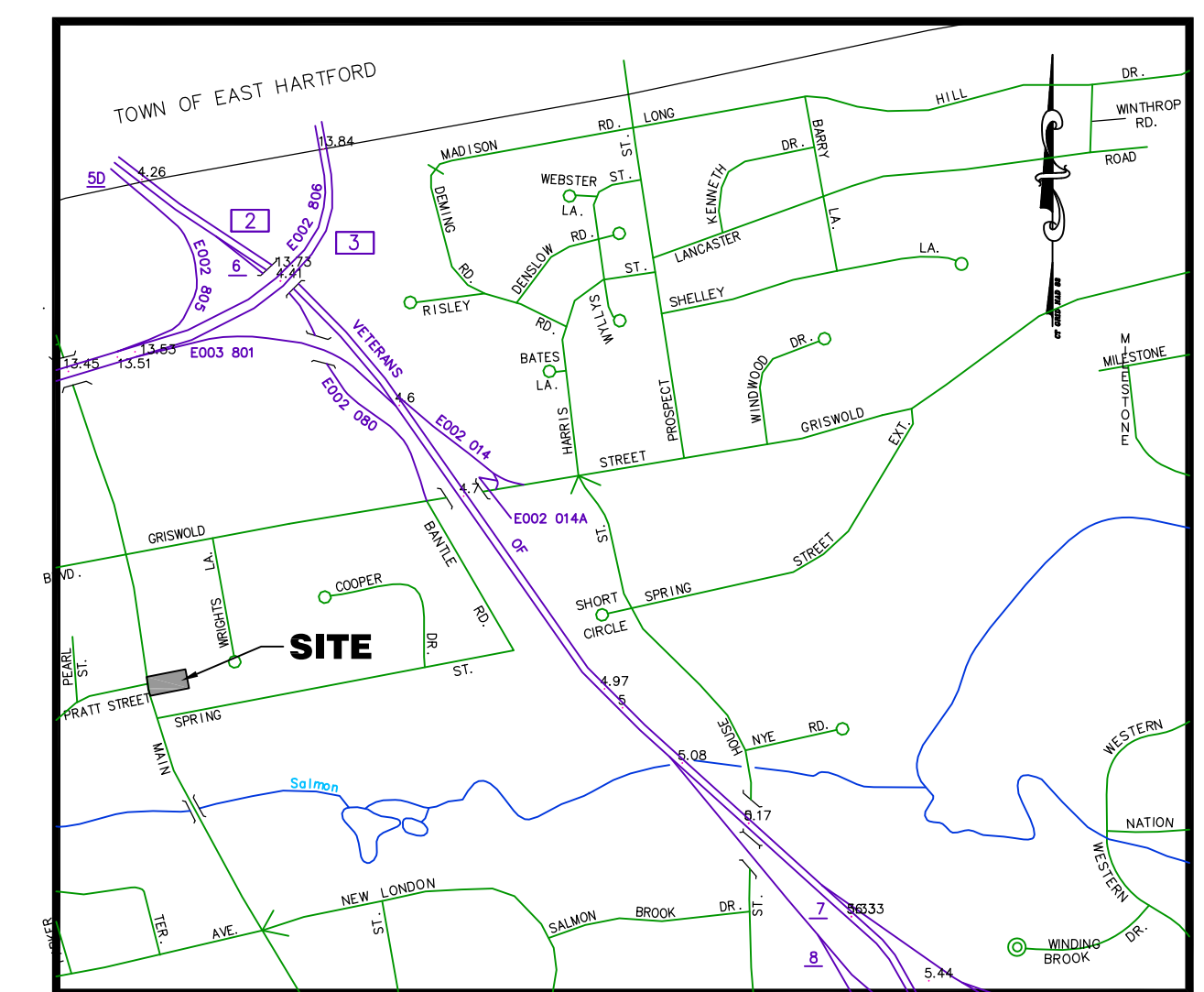
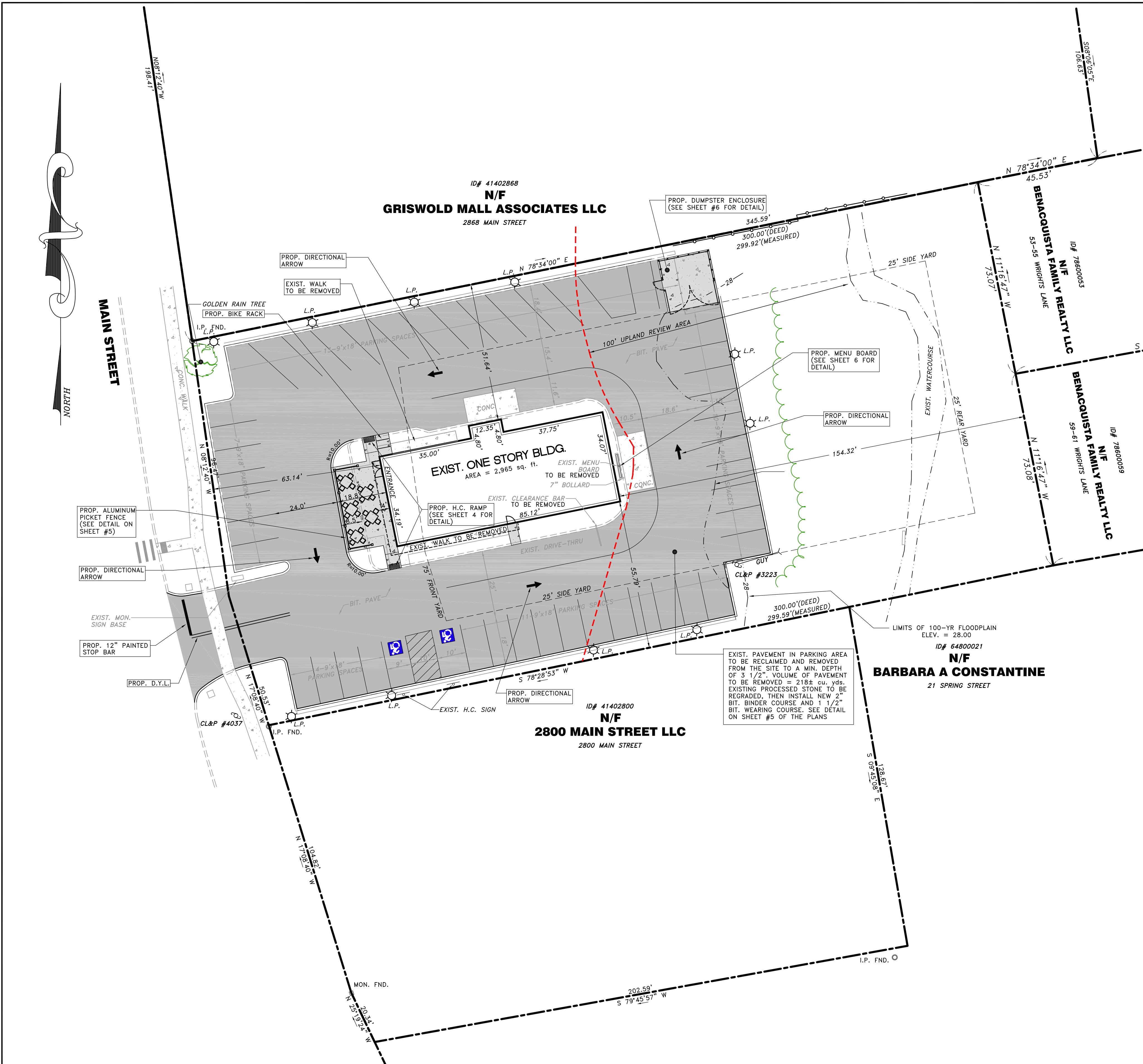
Paul A. Hallisey OCTOBER 06, 2020
PAUL A. HALLISEY, L.S. LIC. NO. 7761 DATE

THIS DOCUMENT AND COPIES THEREOF ARE VALID ONLY IF THEY BEAR THE SIGNATURE AND EMBOSSED SEAL OF THE DESIGNATED LICENSED PROFESSIONAL. UNAUTHORIZED ALTERATIONS TO THIS PLAN RENDER THE DECLARATION HEREON NULL AND VOID. VALID ONLY ON MAPS BEARING EMBOSSED SURVEYOR'S SEAL

SCALE: 1"=20'
DATE: OCT. 06, 2020
JOB NO.: 3173
ACAD FILE: 3173-EX
CHECKED BY: JPC
DRAWN BY: JMP
SHEET: 1 OF 6
REVISIONS:
11/20/20 UPDATED GRADING
12/1/20 PER TOWN COMMENT
02/23/21 ADDED FURNITURE DETAIL & BUILDING ELEVATION

HALLISEY, PEARSON & CASSIDY
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630 MAIN STREET, UNIT #1A
GROVELL, CONNECTICUT 06416
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PROPERTY/TOPOGRAPHIC SURVEY
SHOWING EXISTING CONDITIONS
PREPARED FOR:
MICHAEL CASSETTA
PROPERTY LOCATED AT:
2834 MAIN STREET
GLATONBURY, CONNECTICUT



LOCATION MAP
SCALE: 1"=1,000'

NOTES:

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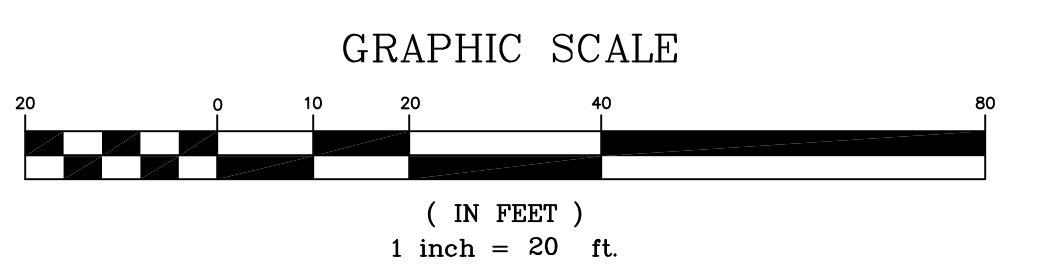
* - DENOTES EXISTING NON-CONFORMING

PARKING DATA SCHEDULE:		
USE	REQUIREMENT	REQUIRED
RESTAURANT (INDOOR SEATING)	1 SPACE/3 SEATS	56 SEATS x (1 SPACE/3 SEATS) = 18.7
RESTAURANT (PATIO SEATING)	1 SPACE/3 SEATS	20 SEATS x (1 SPACE/3 SEATS) = 6.7
TOTAL REQUIRED= 26 SPACES (INCLUDING 2 H.C. SPACES)		
PARKING SPACES PROVIDED= 47 SPACES -incl. 2 handicapped accessible space		

- DELIVERIES WILL BE LOCATED AT THE BACK OF THE BUILDING AND BROUGHT IN THROUGH THE REAR DOOR IN THE MORNING PRIOR TO BUSINESS HOURS.
- BUSINESS HOURS WILL BE 10:30 am TO 11:00 pm.

LEGEND

--- EXISTING PROPERTY LINE	--- PROPOSED CONC. CURB
- - - EXISTING EDGE OF PAVEMENT	--- PROPOSED CONCRETE
⊙ IRON PIN OR IRON PIPE FOUND	--- PROPOSED FENCE
⊙ C.M.S. FND.	--- LIMITS OF 100-YR FLOODPLAIN
⊙ C.A.D. FND.	
--- EXISTING TREE LINE	
--- EXISTING TELEPHONE POLE	
--- EXISTING CONC. CURB	
--- EXISTING FENCE	



TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON:

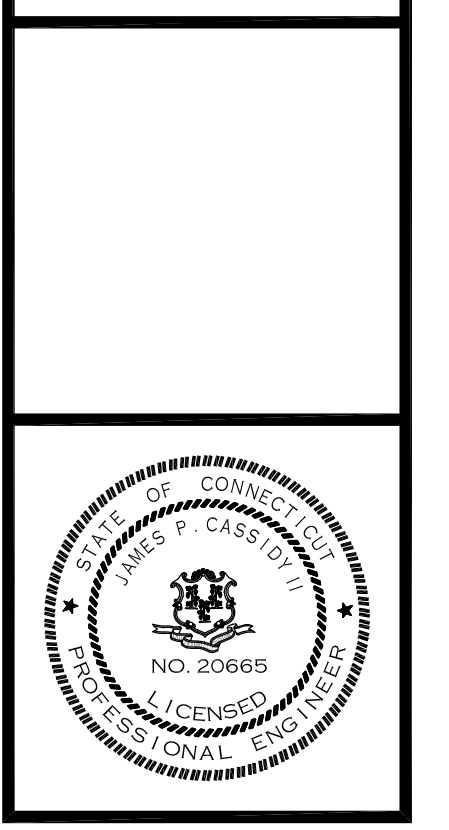
Paul A. Hallisey **OCTOBER 06, 2020**
 PAUL A. HALLISEY, L.S. LIC. NO. 7761 DATE

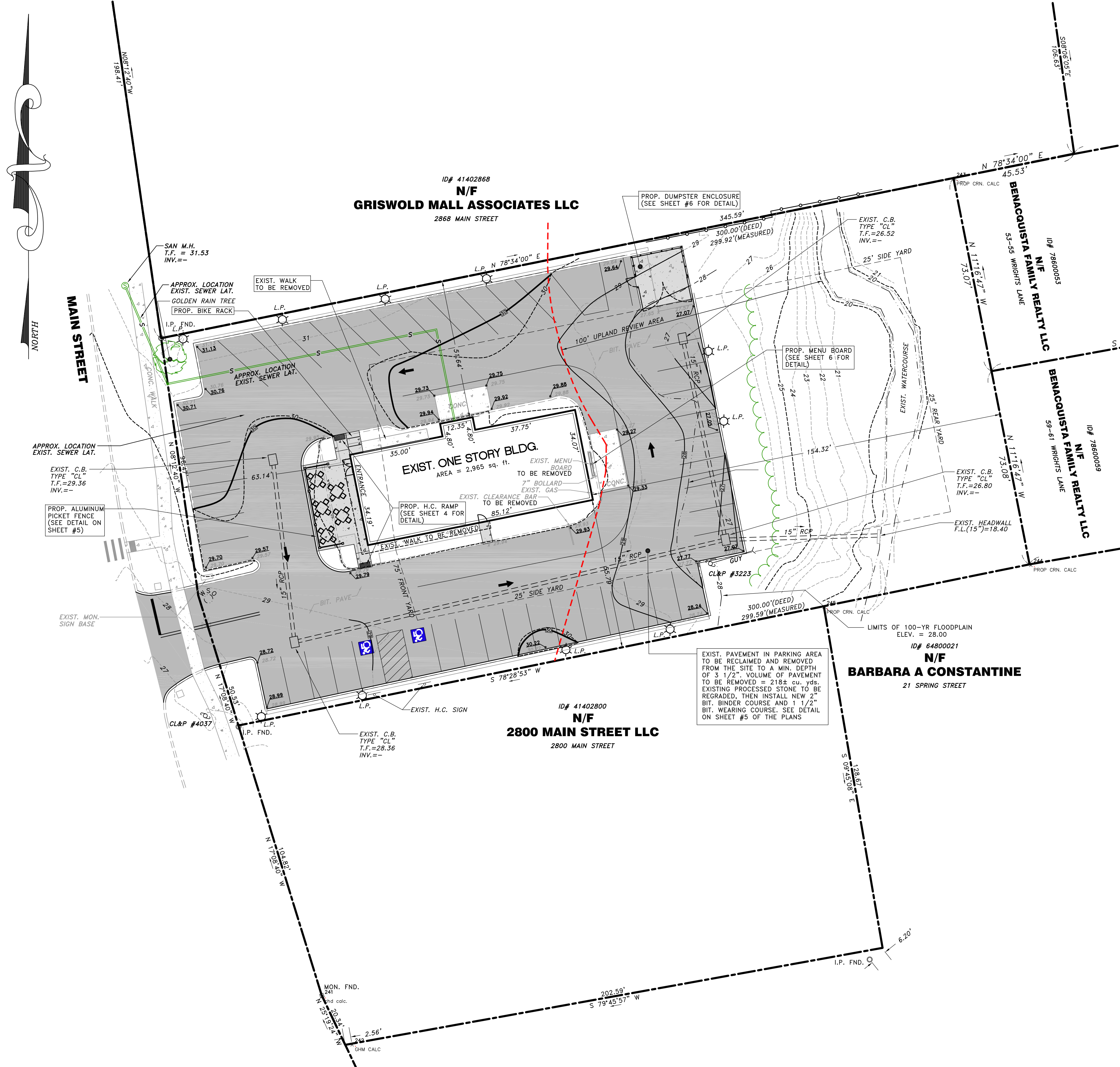
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SCALE: 1"=20'	CHECKED BY: JPC
DATE: OCT. 06, 2020	DRAWN BY: JMP
JOB No.: 3173	ACAD FILE: 3173-Z1-S1
SHEET: 2	OF: 6
REVISIONS: 11/20/20 UPDATED GRADING 12/1/20 PER TOWN COMMENT 02/23/21 ADDED FURNITURE DETAIL & BUILDING ELEVATION	

HALLISEY, PEARSON & CASSIDY
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 CROWELL, CONNECTICUT 06416
 PHONE: (860)-529-6812, FAX: (860)-721-7709

ZONING IMPROVEMENT LOCATION SURVEY-PROPOSED & SITE LAYOUT PLAN
 PREPARED FOR:
MICHAEL CASSETTA
 PROPERTY LOCATED AT:
2834 MAIN STREET
GLASTONBURY, CONNECTICUT





ID# 41402868
N/F
GRISWOLD MALL ASSOCIATES LLC
 2868 MAIN STREET

ID# 41402800
N/F
2800 MAIN STREET LLC
 2800 MAIN STREET

ID# 64800021
N/F
BARBARA A CONSTANTINE
 21 SPRING STREET

ID# 78600053
N/E
BENACQUISTA FAMILY REALTY LLC
 59-55 WRIGHTS LANE

ID# 78600059
N/E
BENACQUISTA FAMILY REALTY LLC
 59-61 WRIGHTS LANE

EXIST. PAVEMENT IN PARKING AREA TO BE RECLAIMED AND REMOVED FROM THE SITE TO A MIN. DEPTH OF 3 1/2". VOLUME OF PAVEMENT TO BE REMOVED = 2184 cu. yds. EXISTING PROCESSED STONE TO BE REGRADED, THEN INSTALL NEW 2" BIT. BINDER COURSE AND 1 1/2" BIT. WEARING COURSE. SEE DETAIL ON SHEET #5 OF THE PLANS

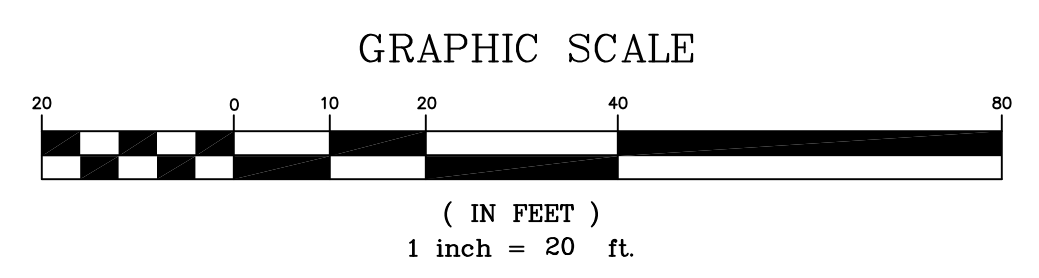
SITE PLAN NOTES

- ALL CONSTRUCTION SHALL COMPLY WITH TOWN OF GLASTONBURY, STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS IN THE ABOVE REFERENCED HERRINGBY. IF SPECIFICATIONS ARE IN CONFLICT, THE MORE STRINGENT SPECIFICATION SHALL APPLY. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA, FEDERAL, STATE AND LOCAL REGULATIONS.
- THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ZONING PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL TOWN CONSTRUCTION PERMITS, INCLUDING DOT PERMITS AND STORM AND WATER CONNECTION PERMITS. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THE WORK.
- REFER TO OTHER PLANS, DETAILS AND NOTES FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE SITE ENGINEER IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO BEGINS. ANY CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS SHALL BE CONFORMED WITH THE LOCAL CONSTRUCTION MANAGER PRIOR TO BEGINS.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS, MATERIALS AND PLAN SPECIFICATIONS TO THE OWNER AND SITE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW.
- THE CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDING, OUTSIDE DISPLAY AREA, AND THE RAISED CONCRETE SIDEWALKS AND STAIRS.
- IF ANY UNIDENTIFIED OR INCORRECTLY CHARTERED EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
- DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERFERENCES HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERFERENCES SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
- ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OR PAVING UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES, TRAFFIC CONTROLLERS AND UNIFORMED TRAFFIC OFFICERS AS REQUIRED, ORDERED BY THE ENGINEER OR REQUIRED BY THE LOCAL GOVERNING AUTHORITIES.
- REFER TO DETAIL SHEETS FOR PAVEMENT, CURBING, AND SIDEWALK INFORMATION.
- TRAFFIC CONTROL SIGNAGE SHALL CONFORM TO THE STATE DOT STANDARD DETAIL SHEETS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. SIGNS SHALL BE INSTALLED PLUMB WITH THE EDGE OF THE SIGN 7" OFF THE FACE OF THE CURB, AND WITH 7" VERTICAL CLEARANCE UNLESS OTHERWISE DETAILED OR NOTED.
- THE CONTRACTOR SHALL ABIDE BY ALL OSHA FEDERAL, STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOMBS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF CONTRACTOR WILL BE WORKING UNDER OR NEAR OVERHEAD ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFETY. ANY UTILITY COMPANY FEES SHALL BE PAID FOR BY THE CONTRACTOR.
- THE CONTRACTOR SHALL SUBMIT A SHOP DRAWING OF THE PAINT MIXTURE PRIOR TO STRIPING.
- PARKING SPACES SHALL BE STRIPPED WITH 4" SMI, HATCHED AREA SHALL BE STRIPPED WITH 4" SMI AT A 45° ANGLE, 2" ON CENTER. HATCHING SYMBOLS, AND STRIPING FOR HANDICAPPED SPACES SHALL BE PAINTED BLUE. OTHER MARKINGS SHALL BE PAINTED WHITE OR AS NOTED.
- THE CONTRACTOR SHALL RESTORE ANY DRAINAGE STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS OR SIGNAGE DISTURBED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AS APPROVED BY THE ENGINEER.
- THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF CONSTRUCTION.
- THE ARCHITECT OR ENGINEER IS NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ARCHITECT AND ENGINEER HAVE NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
- THE CONTRACTOR SHALL COMPLY WITH OPR 29 PART 1926 FOR EXCAVATION TRENCHING AND TRENCH PROTECTION REQUIREMENTS.
- ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, SITE ENGINEER, AND APPROPRIATE REGULATORY AGENCY PRIOR TO INSTALLATION DURING THE BIDDING PROCESS.
- INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATION AND DEPTHS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" 72 HOURS BEFORE COMMENCEMENT OF WORK AT "811" AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS.
- PAVEMENT MARKINGS SHALL BE HOT APPLIED TYPE IN ACCORDANCE WITH CT DOT SPECIFICATIONS, UNLESS WHERE EPOXY RESIN PAVEMENT MARKINGS ARE INDICATED.
- CT DOT ENDOURANCEMENT PERMIT SHALL BE OBTAINED BY CONTRACTOR WHO SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC PROTECTION NECESSARY FOR THE WORK.
- AN EROSION CONTROL BOND IS REQUIRED TO BE POSTED BY THE CONTRACTOR BEFORE THE START OF ANY ACTIVITY ON OR OFF SITE.
- THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL AVOIDANCE OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.

GRADING AND DRAINAGE NOTES

- GRADING GENERAL NOTES:
- SEE THIS PLAN SHEET FOR ADDITIONAL SITE PLAN AND GENERAL NOTES.
 - THE GRADING AND DRAINAGE PLAN IS INTENDED TO DESCRIBE GRADING AND DRAINAGE ONLY. REFER TO SITE PLAN FOR GENERAL INFORMATION AND DETAIL SHEETS FOR DETAILS. SEE MEP DRAWINGS FOR BUILDING CONNECTION LOCATIONS AND DETAILS.
 - THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS. REFER TO EROSION CONTROL PLAN FOR LIMIT OF DISTURBANCE AND NOTES.
 - TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR USE IN FINAL LANDSCAPING.
 - THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS REQUIRED BY GOVERNMENT AND LOCAL AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE LOCAL MUNICIPALITIES REQUIRED TO PERFORM ALL REQUIRED WORK, INCLUDING FOR STREET CUTS AND CONNECTIONS TO EXISTING UTILITIES. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THE WORK.
 - THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS FENCES AND UNIFORMED TRAFFIC CONTROLLERS AS REQUIRED, ORDERED BY THE ENGINEER OR REQUIRED BY THE STATE AND LOCAL GOVERNING AUTHORITIES.
 - THE CONTRACTOR SHALL COMPACT FILL IN 12" MAXIMUM LIFTS UNDER ALL PARKING, BUILDING, AND DRIVE AREAS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST), OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
 - UNDERDRAINS SHALL BE ADDED, IF DETERMINED NECESSARY IN THE FIELD BY THE DESIGN OR TOWN ENGINEER. AFTER SUBGRADE IS ROUGH GRADED, AS APPROVED BY THE GLASTONBURY TOWN STAFF.
 - VERTICAL DATUM IS NAVD 1988.
 - CLEARING LIMITS SHALL BE PHYSICALLY MARKED IN THE FIELD AND APPROVED BY THE TOWN OF GLASTONBURY AGENT PRIOR TO THE START OF WORK ON THE SITE.
 - PROPER CONSTRUCTION PROCEDURES SHALL BE FOLLOWED ON ALL IMPROVEMENTS WITHIN THIS PARCEL SO AS TO PREVENT THE SILTING OF ANY WATERCOURSE OR WETLANDS IN ACCORDANCE WITH THE REGULATIONS OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION GUIDELINES FOR SOIL EROSION AND SEDIMENT POLLUTION CONTROL. IN ADDITION, THE CONTRACTOR SHALL STRICTLY ADHERE TO THE "EROSION CONTROL PLAN" CONTAINED HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE TO POST ALL BONDS AS REQUIRED BY THE LOCAL MUNICIPALITIES, OR SOIL CONSERVATION SERVICE WHICH WOULD GUARANTEE THE PROPER IMPLEMENTATION OF THE PLAN.
 - ALL SITE WORK, MATERIALS OR CONSTRUCTION, AND CONSTRUCTION METHODS FOR EARTHWORK STORM DRAINAGE AND UTILITY WORK SHALL CONFORM TO THE SPECIFICATIONS AND DETAILS AND APPLICABLE SECTIONS OF THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION UNLESS OTHERWISE STATED IN THE PROJECT MANUAL SPECIFICATIONS. ALL FILL MATERIALS UNDER STRUCTURES AND PAVED AREAS SHALL BE PER THE SPECIFICATIONS, AND/OR PROJECT GEOTECHNICAL REPORT, AND SHALL BE PLACED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE DOT, UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL ENGINEER. MATERIAL SHALL BE COMPACTED IN 12" LIFTS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 1557 AT 3 +/- PERCENT OF OPTIMUM MOISTURE CONTENT.
 - ALL DISTURBANCE INCURRED TO TOWN OR STATE PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER, TO THE SATISFACTION OF THE TOWN OF GLASTONBURY AUTHORITY AND STATE OF CONNECTICUT.
 - ALL CONSTRUCTION SHALL COMPLY WITH OWNER'S AND THE LOCAL MUNICIPALITY'S STANDARDS AND STATE OF CONNECTICUT'S DOT SPECIFICATIONS. ALL CONSTRUCTION WITHIN A DOT RIGHT OF WAY SHALL COMPLY WITH ALL DEPARTMENT OF TRANSPORTATION STANDARDS, WHERE SPECIFICATIONS OR STANDARDS ARE IN CONFLICT, THE MORE STRINGENT SPECIFICATION OR STANDARD SHALL BE SUPERIOR.

SEE SHEET #4 FOR PATIO GRADING BLOWUP

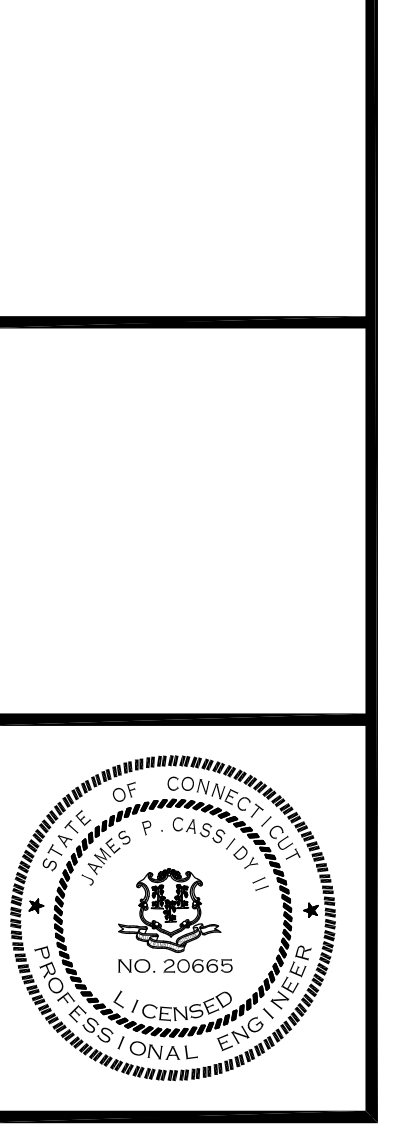


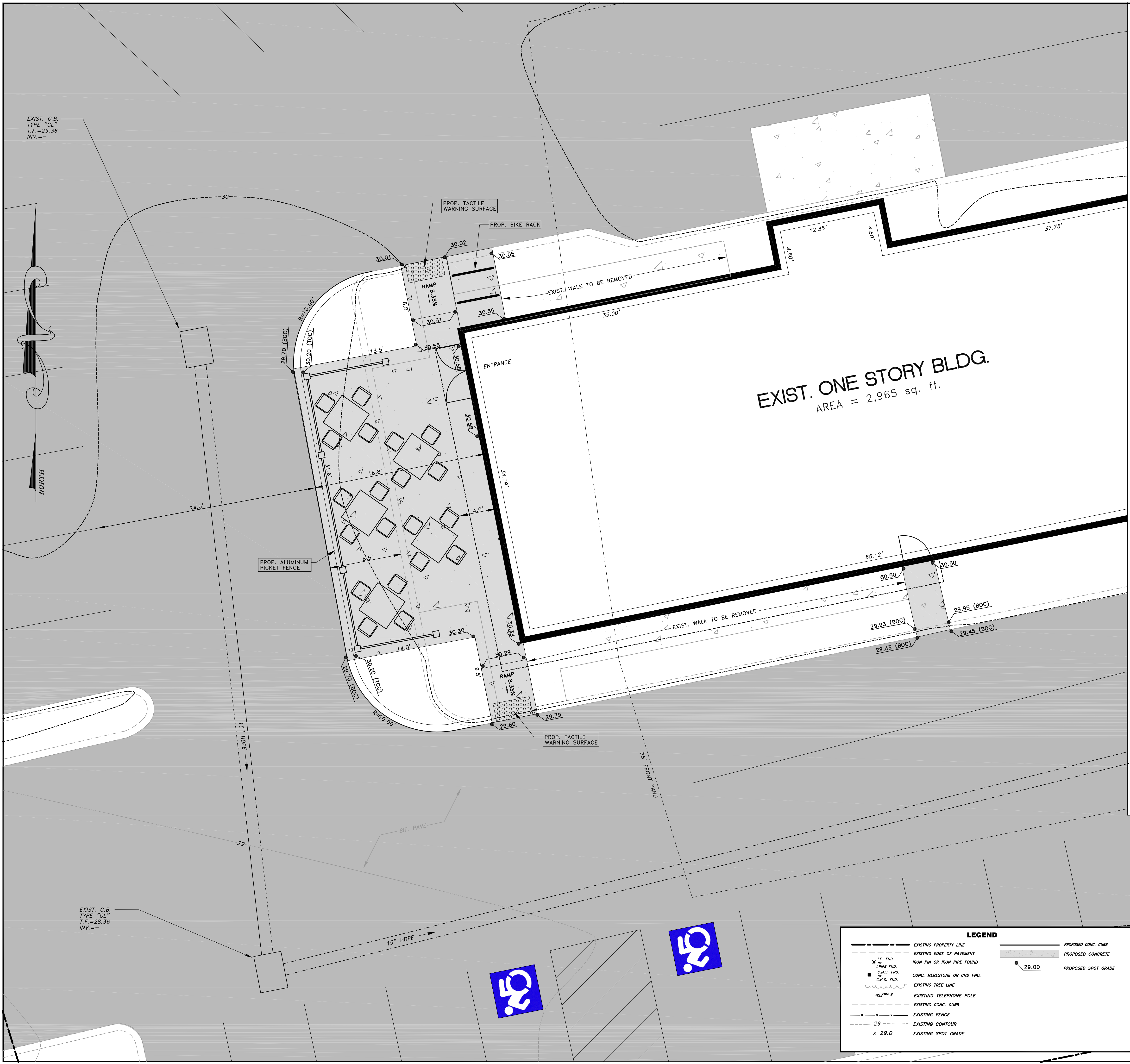
LEGEND	
---	EXISTING PROPERTY LINE
---	EXISTING EDGE OF PAVEMENT
---	IRON PIN OR IRON PIPE FOUND
---	CONC. MERESTONE OR CHD FND.
---	EXISTING TREE LINE
---	EXISTING CONTOUR
---	EXISTING SPOT GRADE
---	EXISTING TELEPHONE POLE
---	EXISTING BIT. CURB
---	EXISTING STORM DRAINAGE SYSTEM
---	EXISTING WATER MAIN
---	EXISTING SANITARY SEWER
---	PROPOSED STORM DRAINAGE SYSTEM
---	PROPOSED SANITARY SEWER
---	PROPOSED CONTOUR
---	PROPOSED SPOT GRADE
---	PROPOSED TREE LINE
---	PROPOSED EXTRUDED CONC. CURB
---	AREA OF BITUMINOUS PAVEMENT
---	PROPOSED CONCRETE

CHECKED BY: JPC	SCALE: 1"=20'
DRAWN BY: JMP	DATE: OCT. 06, 2020
ACAD FILE: 3173-SDP	JOB No.: 3173
SHEET: 3	OF: 6
REVISIONS: 11/20/20 UPDATED GRADING 12/1/20 PER TOWN COMMENT 02/23/21 ADDED FURNITURE DETAIL & BUILDING ELEVATION	

HALLISEY, PEARSON & CASSIDY
 CIVIL ENGINEERS & LAND SURVEYORS
 630 MAIN STREET, UNIT #1A
 CROWELL, CONNECTICUT 06416
 PHONE: (860)-529-6812, FAX: (860)-721-7709

SITE DEVELOPMENT PLAN
 PREPARED FOR:
MICHAEL CASSETTA
 PROPERTY LOCATED AT:
2834 MAIN STREET
GLASTONBURY, CONNECTICUT





EXIST. ONE STORY BLDG.
AREA = 2,965 sq. ft.

SITE PLAN NOTES

1. ALL CONSTRUCTION SHALL COMPLY WITH TOWN OF GLASTONBURY, STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS IN THE MOST RECENT EDITION. IF SPECIFICATIONS ARE IN CONFLICT, THE MORE STRINGENT SPECIFICATION SHALL APPLY. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA, FEDERAL, STATE AND LOCAL REGULATIONS.
2. THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ZONING PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL TOWN CONSTRUCTION PERMITS INCLUDING DOT PERMITS AND STREET AND WALKWAY CONSTRUCTION PERMITS. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
3. REFER TO OTHER PLANS, DETAILS AND NOTES FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE SITE ENGINEER IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO BEGINNING. ANY CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS SHALL BE CORRECTED WITH THE LOCAL CONSTRUCTION MANAGER PRIOR TO BEGINNING.
4. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS, MATERIALS AND PLAN SPECIFICATIONS TO THE OWNER AND SITE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW.
5. THE CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDING, OUTSIDE DISPLAY AREA, AND THE RAISED CONCRETE SIDEWALKS AND RAMP.
6. SHOULD ANY UNCHARTERED OR INCORRECTLY CHARTERED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
7. DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
8. ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OR FINISH UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE.
9. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES, TRAFFIC CONTROLLERS AND UNIFORMED TRAFFIC OFFICERS AS REQUIRED, ORDERED BY THE ENGINEER OR REQUIRED BY THE LOCAL GOVERNING AUTHORITIES.
10. REFER TO DETAIL SHEETS FOR PAVEMENT, CURBING, AND SIDEWALK INFORMATION.
11. TRAFFIC CONTROL SIGNAGE SHALL CONFORM TO THE STATE DOT STANDARD DETAIL SHEETS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. SIGNS SHALL BE INSTALLED PLUMB WITH THE EDGE OF THE SIGN 2' OFF THE FACE OF THE CURB, AND WITH 7" VERTICAL CLEARANCE UNLESS OTHERWISE DETAILED OR NOTED.
12. THE CONTRACTOR SHALL ABIDE BY ALL OSHA FEDERAL, STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF CONSTRUCTION MUST OPERATE IN CLOSE PROXIMITY TO ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. ANY UTILITY COMPANY FEES SHALL BE PAID FOR BY THE CONTRACTOR.
13. THE CONTRACTOR SHALL SUBMIT A SHOP DRAWING OF THE PAINT MIXTURE PRIOR TO STRIPING.
14. PARKING SPACES SHALL BE STRIPED WITH 4" SML; HATCHED AREA SHALL BE STRIPED WITH 4" SML AT A 45° ANGLE, 2" ON CENTER. HATCHING SYMBOLS, AND STRIPING FOR HANDICAPPED SPACES SHALL BE PAINTED BLUE. OTHER MARKINGS SHALL BE PAINTED WHITE OR AS NOTED.
15. THE CONTRACTOR SHALL RESTORE ANY DRAINAGE STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS OR SIGNAGE DISTURBED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AS APPROVED BY THE ENGINEER.
16. THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF CONSTRUCTION.
17. THE ARCHITECT OR ENGINEER IS NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ARCHITECT AND ENGINEER HAVE NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
18. THE CONTRACTOR SHALL COMPLY WITH CFR 29 PART 1926 FOR EXCAVATION TRENCHING AND TRENCH PROTECTION REQUIREMENTS.
19. ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, SITE ENGINEER, AND APPROPRIATE REGULATORY AGENCY PRIOR TO INSTALLATION DURING THE BIDDING PROCESS.
20. INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE, AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND DEPTHS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" 72 HOURS BEFORE COMMENCEMENT OF WORK AT "BID" AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS.
21. PAVEMENT MARKINGS SHALL BE HOT APPLIED TYPE IN ACCORDANCE WITH CT DOT SPECIFICATIONS, UNLESS WHERE EPOXY RESIN PAVEMENT MARKINGS ARE INDICATED.
22. CT DOT ENDORSEMENT PERMIT SHALL BE OBTAINED BY CONTRACTOR WHO SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC PROTECTION NECESSARY FOR THE WORK.
23. AN EROSION CONTROL BOND IS REQUIRED TO BE POSTED BY THE CONTRACTOR BEFORE THE START OF ANY ACTIVITY ON OR OFF SITE.
24. THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.

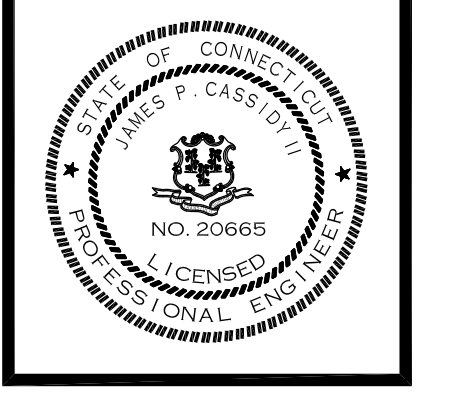
GRADING AND DRAINAGE NOTES

- GRADING GENERAL NOTES:
1. SEE THIS PLAN SHEET FOR ADDITIONAL SITE PLAN AND GENERAL NOTES.
 2. THE GRADING AND DRAINAGE PLAN IS INTENDED TO DESCRIBE GRADING AND DRAINAGE ONLY. REFER TO SITE PLAN FOR GENERAL INFORMATION, AND DETAIL SHEETS FOR DETAILS. SEE MEP DRAWINGS FOR BUILDING CONNECTION LOCATIONS AND DETAILS.
 3. THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS. REFER TO EROSION CONTROL PLAN FOR LIMIT OF DISTURBANCE AND NOTES.
 4. TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR USE IN FINAL LANDSCAPING.
 5. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS REQUIRED BY GOVERNMENT AND LOCAL AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE LOCAL MUNICIPALITIES REQUIRED TO PERFORM ALL REQUIRED WORK, INCLUDING FOR STREET CUTS AND CONNECTIONS TO EXISTING UTILITIES. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
 6. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS FENCES AND UNIFORMED TRAFFIC CONTROLLERS AS REQUIRED, ORDERED BY THE ENGINEER OR REQUIRED BY THE STATE AND LOCAL GOVERNING AUTHORITIES.
 7. THE CONTRACTOR SHALL COMPACT FILL IN 12" MAXIMUM LIFTS UNDER ALL PARKING, BUILDING, AND DRIVE AREAS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST), OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
 8. UNDERDRAINS SHALL BE ADDED, IF DETERMINED NECESSARY IN THE FIELD BY THE DESIGN OR TOWN ENGINEER. AFTER SUBGRADE IS ROUGH GRADED, AS APPROVED BY THE GLASTONBURY TOWN STAFF.
 9. VERTICAL DATUM IS NVGD 1988.
 10. CLEARING LIMITS SHALL BE PHYSICALLY MARKED IN THE FIELD AND APPROVED BY THE TOWN OF GLASTONBURY AGENT PRIOR TO THE START OF WORK ON THE SITE.
 11. PROPER CONSTRUCTION PROCEDURES SHALL BE FOLLOWED ON ALL IMPROVEMENTS WITHIN THIS PARCEL SO AS TO PREVENT THE SILTING OF ANY WATERCOURSE OR WETLANDS IN ACCORDANCE WITH THE REGULATIONS OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION GUIDELINES FOR SOIL EROSION AND SEDIMENT POLLUTION CONTROL. IN ADDITION, THE CONTRACTOR SHALL STRICTLY ADHERE TO THE "EROSION CONTROL PLAN" CONTAINED HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE TO POST ALL BONDS AS REQUIRED BY THE LOCAL MUNICIPALITIES, OR SOIL CONSERVATION SERVICE WHICH WOULD GUARANTEE THE PROPER IMPLEMENTATION OF THE PLAN.
 12. ALL SITE WORK, MATERIALS OR CONSTRUCTION, AND CONSTRUCTION METHODS FOR EARTHWORK STORM DRAINAGE AND UTILITY WORK SHALL CONFORM TO THE SPECIFICATIONS AND DETAILS AND APPLICABLE SECTIONS OF THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION UNLESS OTHERWISE STATED IN THE PROJECT MANUAL SPECIFICATIONS. ALL FILL MATERIALS UNDER STRUCTURES AND PAVED AREAS SHALL BE PER THE SPECIFICATIONS, AND/OR PROJECT GEOTECHNICAL REPORT, AND SHALL BE PLACED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE DOT, UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL ENGINEER. MATERIAL SHALL BE COMPACTED IN 12" LIFTS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 1557 AT 3 +/- PERCENT OF OPTIMUM MOISTURE CONTENT.
 13. ALL DISTURBANCE INCURRED TO TOWN OR STATE PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER, TO THE SATISFACTION OF THE TOWN OF GLASTONBURY AUTHORITY AND STATE OF CONNECTICUT.
 14. ALL CONSTRUCTION SHALL COMPLY WITH OWNER'S AND THE LOCAL MUNICIPALITY'S STANDARDS AND STATE OF CONNECTICUT'S DOT SPECIFICATIONS. ALL CONSTRUCTION WITHIN A DOT RIGHT OF WAY SHALL COMPLY WITH ALL DEPARTMENT OF TRANSPORTATION STANDARDS, WHERE SPECIFICATIONS OR STANDARDS ARE IN CONFLICT, THE MORE STRINGENT SPECIFICATION OR STANDARD SHALL BE SUPERIOR.

SCALE: 1"=5'	CHECKED BY: JPC
DATE: OCT. 06, 2020	DRAWN BY: JMF
JOB No.: 3173	ACAD FILE: 3173-PATIO
SHEET: 4	OF: 6
REVISIONS: 11/20/20 UPDATED GRADING 12/1/20 PER TOWN COMMENT 02/23/21 ADDED FURNITURE DETAIL & BUILDING ELEVATION	

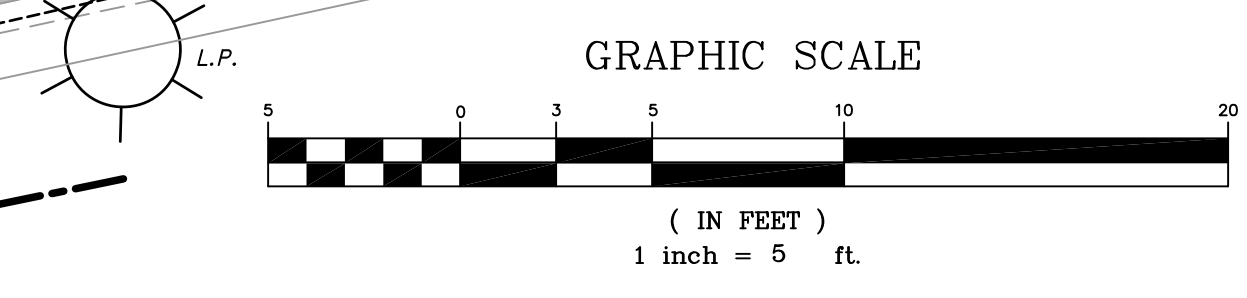
HALLISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS
630 MAIN STREET, UNIT #1A
GROVELL, CONNECTICUT 06416
PHONE: (860)-529-6812, FAX: (860)-721-7709

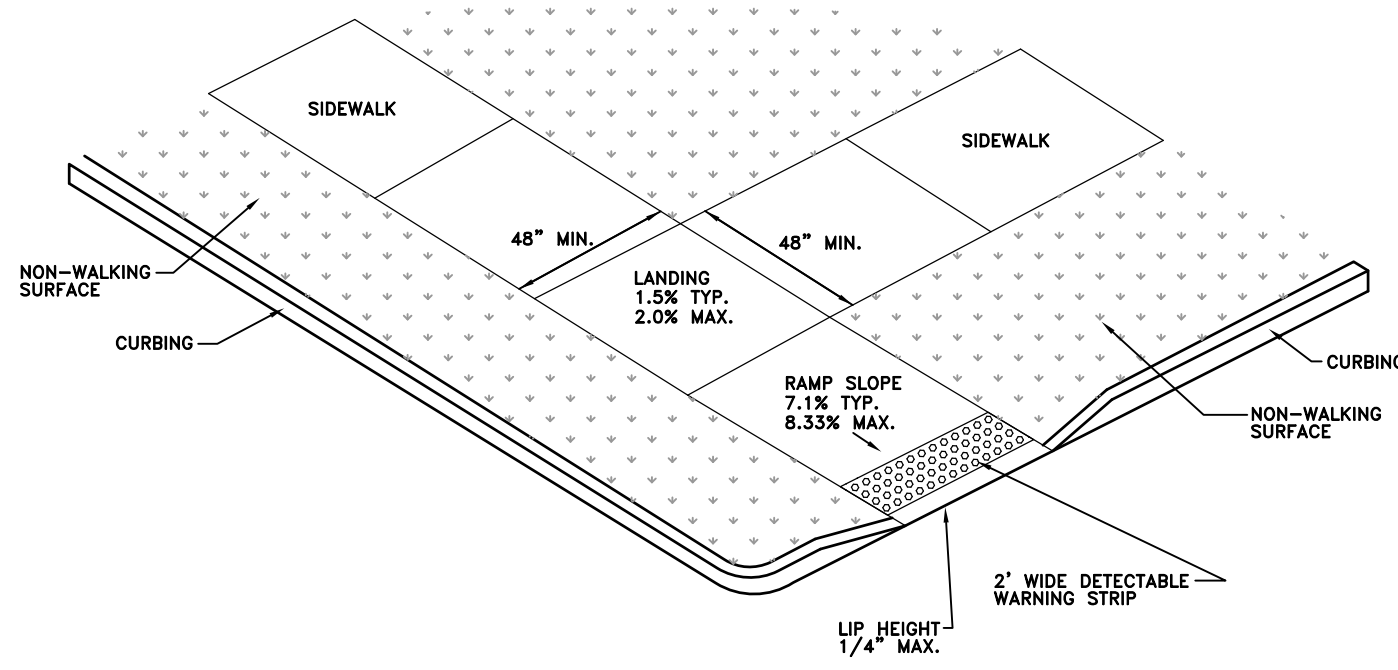
PROPOSED PATIO LAYOUT PLAN
PREPARED FOR:
MICHAEL CASSETTA
PROPERTY LOCATED AT:
2834 MAIN STREET
GLASTONBURY, CONNECTICUT



LEGEND

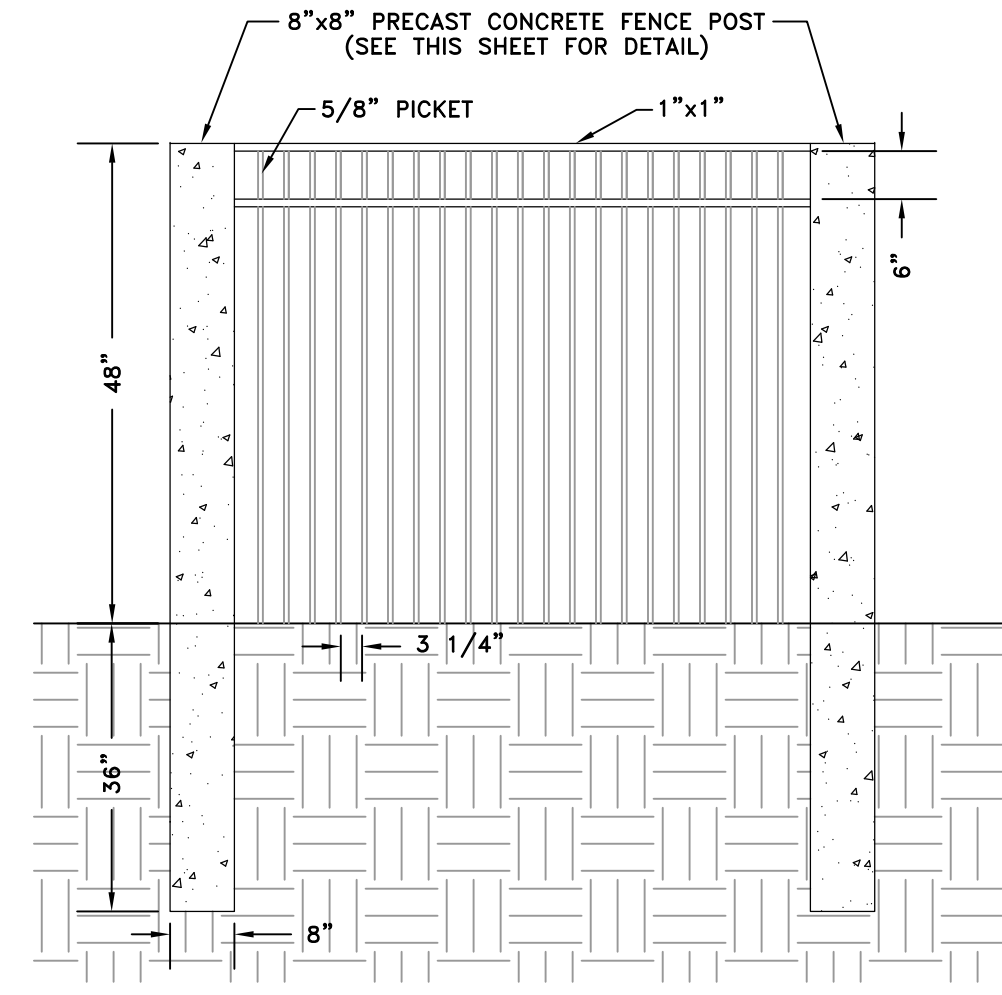
---	EXISTING PROPERTY LINE	---	PROPOSED CONC. CURB
---	EXISTING EDGE OF PAVEMENT	---	PROPOSED CONCRETE
● L.P. FND.	IRON PIN OR IRON PIPE FOUND	● 29.00	PROPOSED SPOT GRADE
● C.M.S. FND.	CONC. MERESTONE OR CHD FND.		
● C.M.B. FND.	EXISTING TREE LINE		
---#---	EXISTING TELEPHONE POLE		
---	EXISTING CONC. CURB		
---	EXISTING FENCE		
---	EXISTING CONTOUR		
x 29.0	EXISTING SPOT GRADE		





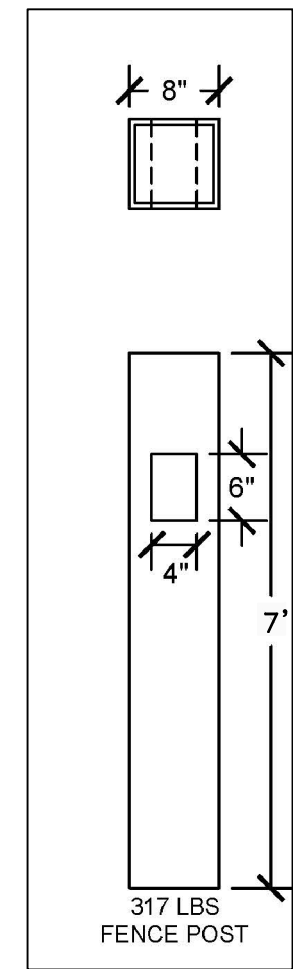
PEDESTRIAN CROSSING SIDEWALK RAMP

SCALE: NO SCALE



ALUMINUM PICKET FENCE WITH CONC. POST DETAIL

N.T.S.



CONC. POST DETAIL

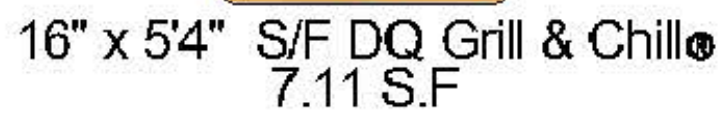
N.T.S.



NORTH BUILDING FACE



Grill & Chill



WEST BUILDING FACE

FRONT BUILDING WALL LENGTH = 34.19'
 PER TOWN SIGNAGE REGULATIONS: TOTAL ALLOWABLE SIGN AREA = 34.19 sq. ft.
 TOTAL PROPOSED SIGN AREA = (13.59 sq. ft. x 2) + 7.11 sq. ft. = 34.29 sq. ft.

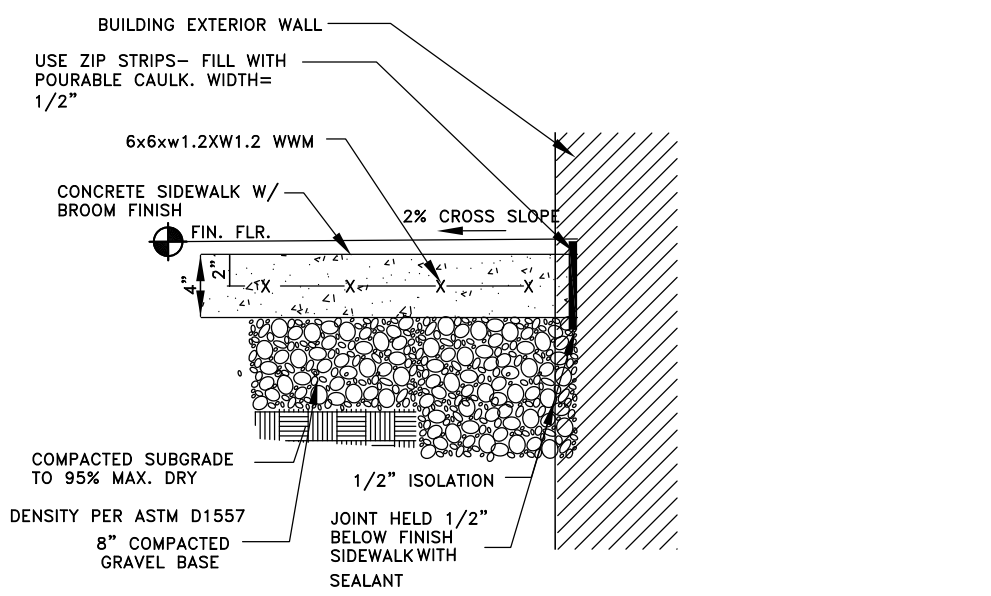
BUILDING SIGN DETAILS & CALCULATIONS

SCALE: NO SCALE



MONUMENT SIGN DETAIL

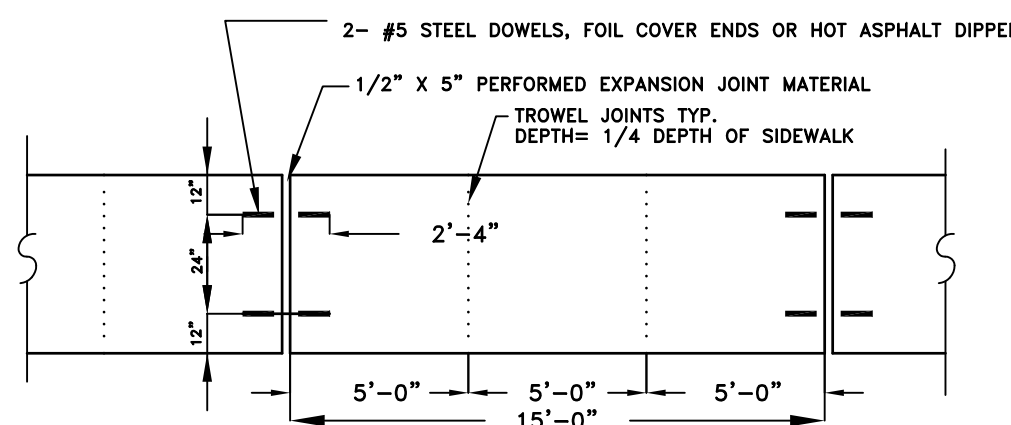
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SIDEWALK DETAIL

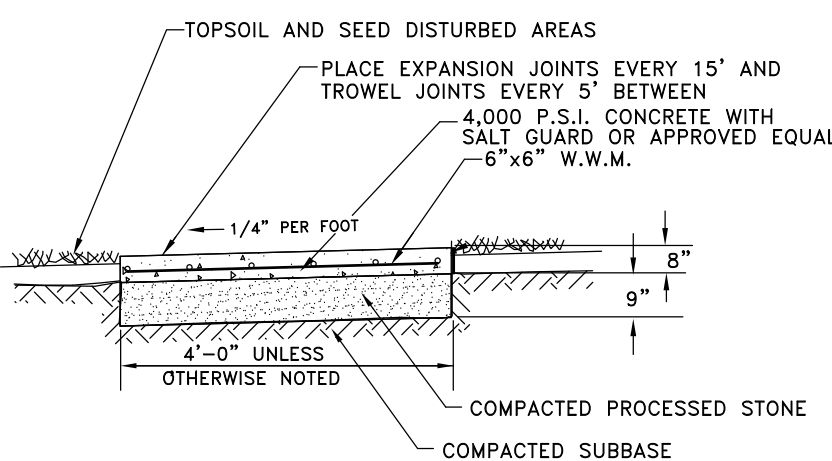
N.T.S.

NOTE: ALL CONCRETE CURBS AND SIDEWALKS TO BE 4000 P.S.I. CONCRETE



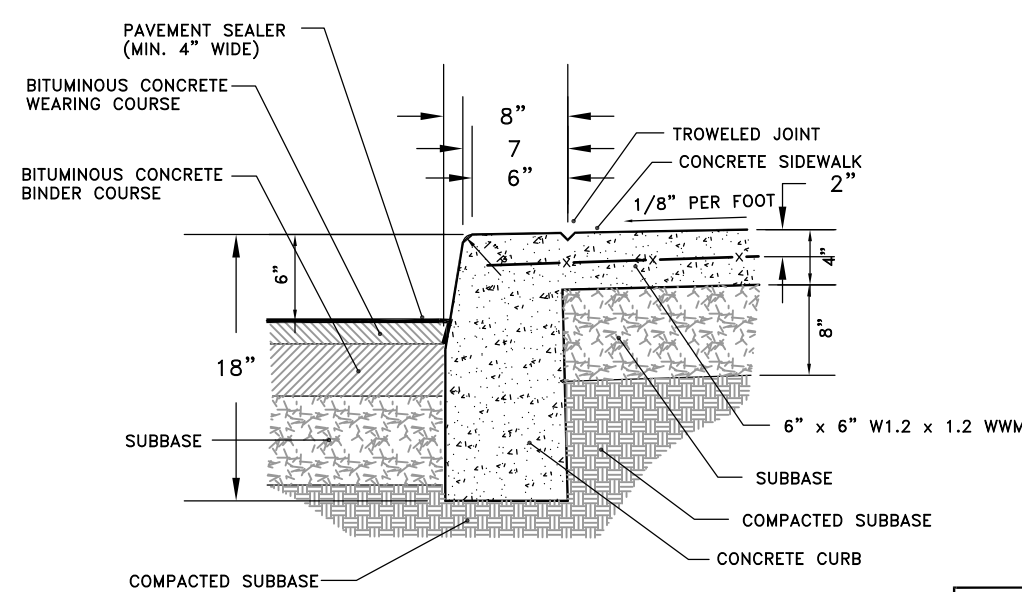
PLAN VIEW OF SIDEWALK

N.T.S.



TYPICAL CONC. SIDEWALK DETAIL @ DRIVEWAY

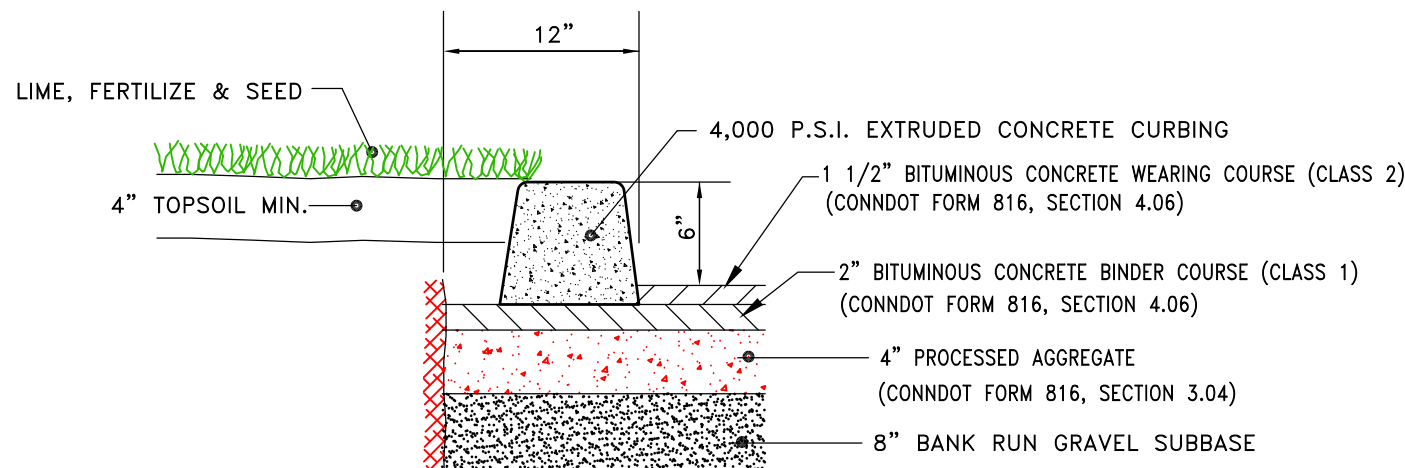
N.T.S.



CONCRETE CURB DETAIL WITH MONOLITHIC SIDEWALK ON-SITE

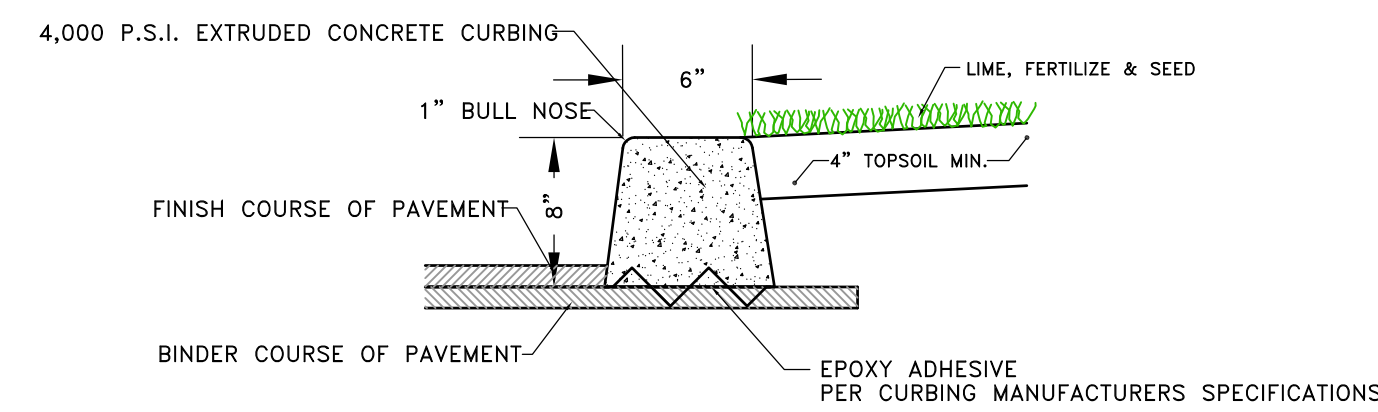
N.T.S.

NOTE: ALL CONCRETE CURBS AND SIDEWALKS TO BE 4" C 4000 P.S.I. CONCRETE AT 28 DAYS. CURB EXPANSION JOINTS TO MATCH SIDEWALK EXPANSION JOINTS SPACING.



BITUMINOUS CONCRETE PAVEMENT PARKING AREA SPACES (STANDARD DUTY)

N.T.S.



EXTRUDED CONCRETE CURBING DETAIL

N.T.S.

PROPOSED PATIO IMPROVEMENT PLAN

PREPARED FOR:
MICHAEL CASSETTA
 PROPERTY LOCATED AT:
2834 MAIN STREET
GLASTONBURY, CONNECTICUT

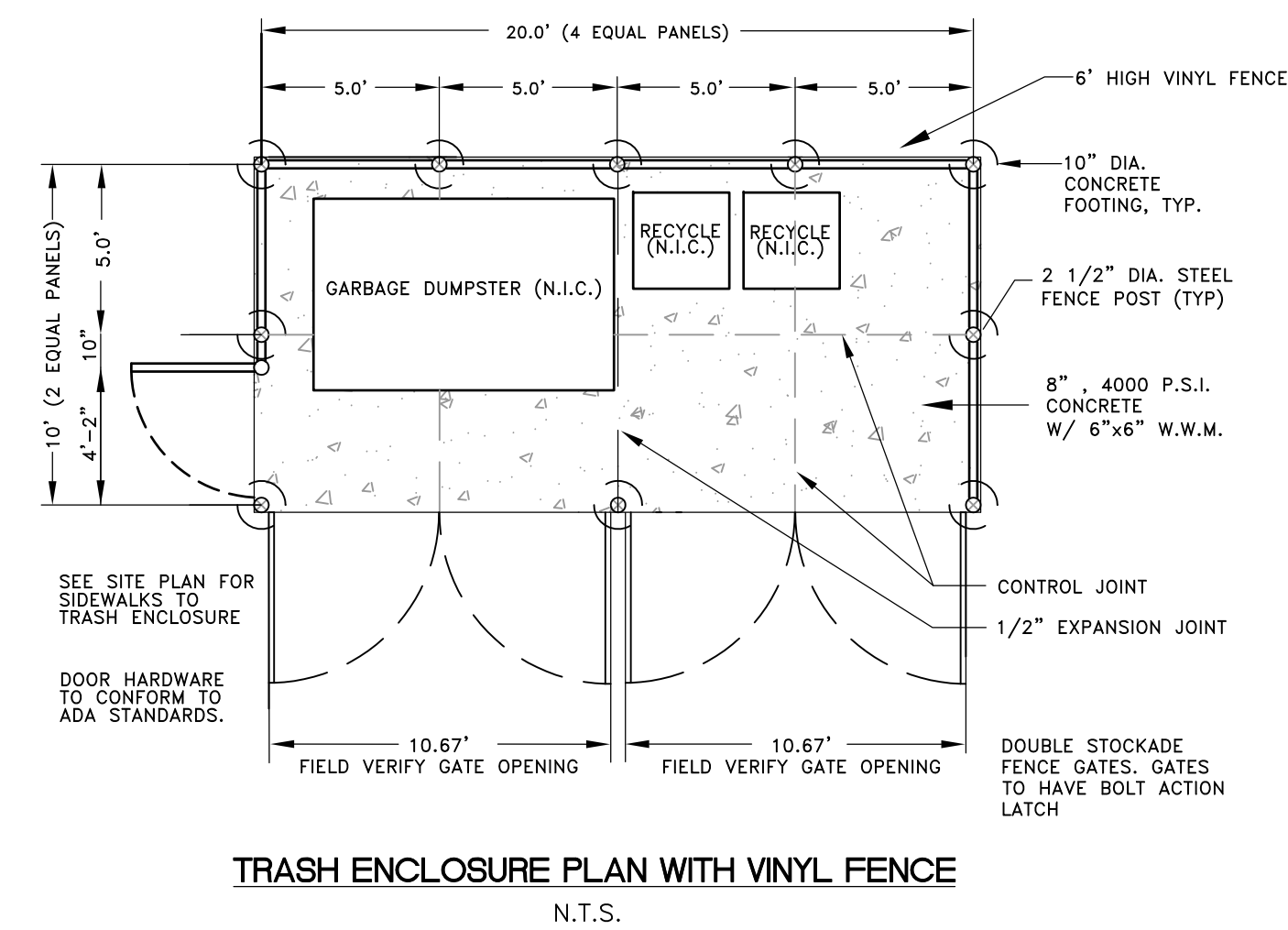
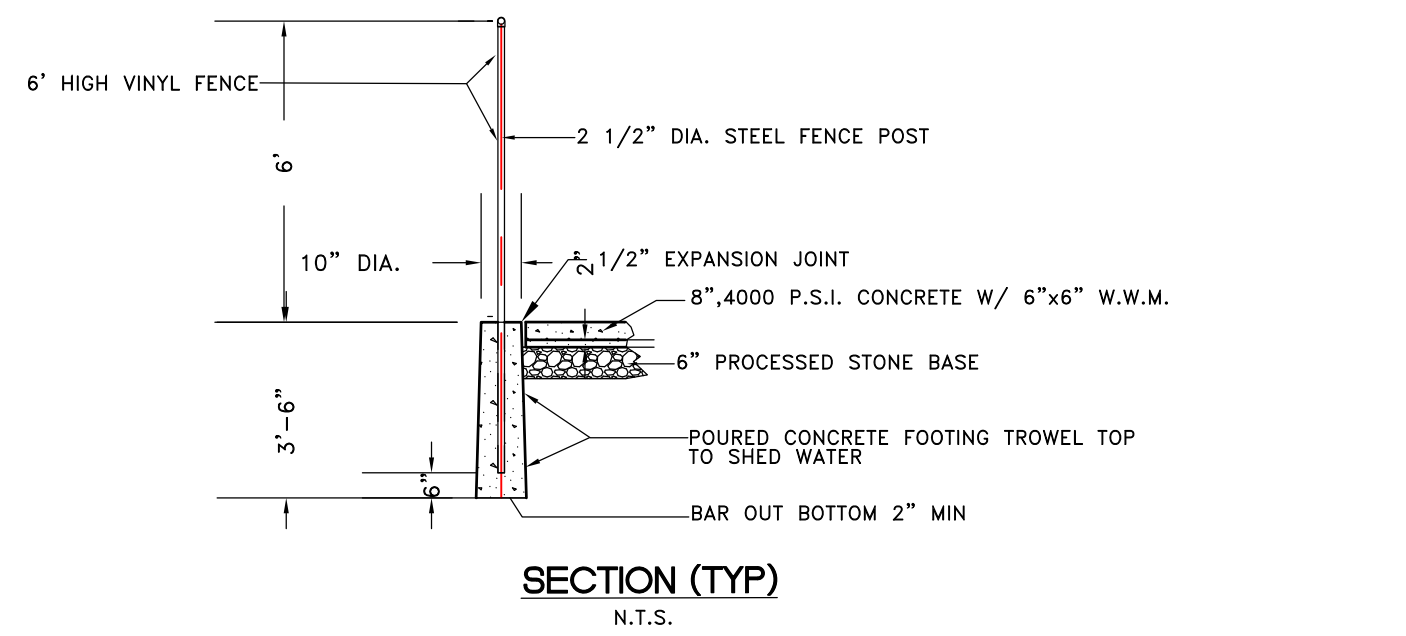


SCALE: AS SHOWN	CHECKED BY: JPC
DATE: OCT. 06, 2020	DRAWN BY: JMP
JOB No.: 3173	ACAD FILE: 3173-DET
SHEET: 5	OF: 6
REVISIONS: 11/20/20 UPDATED GRADING 12/1/20 PER TOWN COMMENT 02/23/21 ADDED FURNITURE DETAIL & BUILDING ELEVATION	

HALLISEY, PEARSON & CASSIDY

CIVIL ENGINEERS & LAND SURVEYORS
 630 MAIN STREET, UNIT #1A
 GROWELL, CONNECTICUT 06416

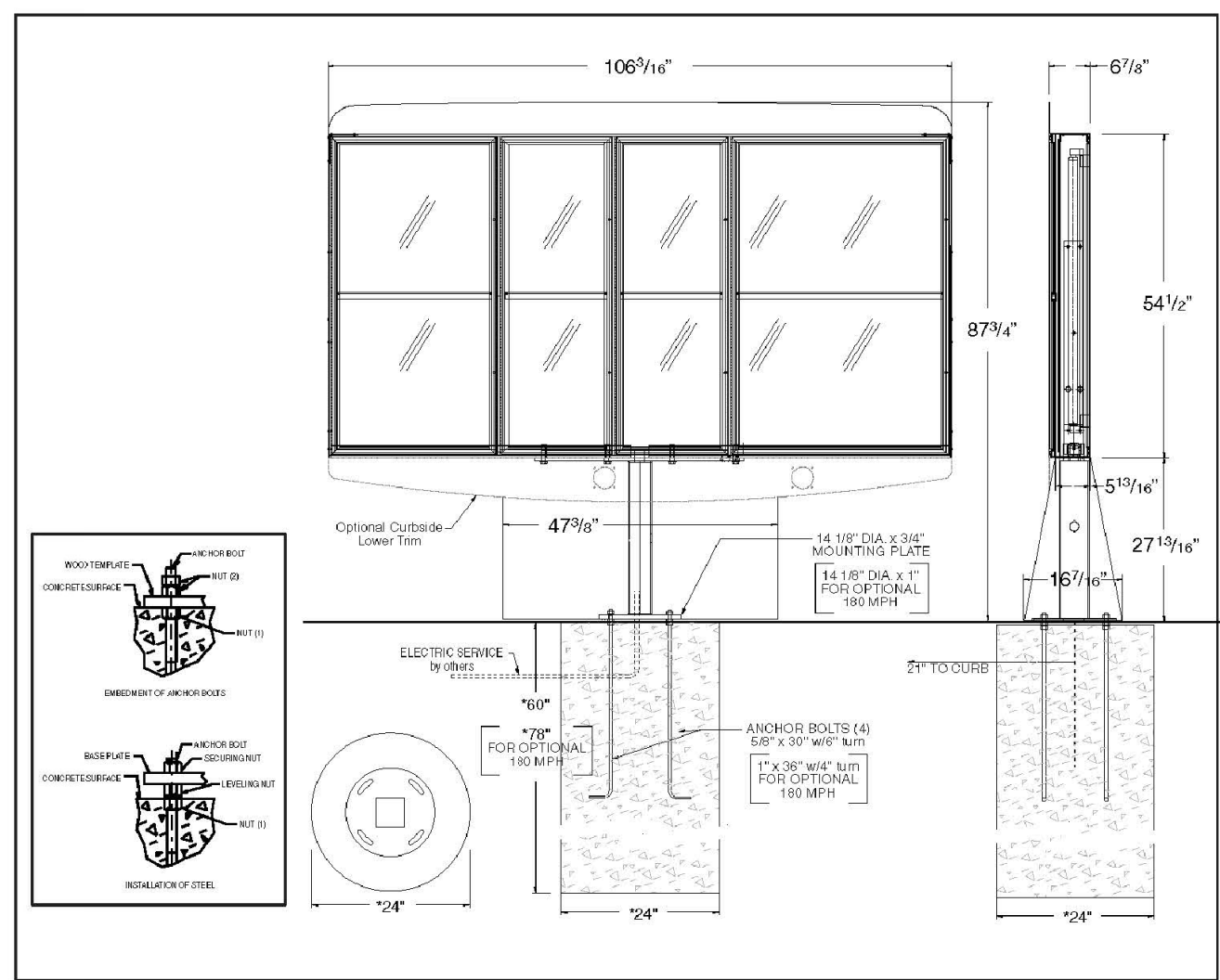
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(859) 342-2275 fax

4 Door Drive-Thru Menu Board Installation Guide



NOTE: These are approximate foundation measurements. The soil bearing capacity at the erection site must be considered when designing the foundation. The sign manufacturer is not able to predetermine the specific needs of each location. Consult a local engineer for design specifications.

NOTE: This is a suggested plan. Local requirements may exceed this design. The contractor is responsible to verify this plan.

- 1 Dig hole to the desired length, width and depth. Use template provided and place anchor bolts in the hole. Brace to prevent movement. Position conduit as shown. Fill hole with concrete.
- 2 Erect support structure. Use a nut under plate to level. Secure with nut on top of plate.

04/06/15
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1/3/2017/Eranger/Quanta/Door001014/Door Drive Thru/04.06.15
DQDT011

Aurora Bench

Onyx Black Powdercoat / Recycled Plastic Planks / FOB MN / Aluminum Frame / 5 Year Structural Warranty / 1 Year Finish Warranty /



Bench / Shown with 375570PL01 table top and 70609AL01 bolt-down base
Bench 666457PL01 19'w x 57" x 18"H 134 lbs ea 1 pc/ctn



800.PLYMOLD / PLYMOLD.COM

Aurora Chair

Onyx Black Powdercoat / Recycled Plastic Lumber Seat & Back / FOB MN / Aluminum Frame / 5 Year Structural Warranty / 1 Year Finish Warranty /



Chair / Recycled lumber is maintenance free
Aurora Chair 6661PL01 18.25'w x 22'1/2' x 33.75" 22 lbs ea 2 pc/ctn



800.PLYMOLD / PLYMOLD.COM

Bike Rack Details



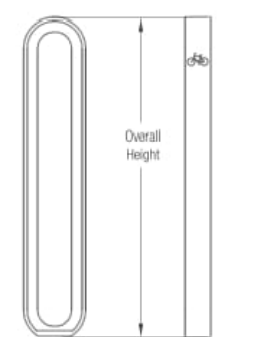
OLYMPIA™ BIKE RACK

PRODUCT DATA

The Olympia Bike Rack's smooth, fluid curves combined with the strength that comes with solid corrosion-resistant cast aluminum construction make this rack a perfect choice for parks, corporate campuses and more. Its stand-alone, space-saving design allows for an unlimited number of configuration options for ultimate design flexibility.

MATERIAL & FINISHES		INSTALLATION & MAINTENANCE	
MATERIAL	• Body is made of corrosion-resistant cast aluminum with a powdercoat finish.	INSTALLATION	• Olympia Bike Racks must be surface mounted with embedded anchors. Stainless steel anchors and tamper-resistant stainless steel screws are included.
FINISHES	• See the Forms+Surfaces Powdercoat Chart for details. Custom RAL colors are available for an upcharge. • Due to the inherent nature of metal castings, glass powdercoats are not offered for cast components.	GUIDELINES & SECURITY	• Meets Association of Pedestrian and Bicycle Professionals (APBP) guidelines. • A locking point detail and mounting configurations that meet APBP guidelines can be found on page 2 of this document.
		MAINTENANCE	• Metal surfaces can be cleaned as needed using a soft cloth or brush with warm water and a mild detergent. Avoid abrasive cleaners.

NOMINAL DIMENSIONS



OVERALL LENGTH	OVERALL DEPTH	OVERALL HEIGHT	WEIGHT
7" (178 mm)	3" (76 mm)	35.6" (904 mm)	22.2 lbs (10.1 kg)

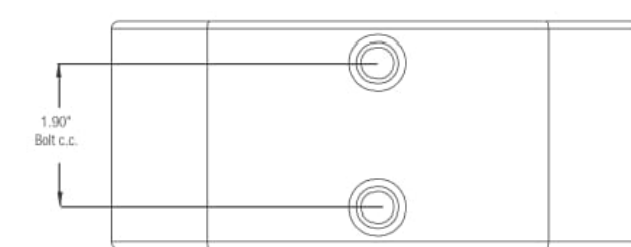
LOCKING POINT AND CONFIGURATION EXAMPLES

The Olympia Bike Rack was designed to allow for a multitude of locking point and configuration options to meet your individual needs. Please note that for optimal performance, Forms+Surfaces recommends a 36° center-to-center placement. See diagrams below and the separate installation instructions document for more details.



A standard U-lock can be locked at this location to meet APBP guidelines for security and functionality.

LOCKING POINT EXAMPLE



MOUNTING / HARDWARE DETAIL

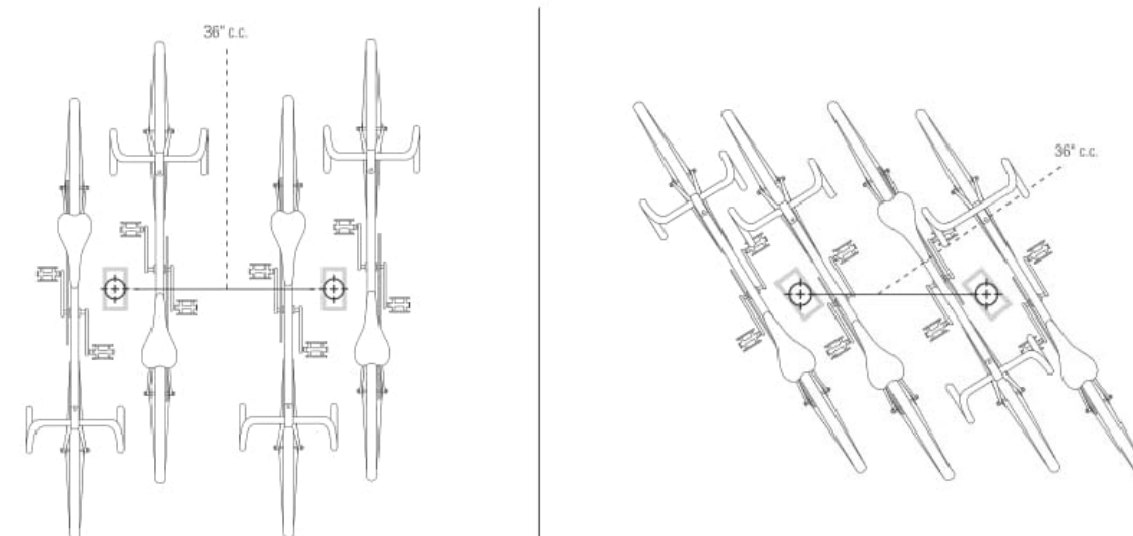
T 800.451.0410 | www.forms-surfaces.com



OLYMPIA™ BIKE RACK

PRODUCT DATA

LOCKING POINT AND CONFIGURATION EXAMPLES (Continued)



CONFIGURATION EXAMPLE A

CONFIGURATION EXAMPLE B

ENVIRONMENTAL CONSIDERATIONS

- Please refer to the Olympia Bike Rack Environmental Data Sheet for detailed environmental impact information.
- Olympia's aluminum casting has up to 95% recycled content and is fully recyclable.
- Standard powdercoat finishes are no-VOC; non-standard powdercoat finishes are no- or low-VOC, depending on color.
- Low maintenance.

MODEL NUMBER AND DESCRIPTION

MODEL	DESCRIPTION
SK0LY	Olympia Bike Rack

PRODUCT OPTIONS

The following options are available for an upcharge

Premium Texture Colors from Forms+Surfaces Powdercoat Chart
Custom RAL powdercoat color

LEAD TIME: 4 weeks. Shorter lead times may be available upon request. Please contact us to discuss your specific timing requirements.

PRICING: Please contact us at 800.451.0410 or sales@forms-surfaces.com. At Forms+Surfaces, we design, manufacture and sell our products directly to you. Our sales team is available to assist you with questions about our products, requests for quotes, and orders. Territory Managers are located worldwide to assist with the front-end specification and quoting process, and our in-house Project Sales Coordinators follow your project through from the time you place an order to shipment.

TO ORDER SPECIFY: Quantity, model, powdercoat color for body casting. Quote/Order Forms are available on our website to lead you through the specification process in a simple checkbox format.

T 800.451.0410 | www.forms-surfaces.com



Aurora Table Tops

Onyx Black Powdercoat / Recycled Plastic Planks / FOB MN / Aluminum Frame / 5 Year Structural Warranty / 1 Year Finish Warranty / Base Sold Separately



Table Top /				
26" x 30" Table top	260300PL01	34 lbs ea	1 pc/ctn	
26" x 44" Table top*	260440PL01	50 lbs ea	1 pc/ctn	
37.5" x 37.5" Table top*	375375PL01	57 lbs ea	1 pc/ctn	
37.5" x 57" Table top*	375570PL01	72 lbs ea	1 pc/ctn	

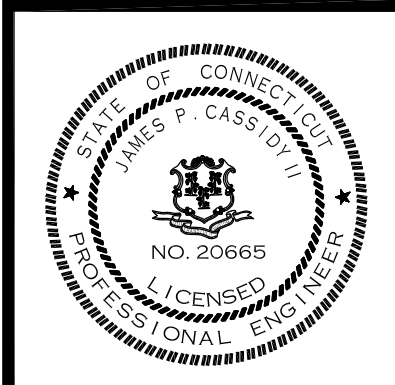
*Includes a 1-9/16" umbrella hole that accepts a 1-1/2" diameter umbrella pole



800.PLYMOLD / PLYMOLD.COM

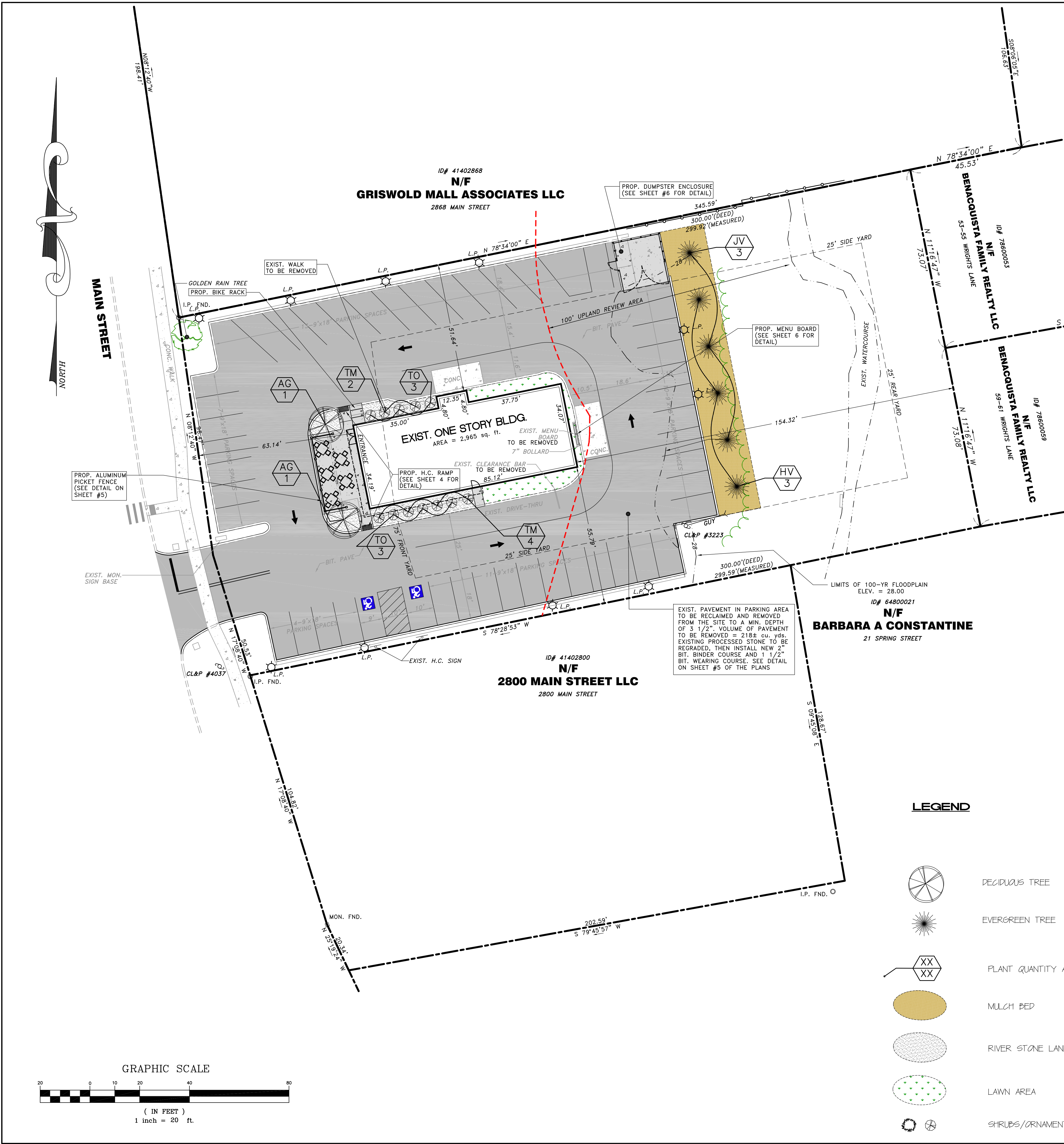
PROPOSED PATIO IMPROVEMENT PLAN

PREPARED FOR:
MICHAEL CASSETTA
PROPERTY LOCATED AT:
2834 MAIN STREET
GLASTONBURY, CONNECTICUT



CHECKED BY: JPC
SCALE: AS SHOWN
DATE: 06.06.2020
JOB No.: 3173
ACAD FILE: 3173-DET
DRAWN BY: JMP
SHEET: 6 OF 6
REVISIONS:
11/20/20 UPDATED GRADING
12/1/20 PER TOWN COMMENT
02/23/21 ADDED FURNITURE DETAIL & BUILDING ELEVATION

HALLISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS
630 MAIN STREET, UNIT #1A
CROWELL, CONNECTICUT 06416
PHONE: (860) 529-6812, FAX: (860) 721-7709



PLANT LIST:

KEY	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE
SHRUBS				
TM	TAXUS x MEDIA	YEW DENSIFORMIS	6	24" HIGH
TO	THUJA OCCIDENTALIS	FIRE CHIEF ARBORVITAE	6	24" HIGH
TREES				
AG	ACER GRISELUM	PAPERBARK MAPLE	2	3 1/2" DIA
HV	HAMAMELIS VIRGINIANA	WITCH-HAZEL	3	6"-7" HGT.
JV	JUNIFERUS VIRGINIANA	EASTERN RED CEDAR	3	6"-7" HGT.

PLANT NOTES:

- ALL PLANTING MATERIAL TO BE NURSERY GROWN STOCK TO AAN STANDARDS.
- THE CONTRACTOR SHALL SUPPLY ALL PLANTS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND LISTED IN THE PLANT LIST. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE PLANT LIST AND THOSE REQUIRED BY THE DRAWING, THE LARGER NUMBER SHALL APPLY.
- ALL PLANTS SHALL BE APPROVED PRIOR TO INSTALLATION AND SHALL BE LOCATED ON SITE BY THE CONTRACTOR FOR APPROVAL OF THE LANDSCAPE ARCHITECT OR CIVIL ENGINEER. ANY INSTALLATIONS WHICH WERE NOT APPROVED BY THE LANDSCAPE ARCHITECT OR THE CIVIL ENGINEER AND WHICH ARE SUBSEQUENTLY REQUIRED TO BE MOVED WILL BE DONE AT THE CONTRACTOR'S EXPENSE.
- PRECISE LOCATION OF ITEMS NOT DIMENSIONED ON PLAN ARE TO BE FIELD STAKED BY THE CONTRACTOR AND SHALL BE SUBJECT TO THE REQUIREMENTS IN THE PREVIOUS NOTE.
- ALL SHRUB MASSING AND TREE PITS SHALL BE MULCHED TO A DEPTH OF 3" WITH SHREPPED PINE BARK MULCH.
- TREES SHALL NOT BE STAKED UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGED VEGETATION AND SHALL REPLACE OR REPAIR ANY DAMAGED MATERIAL, AT HIS OWN EXPENSE. THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" AT 811 PRIOR TO CONSTRUCTION.
- ALL SHRUBS AND GROUND COVER PLANTING AREAS SHALL BE CONTINUOUS BEDS OF TOPSOIL 12" DEEP. ALL LAWN AREAS SHOULD HAVE A MINIMUM TOPSOIL BED OF 6".
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES IN THE FIELD WHERE PLANT MATERIAL MAY INTERFERE WITH UTILITIES. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OR CIVIL ENGINEER TO COORDINATE THEIR INSTALLATION.
- FOR PLANTING SOIL MIX, SEE SPECIFICATIONS OR PLANTING DETAILS.
- ALL EXISTING RILL, GULL OR CHANNEL EROSION SHALL BE FILLED WITH APPROPRIATE BACKFILL MATERIAL, FINE RAKED, SCARIFIED AND STABILIZED WITH APPROPRIATE VEGETATIVE MATERIAL AND/OR APPROPRIATE SEDIMENTATION AND EROSION CONTROL MEASURES.
- ADJUSTMENTS IN THE LOCATIONS OF THE PROPOSED PLANT MATERIAL AS A RESULT OF EXISTING VEGETATION TO REMAIN SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL MAINTENANCE REPAIR AND REPLACEMENT OF PLANT MATERIAL, AS REQUIRED, FOR THE DURATION OF THE PROJECT AND SUBSEQUENT WARRANTY PERIOD.
- PLANTINGS INSTALLED IN THE DRY SUMMER MONTHS AND / OR LAWN SEEDING OUT OF SPRING OR FALL PERIODS, IF ALLOWED BY OWNER, WILL REQUIRE AGGRESSIVE IRRIGATION PROGRAMS AT THE CONTRACTOR'S EXPENSE, UNLESS DIRECTED BY THE OWNER.
- UPON COMPLETION OF PLANTING, REMOVE FROM SITE ALL EXCESS SOIL, MULCH, AND MATERIALS AND DEBRIS RESULTING FROM WORK OPERATIONS. CLEAN UP SHOULD BE COMPLETED AT THE END OF EACH WORKING DAY. RESTORE TO ORIGINAL CONDITIONS ALL DAMAGED PAVEMENTS, PLANTING AREAS, STRUCTURES AND LAWN AREAS RESULTING FROM LANDSCAPING OPERATIONS.
- CONTRACTOR SHALL SURVEY, LOCATE, AND PROTECT ALL TREES WITHIN AREAS SHOWN AS "EXISTING VEGETATION TO REMAIN" WITHIN THE DEVELOPMENT ENVELOPE FOR REVIEW BY LANDSCAPE ARCHITECT OR CIVIL ENGINEER PRIOR TO CLEARING OPERATIONS.
- CONTRACTOR TO RESEED ALL DISTURBED AREAS.

INSTALLATION SCHEDULE and MAINTENANCE PLAN:

- PLANTING ONLY UNDER FAVORABLE WEATHER CONDITIONS. PLANTING WILL NOT BE PERMITTED WHEN GROUND IS FROZEN OR EXCESSIVELY MOIST.
 DECIDUOUS MATERIAL
 SPRING: MARCH 21 TO JUNE 01
 FALL: SEPT. 01 TO NOV. 01
 - IF PLANTING DURING PEAK SUMMER MONTHS OF JULY AND AUGUST, CONTRACTOR SHALL AGGRESSIVELY IRRIGATE PLANTS TO ENSURE ESTABLISHMENT AND SURVIVAL.
- DO NOT PLANT WHEN GROUND IS FROZEN, SNOW COVERED, OR MUDDY.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL MAINTENANCE REPAIR AND REPLACEMENT OF PLANT MATERIAL AS REQUIRED, FOR THE DURATION OF THE PROJECT AND SUBSEQUENT PERIOD OF ONE FULL YEAR FROM COMMENCEMENT OF PLANT INSTALLATION.

SEEDING AND MULCHING SPECIFICATIONS:

SEEDING MAY BE OF A PERMANENT OR TEMPORARY TYPE DEPENDING ON THE TIME OF YEAR IT IS DONE. PERMANENT SEEDING SHOULD BE DONE DURING THE PERIODS OF APRIL 1 THROUGH JUNE 1 OR AUGUST 15 THROUGH SEPTEMBER 1.

DISTURBED AREA THAT ARE TO BE RESEEDED SHALL BE TOPSOILED, LIMED & FERTILIZED PRIOR TO RESEEDING. LABORATORY TESTING OF THE TOPSOIL IS RECOMMENDED TO DETERMINE RATES OF APPLICATION FOR THE LIME AND FERTILIZER. LACKING SUCH TESTING THE FOLLOWING ARE RECOMMENDED:

LIME 2 TONS/ACRE (90 lbs/1000 sq ft)
 FERTILIZER (10-10-10) (75 lbs/1000 sq ft)

SEEDING RECOMMENDATIONS ARE AS FOLLOWS:

TEMPORARY - ANNUAL RYEGRASS	@40 LBS./ACRE
PERMANENT - KENTUCKY BLUE GRASS	@20 LBS./ACRE
PERMANENT - CREEPING RED FESCUE	@20 LBS./ACRE
PERMANENT - PERENNIAL RYEGRASS	@40 LBS./ACRE

MULCHING SHALL BE OF A TEMPORARY TYPE, TO PROTECT THE SOIL & SEED FROM EROSION AND TO ALSO PROMOTE PLANT GROWTH. MULCHING SHALL BE DONE AFTER FINAL GRADING AND SEEDING.

MULCHING RECOMMENDATION ARE AS FOLLOWS:
 - STRAW OR HAY (FREE FROM WEEDS AND COARSE MATTER)
 - SPREAD WITH MULCH BLOWER OR BY HAND
 - APPLY @ RATE OF 10 - 30 LBS/100 SQ. FT.

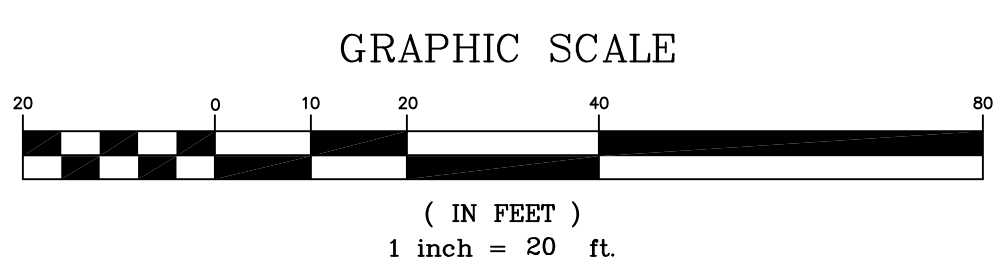
LEGEND

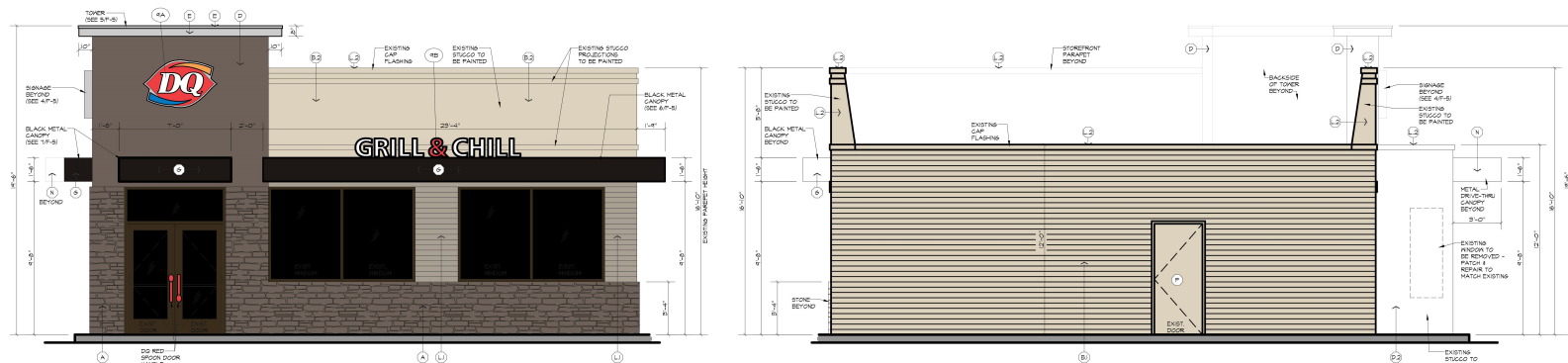
- DECIDUOUS TREE
- EVERGREEN TREE
- PLANT QUANTITY AND SPECIES
- MULCH BED
- RIVER STONE LANDSCAPE BED
- LAWN AREA
- SHRUBS/ORNAMENTAL GRASS

CHECKED BY: JPC
 DATE: OCT. 06, 2020
 JOB No.: 3173
 SCALE: 1"=20'
 DRAWN BY: JMF
 ACAD FILE: 3173-LS
 SHEET: **LS-01**
 REVISIONS:
 11/20/20 UPDATED GRADING
 12/1/20 PER TOWN COMMENT
 12/28/20 PER TOWN COMMENT
 02/23/21 ADDED FURNITURE DETAIL & BUILDING ELEVATION

HALLISEY, PEARSON & CASSIDY
 CIVIL ENGINEERS & LAND SURVEYORS
 630 MAIN STREET, UNIT #1A
 GROWELL, CONNECTICUT 06416
 PHONE: (860)-529-6612, FAX: (860)-721-7709

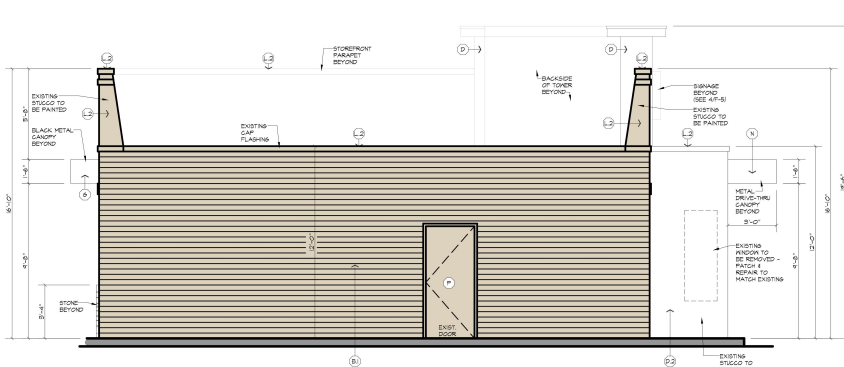
SITE LANDSCAPING PLAN
 PREPARED FOR:
MICHAEL CASSETTA
 PROPERTY LOCATED AT:
2834 MAIN STREET
GLASTONBURY, CONNECTICUT





EXTERIOR ELEVATION

F-5 SCALE: 1/4" = 1'-0"



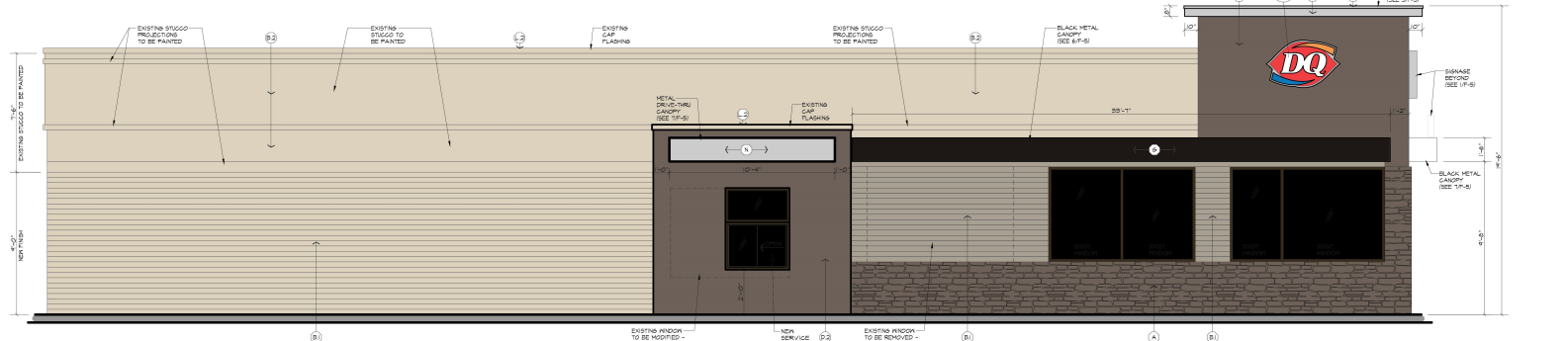
EXTERIOR ELEVATION

F-5 SCALE: 1/4" = 1'-0"



EXTERIOR ELEVATION

F-5 SCALE: 1/4" = 1'-0"

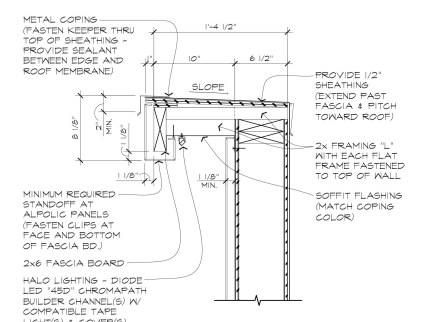


EXTERIOR ELEVATION

F-5 SCALE: 1/4" = 1'-0"

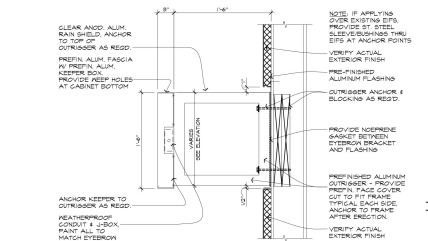
EXTERIOR ELEVATION NOTES:

- A SIMULATED STONE. MANUFACTURER: BORAL STONE PRODUCTS, LLC. STYLE: PRG-FIT LEDGE STONE - DRY STACK. COLOR: PLATINUM. CONTACT: BORAL STONE AT #800/295-1271
- B EXTERIOR INSULATION FINISH SYSTEM (EIFS). MAIN WALL FINISH AT STOREFRONT. COLOR: NAIR-0029 (MATCHES BENJAMIN MOORE DEEP CREEK #4171). FINISH: 1/2" STUCCO (DARK + 8,0259* FINE SAND). PROVIDE HIGH IMPACT EIFS FROM GARAGE TO +86". CONTACT: CHUCK DUFFIN AT #640/844-2042
- C EXTERIOR INSULATION FINISH SYSTEM (EIFS). MAIN WALL FINISH AT STOREFRONT. COLOR: NAIR-0029 (MATCHES BENJAMIN MOORE DEEP CREEK #4171). FINISH: 1/2" STUCCO (DARK + 8,0259* FINE SAND). PROVIDE HIGH IMPACT EIFS FROM GARAGE TO +86". CONTACT: CHUCK DUFFIN AT #640/844-2042
- D EXTERIOR PAINT SPEC. MANUFACTURER: BENJAMIN MOORE. COLOR: TEMPORAL SPIRIT #965. FINISH: 556 SHELL LOW LUSTER. PRODUCT: ULTRA-SPEC EXTERIOR LOX LUSTER #N455. PRIMER: ULTRA-SPEC EXTERIOR PRIMER #N550. APPLIED TO FIBER-CEMENT BOARD HARDIE PANEL. SMOOTH FINISH OR EQUAL 4"x8" or 4"/0" LENGTHS - INSTALL USING ALL REQUIRED METAL CHANNEL (PAINTED TO MATCH AREA FINISH)
- E EXTERIOR PAINT SPEC. MANUFACTURER: BENJAMIN MOORE. COLOR: TEMPORAL SPIRIT #965. FINISH: 556 SHELL LOW LUSTER. PRODUCT: ULTRA-SPEC EXTERIOR LOX LUSTER #N455. PRIMER: ULTRA-SPEC EXTERIOR PRIMER #N550. APPLIED TO FIBER-CEMENT BOARD HARDIE PANEL. SMOOTH FINISH OR EQUAL 4"x8" or 4"/0" LENGTHS - INSTALL USING ALL REQUIRED METAL CHANNEL (PAINTED TO MATCH AREA FINISH)
- F EXTERIOR PAINT SPEC. MANUFACTURER: BENJAMIN MOORE. COLOR: TEMPORAL SPIRIT #965. FINISH: 556 SHELL LOW LUSTER. PRODUCT: ULTRA-SPEC EXTERIOR LOX LUSTER #N455. PRIMER: ULTRA-SPEC EXTERIOR PRIMER #N550. APPLIED TO FIBER-CEMENT BOARD HARDIE PANEL. SMOOTH FINISH OR EQUAL 4"x8" or 4"/0" LENGTHS - INSTALL USING ALL REQUIRED METAL CHANNEL (PAINTED TO MATCH AREA FINISH)
- G EXTERIOR PAINT SPEC. MANUFACTURER: BENJAMIN MOORE. COLOR: TEMPORAL SPIRIT #965. FINISH: 556 SHELL LOW LUSTER. PRODUCT: ULTRA-SPEC EXTERIOR LOX LUSTER #N455. PRIMER: ULTRA-SPEC EXTERIOR PRIMER #N550. APPLIED TO FIBER-CEMENT BOARD HARDIE PANEL. SMOOTH FINISH OR EQUAL 4"x8" or 4"/0" LENGTHS - INSTALL USING ALL REQUIRED METAL CHANNEL (PAINTED TO MATCH AREA FINISH)
- H NOT USED
- I METAL PANEL. MANUFACTURER: ALPOLIC. STYLE: SM1 PANEL. COLOR: DQ (DARK RED). **HORIZONTAL INSTALLATION ONLY** CONTACT: NULOOK EXTERIORS # #852/882-8781 CONTACT: 4-CORNER ARCH. METALS #852/855-1991
- J METAL CANOPY. MANUFACTURER: FIRESTONE. PRODUCT: INA-GLAD. SERIES: 24 GA. STEEL. COLOR: SILVER METALLIC. CONTACT: NULOOK EXTERIORS # #852/882-8781 CONTACT: 4-CORNER ARCH. METALS #852/855-1991
- K NOT USED
- L WINDOW FRAME - (OR EQUAL). MANUFACTURER: YKK AP AMERICA, INC. FINISH: DARK BRONZE. GLASS: CLEAR / INSULATED. LOWE CONTACT: TERRY GARGESPOFF #676/858-2092
- M EXTERIOR INSULATION FINISH SYSTEM (EIFS). ACCENT WALL FINISH AT MAIN ENTRANCE. COLOR: NA20-0018 (MATCHES BENJAMIN MOORE WILLOW CREEK #1468). FINISH: 556 STG (FINE SAND). PROVIDE HIGH IMPACT EIFS FROM GARAGE TO +86". CONTACT: CHUCK DUFFIN AT #640/844-2042
- N METAL DRIVE-THRU CANOPY. MANUFACTURER: FIRESTONE. PRODUCT: INA-GLAD. SERIES: 24 GA. ALUMINUM. COLOR: CLEAR ANODIZED. FINISH: SATIN.
- O EXTERIOR PAINT SPEC. (REAR DOOR). MANUFACTURER: BENJAMIN MOORE. COLOR: TEMPORAL SPIRIT #965. FINISH: 556-0-0259. PRODUCT: AURA EXTERIOR + 556 SHELL LOW LUSTER #684. PRIMER: FIRST COAT - AURA EXTERIOR.



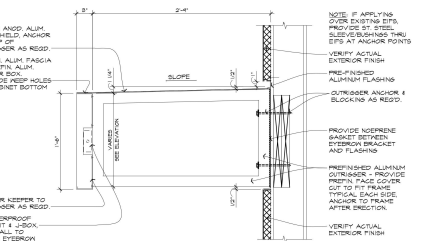
TOWER DETAIL

F-5 SCALE: 1/2" = 1'-0"



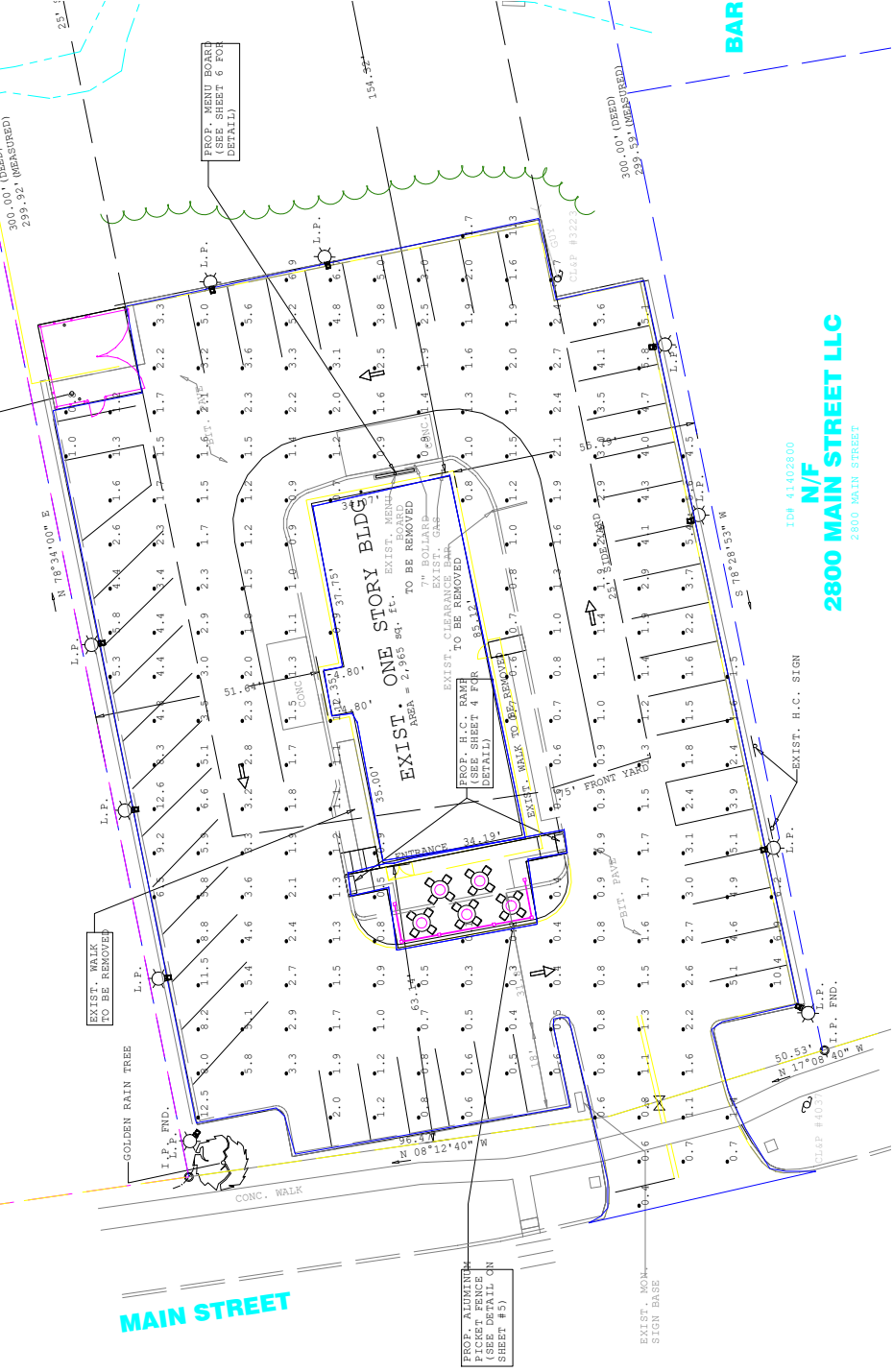
METAL CANOPY DETAIL

F-5 SCALE: 1" = 1'-0"



METAL CANOPY DETAIL

F-5 SCALE: 1" = 1'-0"



Luminaire Schedule		
Symbol	Qty	Label Description
☐	4	74003A - TYPE IV
☐	6	74050A - TYPE V

Calculation Summary		
Label	Calc>Type	Units
Farking lot	Illuminance	FC
	Avg	2.93
	Max	12.6
	Min	0.1
	Avg/Min	297.50
	Max/Min	126.00

The light levels represented are based on the information provided. Actual light levels may vary due to building features, actual surface reflective values and software limitations. Morris Products Inc. does not guarantee light levels and provides this information for design evaluation only.

ID# 41402800
N/F
2800 MAIN STREET LLC
 2800 MAIN STREET