

TOWN OF GLASTONBURY  
GL-2020-19  
WELLES-TURNER MEMORIAL LIBRARY RENOVATIONS AND ADDITION PROJECT  
ADDENDUM NO. 2  
10/5/2020

Bid Due Date: **REVISED** October 9, 2020 @ 11:00 A.M.

The attention of bidders submitting proposals for the above-referenced project is called to the following Addendum to the specifications. The items set forth herein, whether of omission, addition, substitution or other change, are all to be included in and form a part of the proposed Contract Documents for the work. Bidders shall acknowledge this Addendum on the **Bid Form (ATTACHMENT 1)**.

**I. Revisions to Specifications**

1. Specification Section - Invitation to Bid
  - a. – Revise the following Project Schedule:

“Bids for the Project shall be submitted no later than 11:00 A.M. on *October 9<sup>th</sup>, 2020*, after which time the bids will be publicly opened. No late bids will be accepted.”

**II. Revisions to Technical Specifications**

1. Specification Section 074113 Standing Seam Metal Roof Panels
  - a. Replace page 3 with the attached.
2. Specification Section 087100 Door Hardware
  - a. Replace page 22 with the attached.
3. Specification Section 095426 Suspended Wood Ceilings
  - a. Replace page 4 with the attached.
4. Specification Section 099120 Painting
  - a. Replace page 12 with the attached.
5. Specification Section 122413 Roller Window Shades
  - a. Replace page 2 with the attached.

**III. Revisions to the Drawings**

1. Replace the following drawings in their entirety:  
CS501, A2.01, A2.02, A11.01, M5.00
2. Revise the following drawings per Addendum 01, see attachment 1.  
SKA-006, SKA-007

#### **IV. Attachments to Addendum**

<u>Description</u>	<u>Pages</u>
Specification Section 006313 – Prebid Requests for Information (bid RFIs) (part 2)	11
Specification Section 074113 – Standing Seam Metal Roofing Panels	1
Specification Section 087100 – Door Hardware	1
Specification Section 095426 – Suspended Wood Ceilings	1
Specification Section 099120 – Painting	1
Specification Section 122413 – Roller Window Shades	1
 Drawings:	
CS501, A2.01, A2.02, A11.01, M5.00, SKA-006, SKA-007	7

Prebid Requests for Information:

**Question 1:** *There are a few different Paver options available for the Bluestone PA. Do you know what type of stone will be needed or possibly have a picture of the existing stone to try and match? Please specify.*

**Answer:** New pavers to match existing paver sizes and pattern as closely as possible and existing pavers are to be salvaged for reuse to greatest extent practicable. Provide 1 ½” thick, full color, natural cleft by O&G Industries.



**Question 2:** *Also, the detail calls for mortar joints and the specifications call for polymeric sand joints. Which type will be used?*

**Answer:** Polymeric sand to be installed per specifications. Color to match pavers closely as possible. Contractor to submit product data for review prior to installation.

**Question 3:** *Section 321723 3.1 B requires a "motorized abrasive device shall be used to remove markings". Typically in a parking lot, the conflicting markings are painted black. Given the age of the parking lot and the current existing conditions we do not recommend using a "motorized abrasive device shall be used to remove markings". We would suggest painting over an old or conflicting markings with black paint. Please advise.*

**Answer:** Painting over conflicting markings is acceptable.

**Question 4:** *The specification's table of contents lists spec section 11 52 13 for Projection Screens but that spec section does not exist. There is a spec in 27 41 00 – Audio & Video Systems for projection screens. Is there only 1 projection screen and should we just use the div 27 spec? Please advise.*

**Answer:** There is one projection screen and it is specified in section 27 41 00 - Audio & Video Systems.

**Question 5:** *Revised drawing A10.01 and A10.02 call for a light blocking roller shade yet there is nothing in the shades spec section for light blocking shade fabric. Can the fabric be specified? Please advise.*

**Answer:** See Addendum #2 for shade fabric specification.

**Question 6:** *Do all exterior and interior windows get shades or only exterior windows shown on A3.01 and A3.02, please advise on the locations for the windows shades.*

**Answer:** See Addendum #1, sheet A10.01 and A10.02 for shade locations.

**Question 7:** *Specification section 081216 "Aluminum Frames" appears to be blended it with Aluminum Entrances & Storefront spec section 084113. The 081216 spec section actually ends with "END OF SECTION 084113". Please advise.*

**Answer:** The errant reference to section 08 41 13 at the end of section 08 12 16 Aluminum Frames has been corrected.

**Question 8:** *Please advise if there is any Retainage on this project.*

**Answer:** For each progress payment made prior to Substantial Completion of the Work, the Owner may withhold 5% as retainage from the payment otherwise due.

**Question 9:** *P-lam window sills and in some cases with grilles are shown in the details on A4.01 Exterior Wall sections, however there is no reference to where these sections are taken in plan view or elevation. Please Advise.*



**Answer:** "Wall Section West", detail 2/A4.02 is an enlargement of the "Long Section Through Addition", detail 6/A3.03. Detail 6/A3.03 is keyed on the first and second floor plans, A1.01 and A1.02.

**Question 10:** *Do all exterior and interior windows get shades or only exterior windows shown on A3.01 and A3.02, please advise on the locations for the windows shades*

**Answer:** See Addendum #1, sheet A10.01 and A10.02 for shade locations.

**Question 11:** *In reviewing ADD #1 dated 09.25.2020, I would like to know if Volume 1 & 2 of the Specifications and the Plan Set that are included were sent as reference only items and are an exact copy of the original bid documents?*

**Answer:** Addendum #1 includes 16 pages. The Bid Documents, Drawings, and Specifications were not reissued as part of Addendum #1.

**Question 12:** *The Temporary Facilities and Controls spec calls for a large jobsite field office (trailer) for the Owner, Architect, and construction personnel. Is this required or will space be made available within the existing library?*

**Answer:** The common use field office is required as specified.

**Question 13:** *The specifications call for FSC chain-of-custody certified wood to be used. This adds a significant cost to the wood materials on the project plus is difficult to come by due to COVID and the forest fires out west*

**Answer:** As specified, provide building materials such that not less than 50 percent (by cost) of wood based materials shall be FSC certified.

**Question 14:** *The legend on the reflected ceiling plans show the same white grid pattern for both 'Existing Ceilings to Remain' as well as 'New ACT Ceilings'. Please revise to eliminate confusion.*

**Answer:** The first floor reflected ceiling plan has been revised to more clearly distinguish new vs. existing ceiling grids. See Addendum #2.

**Question 15:** *A-2.02 2nd floor reflected ceiling plan calls for wood plank ceiling in the addition but the texture in the space is for Curved Acoustic Panel according to the Legend. Please advise.*

**Answer:** The second floor reflected ceiling plan has been revised to more clearly distinguish the wood plank and curved acoustical panel ceilings. See Addendum #2.

**Question 16:** *There are 2 types of wood plank ceilings listed in the specifications but the reflected ceiling plans do not identify which type is to be installed where. Please advise..*

**Answer:** Specification section 09 54 26 distinguishes plank ceilings from vertical grilles. "Wood veneer, linear plank ceilings" are shown on the second floor reflected ceiling plan and in corresponding details on sheet A2.04. "Solid wood, linear plank vertical grilles" are located on the first and second floor and are shown in 14,15, 16/A9.02, 11,12/A2.04, 7/A8.01..

**Question 17:** *Can the reflected ceiling plans be revised to include ceiling type designations within each room that the ceiling is to be installed (ie Room 475 = ACT-1 ; Room 837 = ACT-4, etc)?*

**Answer:** There is only one type of ACT in the project.

**Question 18:** *Can we clarify that window types CW2 and CW6 on the second floor 204 stacks do not receive shades. See detail 1/A3.02. According to A10.02 in Add 1 they do NOT.*

**Answer:** Window shades are not required at CW2 and CW6 which are North facing windows.

**Question 19:** *Can we have clarification for what black out fabric is required for the shade in commons 200 behind the projection screen, im not seeing anything in the spec.*

**Answer:** See Addendum #2 for shade fabric specification.

**Question 20:** *Is the projection screen by owner? I see it calling for a new one in commons A200 but there is no spec?*

**Answer:** There is one projection screen and it is specified in section 27 41 00 - Audio & Video Systems.

**Question 21:** *Page A2.02, a projector and screen are shown but there are no specs. Please advise.*

**Answer:** Refer to Section 27 41 00 - Audio and Video Systems for the projection screen and projector specification. Note that the footer of this section erroneously refers to 28 23 00 and is revised to 27 41 00 by way of this Addendum.

**Question 22:** *Are the end panels, canopy tops, Pyramid display, CPU Station, curved desk, children's reception desk, and free standing bookcases being bid on this? If yes, are there any specifications?*

**Answer:** See specification section 06 40 00 Architectural Woodwork for the end panels, pyramid display, curved children's reception desk, reference desk and free standing book cases. See specification section 11 50 00 Miscellaneous Equipment for the CPU station and Canopy Tree.

**Question 23:** *What is the shelving? Are there any new shelving included in this bid?*

**Answer:** Library stacks are existing to remain or purchased by the owner via a separate contract. Stacks are not included in this bid.

**Question 24:** *Drawing A11.01 – There is no door, frame, hardware shown for opening 176. Please advise.*

**Answer:** See Addendum #2, A11.01.

**Question 25:** *A11.01 – There are 5 openings which have “add” under Head Details. Please advise.*

**Answer:** See Addendum #2, A11.01.

**Question 26:** *Is the retaining wall shown on S.12 the same as shown on 13/A4.02 which is at the new Terrace door 262?*

**Answer:** Yes.

**Question 27:** *Doors V261 & V261A show no frame type, the head & jamb details show HM frame, which I assume is incorrect. Can you verify the frame type is F4 and they are wood per 081433?*

**Answer:** See Addendum #2, A11.01.

**Question 28:** *Door 171A shows Aluminum frame type F5, there is no detail for F5.*

**Answer:** See Addendum #2, A11.01.

**Question 29:** *Is the Building Permit Fee waived? If yes, does the GC own the State Education Fee?*

**Answer:** The Town will waive the Town portion of the permit fee. The contractor is responsible for all other permit related fees.

**Question 30:** *Drawing A8.02 shows 14 locations for the All Glass Storefronts per spec 084128. It appears that the glass for each 6' x 8' opening is in 2 pieces butted to each other. Is this correct? Can you verify these are not sliders? What is the detail at the jamb where the glass butts to the existing columns?*

**Answer:** Drawing A8.02 shows both sides of each location. The total number of locations is seven. See 23/A5.01 for the jamb detail. These are fixed lites - not sliders.

**Question 31:** *In regards to the Composite Sheathing Insulation Board, the plans show both the roof and wall panels with 4 inch thick insulation. The specifications call for the roof to have 5 inch thick insulation and the walls with 3 ½ inch thick insulation. Please clarify..*

**Answer:** Provide composite sheathing board insulation thicknesses per specification section 07 21 00 -2.3.

**Question 32:** *Can the new book depository be drawn/detailed better or is it a purchased item? If a purchased item, can the desired brand and model # be provided?*

**Answer:** Refer to Section 11 50 00-3.4 B for the "drive up depository" product. See 6/A4.01 and 12/A4.30 for detailed drawings of the new book depository.

**Question 33:** *It appears that the lintels above openings are heavy steel tubes (details 7 & 11 on A-4.02). Can a lintel schedule be provided? .*

**Answer:** The steel tubes shown in details 7,11/A4.02 are structural steel, see 2/S.07. Refer to Structural Steel note #8 on S.00 for lintel schedule.

**Question 34:** *Detail 8 on drawing A6.01 calls for new stair and landing at the Children's Area but detail #19 says existing stairs. Please clarify.*

**Answer:** Provide a new concrete-filled steel pan stair at 8/A6.01 with porcelain tile treads and risers as shown in detail 19/A6.01.

**Question 35:** *Can you confirm the only Brick Restoration per spec 049000 is at details 5, 6/A3.01 – approximately 440 sf?*

**Answer:** With regard to the Base Bid, brick restoration is limited to 5,6/A3.01 and the patio walls shown on A1.02. Alternate #2 includes the restoration and painting of the remaining exterior masonry areas.

**Question 36:** *Does all the brick get replaced at these 2 elevations or just the cracked brick?*

**Answer:** See Brick restoration 04 90 00 - 3.3A.

**Question 37:** *Do all the mortar joints get repointed at these 2 elevations or just the damaged joints?*

**Answer:** See Brick restoration 04 90 00 - 3.3 E.1.

**Question 38:** *Regarding Alternate 3, Can you confirm there are 4 Chimneys that get the existing brick & stone veneer replaced with stone veneer on all 4 sides?*

**Answer:** Regarding Alternate #3, four chimneys are reconstructed. Two of the chimneys receive stone veneer on the East facing side and brick on the other three sides. Two of the chimneys receive brick on all four sides.

**Question 39:** *Please confirm the Owner will waive the Town portion of the Permit fees.*

**Answer:** The Town will waive the Town portion of the permit fee. The contractor is responsible for all other permit related fees.

**Question 40:** *Spec 012300, 3.1B: Should the words 'Restore and' be added before the word 'Paint' per Alt. #2 Note on A3.01? It should also be changed on Attachment 1, p. 1 of the Bid Form.*

**Answer:** Yes.

**Question 41:** *Will the Owner and/or Architect review the Div 2 thru 33 specs for mockup occurrences, and holistically verify which mockups are intended? Unless the response is simply provide all....*

**Answer:** Provide all mockups required per the specification.

**Question 42:** *Please provide some clarity for the intended mockups, i.e. how are they built. In place, stand alone, etc.*

**Answer:** Provide all mockups as described in the specification.

**Question 43:** *Part of the project scope is installing new lights in portions of the existing building outside of the “phased” areas: Will this lighting work be 1st or 2nd shift?*

**Answer:** The contractor will need to coordinate access to these areas around the owner's operations.

**Question 44:** *Please confirm the Owner will move the bookstacks and furniture when this work occurs.*

**Answer:** The owner is responsible for moving the stacks and existing furniture to facilitate carpet installation.

**Question 45:** *Or will the work have to occur around the bookstacks and furniture, including daily protection and cleanup.*

**Answer:** It depends on how you sequence the work.

**Question 46:** *A10.01 & A10.02: Please confirm the Owner is providing the Wall Mounted CPU station, built in furniture Key Item 4.*

**Answer:** The contractor is to provide the wall mounted CPU station specified in 11 50 00-3.4 C.

**Question 47:** *Who pays for the consumption of utilities during construction, the Owner or GC?.*

**Answer:** Refer to 01 50 00 - 1.2 Use Charges.

**Question 48:** *7/A3.01 Alternate #1 – please provide more detail/section for the intended cap, including the LCC roof, ice water, plywood and metal framing.*

**Answer:** Refer to Addendum #1, detail 8/A3.01.

**Question 49:** *Drawing EP1.01 - Please show the required trenching and concrete work on the Civil drawings for the exterior conduits and the exterior manual transfer switch.*

**Answer:** Refer to SU1.00 detail 2 "Typical Trench detail for Electrical Feeders"

**Question 50:** *Regarding the Unit price of concrete, please verify psi, short load or full truck, additives or special aggregate and if the concrete will be placed by a pump or off a truck chute.*

**Answer:** For the unit price of concrete, refer to Class B concrete mix for foundation walls as specified in 03 30 00 -2.8. Include placement by pump.

**Question 51:** *Are there floor troughs – is there a detail – garage, food service, emergency service, etc.*

**Answer:** No.

**Question 52:** *Spec 034900 Para 2.9A – please select the intended finish for the GFRC, as they are different costs.*

**Answer:** Finish is to match the design reference sample as specified in section 034900-1.3A.1.

**Question 53:** *Does Spec 049010, 1.2A.1, A.2 pertain only to Alternate #2? And confirm there are no other brick replacements or restoration required in the Base Bid.*

**Answer:** See 5,6/A3.01 for brick restoration to be included in the base bid. Also, A1.02 identifies masonry restoration required at the masonry walls surrounding the patio.

**Question 54:** *We find detail 6/A10.02 one time on RCP 2.02, Room 201. Please clarify if this new end panel occurs at only 1 bookstack (2 ends) only, or for ALL 39 (78 ends) double stack book stacks (built in furniture Key Item 1).*

**Answer:** Detail 6/A10.02 occurs many times. Refer to furniture item key 1 and 2 on sheet A10.02 for the required locations.

**Question 55:** *Confirm the Owner will remove all items off the end panels prior to the install of the plywood and laminate.*

**Answer:** The contractor is to remove the existing signage from the end panels and re-install it on the new end panels.

**Question 56:** *Please provide a spec and color choice for the clear anodized aluminum laminate.*

**Answer:** Provide #909 Satin Silver Aluminum by Chemetal, weight .359 lb/sf, metal thickness: .025".

**Question 57:** *Spec 064000 Para 1.5C – please clarify if this mockup cabinet can simply be delivered to the site and left in the GC trailer, or installed in the building in place, or installed on a fake/temporary wall.*

**Answer:** This mockup can simply be delivered to GC trailer at the site.

**Question 58:** *Spec 062013 Exterior PVC trim. The following require clarification: a. Para 2.2 does not specify the finish (factory primed or field primed). Please clarify..*

**Answer:** Provide field primed.

**Question 59:** *Para 3.2B.2 – there is no spec 099113. On A4.21, PVC requires field painting - please provide spec and no. of coats. (Not in 099120).*

**Answer:** Insert the following as 099120-3.6 E: PVC: Provide the following finish systems over PVC systems. 1. Exterior satin acrylic enamel finish: Two finish coats over a primer. A. Primer: Exterior wood primer. B. Finish Coats:Exterior Satin Acrylic Enamel.

**Question 60:** *Spec 074113 Para 1.7 Metal roofing mockup – is the mockup to be “on the ground” on job site build false framing, or roofing in place on the addition roof?*

**Answer:** Insert the following as 07 41 13 -1.7 C.3: "Subject to compliance with requirements, approved mockups may become part of the completed Work if undisturbed at the time of Substantial Completion."

**Question 61:** *TOC lists 081433 as being called Wood Terrace Doors but in the individual specification it is entitled Wood Terrace Doors and Window. We find no window*

*references in para 1.2A or elsewhere. Please confirm there are no Aluminum clad windows.*

**Answer:** There are no aluminum clad windows.

**Question 62:** *Door 176 is missing door, frame and hardware set information.*

**Answer:** See Addendum 2, A11.01.

**Question 63:** *Door 171A: Please provide an F5 elevation above the Door Schedule*

**Answer:** See Addendum 2, A11.01.

**Question 64:** *Door 262 is scheduled as D-6 type with a hollow metal frame. Is this a VT Industries type door or an aluminum clad type door? Note the entry lock, closer in set 3.0 used..*

**Answer:** Door 262 is an aluminum clad exterior door per section 081433 Wood Terrace Doors.

**Question 65:** *Doors V261 & V261A: Frame types are missing. Confirm these are factory-assembled wood frames and not HM as scheduled and detailed.*

**Answer:** See Addendum 2, A11.01.

**Question 66:** *Spec 084313 para 1.8A Mock-ups. Are these a requirement? If so, provide sizes.*

**Answer:** There is a drawing of the mockup. Refer to 7,8,9/A4.01.

**Question 67:** *Spec 084413 para 1.9A Mock-ups. Are these a requirement? If so, provide sizes.*

**Answer:** There is a drawing of the mockup. Refer to 7,8,9/A4.01.

**Question 68:** *Door nos. V261 & V261A: Please confirm sets 2.1 & 12.0 are compatible with these Marvin type D-6 doors..*

**Answer:** Yes. Also, please, refer to 087100-1.6.

**Question 69:** *Drawings A10.01 thru A10.03 Finish Schedule Legend: AWP material is not shown on the drawings. Please confirm it is to be changed to ACP-1 per 8/A8.02 and per Spec 098413, Para. 2.1.*

**Answer:** Confirmed. Acoustical wall panels are per section 09 84 13-2.1 and are located on 8/A8.02.

**Question 70:** *A10.01 & A10.02 Finish Schedule Legend Note WC-X: a. Please confirm the 1/2" GWB is NEW or EXISTING GWB.*

**Answer:** The 1/2" GWB is new.

**Question 71:** *Please confirm that suitable framing exists for the (assumed) NEW GWB after the wood column cover removal.*

**Answer:** The existing drawings show a plywood substrate and framing behind the T&G wood finish.

**Question 72:** *Will all new flooring in this project be installed UNDER or AROUND bookstacks? If UNDER, confirm the Owner will move the bookstacks.*

**Answer:** The owner is responsible for moving the stacks and existing furniture to facilitate carpet installation.

**Question 73:** *Detail 14,15/A9.02 – please confirm this wood grill is per Spec 095426 Para 2.2.*

**Answer:** Confirmed.

**Question 74:** *Drawing A10.01 Rooms 111, 120: PNT/WDS is noted. WDS is not listed in the Legend. What is this material?*

**Answer:** In lieu of "WDS", insert "WC-X" at rooms 111 and 120.

**Question 75:** *Spec 115213 Projection Screen spec is missing??*

**Answer:** Refer to 27 41 00 Audio and Video systems.

**Question 76:** *Spec 101423, 2.7: How many letters or characters should we allow for?*

**Answer:** Provide at least three hundred letters and one 8"x8" artwork.

**Question 77:** *Spec 115000, 1.2B- Please clarify if owner is to Furnish the following: . 3.4A.1 – Children’s Item #1: Canopy Tree, . 3.4B.1 – Item #2: Depository. 3.4C.1 – Item #3: Wall Mounted CPU Station*

**Answer:** These items are to be furnished and installed by the contractor. You are to include them in your bid.

**Question 78:** *Drawing M1.01 Snow melt system refers to drawings M5.01 & M5.02. We do not have M5.02. Please provide.*

**Answer:** Revise note to say "Refer to M5.00 and M5.01."

**Question 79:** *Detail 8/M5.00 – Please provide amended detail for the exterior application of the snow melt. This detail looks like an interior condition*

**Answer:** Please, refer to Addendum #2, drawing CS5.01 and M5.00 for an amended detail of the snow melt system.

**Question 80:** *Please provide the snow melt plan view/limits on the M drawings. We find a reference on C102, but we are not sure if that is the Mechanical engineer’s intended limits of the snow melt system. Note the entrance is not included..*

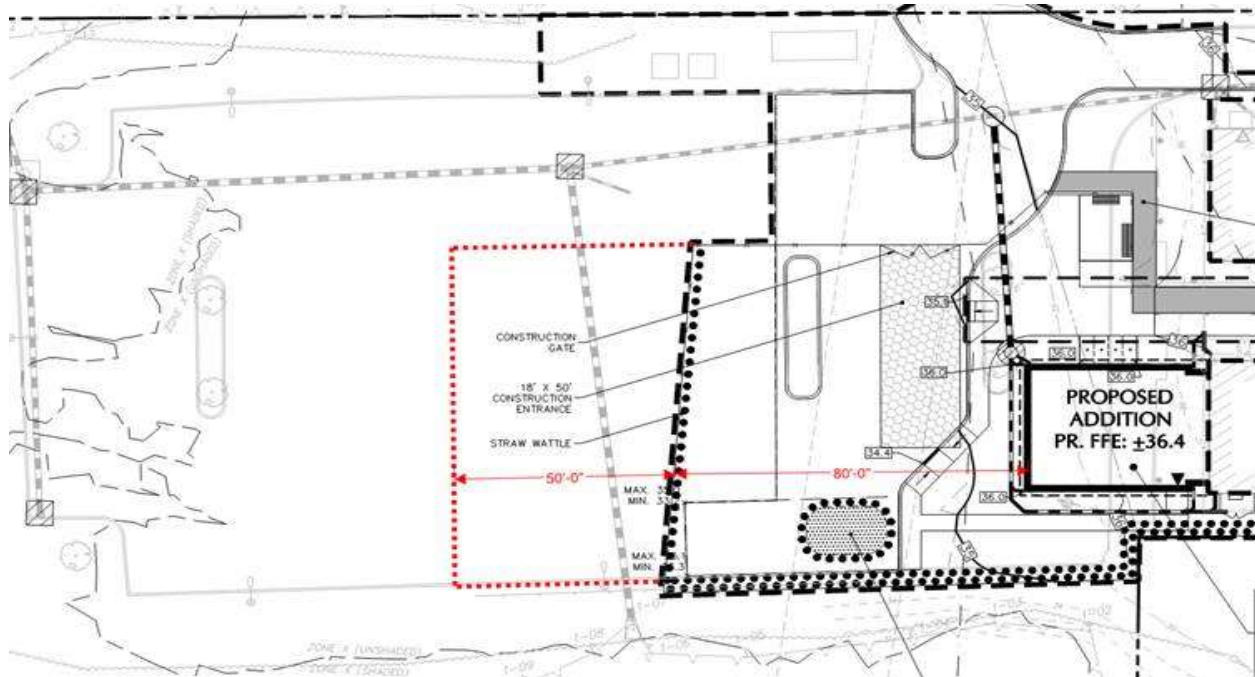
**Answer:** Refer to drawing SU1.00 for plan view of snow melt system.

**Question 81:** *Will the rear Parking Lot be available to put a Disposal Container and to store Equipment and Supplies, along with Staging Areas for Materials?*

**Answer:** The owner prefers the contractor to park within the construction fenced area. CE101 shows a construction fence area that extends 80’ to the West of the West face of the



addition. If additional contractor parking is required, the owner will accept an increase of the construction fenced area of up to 50'-0" further to the West of what is currently shown. However, if the contractor requires this additional fenced area, the contractor must include the cost for the additional fence, straw wattle, and the cost to repave the additional area.



**Question 82:** *Can Contractors Park on site in the rear Parking Lot?*

**Answer:** Window shades are not required at CW2 and CW6 which are North facing windows.

**Question 83:** *Will the Town of Glastonbury provide Snow Removal Services to access the Rear Parking Lot and Site to perform the project?*

**Answer:** The Town will provide snow removal to areas outside of the construction fence.

**Question 84:** *Drawing A10.01, rooms 111 & 120 shows Paint/WDS for wall finishes. What is WDS??*

**Answer:** In lieu of "WDS", insert "WC-X" at rooms 111 and 120..

**Question 85:** *Is there a detail for the Slat Walls shown on 10, 11, 29/A8.01?*

**Answer:** Slat Wall is a commercially available product. Details are specified in section 064000.

**Note:** This addendum consists of 25 pages including the above text.

1.7 QUALITY ASSURANCE

- A. Installer Qualifications: An entity that employs installers and supervisors who are trained and approved by manufacturer.
- B. UL-Certified, Portable Roll-Forming Equipment: UL-certified, portable roll-forming equipment capable of producing metal panels warranted by manufacturer to be the same as factory-formed products. Maintain UL certification of portable roll-forming equipment for duration of work.
- C. Mockups: Build mockups to verify selections made under Sample submittals and to demonstrate aesthetic effects and set quality standards for fabrication and installation.
  - 1. Build mockup of typical roof area and eave, including fascia, as shown on Drawings; approximately 6 feet square by full thickness, including attachments, underlayment, and accessories such as snow guards.
  - 2. Approval of mockups does not constitute approval of deviations from the Contract Documents contained in mockups unless Architect specifically approves such deviations in writing.
  - 3. ***Subject to compliance with requirements, approved mockups may become part of the completed Work if undisturbed at the time of Substantial Completion.***

1.8 DELIVERY, STORAGE, AND HANDLING

- A. Deliver components, metal panels, and other manufactured items so as not to be damaged or deformed. Package metal panels for protection during transportation and handling.
- B. Unload, store, and erect metal panels in a manner to prevent bending, warping, twisting, and surface damage.
- C. Stack metal panels horizontally on platforms or pallets, covered with suitable weathertight and ventilated covering. Store metal panels to ensure dryness, with positive slope for drainage of water. Do not store metal panels in contact with other materials that might cause staining, denting, or other surface damage.
- D. Retain strippable protective covering on metal panels during installation.

1.9 FIELD CONDITIONS

- A. Weather Limitations: Proceed with installation only when existing and forecasted weather conditions permit assembly of metal panels to be performed according to manufacturers' written instructions and warranty requirements.

1.10 COORDINATION

- A. Coordinate sizes and locations of roof curbs, equipment supports, and roof penetrations with actual equipment provided.

1 Threshold 2009APK PE

Set: 14.0

**Door: 176**

<b>6 Hinge, Full Mortise</b>	<b>TA2714</b>	<b>US26D</b>	<b>MK</b>
<b>1 Classroom Lock</b>	<b>28 10G37 LL</b>	<b>US26D</b>	<b>SA</b>
<b>2 Conc Overhead Stops</b>	<b>1-336</b>	<b>630</b>	<b>RF</b>
<b>6 Silencers</b>	<b>608</b>		<b>RO</b>
<b>2 Flush bolts</b>	<b>555</b>	<b>US26D</b>	<b>RO</b>
<b>1 Dust Proof Strike</b>	<b>570</b>	<b>US26D</b>	<b>RO</b>

END OF SECTION 087100

HVAC system is operating and maintaining temperature and relative humidity at levels planned for building occupants during the remainder of the construction period.

1. Store and acclimatize wood products in the spaces where they will be installed for a minimum of 72 hours immediately before ceiling installation.

#### 1.13 WARRANTY

- A. Wood Veneer Ceiling Canopy System: Submit a written warranty executed by the manufacturer, agreeing to repair or replace panels that fail within the warranty period. Failures include, but are not limited to:
  1. Defects in materials or factory workmanship.
- B. Warranty Period:
  1. Wood Veneer Ceiling Canopy System: Standard - One (1) year from date of substantial completion.
- C. The Warranty shall not deprive the Owner of other rights the Owner may have under other provisions of the Contract Documents and will be in addition to and run concurrent with other warranties made by the Contractor under the requirements of the Contract Documents.

### PART 2 - PRODUCTS

#### 2.1 PERFORMANCE REQUIREMENTS

- A. Seismic Criteria: Provide suspended wood ceilings designed and installed to withstand the effects of earthquake motions in accordance with ICC-ES – AC-156 Acceptance Criteria for Seismic Qualification Testing of Non-Structural Components and requirements of authorities having jurisdiction.
- B. Recycled Content of Composite-Wood Products: Postconsumer recycled content plus one-half of preconsumer recycled content not less than 50 percent.

#### 2.2 SOLID-WOOD, LINEAR-PLANK VERTICAL GRILLE

- A. Linear Grille Planks: Manufacturer's standard kiln-dried, solid-wood planks free of knots without finger joints, cracks, checks, or warp, and with square-cut ends.
  1. Basis-of-Design Product: The design for the wood panel ceiling canopy is based on Wood Works Grille, Armstrong World Industries. Subject to compliance with requirements, provide the named product or a comparable product by one of the following:
    - 1) Rulon.
    - 2) 9 Wood.
    - 3) ***Fifth Wall Designs.***
  2. Wood Species: Maple.

- a. Primer: Provided by fiber cement manufacturer.
  - b. Finish Coats: Exterior flat acrylic enamel.
- D. Wood: Provide the following finish systems over exterior new and existing brick systems.
- 1. Exterior Satin acrylic enamel Finish: Two finish coats over a primer.
    - a. Primer: Exterior masonry primer.
    - b. Finish Coats: Exterior satin acrylic enamel.
- E. PVC: Provide the following finish systems over PVC systems.**
- 1. Exterior satin acrylic enamel finish: Two finish coats over a primer.**
    - A. Primer: Exterior wood primer.**
    - B. Finish Coats: Exterior Satin Acrylic Enamel.**

### 3.7 INTERIOR PAINT SCHEDULE

- A. Concrete: Provide the following paint systems over interior concrete: Include abrasive blast cleaning of existing concrete floor. Provide a test patch to verify the profile of the concrete floor prior to proceeding.
- 1. Moisture Tolerant Quick Set Epoxy sealer: Two finish coats over a primer.
    - a. Primer: Moisture Tolerant Quick Set Epoxy sealer.
    - b. Finish Coats: Moisture Tolerant Quick Set Epoxy sealer.
- B. Gypsum Board: Provide the following finish systems over interior gypsum board ceilings (except Toilet Room ceilings) and soffits:
- 1. Flat Acrylic Finish: Two finish coats over a primer.
    - a. Primer: Interior gypsum board primer.
    - b. Finish Coats: Interior flat acrylic paint.
- C. Gypsum Board: Provide the following finish systems over gypsum board ceilings in Toilet Rooms, and gypsum board walls (except corridor walls);
- 1. Low-Luster Acrylic-Enamel Finish: Two finish coats over a primer.
    - a. Primer: Interior gypsum board primer.
    - b. Finish Coats: Interior low-luster acrylic enamel.

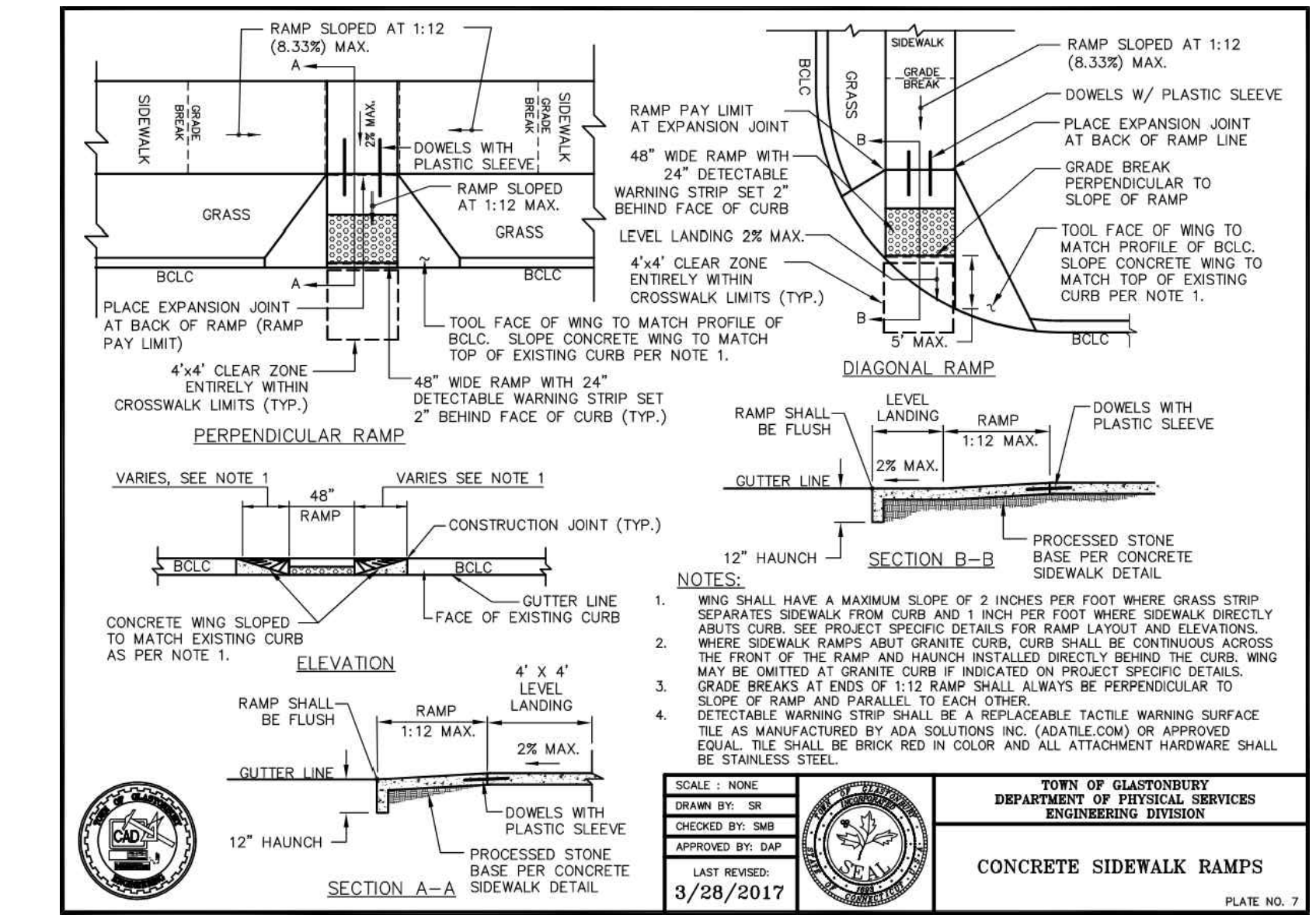
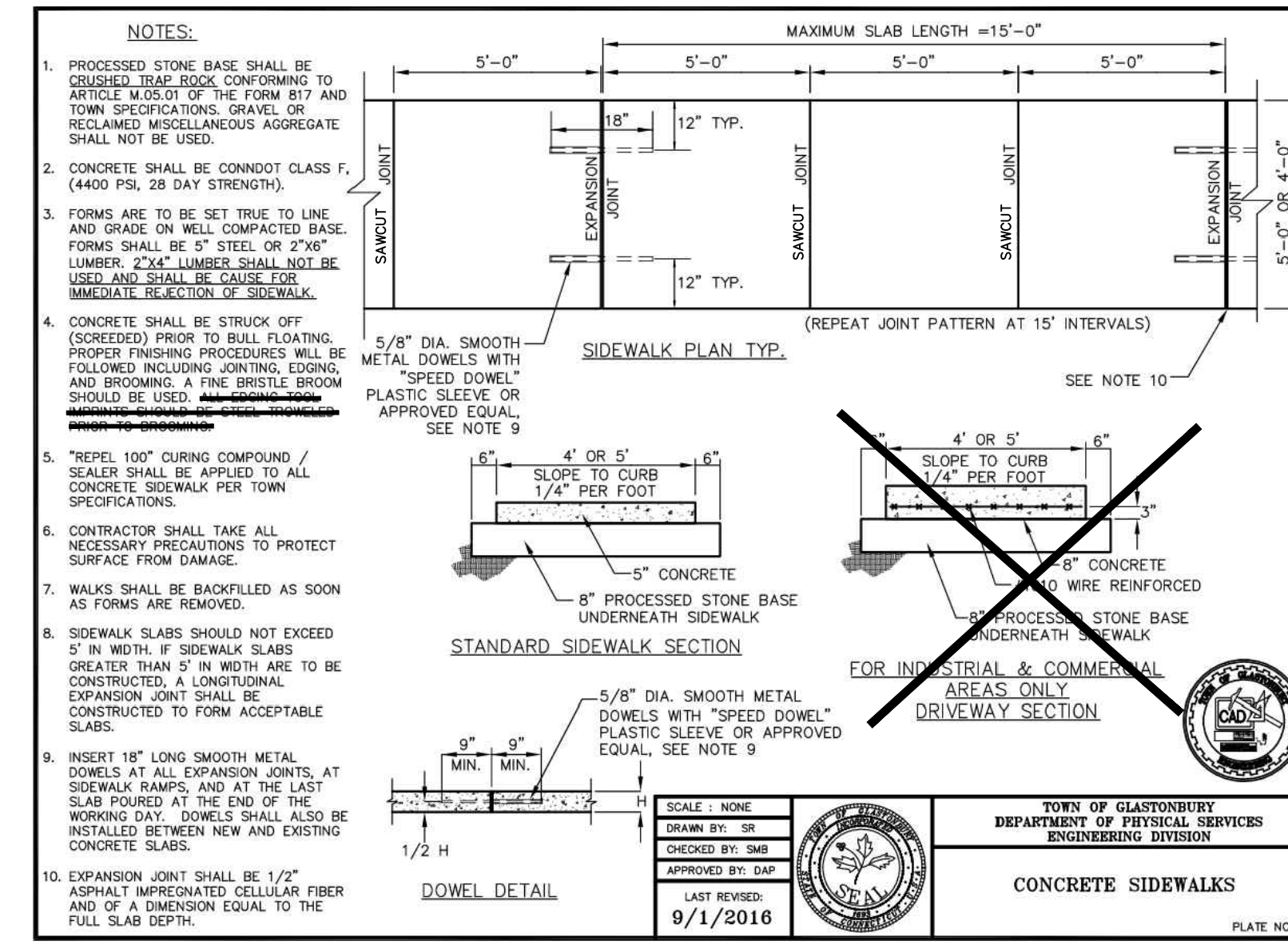
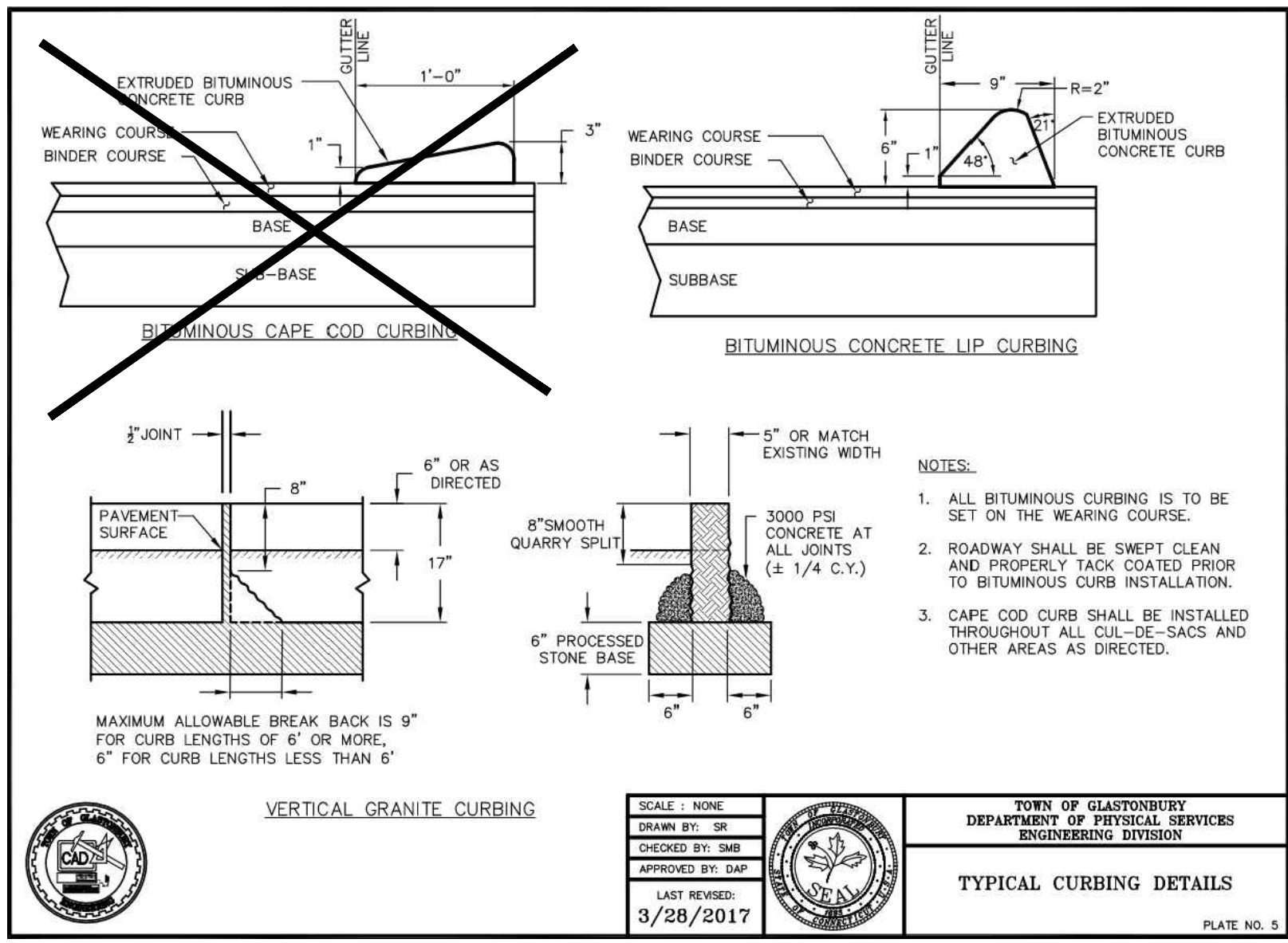
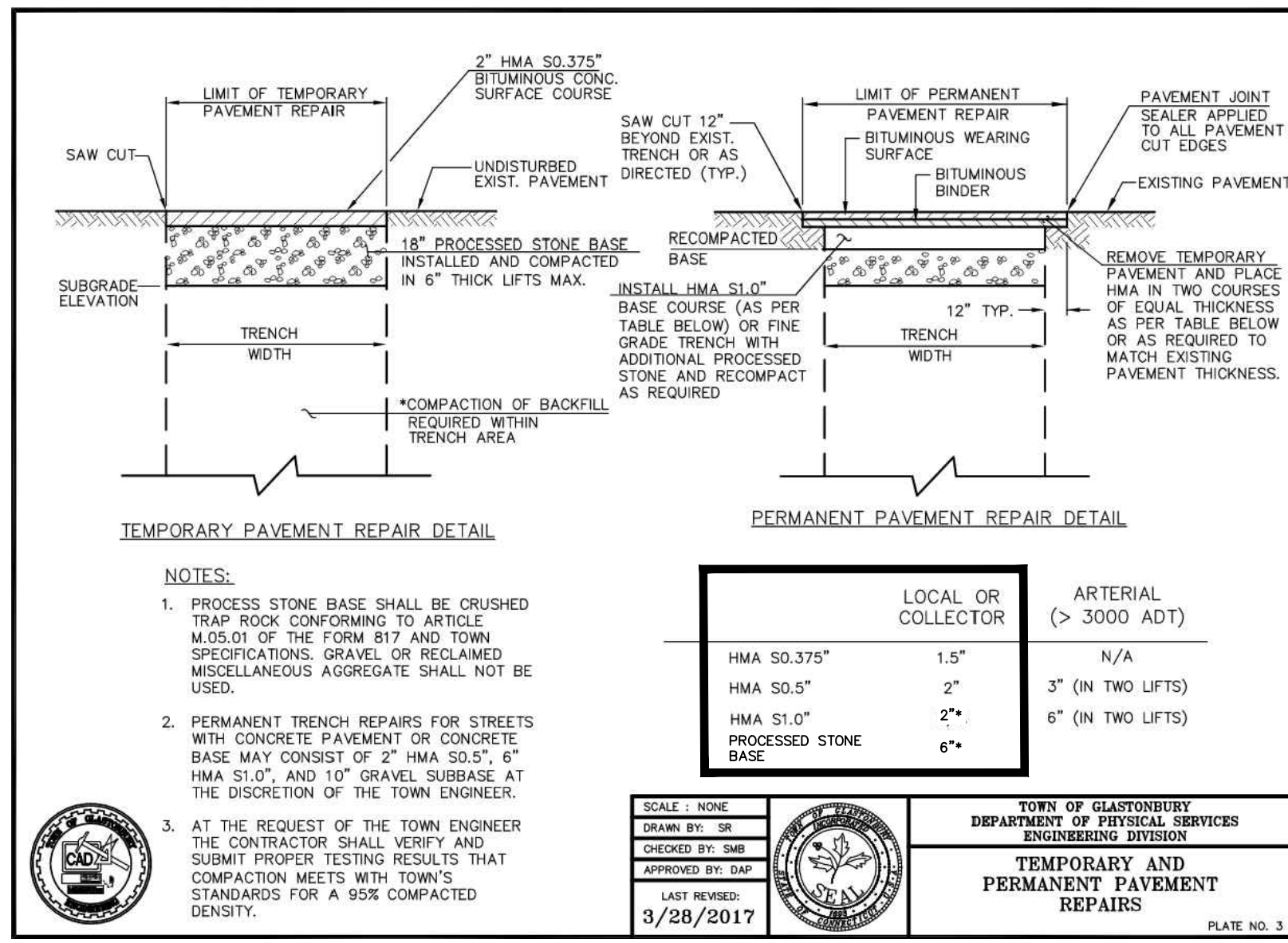
END OF SECTION 099120

PART 2 - PRODUCTS

2.1 MANUALLY OPERATED SHADES WITH SINGLE ROLLERS

- A. Available Manufacturers: Subject to compliance with requirements, manufacturers that may be incorporated into the Work include, but are not limited to, the following:
1. Draper Inc.
  2. Hunter Douglas, Inc.; Hunter Douglas Window Fashions Division.
  3. MechoShade Systems, Inc.
- B. Shade Band Material: PVC-coated polyester.
1. Colors: As selected by Architect from manufacturer's full range.
  2. Material Openness Factor: 2 -3 percent.
    - a. ***Basis of Design Product: Soltis Master 99 Light Grey***
  3. ***Material Openness Factor: Opaque.***
    - a. ***Basis of Design Product: SunBloc – Series SB9000 Grey***
- C. Rollers: Electrogalvanized or epoxy primed steel or extruded-aluminum tube of diameter and wall thickness required to support and fit internal components of operating system and the weight and width of shade band material without sagging; designed to be easily removable from support brackets. Provide capacity for one roller shade band(s) per roller.
- D. Direction of Roll: Regular, from back of roller.
- E. Mounting Brackets: Galvanized or zinc-plated steel.
- F. Bottom Bar: Steel or extruded aluminum, concealed, by pocket of shade material, internal-type.
- G. Mounting: As indicated or required.
- H. Shade Operation: Manual; with continuous-loop bead-chain, clutch, and cord tensioner and bracket lift operator.
- I. Installation Accessories:
1. Recessed Shade Pocket: Where indicated, provide rectangular, extruded-aluminum enclosure designed for recessed ceiling installation; with front, top, and back formed as one piece, end plates, and removable bottom closure panel.
    - a. Height: Manufacturer's standard height required to enclose roller and shadeband when shade is fully open, but not less than 4 inches.
    - b. Provide pocket with lip at lower edge to support acoustical ceiling panel.
  2. ***Fascia Cover:***
    - a. ***Basis of Design Product: SnapLoc***
    - b. ***Installation Accessories Color and Finish: As selected from manufacturer's full range.***
  3. Installation Accessories Color and Finish: As selected from manufacturer's full range.



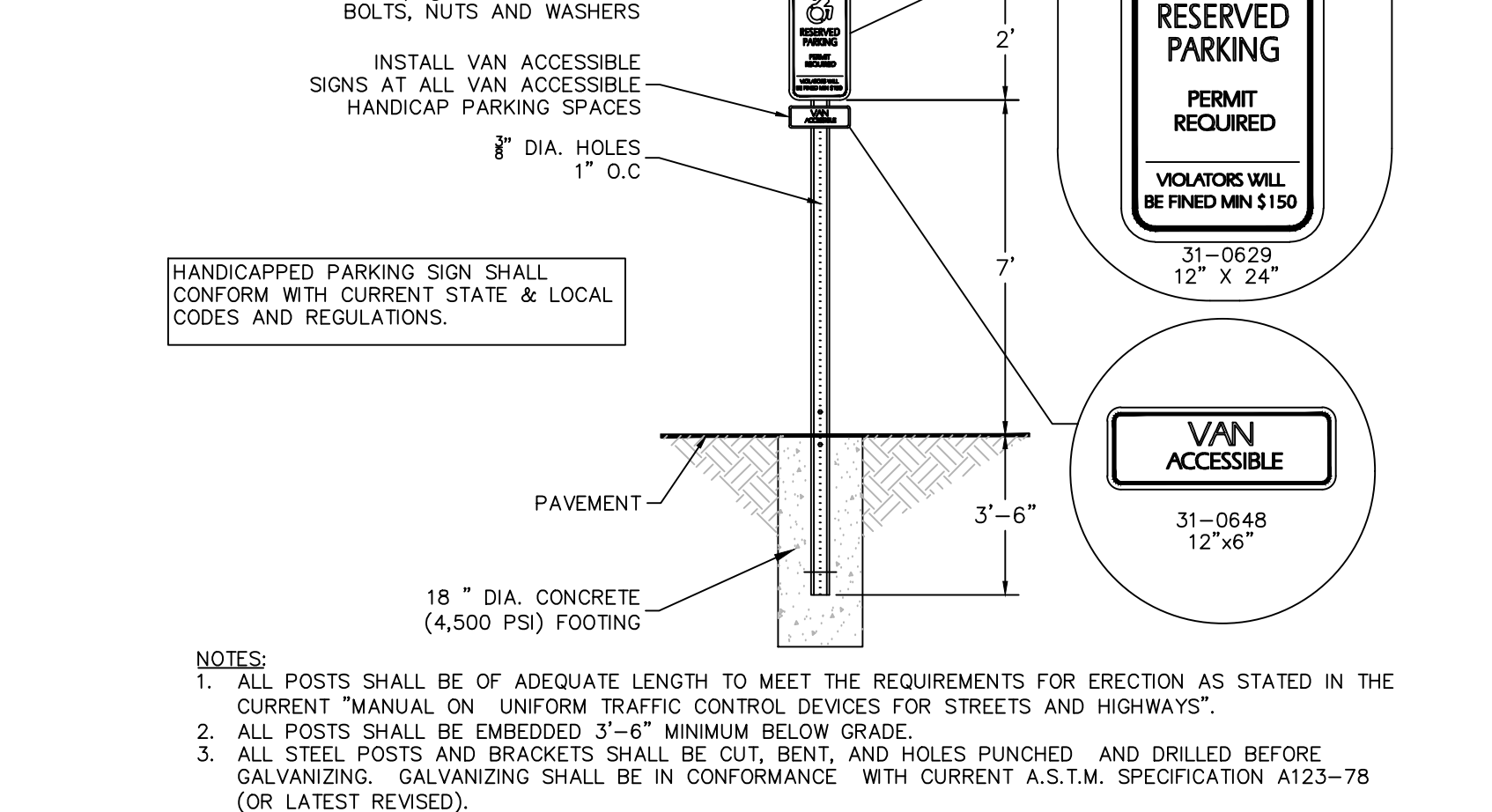
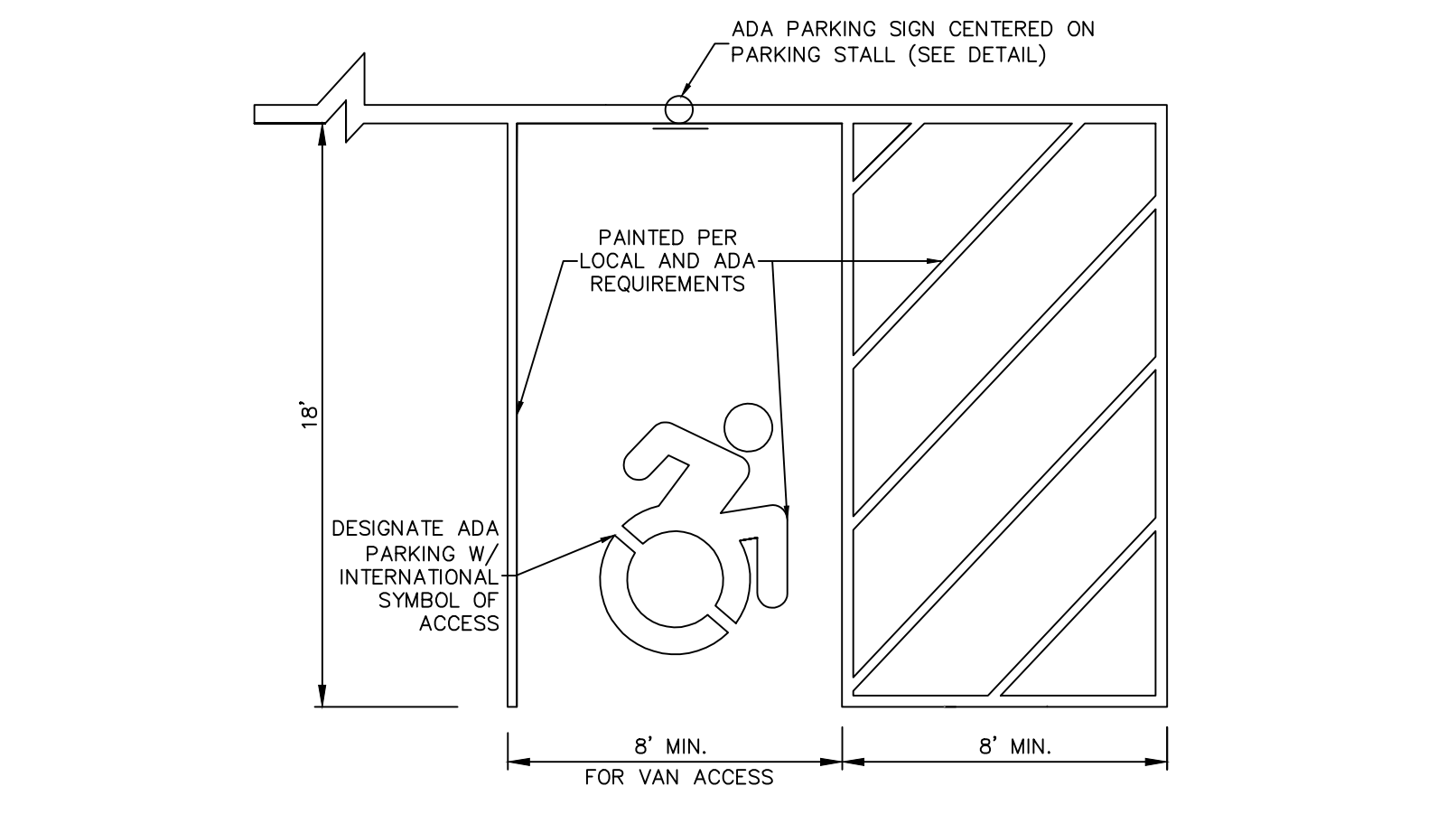
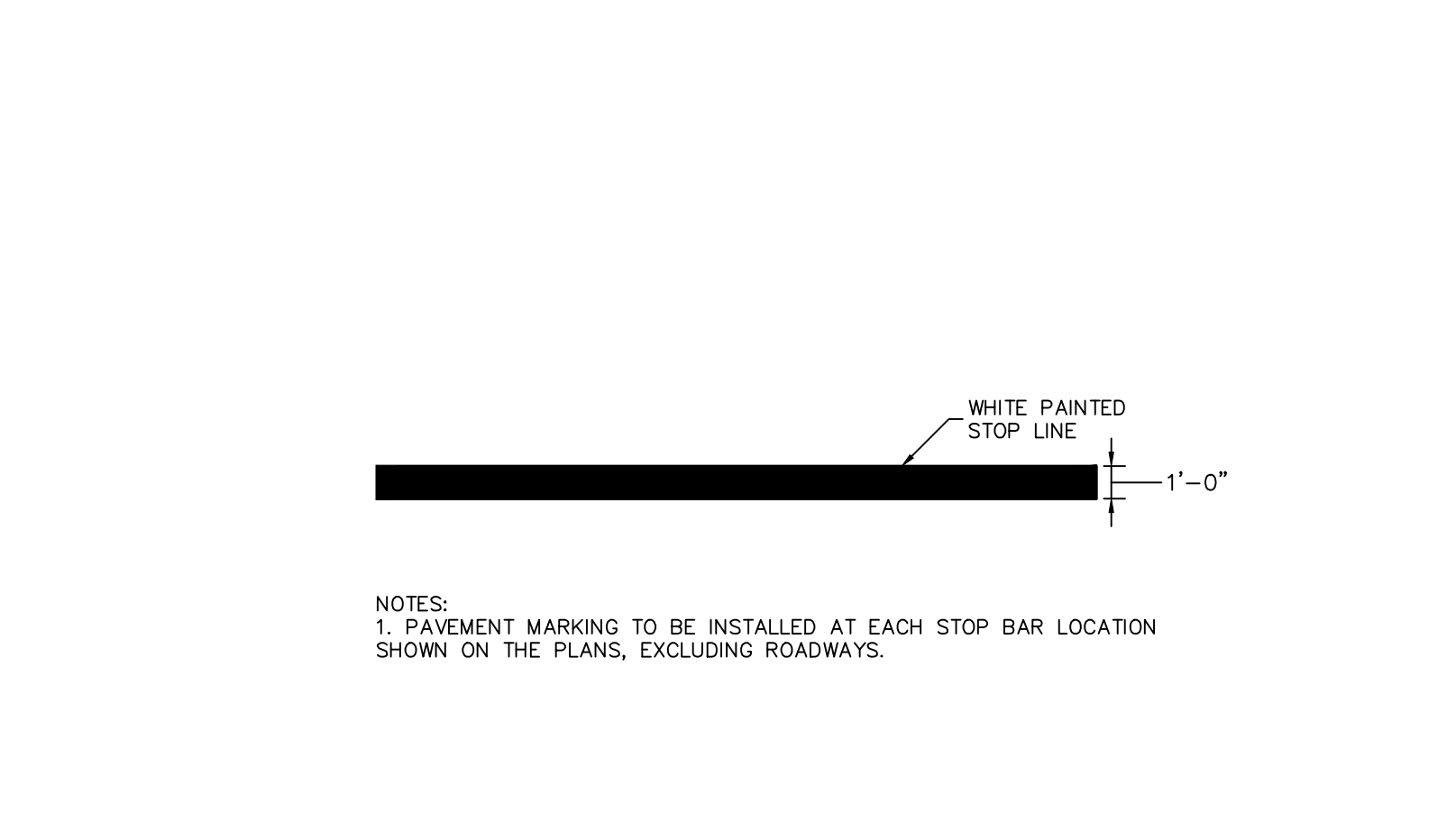
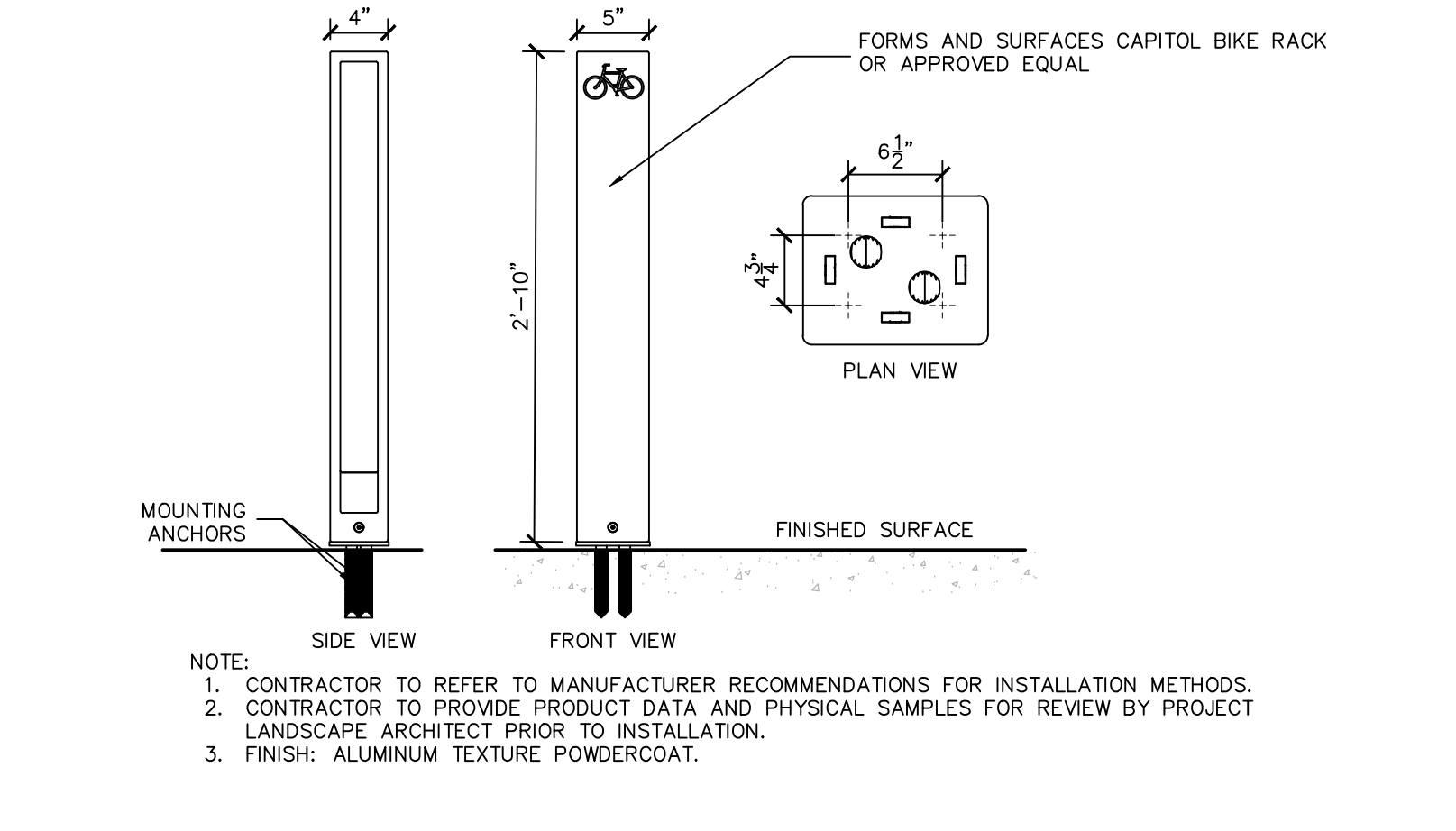


**1 PAVEMENT REPAIR**  
N.T.S. DETAIL PROVIDED BY TOWN OF GLASTONBURY

**2 BITUMINOUS AND GRANITE CURB**  
N.T.S. DETAIL PROVIDED BY TOWN OF GLASTONBURY

**3 CONCRETE SIDEWALK**  
N.T.S. DETAIL PROVIDED BY TOWN OF GLASTONBURY

**4 SIDEWALK RAMP**  
N.T.S. DETAIL PROVIDED BY TOWN OF GLASTONBURY

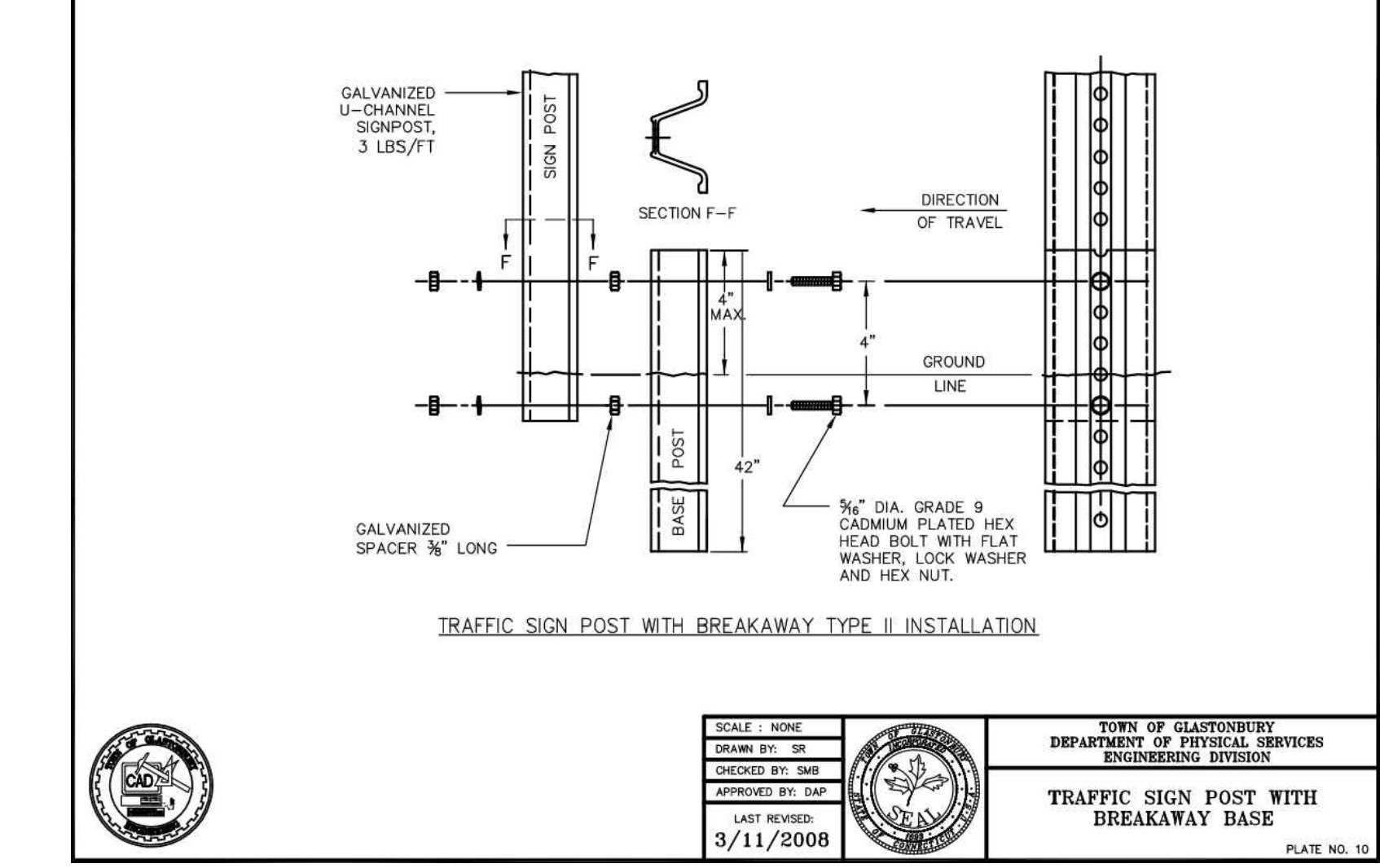
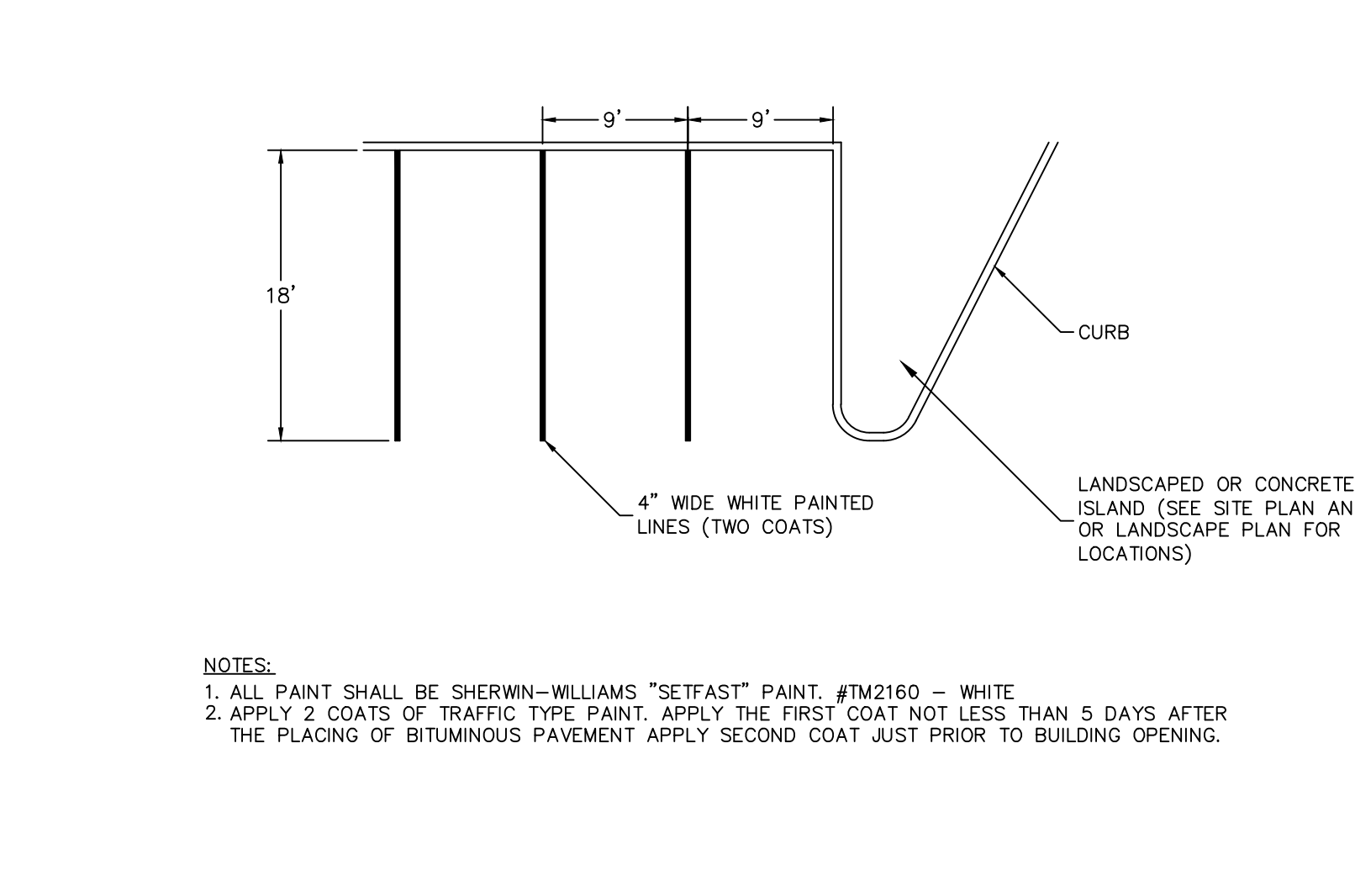
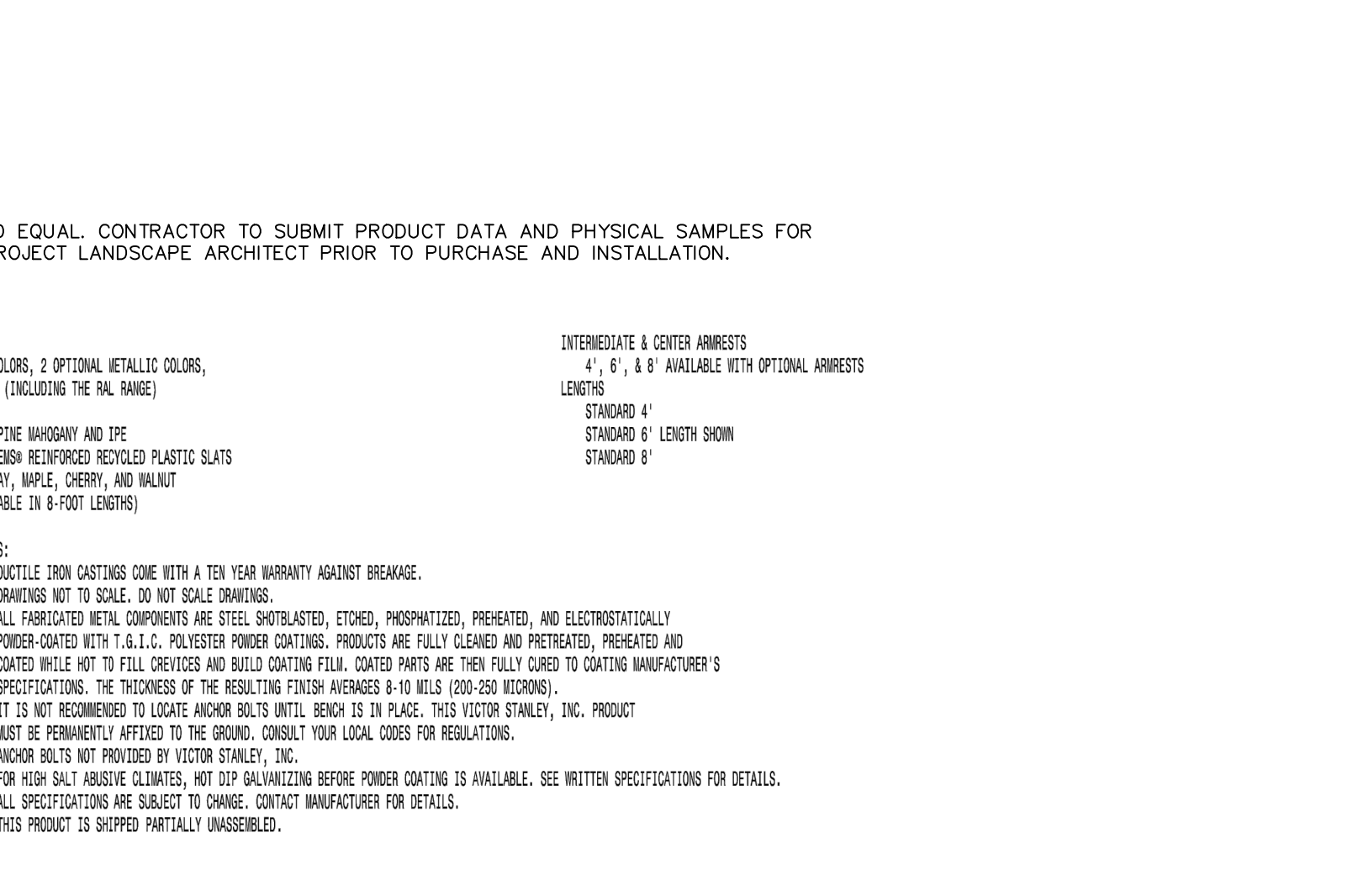
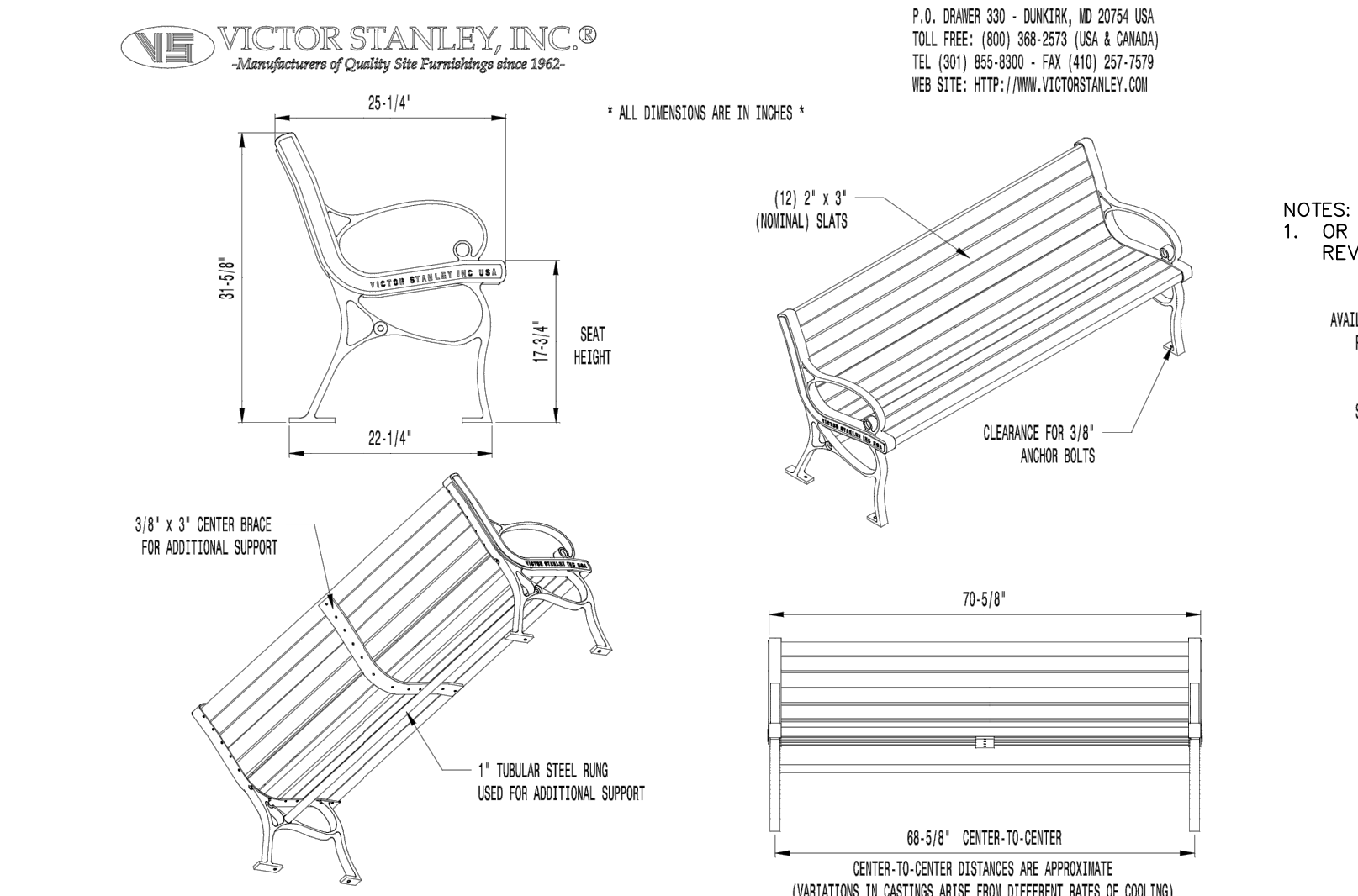


**5 BIKE RACK**  
N.T.S.

**6 STOP BAR**  
N.T.S.

**7 ACCESSIBLE PARKING STALL STRIPING**  
N.T.S.

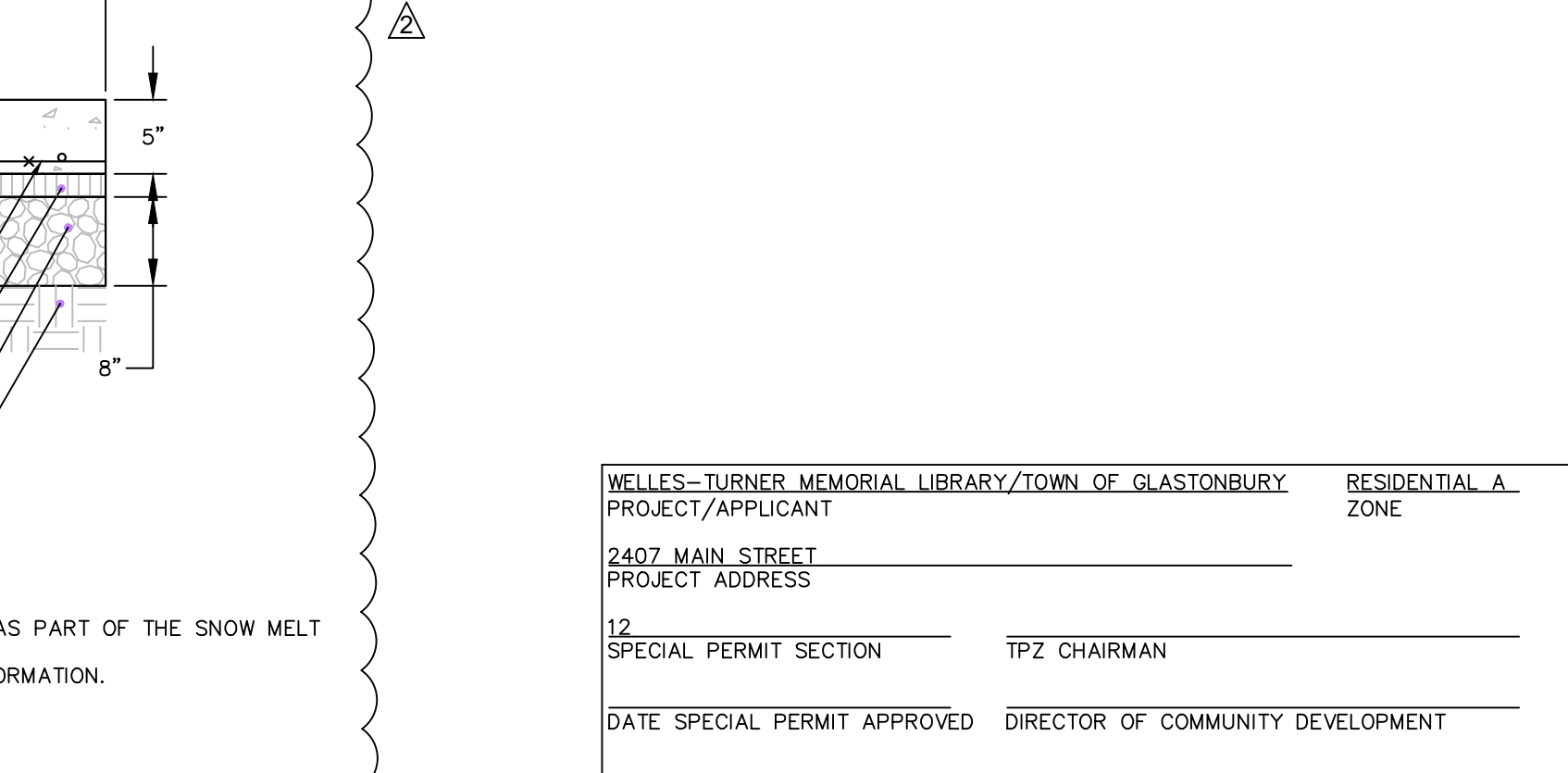
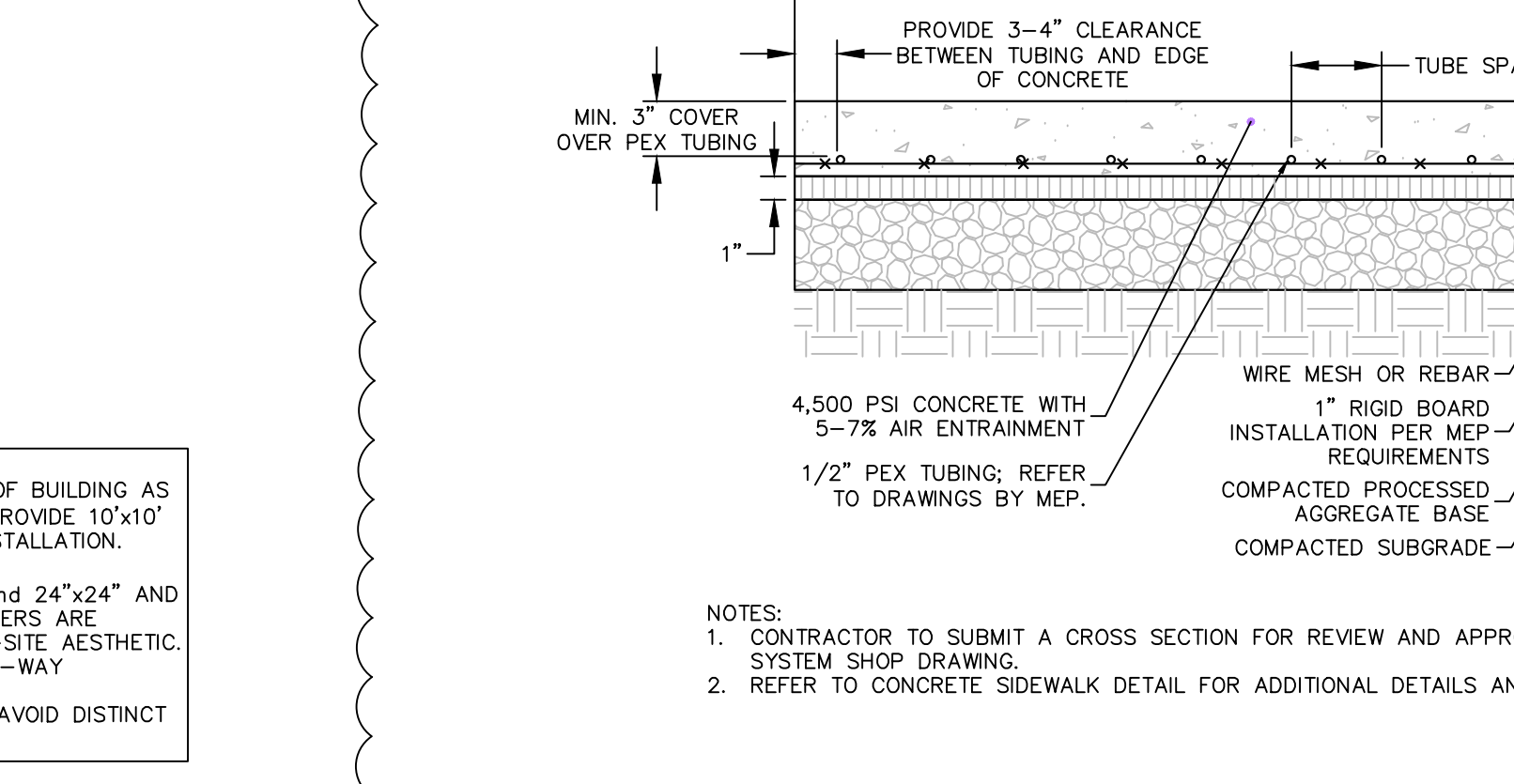
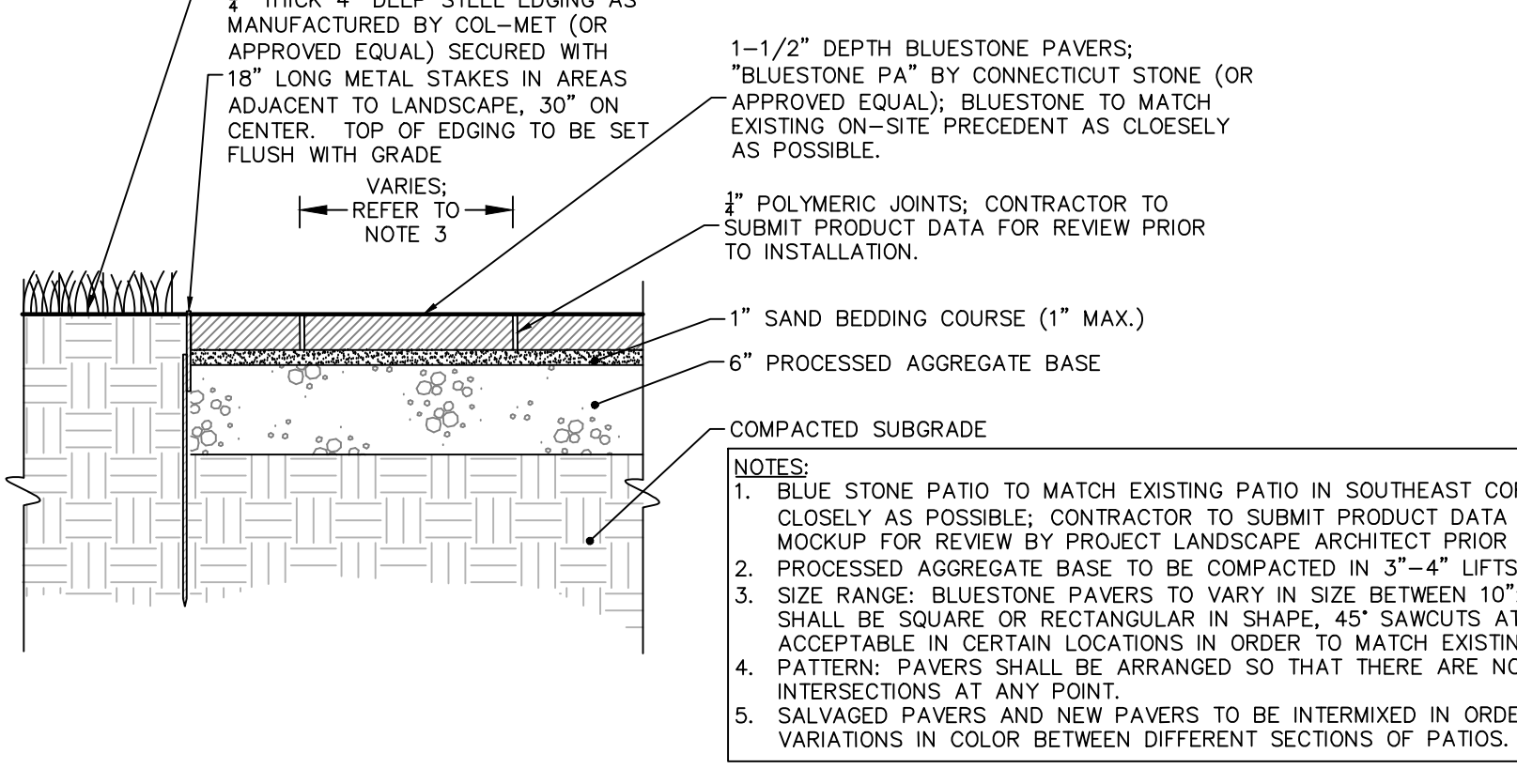
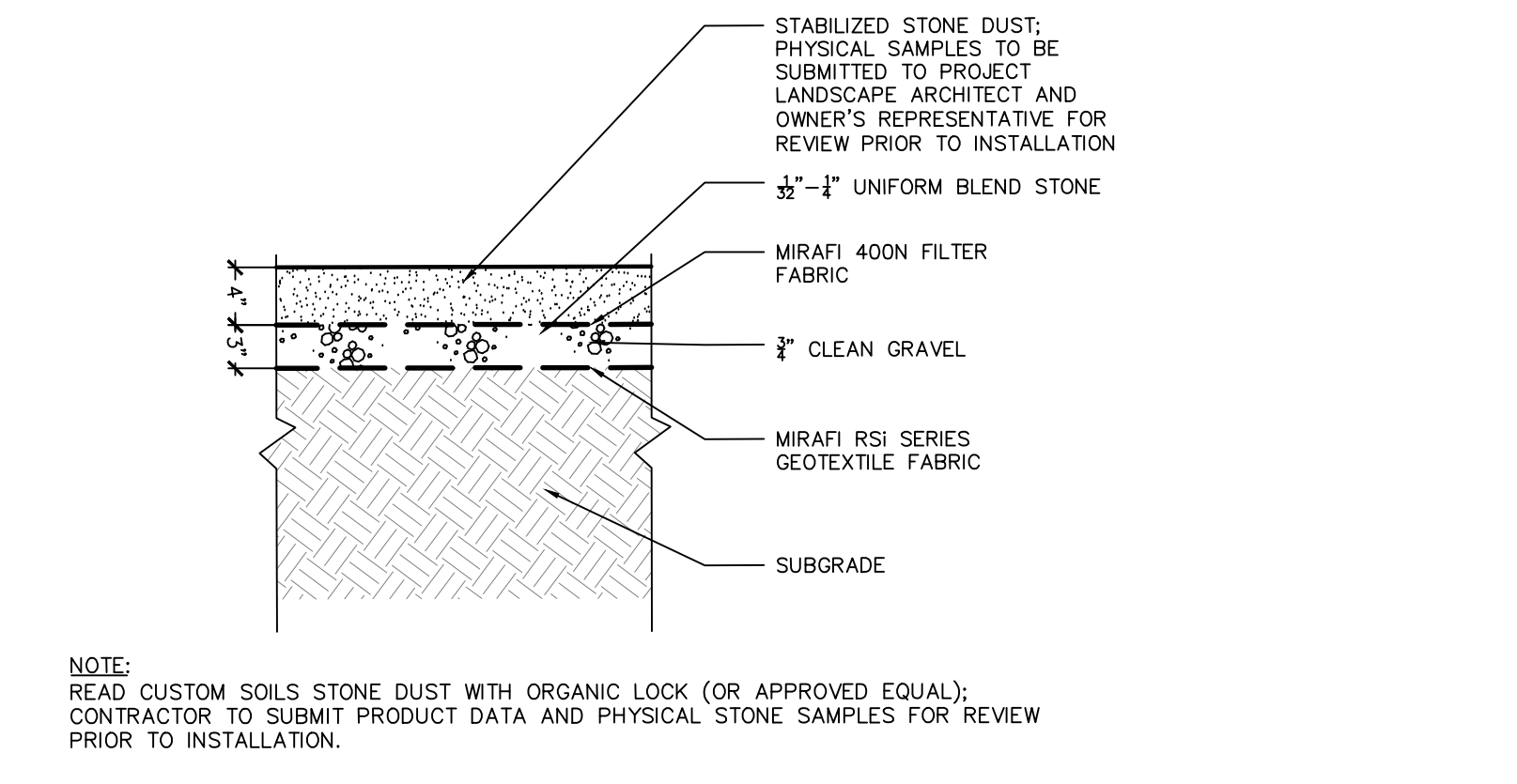
**8 ADA ACCESSIBLE PARKING SIGN**  
N.T.S.



**9 BENCH**  
N.T.S.

**10 PARKING STALL STRIPING**  
N.T.S.

**11 SIGN POST**  
N.T.S. DETAIL PROVIDED BY TOWN OF GLASTONBURY



**12 STABILIZED STONE DUST**  
N.T.S.

**13 BLUESTONE PAVERS**  
N.T.S.

**14 SNOWMELT SYSTEM IN CONCRETE SIDEWALK**  
N.T.S.

CONSTRUCTION DOCS

DRAWING TITLE  
SITE DETAILS

STATE PROJ. NO.	140212701
PROJ. NO.	AS NOTED
SCALE	AS NOTED
DATE	6.1.2020
DRAWN BY	KMS
APPROVED BY	KEG

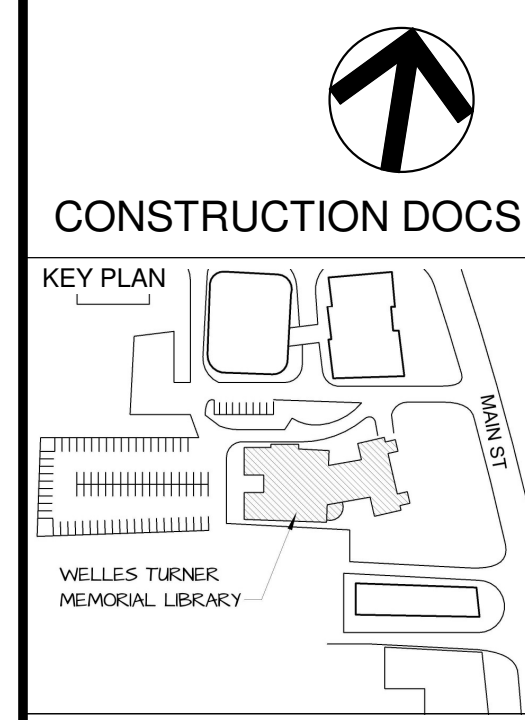
ISSUE DATES		
NO.	DATE	PURPOSE
2	10/05/2020	ADDENDUM #2

WELLES-TURNER MEMORIAL LIBRARY/TOWN OF GLASTONBURY		RESIDENTIAL A. ZONE
PROJECT/APPLICANT		
2407 MAIN STREET		
PROJECT ADDRESS		
12. SPECIAL PERMIT SECTION	TP2 CHAIRMAN	
DATE SPECIAL PERMIT APPROVED		DIRECTOR OF COMMUNITY DEVELOPMENT
FILE NUMBER		

**CS501**



**GLASTONBURY WELLES TURNER LIBRARY**  
 2407 MAIN ST, GLASTONBURY CT 06033



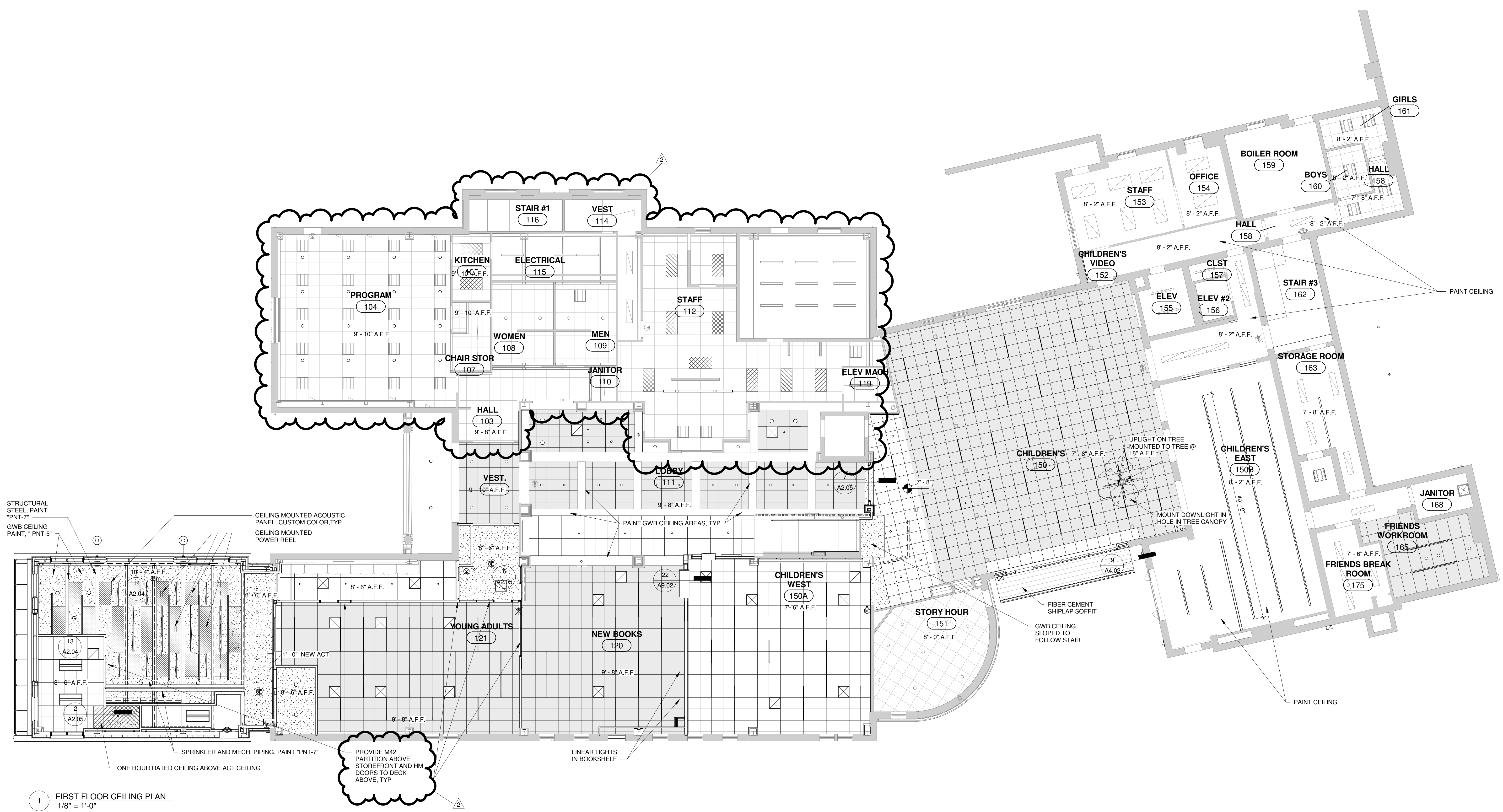
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**FIRST FLOOR REFLECTED CEILING PLAN**

GLAST. BID NO.	GL-2020-19
PROJ. NO.	190101
SCALE	1/8" = 1'-0"
DATE	6.1.2020
DRAWN BY	Author
APPROVED BY	Approver

ISSUE DATES		
NO.	DATE	PURPOSE
2	10/02/2020	ADDENDUM #2

**A2.01**



**LEGEND:**

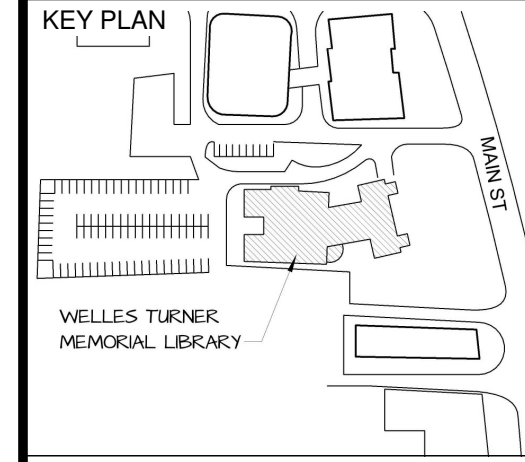
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- NEW ACT CEILING
- EXISTING GRID - NEW TILE
- DEMOLISH EXISTING GRID AND TILE
- NEW GYP. CEILING
- EXISTING GYP. CEILING
- ACOUSTIC PANEL - SECTION 098413
- FIRE RATED HORIZONTAL GWB ASSEMBLY
- CURVED ACOUSTIC PANEL - SECTION 098413
- EXISTING PLASTER CEILING
- NEW SPRINKLER HEAD
- NEW EXIT SIGN EXISTING EXIT SIGN TO REMAIN



**GLASTONBURY WELLES TURNER LIBRARY**  
 2407 MAIN ST, GLASTONBURY CT 06033



CONSTRUCTION DOCS



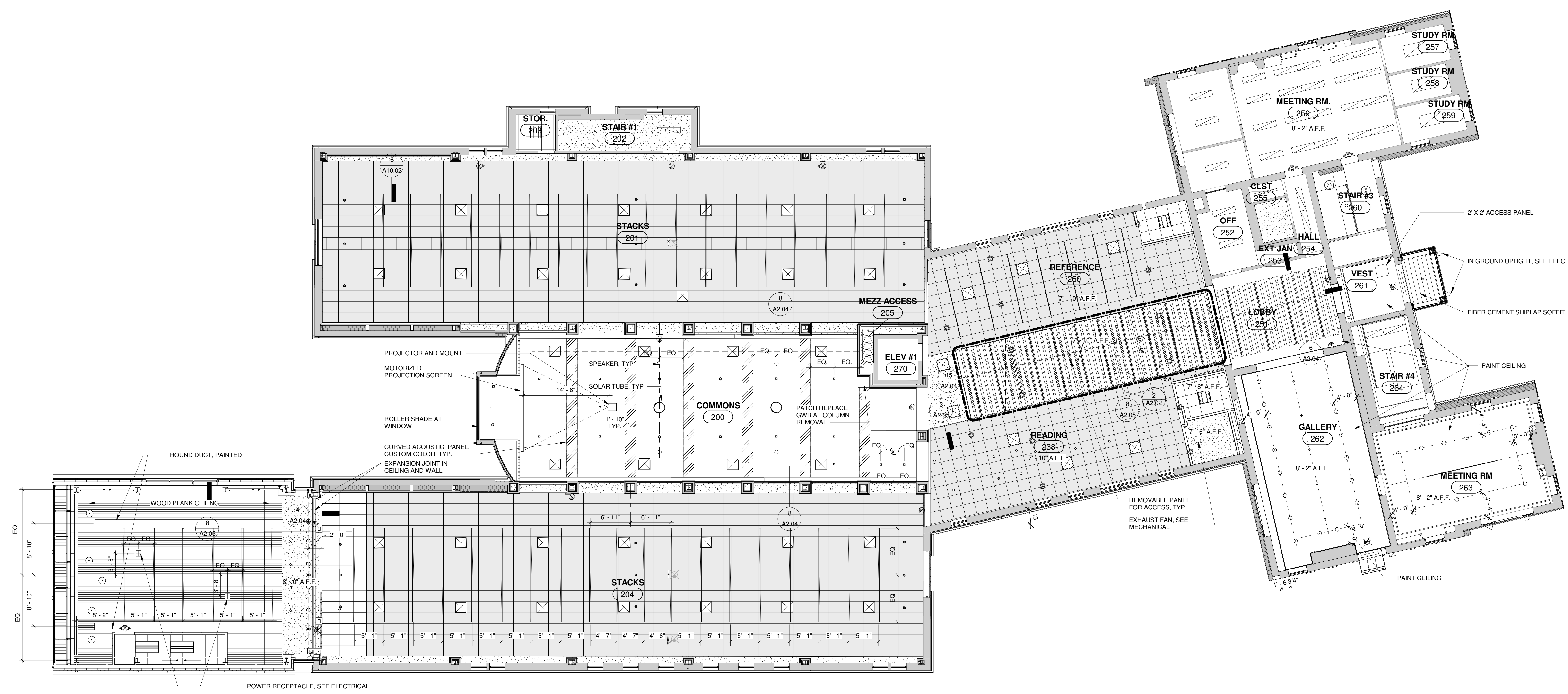
DRAWING TITLE

**SECOND FLOOR REFLECTED CEILING PLAN**

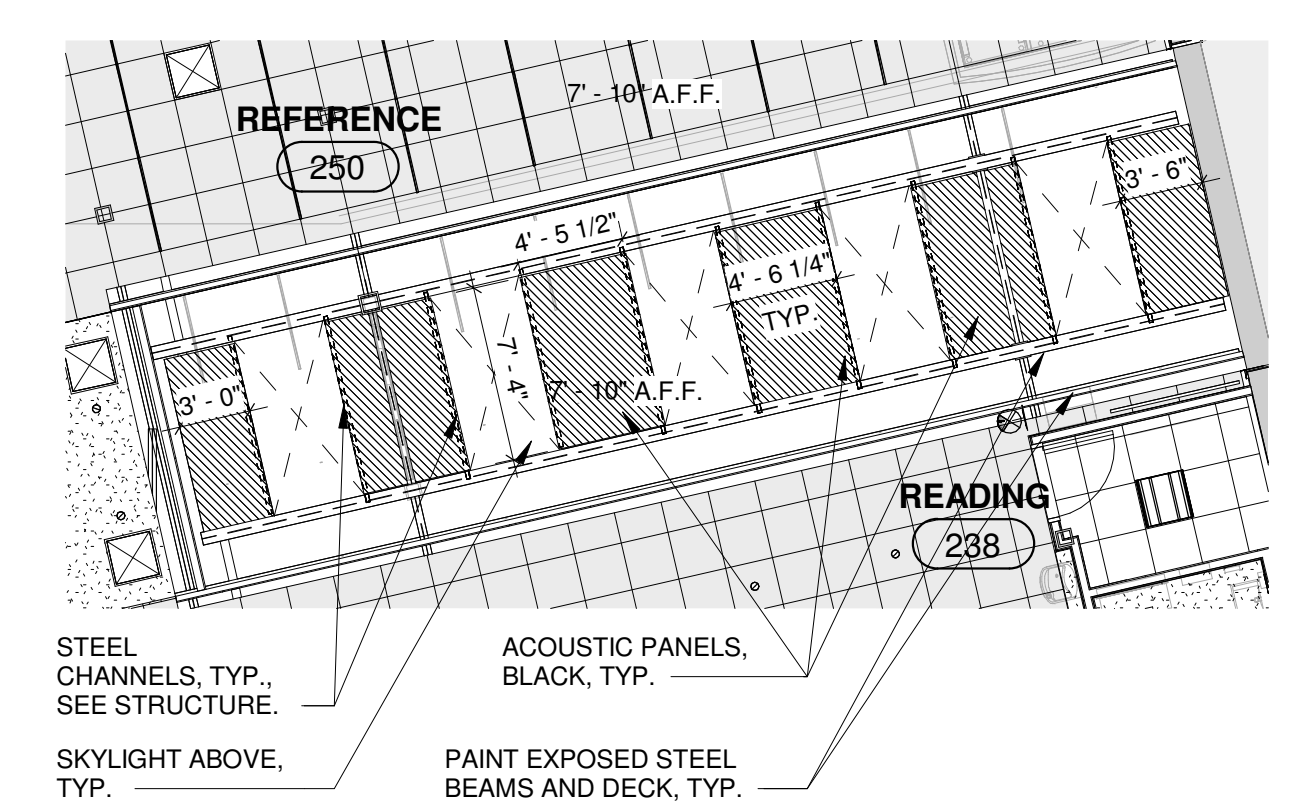
GLAST. BID NO.	GL-2020-19
PROJ. NO.	190101
SCALE	1/8" = 1'-0"
DATE	6.1.2020
DRAWN BY	Author
APPROVED BY	Approver

ISSUE DATES		
NO.	DATE	PURPOSE
1	9/24/2020	ADDENDUM #1

**A2.02**



**1** EXISTING SECOND FLOOR CEILING PLAN  
 1/8" = 1'-0"



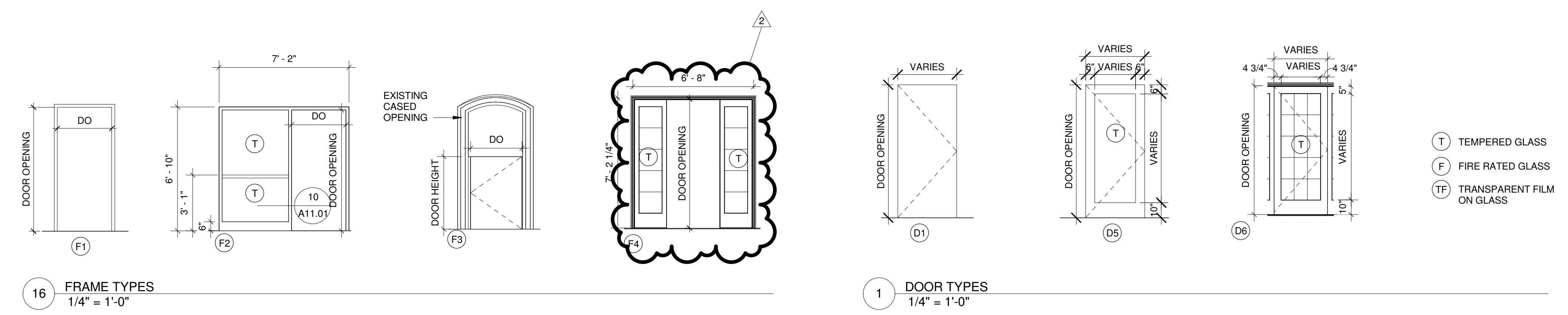
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 1/8" = 1'-0"

**LEGEND:**

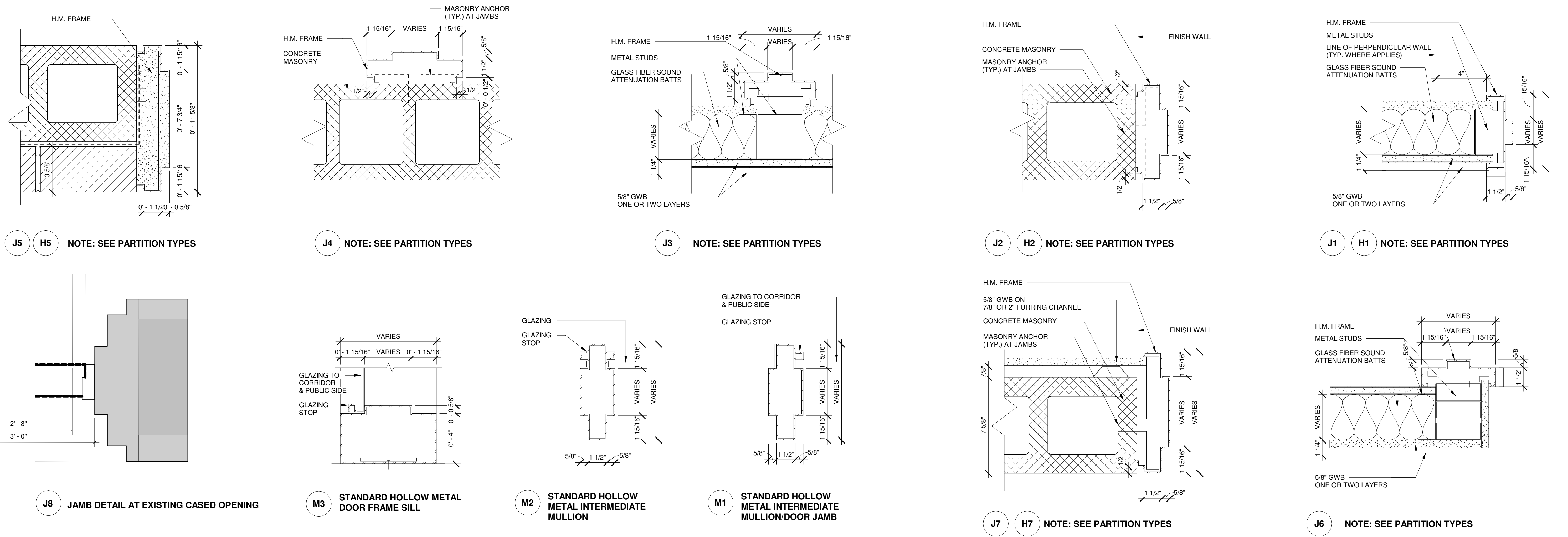
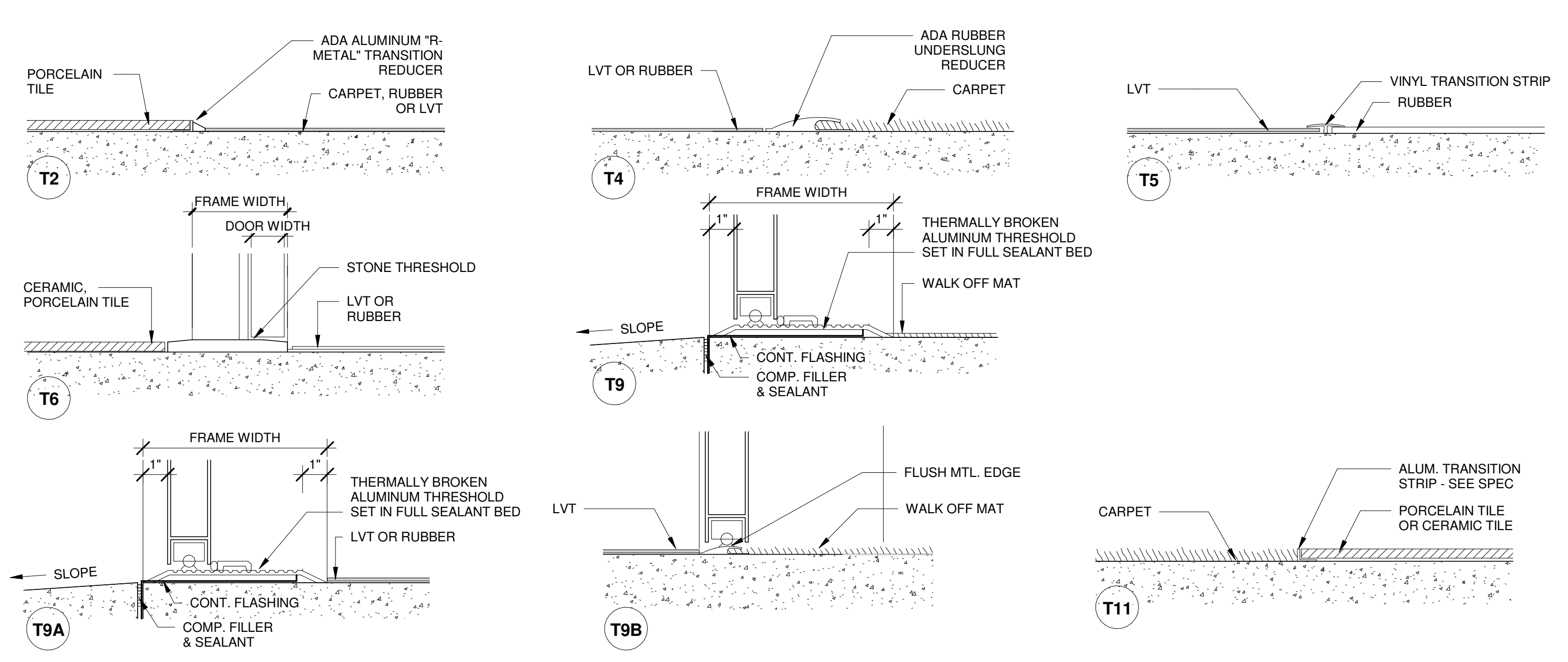
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	NEW ACT CEILING
	DEMOLISH EXISTING GRID AND TILE
	NEW GYP. CEILING
	EXISTING GYP. CEILING
	ACOUSTIC PANEL - SECTION 098413
	FIRE RATED HORIZONTAL GWB ASSEMBLY
	CURVED ACOUSTIC PANEL - SECTION 098413
	EXISTING PLASTER CEILING
	NEW SPRINKLER HEAD
	NEW EXIT SIGN
	EXISTING EXIT SIGN TO REMAIN

GLAST. BID NO.	GL-2020-19
PROJ. NO.	190101
SCALE	As indicated
DATE	6.1.2020
DRAWN BY	Author
APPROVED BY	Approver

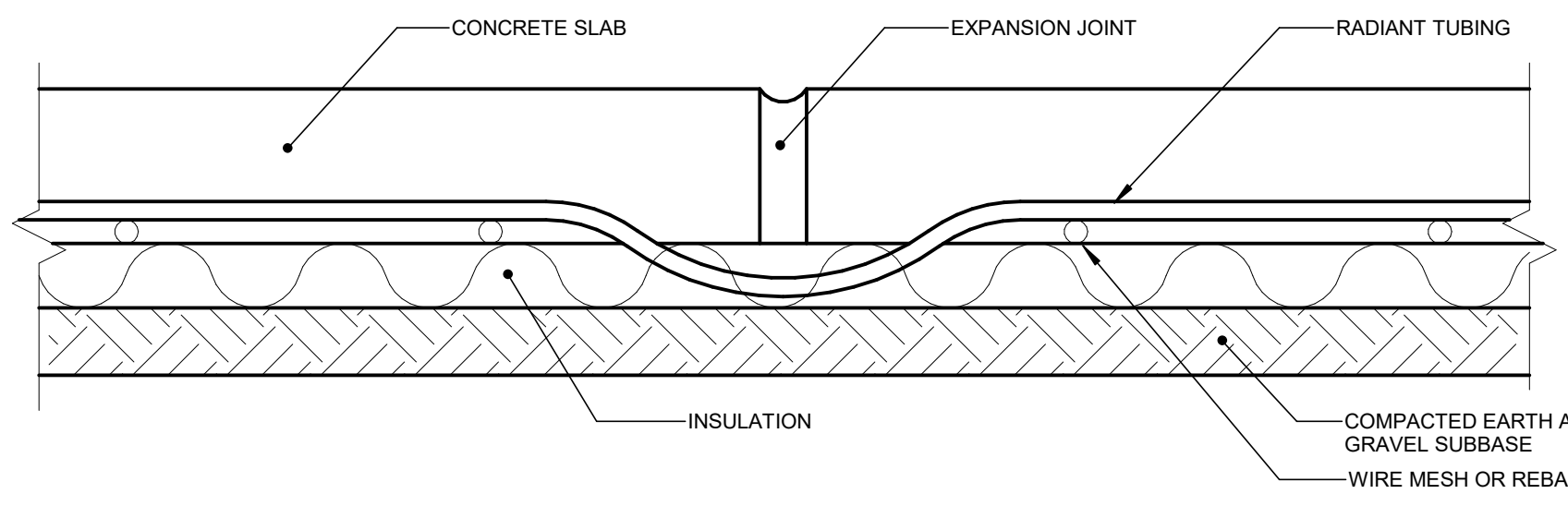
ISSUE DATES		
NO.	DATE	PURPOSE
2	10/02/2020	ADDENDUM #2



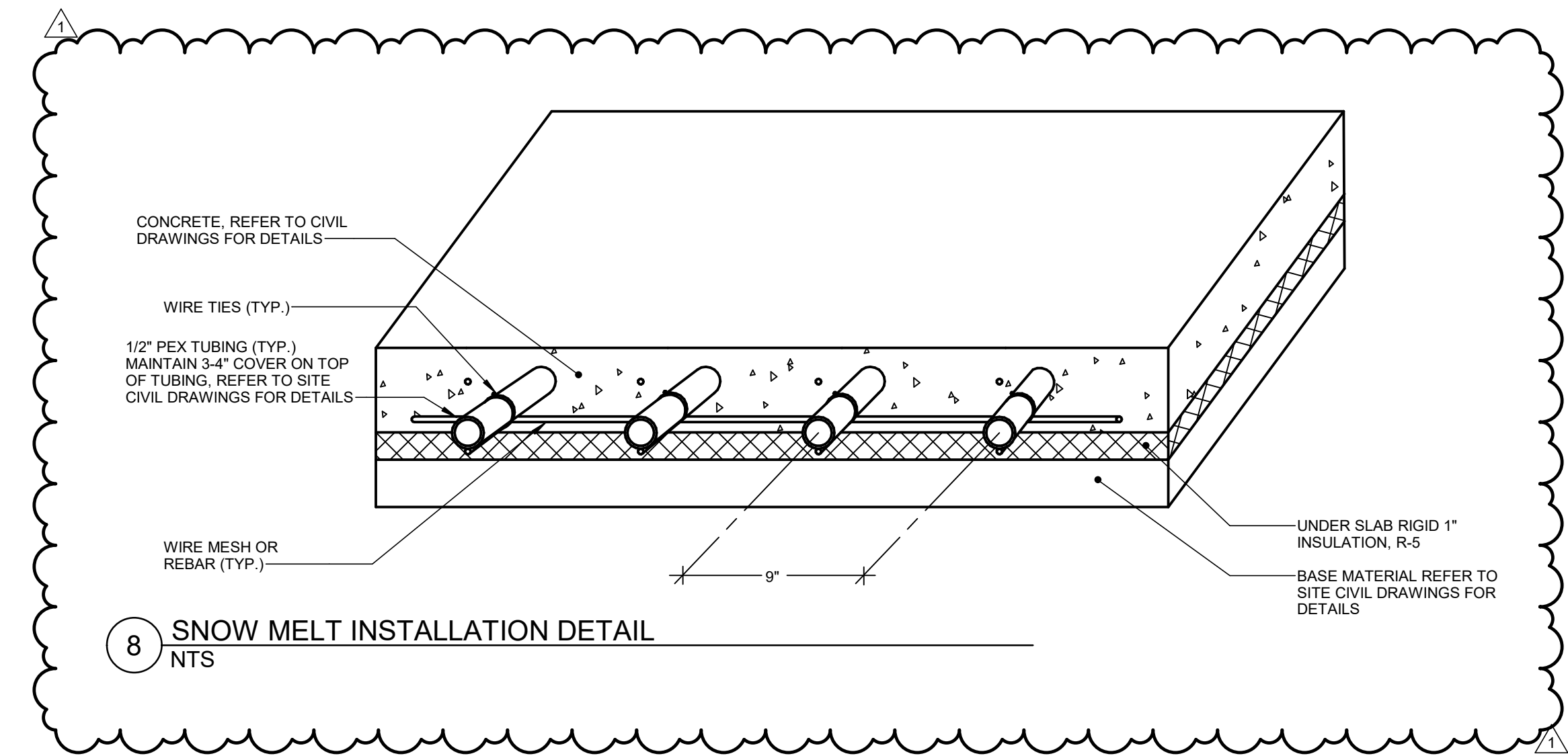
DOOR	DOOR		FRAME			HARDWARE - SEE SPECIFICATIONS										REMARKS				
	DOUBLE LEAF DOOR	SIZE	SPECIAL - SEE REMARKS	TYPE / MATERIAL		TYPE / MATERIAL		FIRECODE		DISABLED		SIGNAGE		HARDWARE SET NUMBER	CARD READER					
				MATERIAL	TYPE	MATERIAL	TYPE	HEAD DETAIL	JAMB DETAIL	SADDLE DETAIL	FIRE RATING (MINUTES)	PANIC RELEASE LATCH	POSITIVE LATCHING				AUTOMATIC CLOSER	E.M. HOLD OPEN	LEVER U-HANDLE	ACCESSIBLE THRESHOLD
121A		3' - 0 1/4" VIF	7' - 0 1/8" VIF	AL	D5	AL	W13	12/A5.01	14.25/A5.01										4.0	YOUNG ADULTS
121B		3' - 0"	7' - 0"	AL	D5	AL	W12	12/A5.01	14.25/A5.01										4.0	YOUNG ADULTS
150A		6' - 0"	7' - 2 1/4" VIF	WD	D5	HM	F1	H-1	J-1	T11									6.0	CHILDRENS, REMOVEABLE MULLION
150B		3' - 0"	7' - 4"	AL	D5	AL	CW7	41/A5.01	40/A5.01	T9A									1.0	TERRACE
150C		2' - 10"	4' - 0"	WD	D1	WD	F3	J-B											11.0	STORY NOOK
171A		3' - 0"	8' - 0 3/4" VIF	AL	D5	AL	W10	19/A5.01	4.25/A5.01										4.0	VAULT
171B		3' - 0"	7' - 0"	HM	D1	HM	F1	H-1	J-1	T11									9.0	RECORDING STUDIO
171C		3' - 0"	7' - 0"	HM	D1	HM	F1	H-1	J-1										9.0	STORAGE
176		6' - 0"	7' - 0"	WD	D1	HM	F1	H-1	J-1										14.0	MECHANICAL
245		3' - 0"	7' - 0"	WD	D1	HM	F1	H-1	J-1	T6									10.0	TOILET
246		3' - 0"	7' - 0"	WD	D1	HM	F1	H-1	J-1										9.0	STORAGE
262		3' - 0"	7' - 4" VIF	WD	D6	WD	F1	H-5	J-5	T9									3.0	TERRACE
263		2' - 11 1/2" VIF	6' - 11 3/4" VIF	WD	D6	WD	F1	H-5	J-5										4.0	MEETING ROOM
365A		EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	T9 SIM.									13.0	NEW THRESHOLD ONLY
C100		3' - 0"	7' - 0"	AL	D5	AL	W14	12/A5.01	14.25/A5.01										5.0	
C101		3' - 0"	7' - 0"	AL	D5	AL	W12	12/A5.01	14.25/A5.01										4.1	MAKER SPACE
ST5.1A		3' - 0"	7' - 0"	HM	D1	HM	F1	H-1	J-1	T4	60								8.0	STAIR #5
ST5.1B		3' - 0"	7' - 0"	HM	D1	HM	F1	H-7	J-7	T9A									2.0	STAIR #5
ST5.2		3' - 0"	7' - 0"	HM	D1	HM	F1	H-1	J-1	T4	60								8.0	
V100		3' - 0"	6' - 8"	HM	D5	HM	F2	H-1	J-1	T9B									7.0	
V261		6' - 8" VIF	7' - 2 1/8" VIF	WD	D6	WD	F4	H-5	J-5	T9									2.1	POWERED OPERATOR
V261A		6' - 8" VIF	7' - 2 1/8" VIF	WD	D6	WD	F4	H-2	J-2	T9B									12.0	POWERED OPERATOR



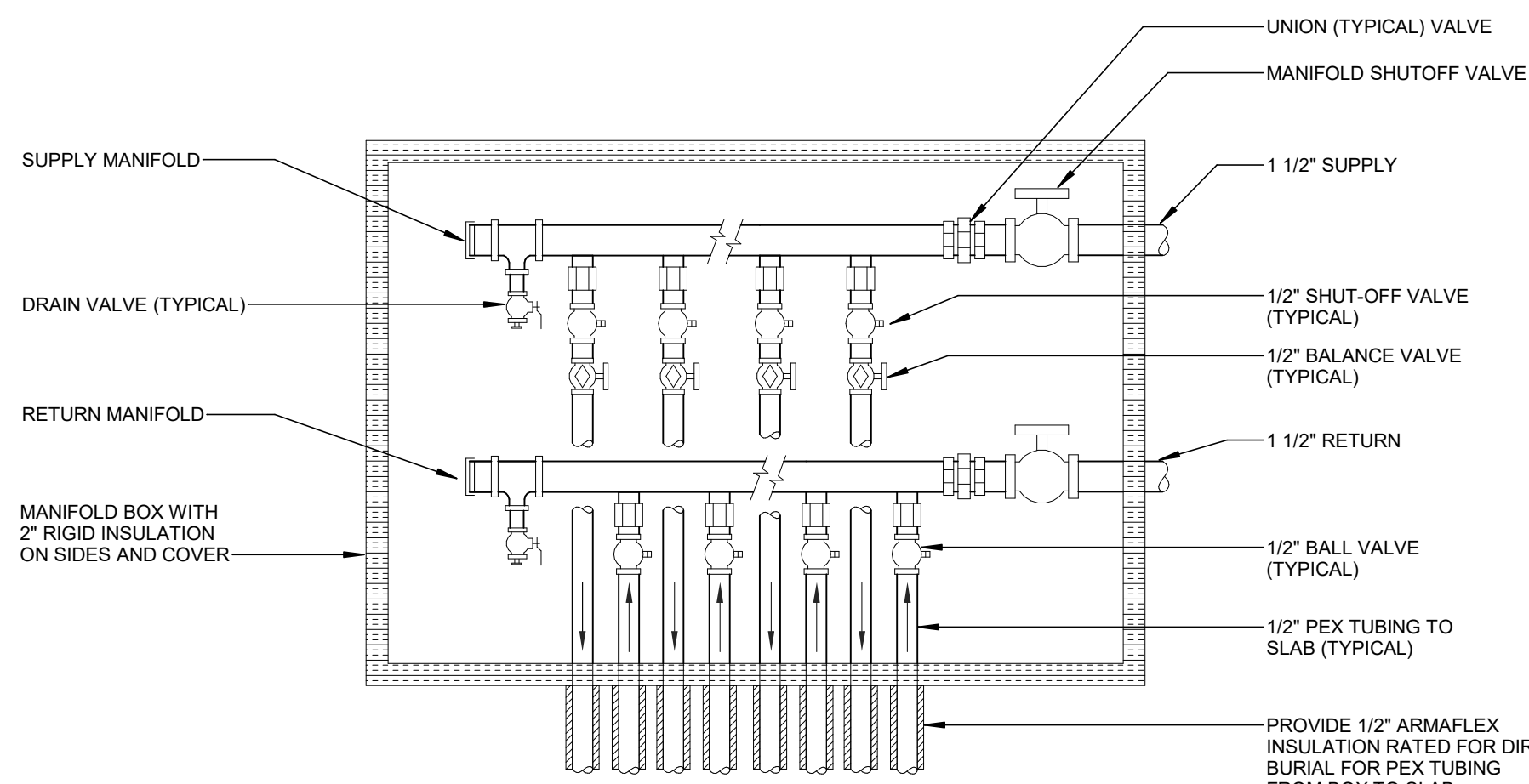




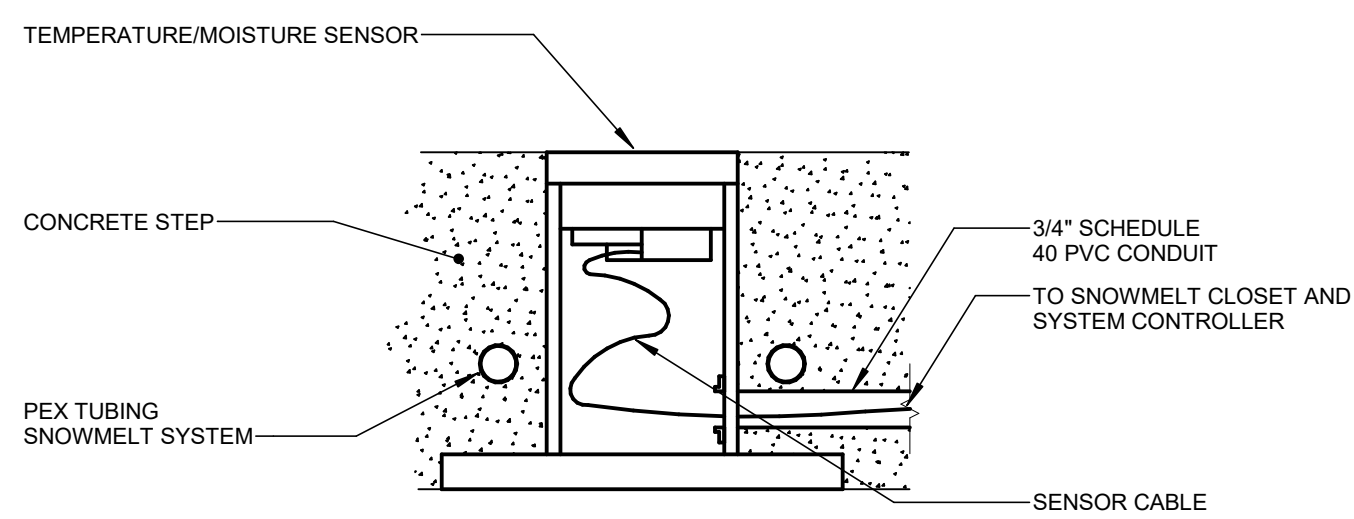
**7 SNOW MELT EXPANSION JOINT DETAIL**  
NTS



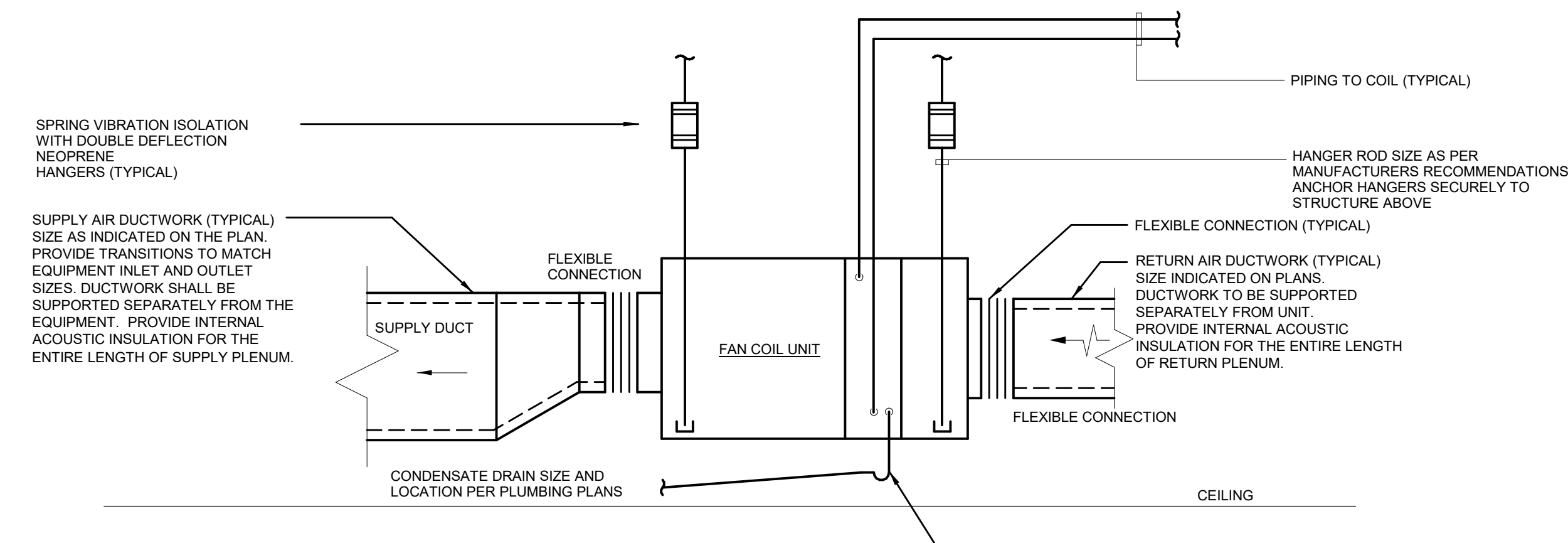
**8 SNOW MELT INSTALLATION DETAIL**  
NTS



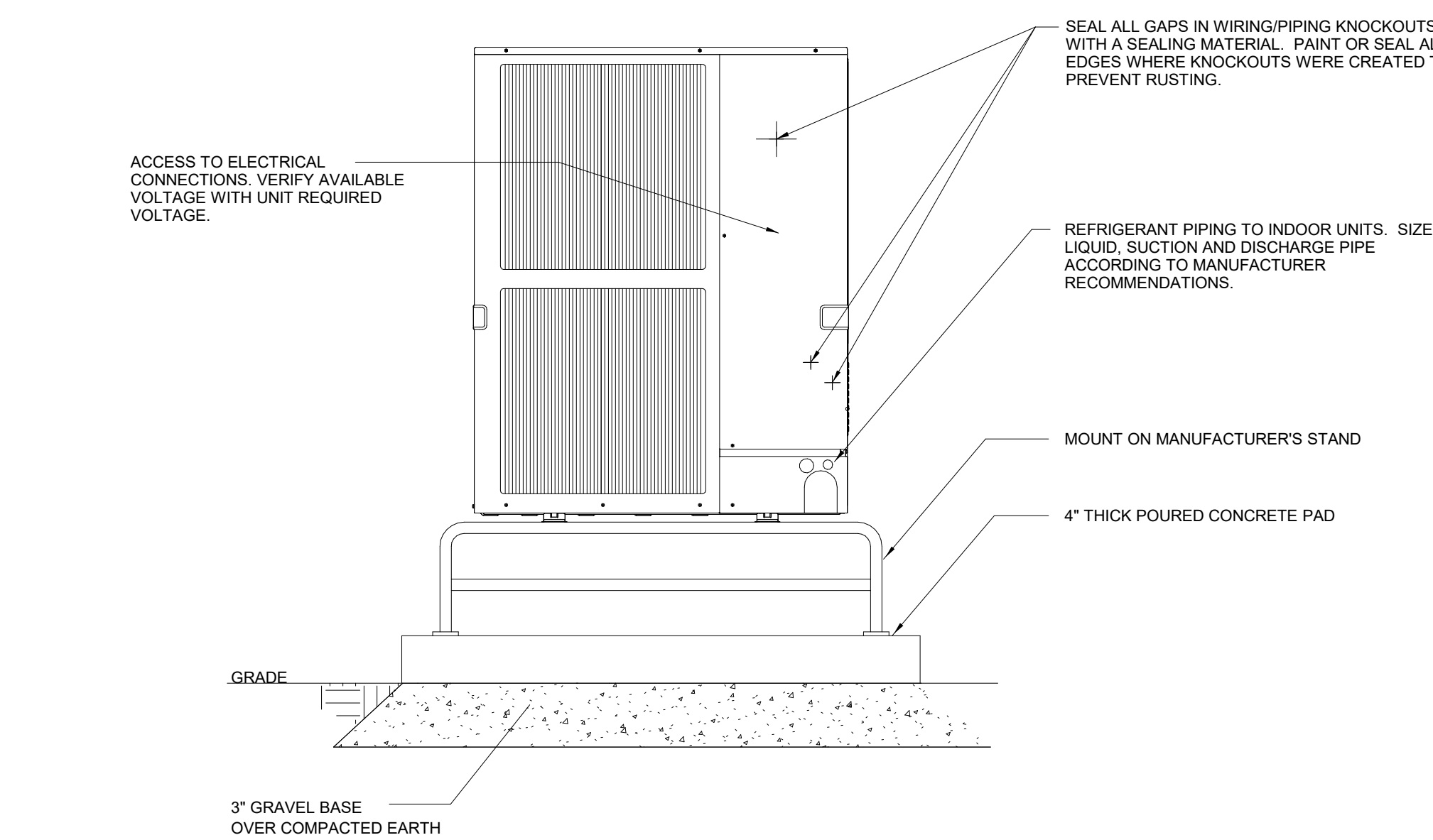
**9 SNOW MELT SUPPLY AND RETURN HEADER ASSEMBLY**  
NTS



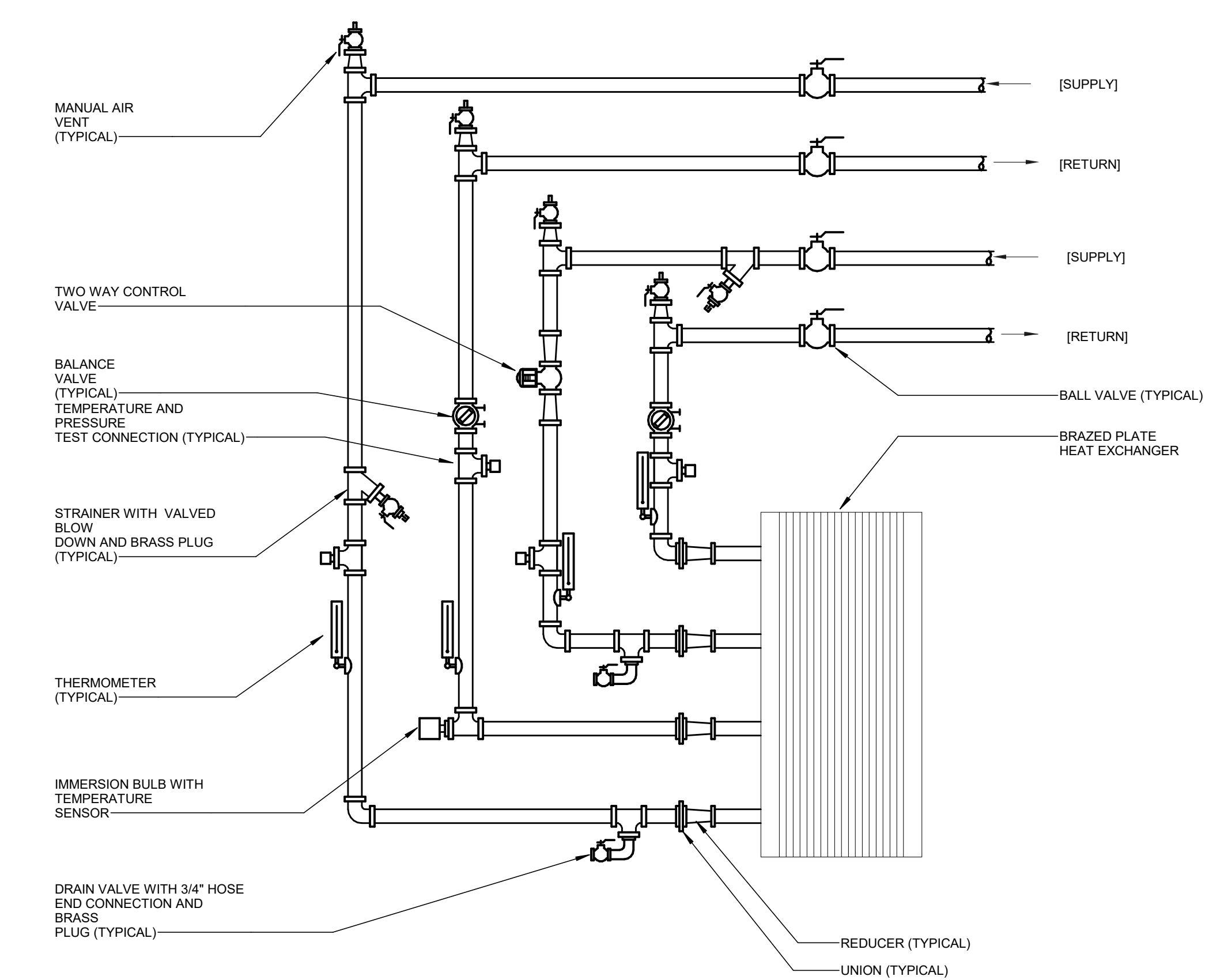
**10 SNOW MELT TEMPERATURE SENSOR INSTALLATION**  
NTS



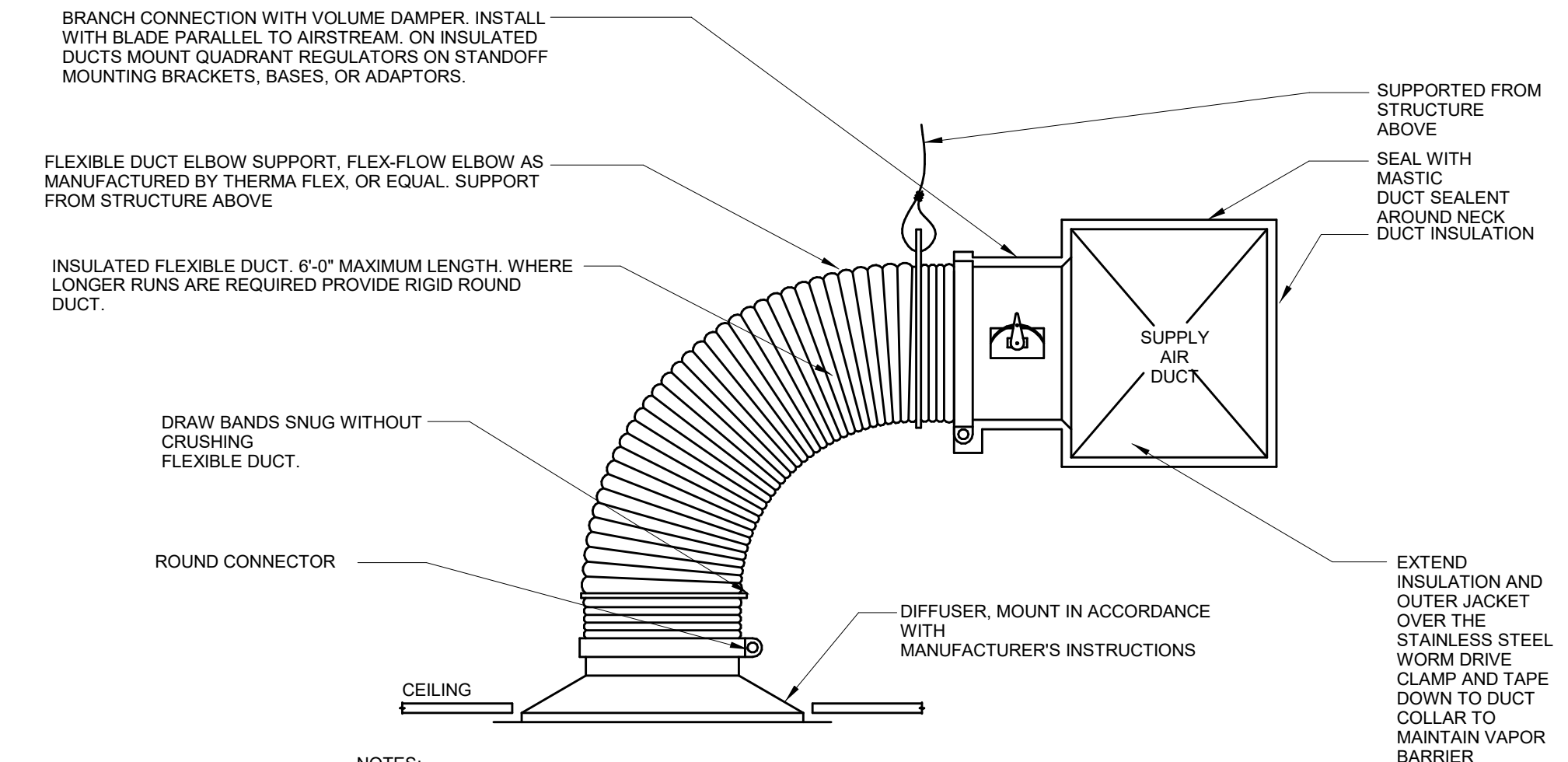
**4 HORIZONTAL/SUSPENDED FAN COIL UNIT**  
SCALE: NONE



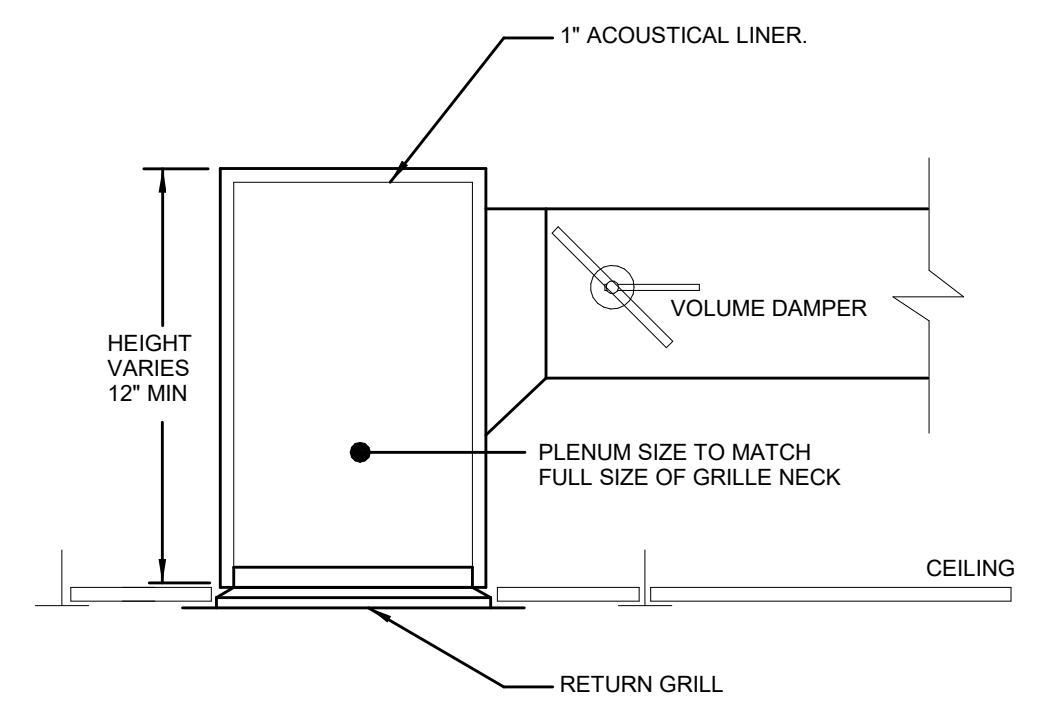
**5 GRADE MOUNTED CONDENSING UNIT DETAIL**  
SCALE: NONE



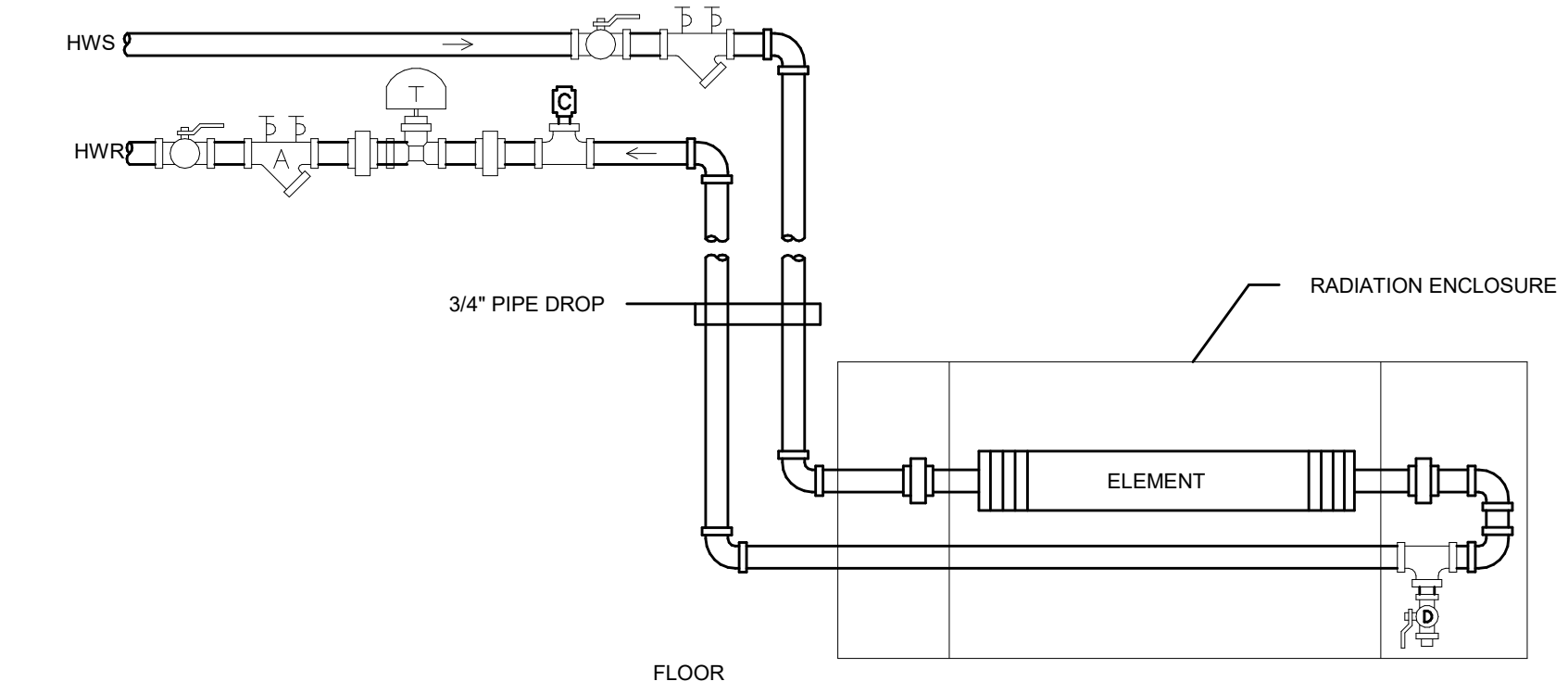
**6 HEAT EXCHANGER DETAIL - BRAZED PLATE**  
NTS



**1 CEILING DIFFUSER WITH FLEXIBLE DUCT DETAIL**  
SCALE: NONE



**2 TYPICAL RETURN AIR/EXHAUST AIR GRILLE PLENUM DETAIL**  
SCALE: NONE

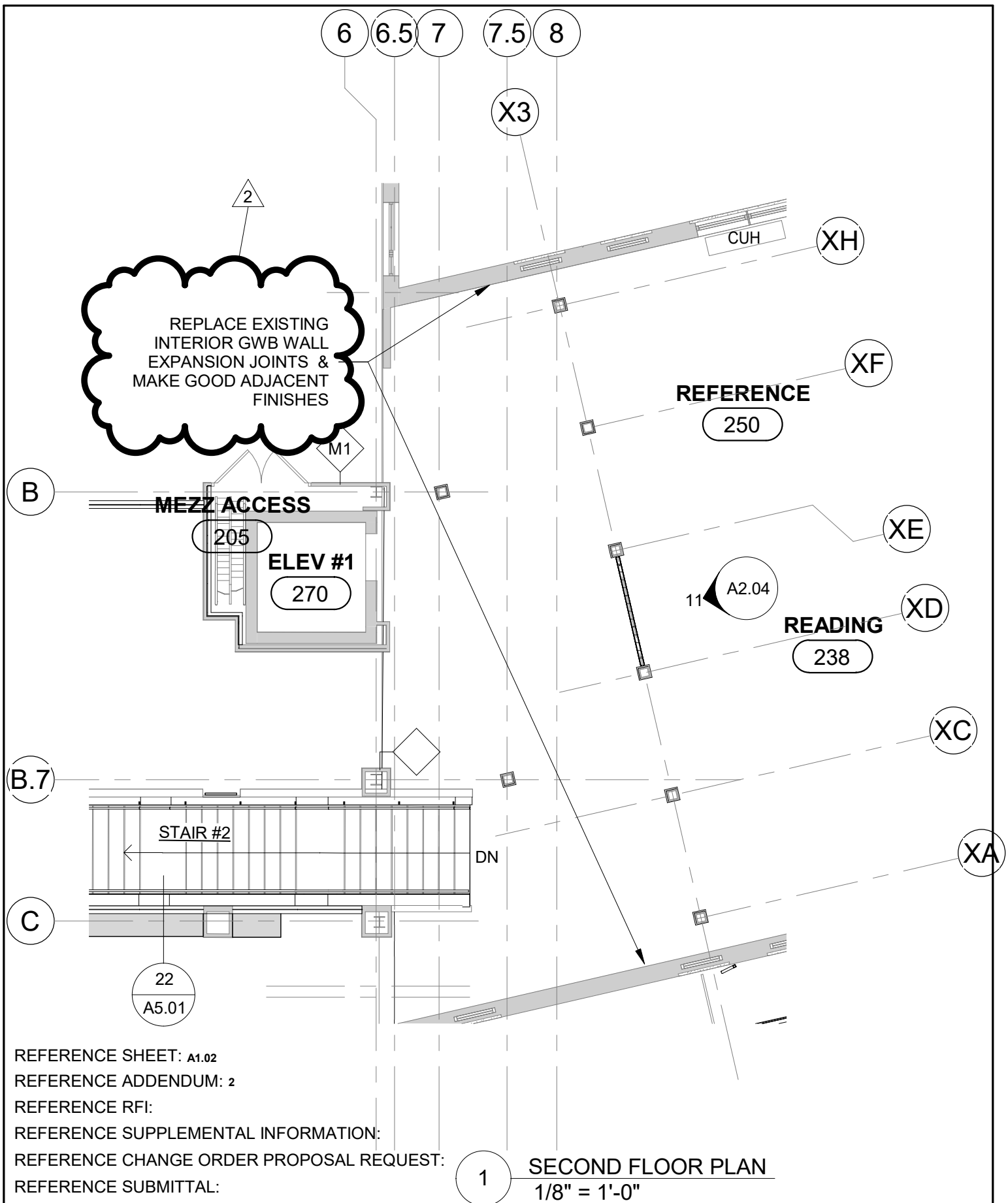


**3 HORIZONTAL/SUSPENDED FAN COIL UNIT**  
SCALE: NONE

GLAST. BID NO.	GL-2020-19
PROJ. NO.	190101
SCALE	NTS
DATE	6.1.2020
DRAWN BY	TDA
APPROVED BY	EMG

ISSUE DATES		
NO.	DATE	PURPOSE
1	10/05/2020	ADDENDUM

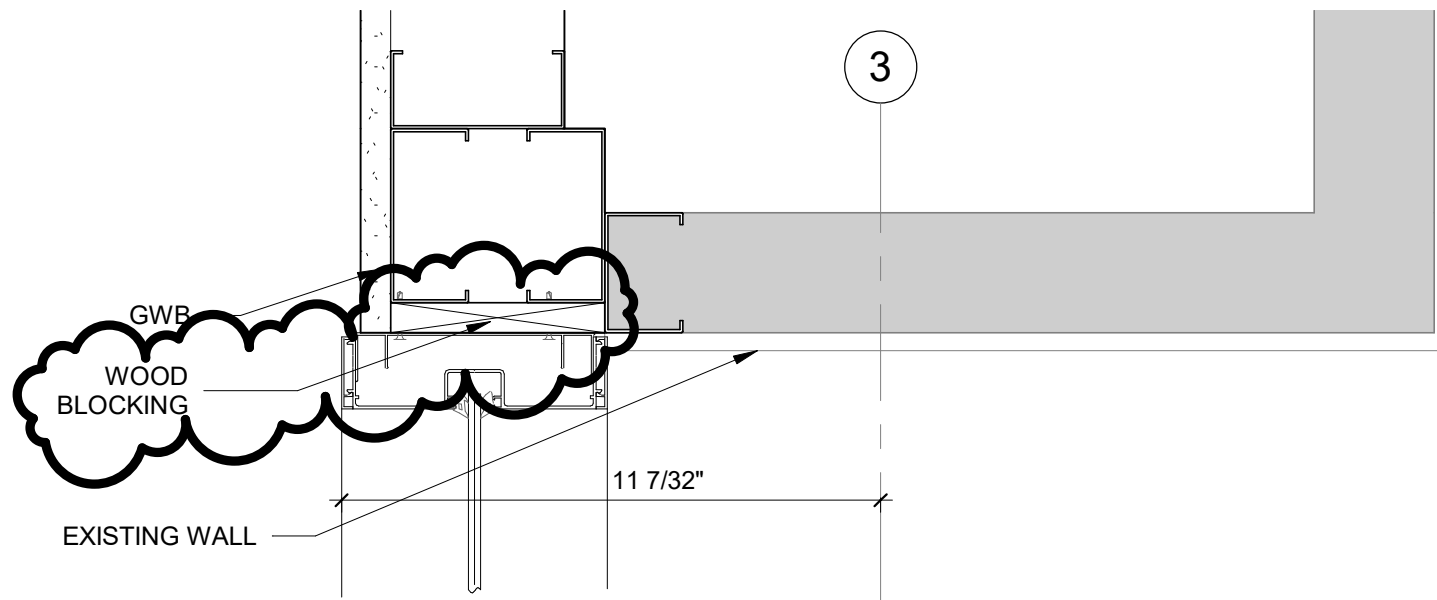
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REFERENCE SHEET: A1.02  
 REFERENCE ADDENDUM: 2  
 REFERENCE RFI:  
 REFERENCE SUPPLEMENTAL INFORMATION:  
 REFERENCE CHANGE ORDER PROPOSAL REQUEST:  
 REFERENCE SUBMITTAL:

**1** **SECOND FLOOR PLAN**  
 1/8" = 1'-0"

<b>TSKP STUDIO</b> One Hartford Square West 146 Wyllys Street, Bldg 1-203 Hartford, CT 06106 • 860.547.1970	JOB NAME / NUMBER: <b>GLASTONBURY WELLES TURNER LIBRARY</b>	TITLE: <b>PARTIAL SECOND FLOOR PLAN</b>	DRAWING NO: <b>SKA-006</b>
	SCALE: <b>1/8" = 1'-0"</b>		



30 JAMB DETAIL AT W13  
3" = 1'-0"

REFERENCE SHEET: A5.01

REFERENCE ADDENDUM: 2

REFERENCE RFI:

REFERENCE SUPPLEMENTAL INFORMATION:

REFERENCE CHANGE ORDER PROPOSAL REQUEST:

REFERENCE SUBMITTAL:

**TSKP  
STUDIO**

One Hartford Square West  
146 Wyllys Street, Bldg 1-203  
Hartford, CT 06106 • 860.547.1970

JOB NAME / NUMBER:  
**GLASTONBURY WELLES TURNER LIBRARY**

SCALE:  
**3" = 1'-0"**

DATE:  
**10/05/20**

PREPARED BY:  
**Author**

TITLE:  
**JAMB DETAIL AT W13**

DRAWING NO:

**SKA-007**