Town of Glastonbury

Glastonbury Police Department Window Replacement

BID#GL-2019-06



2108 Main Street, Glastonbury, CT 06033 September 7, 2018

PROJECT CONSULTANTS



DRAWING INDEX

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- A.3 West & North Exterior Elevations
- A.4 East & South Exterior Elevations
- A.5 Window Elevations & Schedule A.6 Section Details

ISSUED FOR BIDDING

CODE INFO

CODES TO WHICH THIS PROJECT WAS DESIGNED:

THE INTERNATIONAL EXISTING BUILDING CODE

CLASSIFICATION OF WORK -Section 304, ALTERATION - LEVEL 2 Required Compliance with Chapter 5 & 6: ALTERATIONS-LEVEL 1&2 of the International Existing Building Code (IEBC)

2016 CT State Fire Safety Code 2012 International Building Code 2012 International Existing Building Code 2012 International Plumbing Code 2012 International Mechanical Code 2014 National Electrical Code (NFPA 70) 2012 International Energy Conservation Code 2012 International Residential Code

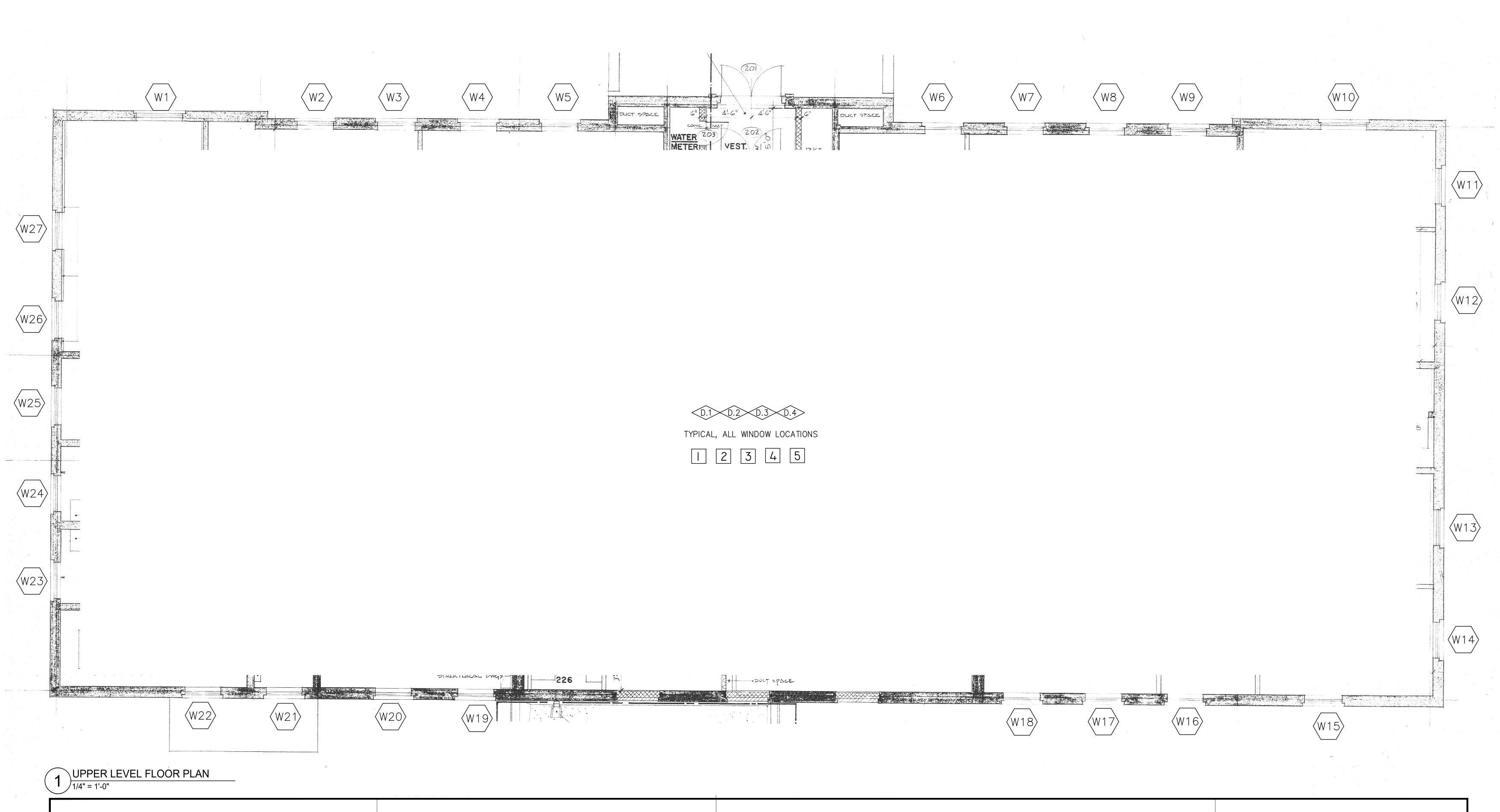
2016 CT State Building Code

2009 ICC/ANSI A117.1



PROJECT LOCATION

NTS



HAZARDOUS MATERIAL NOTES: CONSTRUCTION NOTES: KEYED INTO PLAN CONSTRUCTION NOTES DEMOLITION NOTES 1. ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH ALL NATIONAL, STATE, LOCAL CODES & | | | | INSTALL NEW WINDOW ALL DEMOLITION WORK IS TO BE PERFORMED IN ACCORDANCE 1. ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH ALL ORDINANCES. WITH AN APPROVED ASBESTOS WORK PLAN FROM THE STATE NATIONAL, STATE, LOCAL CODES & ORDINANCES. OF CONNECTICUT DEPARTMENT OF PUBLIC HEALTH, UNDER 2 INSTALL NEW WINDOW SILL AND APRON 2. DO NOT SCALE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION OF CONTAINMENT WITH A PRESSURE DIFFERENTIAL AND 2. THE DEMOLITION PLANS ARE DIAGRAMMATIC AND INTENDED TO SHOW DIMENSIONS FROM THE ARCHITECT BEFORE CONTINUING WITH CONSTRUCTION. CONTIGUOUS DECONTAMINATION UNITS. THE GENERAL EXTENT OF THE WORK ONLY. THE CONTRACTOR SHALL 3 PAINT, TRIM, TOUCH UP WALLS TO MATCH EXISTING INCLUDE ALL DEMOLITION WORK REQUIRED TO ACCOMPLISH THE INTENT CONTRACT DRAWINGS MAY VARY FROM ACTUAL FIELD CONDITIONS. CONTRACTOR SHALL CORRECT DIMENSIONS OF IT IS UNKNOWN AT THIS TIME IF ANY HAZARDOUS MATERIAL OF THE PLANS AND SPECIFICATIONS. REINSTALL WINDOW TREATMENTS ARE PRESENT. CONDITIONS IN FIELD BEFORE ORDERING ANY MATERIALS. CONTRACTOR SHALL NOTIFY ARCHITECT PROMPTLY OF ALL DEMOLISHED ITEMS SHALL BE REMOVED FROM BUILDING / SITE ANY CRITICAL DISCREPANCIES BEFORE PROCEEDING WITH WORK. THE TOWN WILL PROVIDE ITS OWN TESTING AGENCY. 5 REINSTALL CEILING PANELS AND GRID UNLESS OTHERWISE NOTED. COORDINATE WITH OWNER FOR DELIVERY OF ITEMS NOTED TO REMAIN OWNERS PROPERTY. THE PROJECT ALL NEW WORK SHALL BE IMPLEMENTED SO AS TO PROVIDE A SMOOTH AND CONTINUOUS SURFACE WITH ALL IF THE CONTRACTOR FINDS MATERIAL DURING DEMOLITION SITE/BUILDING SHALL BE CLEANED OF DEBRIS ON A DAILY BASIS. THAT THEY SUSPECT CONTAINS HAZARDOUS MATERIALS THEY MUST CONTACT THE TOWN REPRESENTATIVE IMMEDIATELY 4. PREPARE EXISTING WALLS AS REQUIRED FOR NEW FINISHES. CONDITIONS. QUALITY OF WORKMANSHIP, MATERIALS AND FINISHES SHALL BE EQUAL TO THE LEVEL ESTABLISHED FOR SIMILAR CONSTRUCTION, EXCEPT WHERE EXISTING APPEARANCE IS TO BE MATCHED TO ACHIEVE CONTINUITY. 5. ALL ITEMS NOTED AS SALVAGE SHALL BE REMOVED, PROTECTED AND TURNED OVER TO THE OWNER. DEMOLITION NOTES: KEYED INTO PLAN 5. CUTTING AND PATCHING SHALL BE THE RESPONSIBILITY OF THE TRADE WHOSE WORK RESULTS IN THE NEED FOR CUTTING AND PATCHING UNLESS A SPECIFIC CONTRACTOR IS CALLED OUT ON THE DRAWINGS. ALL HOLES LEFT BY 6. ALL OPENINGS WHERE EXISTING CONSTRUCTION HAS BEEN REMOVED, REMOVING MECHANICAL, PLUMBING AND ELECTRICAL EQUIPMENT, ETC. SHALL BE PATCHED. D.1 REMOVE WINDOW TREATMENTS, CLEAN AND WINDOW TAG AND WHICH ARE NOT NOTED TO REMAIN, SHALL BE FILLED AND / OR SAVE FOR REINSTALLATION PATCHED TO MATCH THE ADJACENT EXISTING OR NEW FINISH, 6. THE CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONTRACT DOCUMENTS AT THE SITE (D.1) DEMOLITION TAG INCLUDING ANY FIRE RATINGS REQUIRED. REMOVE ACOUSTICAL CEILING PANELS AND DURING ALL PHASES OF CONSTRUCTION FOR USE BY ALL TRADES. GRID AS REQUIRED FOR NEW CONSTRUCTION CONSTRUCTION NOTE 7. ALL AREAS WALLS AND CEILINGS DISTURBED BY DEMOLITION SHALL BE 7. ALL DIMENSIONS ARE TO THE FACE OF MASONRY OPENING AND ARE SHOWN FOR DESIGN INTENT ONLY. THE D.3 REMOVE WINDOW SILL AND APRON FILLED, PATCHED OR OTHERWISE REFINISHED TO MATCH EXISTING OR CONTRACTOR SHALL VERIFY ALL DIMENSION IN FIELD PRIOR TO ORDERING WINDOWS. NEW FINISH AS DESIGNATED. INCLUDING ALL REQUIRED RATINGS. Q.4 REMOVE EXISTING WINDOW 8. THE CONTRACTOR MAY NOT MAKE SUBSTITUTIONS OR MODIFICATIONS WITHOUT THE WRITTEN CONSENT OF THE 8. CONTRACTOR MUST VERIFY LOCATIONS OF ALL EXISTING STRUCTURAL. ARCHITECT. MECHANICAL, PLUMBING & ELECTRICAL ELEMENTS PRIOR TO START OF DEMOLITION. 9. THE CONTRACTOR SHALL PROVIDE A FULL SET OF SHOP DRAWINGS INCLUDING ALL FIELD DIMENSIONS FOR

APPROVAL BY THE OWNER AND ARCHITECT PRIOR TO ORDERING ANY MATERIALS.

9. ALL ITEMS TO BE REMOVED AND REINSTALLED. SHALL BE STORED IN

A DRY, CLEAN SPACE AND LABELED FOR REINSTALLATION.



Revisions: ISSUED FOR BIDDING

Glastonbury, CT 06033 (860)633-2477

Glastonbury Police Station Window Replacement 2108 Main Street

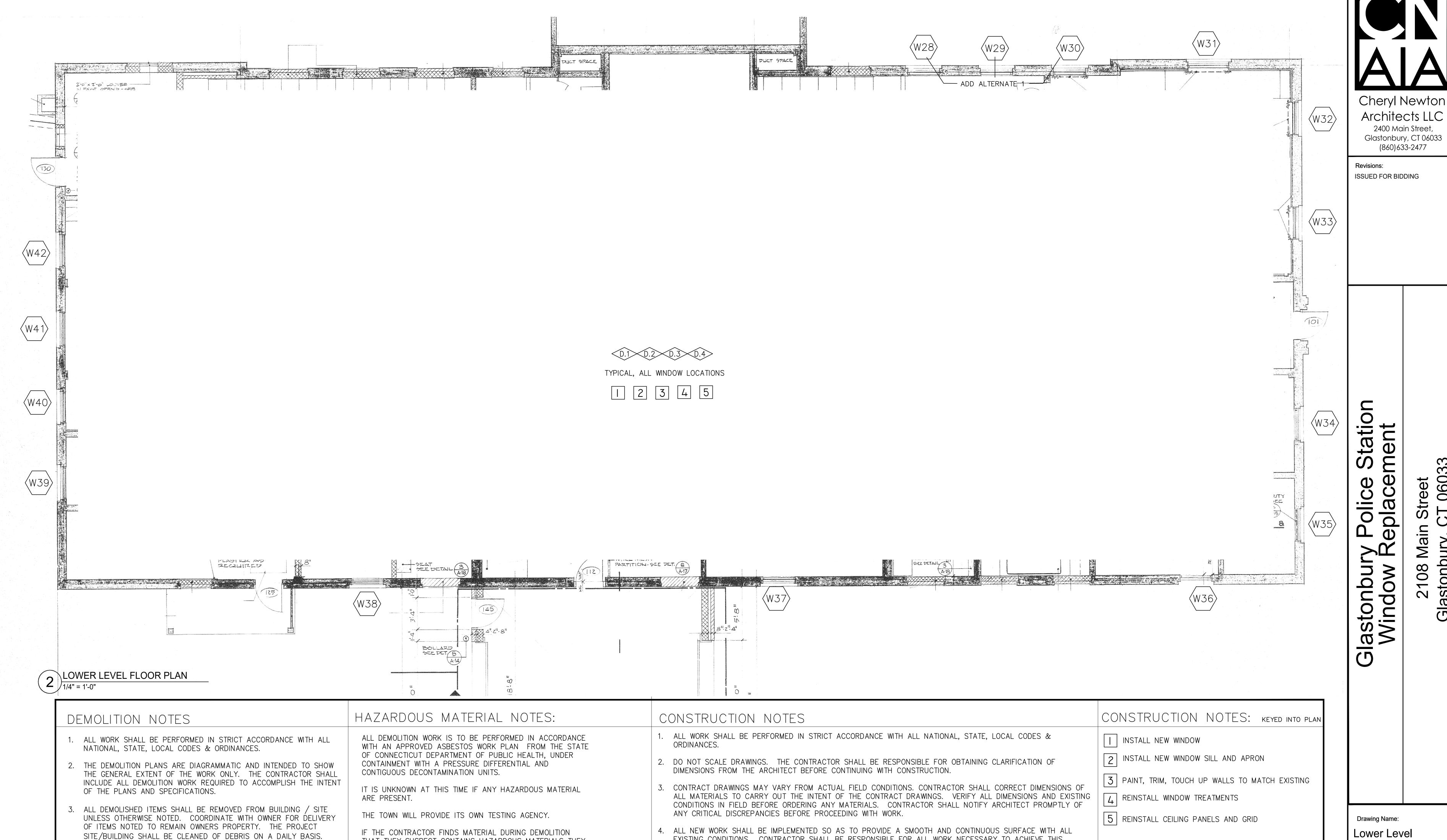
Drawing Name:
Upper Level
Floor Plan

Scale: 1/4"=1'-0"

Date: September 23, 2017

Drawing Number:

A.1



REQUIREMENT, EVEN THOUGH PROCEDURES ARE NOT DETAILED FOR EACH SPECIFIC CONDITION OR COMBINATION OF

FOR SIMILAR CONSTRUCTION, EXCEPT WHERE EXISTING APPEARANCE IS TO BE MATCHED TO ACHIEVE CONTINUITY.

CUTTING AND PATCHING UNLESS A SPECIFIC CONTRACTOR IS CALLED OUT ON THE DRAWINGS. ALL HOLES LEFT BY

 $\langle W1 \rangle$

WINDOW TAG

CONSTRUCTION NOTE

D.1 DEMOLITION TAG

5. CUTTING AND PATCHING SHALL BE THE RESPONSIBILITY OF THE TRADE WHOSE WORK RESULTS IN THE NEED FOR

6. THE CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONTRACT DOCUMENTS AT THE SITE

7. ALL DIMENSIONS ARE TO THE FACE OF MASONRY OPENING AND ARE SHOWN FOR DESIGN INTENT ONLY. THE

8. THE CONTRACTOR MAY NOT MAKE SUBSTITUTIONS OR MODIFICATIONS WITHOUT THE WRITTEN CONSENT OF THE

9. THE CONTRACTOR SHALL PROVIDE A FULL SET OF SHOP DRAWINGS INCLUDING ALL FIELD DIMENSIONS FOR

REMOVING MECHANICAL, PLUMBING AND ELECTRICAL EQUIPMENT, ETC. SHALL BE PATCHED.

CONTRACTOR SHALL VERIFY ALL DIMENSION IN FIELD PRIOR TO ORDERING WINDOWS.

APPROVAL BY THE OWNER AND ARCHITECT PRIOR TO ORDERING ANY MATERIALS.

DURING ALL PHASES OF CONSTRUCTION FOR USE BY ALL TRADES.

ARCHITECT.

THAT THEY SUSPECT CONTAINS HAZARDOUS MATERIALS THEY

MUST CONTACT THE TOWN REPRESENTATIVE IMMEDIATELY

DEMOLITION NOTES: KEYED INTO PLAN

D.1 REMOVE WINDOW TREATMENTS, CLEAN AND

REMOVE ACOUSTICAL CEILING PANELS AND GRID AS PEOLIDED FOR NEW PANELS AND

GRID AS REQUIRED FOR NEW CONSTRUCTION

SAVE FOR REINSTALLATION

D.3 REMOVE WINDOW SILL AND APRON

Q.4 REMOVE EXISTING WINDOW

4. PREPARE EXISTING WALLS AS REQUIRED FOR NEW FINISHES.

TURNED OVER TO THE OWNER.

DEMOLITION.

INCLUDING ANY FIRE RATINGS REQUIRED.

5. ALL ITEMS NOTED AS SALVAGE SHALL BE REMOVED, PROTECTED AND

6. ALL OPENINGS WHERE EXISTING CONSTRUCTION HAS BEEN REMOVED,

PATCHED TO MATCH THE ADJACENT EXISTING OR NEW FINISH,

AND WHICH ARE NOT NOTED TO REMAIN, SHALL BE FILLED AND / OR

7. ALL AREAS WALLS AND CEILINGS DISTURBED BY DEMOLITION SHALL BE

NEW FINISH AS DESIGNATED, INCLUDING ALL REQUIRED RATINGS.

9. ALL ITEMS TO BE REMOVED AND REINSTALLED. SHALL BE STORED IN

A DRY, CLEAN SPACE AND LABELED FOR REINSTALLATION.

FILLED, PATCHED OR OTHERWISE REFINISHED TO MATCH EXISTING OR

CONTRACTOR MUST VERIFY LOCATIONS OF ALL EXISTING STRUCTURAL,

MECHANICAL, PLUMBING & ELECTRICAL ELEMENTS PRIOR TO START OF

Static

Street ST 060; Main 2108

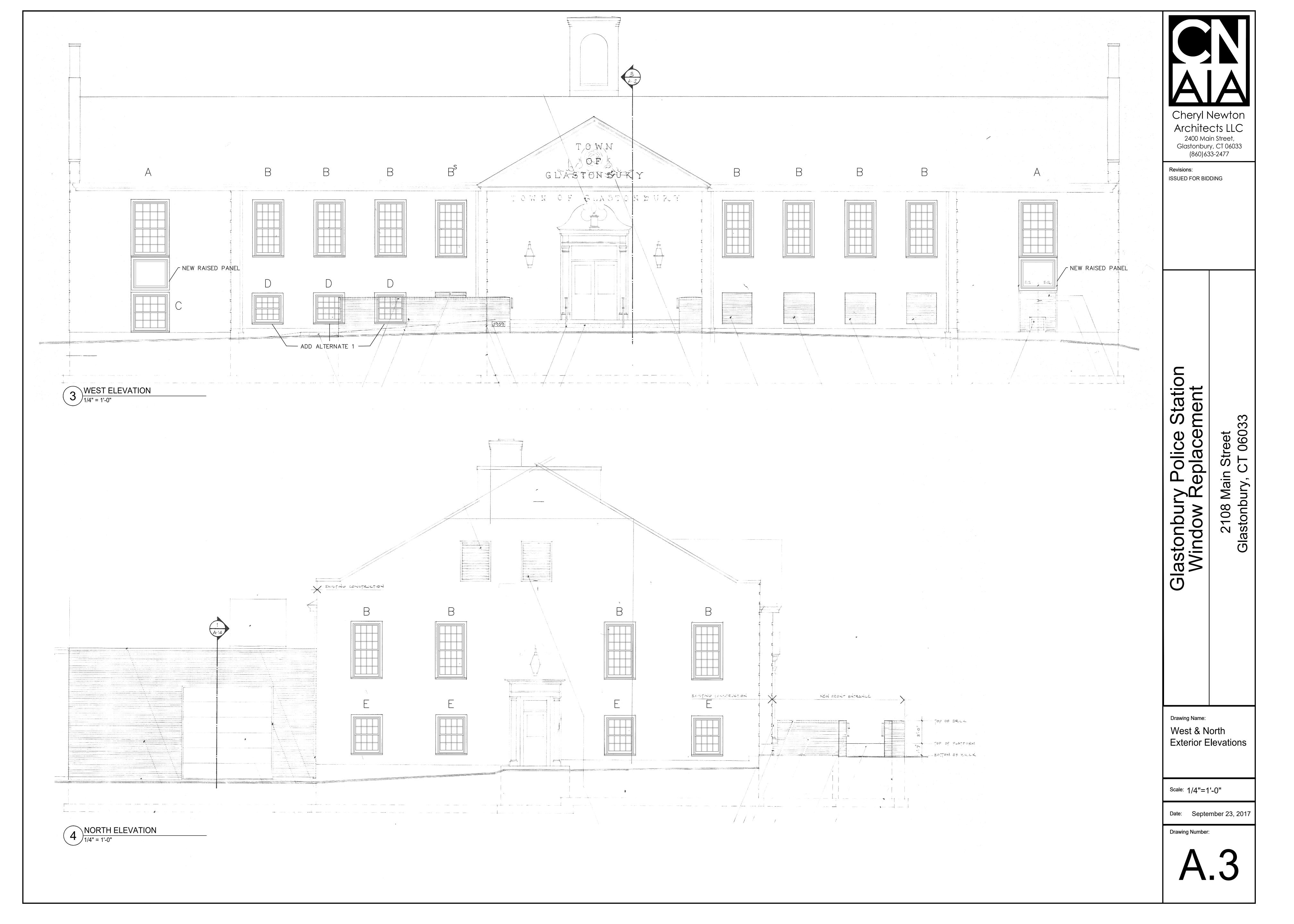
Glastonb

Drawing Name: **Lower Level** Floor Plan

Scale: 1/4"=1'-0"

Date: September 23, 2017

Drawing Number:





Cheryl Newton
Architects LLC
2400 Main Street,
Glastonbury, CT 06033
(860)633-2477

Revisions: ISSUED FOR BIDDING

Glastonbury Police Station Window Replacement

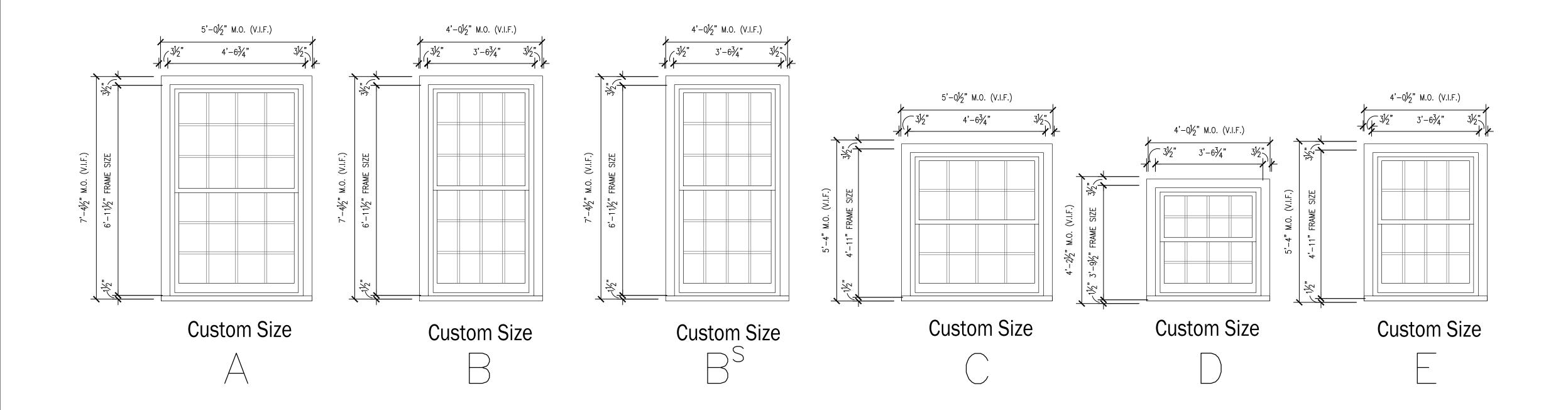
Drawing Name:
East & South
Exterior Elevations

Scale: 1/4"=1'-0"

Date: September 23, 2017

Drawing Number:

A.4



CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS IN FIELD PRIOR TO ORDERING WINDOWS

Glastonbury Police Station Windows 2108 Main Street, Glastonbury, CT Window Schedule			Andersen Windows E Series					
Number	Location	Elevation Type	Masonry Opening	Description	Hardware	Notes	Screen(s)	Number
Window 1	West Upper Floor	Α	5'-0 1/2" x 7'-4 1/2"	Monumental Double Hung	Custodial Lock		No	Window 1
Window 2	West Upper Floor	В	4'-0 1/2" x 7'-4 1/2"	Monumental Single Hung	Custodial Lock		No	Window 2
Window 3	West Upper Floor	В	4'-0 1/2" x 7'-4 1/2"	Monumental Single Hung	Custodial Lock		No	Window 3
Vindow 4	West Upper Floor	В	4'-0 1/2" x 7'-4 1/2"	Monumental Single Hung	Custodial Lock		No	Window 4
Window 5	West Upper Floor	Bs Security	4'-0 1/2" x 7'-4 1/2"	Monumental Single Hung	Custodial Lock		No	Window 5
Vindow 6	West Upper Floor	В	4'-0 1/2" x 7'-4 1/2"	Monumental Single Hung	Custodial Lock		No	Window 6
Window 7	West Upper Floor	В	4'-0 1/2" x 7'-4 1/2"	Monumental Single Hung	Custodial Lock		No	Window 7
Window 8	West Upper Floor	В	4'-0 1/2" x 7'-4 1/2"	Monumental Single Hung	Custodial Lock		No	Window 8
Window 9	West Upper Floor	В	4'-0 1/2" x 7'-4 1/2"	Monumental Single Hung	Custodial Lock		No	Window 9
Vindow 10	West Upper Floor	Α	5'-0 1/2" x7'-4 1/2"	Monumental Single Hung	Custodial Lock		No	Window 1
Window 11	North Upper Floor	В	4'-0 1/2" x 7'-4 1/2"	Monumental Single Hung	Custodial Lock		No	Window 1
Window 12	North Upper Floor	В	4'-0 1/2" x 7'-4 1/2"	Monumental Single Hung	Custodial Lock		No	Window 1
Window 13	North Upper Floor	В	4'-0 1/2" x 7'-4 1/2"	Monumental Single Hung	Custodial Lock		No	Window 1
Window 14	North Upper Floor	В	4'-0 1/2" x 7'-4 1/2"	Monumental Single Hung	Custodial Lock		No	Window 1
Window 15	East Upper Floor	В	4'-0 1/2" x 7'-4 1/2"	Monumental Single Hung	Custodial Lock		No	Window 1
Vindow 16	East Upper Floor	В	4'-0 1/2" x 7'-4 1/2"	Monumental Single Hung	Custodial Lock		No	Window 1
Vindow 17	East Upper Floor	В	4'-0 1/2" x 7'-4 1/2"	Monumental Single Hung	Custodial Lock		No	Window 1
Vindow 18	East Upper Floor	В	4'-0 1/2" x 7'-4 1/2"	Monumental Single Hung	Custodial Lock		No	Window 1
Window 19	East Upper Floor	В	4'-0 1/2" x 7'-4 1/2"	Monumental Single Hung	Custodial Lock		No	Window 1
Window 20	East Upper Floor	В	4'-0 1/2" x 7'-4 1/2"	Monumental Single Hung	Custodial Lock		No	Window 2
Window 21	East Upper Floor	E	4'-0 1/2" x 5'-4 1/2"	Double Hung	Custodial Lock		No	Window 2
Window 22	East Upper Floor	E	4'-0 1/2" x 5'-4 1/2"	Double Hung	Custodial Lock		No	Window 2
Window 23	South Upper Floor	В	4'-0 1/2" x 7'-4 1/2"	Monumental Single Hung	Pull Handle and Lock		Yes	Window 2
Window 24	South Upper Floor	В	4'-0 1/2" x 7'-4 1/2"	Monumental Single Hung	Pull Handle and Lock		Yes	Window 2
Window 25	South Upper Floor	В	4'-0 1/2" x 7'-4 1/2"	Monumental Single Hung	Custodial Lock		No	Window 2
Window 26	South Upper Floor	В	4'-0 1/2" x 7'-4 1/2"	Monumental Single Hung	Custodial Lock		No	Window 2
Window 27	South Upper Floor	В	4'-0 1/2" x 7'-4 1/2"	Monumental Single Hung	Custodial Lock		No	Window 2
Vindow 28	West Lower Floor	D	4'-0 1/2" x 4'-2 1/2"	Double Hung	Custodial Lock	Add Alternate 1	No	Window 2
Window 29	West Lower Floor	D	4'-0 1/2" x 4'-2 1/2"	Double Hung	Custodial Lock	Add Alternate 1	No	Window 2
Vindow 30	West Lower Floor	D	4'-0 1/2" x 4'-2 1/2"	Double Hung	Custodial Lock	Add Alternate 1	No	Window 3
Window 31	West Lower Floor	С	5'-0 1/2" x 5'-3 3/4"	Monumental Single Hung	Custodial Lock		No	Window 3
Vindow 32	North Lower Floor	E	5'-0 1/2" x 5'-3 3/4"	Double Hung	Custodial Lock		No	Window 3
Vindow 33	North Lower Floor	E	5'-0 1/2" x 5'-3 3/4"	Double Hung	Custodial Lock		No	Window 3
Vindow 34	North Lower Floor	E	5'-0 1/2" x 5'-3 3/4"	Double Hung	Custodial Lock		No	Window 3
Vindow 35	North Lower Floor	E	5'-0 1/2" x 5'-3 3/4"	Double Hung	Custodial Lock		No	Window 3
Vindow 36	East Lower Floor	E	5'-0 1/2" x 5'-3 3/4"	Double Hung	Custodial Lock		No	Window 3
Vindow 37	East Lower Floor	E	5'-0 1/2" x 5'-3 3/4"	Double Hung	Custodial Lock		No	Window 3
Vindow 38	East Lower Floor		5'-0 1/2" x 5'-3 3/4"	Double Hung	Custodial Lock		No	Window 3
Vindow 39	South Lower Floor	 	5'-0 1/2" x 5'-3 3/4"	Double Hung	Custodial Lock		No	Window 3
Vindow 40	South Lower Floor	 	5'-0 1/2" x 5'-3 3/4"	Double Hung	Custodial Lock		No	Window 4
Vindow 40 Vindow 41	South Lower Floor	 F	5'-0 1/2" x 5'-3 3/4"	Double Hung	Custodial Lock		No	Window 4
Vindow 41 Vindow 42	South Lower Floor		5'-0 1/2" x 5'-3 3/4"	Double Hung	Custodial Lock		No	Window

Interior Color: Dove Gray
Exterior Color: White
Trim: 3 1/2" Brick Mould
5/8 Simulated Divided Lite Grilles
Low E4 Laminated Glass



Revisions:
ISSUED FOR BIDDING

Glastonbury Police Station Window Replacement

2108 Main 3 Glastonbury, C

Drawing Name:
Window Elevations
& Schedule

Scale: AS NOTED

Date: September 23, 2017

Drawing Number:

A.5

